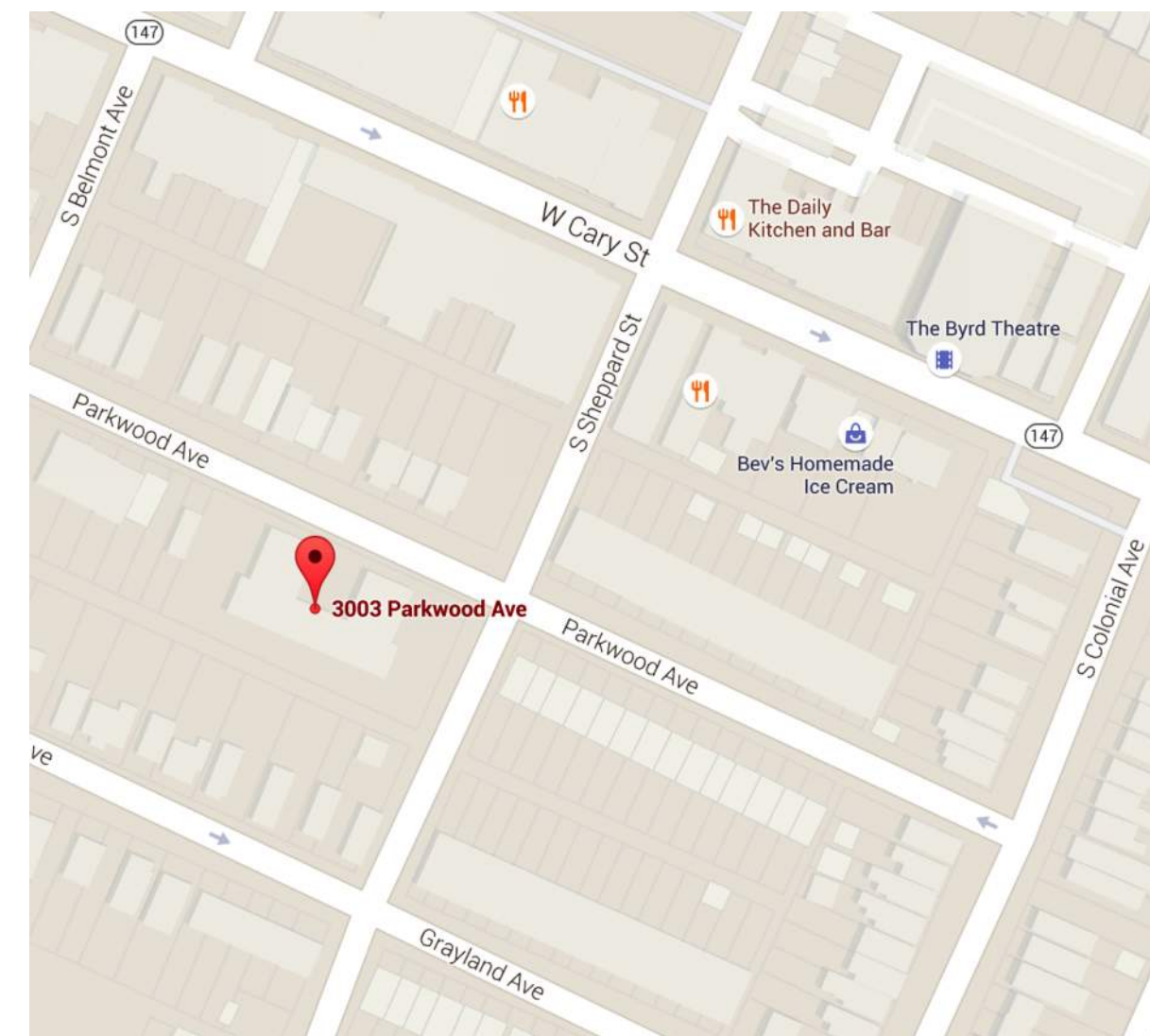
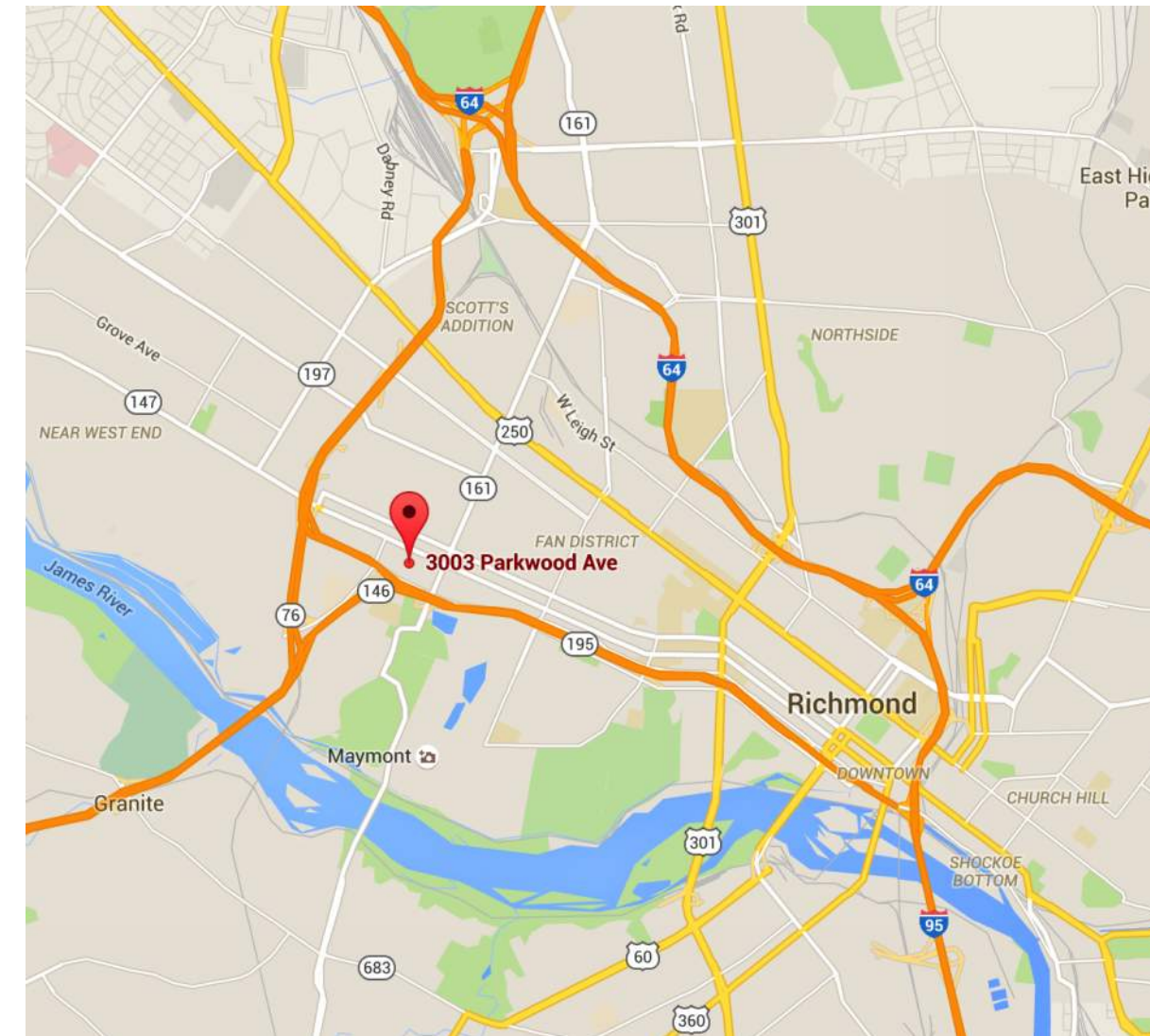


R-5 ZONING WITH EXISTING SUP



CARYTOWN NEIGHBORHOOD



RICHMOND, VA

VICINITY MAPS

PARKWOOD APTS

3003 PARKWOOD AVENUE
RICHMOND, VA 23221

PROJECT INFORMATION

ADDRESS: 3003 PARKWOOD AVE, RICHMOND, VA
PARCEL: W0001354013
ZONING: R-5
EXISTING SPECIAL USE PERMIT: FILE# 6987, ORDINANCE# 1984-019-28
DISTRICT: CARYTOWN
EXISTING USE: ASSISTED LIVING FACILITY
PROPOSED USE: MULTI-FAMILY RESIDENTIAL

PROJECT DESCRIPTION

THIS PROJECT IS THE PROPOSED CONVERSION OF THE EXISTING 2-STORY BRICK BUILDING WITH A 1-STORY BASEMENT AT 3003 PARKWOOD AVENUE FROM ITS CURRENT USE AS AN ASSISTED LIVING FACILITY TO MARKET RATE RENTAL APARTMENTS.

SHEET LIST

NUMBER	TITLE
A.100	COVER SHEET
C-1	SITE LAYOUT
C-2	EXISTING CONDITIONS
C-3	GRADING PLAN
C-4	DETAILS
L000	LANDSCAPE COVER
L100	LANDSCAPE DEMO PLAN
L101	LANDSCAPE IMPROVEMENT PLAN
L102	LANDSCAPE PLANTING SCHEDULE
A.111	ARCHITECTURAL SITE PLAN
A.112	SIGNAGE & LIGHTING DETAILS
D.200	BASEMENT DEMO
D.201	GROUND FLOOR DEMO
D.202	SECOND FLOOR DEMO
A.200	BASEMENT LAYOUT PLAN
A.201	GROUND FLOOR LAYOUT PLAN
A.202	SECOND FLOOR LAYOUT PLAN
A.203	ROOF PLAN
A.210	BASEMENT UNIT PLAN
A.211	GROUND FLOOR UNIT PLAN
A.212	SECOND FLOOR UNIT PLAN
A.301	ELEVATIONS
A.302	ELEVATIONS

PROJECT TEAM

DEVELOPER:
Zachary R. Frederick, President
Crescent Preservation & Development Co.
600 Ridge Top Road
Richmond, VA 23229
804.519.9425

ARCHITECT:
Nahum Goodenow
walterPARKS | ARCHITECTS
313 N. Adams Street
Richmond, VA 23220
804-552-1613

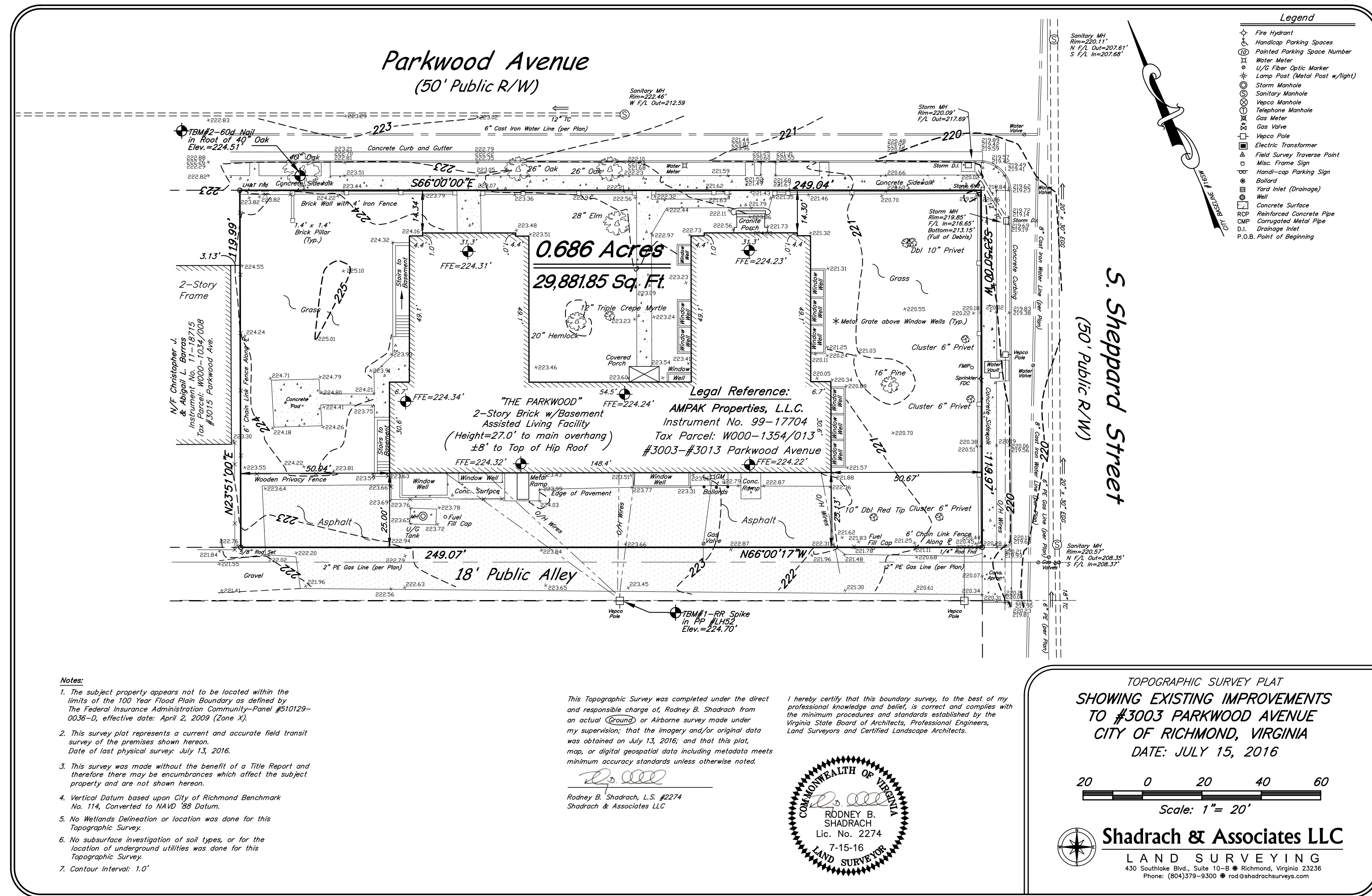
MEP ENGINEER:
Patrick O'Neil, PE
2420 New Dorset Terrace
Powhatan, VA 23139
804-921-3589

CIVIL ENGINEER:
Zack Wilkins
Townes Site Engineering
9850 Lon Road, Suite 201
Chesterfield, VA 23832
804-748-9011 ext 244

STRUCTURAL ENGINEER:
Pamela Bullivant
Tectonic Engineering
8639 Maryland Dr., Suite 102
Richmond, VA 23294
804-217-8504

LANDSCAPE ARCHITECT:
William Curran
Ironbridge Nursery L.C.
12250 Ironbridge Road
Chester, VA 23831
804-798-9135

HISTORIC CONSULTANT:
Mimi Sadler
Sadler & Whitehead Architects
726 W 33rd St, Richmond, VA 23225
804-231-5299

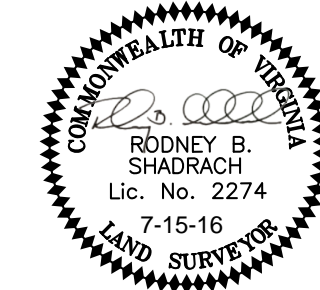


- Notes:**
- The subject property appears not to be located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Community-Plan #210129-0036-D, effective date: April 2, 2009 (Zone X).
 - This survey plat represents a current and accurate field transit survey of the premises shown herein. Date of last physical survey: July 13, 2016.
 - This survey was made without the benefit of a Title Report and therefore there may be encumbrances which affect the subject property and are not shown herein.
 - Vertical Datum based upon City of Richmond Benchmark No. 114, Converted to NAVD 88 Datum.
 - No Wetlands Delineation or location was done for this Topographic Survey.
 - No subsurface investigation of soil types, or for the location of underground utilities was done for this Topographic Survey.
 - Contour Interval: 1.0'

This Topographic Survey was completed under the direct and responsible charge of Rodney B. Shadrach from an actual (bound) or Airborne survey made under my supervision; that the imagery and/or original data was obtained on July 13, 2016; and that this plat, map, or digital geospatial data including metadata meets minimum accuracy standards unless otherwise noted.

Rodney B. Shadrach, L.S. #2274
Shadrach & Associates LLC

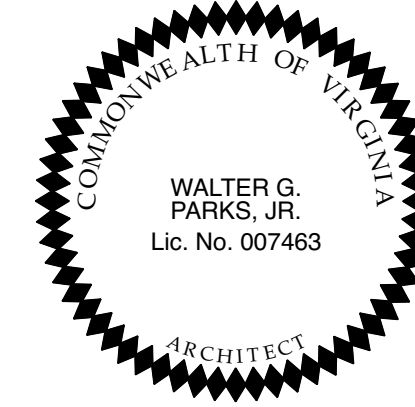
I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors and Certified Landscape Architects.



TOPOGRAPHIC SURVEY PLAT
SHOWING EXISTING IMPROVEMENTS
TO #3003 PARKWOOD AVENUE
CITY OF RICHMOND, VIRGINIA
DATE: JULY 15, 2016

Scale: 1" = 20'

Shadrach & Associates LLC
LAND SURVEYING
430 Southlake Blvd., Suite 10-B • Richmond, Virginia 23238
Phone: (804)278-8300 • rbs@shadrachsurvey.com



PARKWOOD APTS
3003 Parkwood Avenue
Richmond, VA

REVISIONS	
TAG	DATE

walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 16.06
DATE: 9/16/16

COVER SHEET
A.100

CITY OF RICHMOND – GENERAL NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET THE LATEST REQUIREMENTS OF THE CITY OF RICHMOND AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL NOTIFY MISS UTILITY (811) BEFORE BEGINNING ANY EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL NECESSARY PERMITS AND SHALL NOTIFY THE PROPER AUTHORITIES AT THE START OF CONSTRUCTION SO THAT WORK MAY BE INSPECTED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE ANY EXISTING RIGHT-OF-WAY MONUMENTS. ANY MARKERS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CURRENT SPECIFICATIONS OF THE CITY OF RICHMOND SHALL GOVERN POURING, CURING, FORMS, REINFORCEMENT, WORKMANSHIP, ETC OF ALL CONCRETE USED ON THIS PROJECT.
- EXCESS EXCAVATION IS TO BE DISPOSED OF AS DIRECTED BY THE OWNER AND/OR CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROPER CITY AGENCIES (24) TWENTY FOUR HOURS PRIOR TO BEGINNING CONSTRUCTION.
- CONCRETE FOR CURBS SHALL BE CLASS A-3 PER CURRENT SPECIFICATIONS OF THE CITY OF RICHMOND.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- ALL PARKING LOT STRIPING SHALL BE WHITE.

CITY OF RICHMOND – C.B.P.A. NOTES

- NO WETLAND IMPACTS ARE PROPOSED WITH THIS PROJECT.
- THIS PROJECT IS NOT WITHIN THE LIMITS OF THE R.M.A.
- THIS PROJECT IS LOCATED WITHIN THE COMBINED SEWER DISTRICT (CSO).

SITE SUMMARY

1. PLAN OF DEVELOPMENT FOR: APARTMENTS

2. PARCEL ID: W000-1354/013

3. ZONING: R-5

4. PROJECT SUMMARY / SITE DATA:

EXISTING USE: ASSISTED LIVING FACILITY

PROPOSED USE: APARTMENTS

EXISTING BUILDING HEIGHT: 27'

EXISTING BUILDING AREA FOOTPRINT: 8,500 SF

NUMBER OF APARTMENTS: 32

ACREAGE: 0.686 AC

WATER: CITY

SEWER: CITY

PARKING SPACES REQUIRED: 32 (1 PARKING SPACE PER UNIT)

PARKING SPACES PROVIDED: ON SITE: 27

EXISTING ON STREET: 16, TOTAL PROVIDED: 43

NOTE: PARKING SPACES SHALL BE DELINEATED BY 4" WIDE WHITE PAINTED LINES.

5. LANDSCAPING AND SITE IMPROVEMENTS SHALL BE INSTALLED AND MAINTAINED SO AS TO NOT INTERFERE WITH THE SIGHT DISTANCE NEEDS OF DRIVERS WITHIN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS.

6. ANY REQUIRED TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND INSTALLED IN ACCORDANCE WITH CITY STANDARDS.

7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE CITY OF RICHMOND ON ALL NECESSARY PERMITS FOR THE INSTALLATION OF ALL IMPROVEMENTS AND ENCROACHMENTS ONTO S. SHEPPARD STREET, PARKWOOD AVENUE OR THE 18' PUBLIC ALLEY.

8. PERMITS REQUIRED FOR THIS PROJECT INCLUDE, BUT NOT LIMITED TO: BUILDING PERMIT, MECHANICAL PERMIT, ELECTRICAL PERMIT, PLUMBING PERMIT, GAS PIPING PERMIT (IF APPLICABLE), SPRINKLER PERMIT FIRE ALARM PERMIT, BARRICADE PERMIT (IF APPLICABLE), AND DRIVEWAY PERMIT.

NOTE: EXISTING FIELD SURVEY INFORMATION IS FROM ALTA/NSPS LAND TITLE SURVEY –and– TOPOGRAPHIC SURVEY PLAT SHOWING EXISTING IMPROVEMENTS TO #3003 PARKWOOD AVENUE, CITY OF RICHMOND, VIRGINIA DATED APRIL 8, 2015 –and– JULY 15, 2016 BY SHADROCK & ASSOCIATES, LLC LAND SURVEYING, 430 SOUTHLAKE BLVD, SUITE 10-B, RICHMOND, VIRGINIA 23236.

CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES
DEVELOPMENT SERVICES
Application for WATER, SANITARY, & STORM SEWER
Tel: 804-646-8544 Fax: 804-646-3438

Applicant's Signature: *Zachery R. Frederick, P.E.* Date: 6/3/16
DPU Engineer or APS's Signature: _____ Date: _____
DPU Prog/Op Manager's Signature: _____ Date: _____

Fixture	Fixture Value @ 35 psi	No. of Fixtures (set to zero if none)	Fixture Value	COMMENTS
Bath/Whirlpool	8	29	232	
Shower Head (shower only)	4		12	
Toilet-Flush Valve	35		0	
Toilet-Tank Type	3		0	
Wash Sink (ea. set of faucets)	4		108	
Kitchen Sink-1/2" Connection	3		96	
Kitchen Sink-3/4" Connection	7		0	
Dishwasher-1/2" Connection	5		160	
Dishwasher-3/4" Connection	10		0	
Washing Machine-1/2" Conn	5		160	
Washing Machine-3/4" Conn	12		0	
Washing Machine-1" Conn	25		0	
Hose Bib-1/2" Conn	6		0	
Hose Bib-5/8" Conn	9		0	
Hose Bib-3/4" Conn	12		0	
Lawn Sprinkler (per head)	1		0	
Bedpan Washers	10		0	
Combination Sink & Tray	3		0	
Lavatory-3/8" Connection	2		0	
Lavatory-1/2" Connection	4		0	
Laundry Tray-1/2" Connection	3		0	
Laundry Tray-3/4" Connection	7		0	
Service Sink-1/2" Connection	3		0	
Service Sink-3/4" Connection	7		0	
Urinal - Pedestal Flush Valve	35		0	
Urinal-Wall Flush Valve	12		0	
Trough (2ft unit)	2		0	
Fixture Value Total			901	

Knob Size	Meter Range (GPM)	Maximum Flow (GPM)
1/2"	100-200	100
3/8"	50-100	50
5/8"	300-500	50
1 1/4"	1000-1500	300
2"	4500-7500	3500
3"	10000-15000	10000

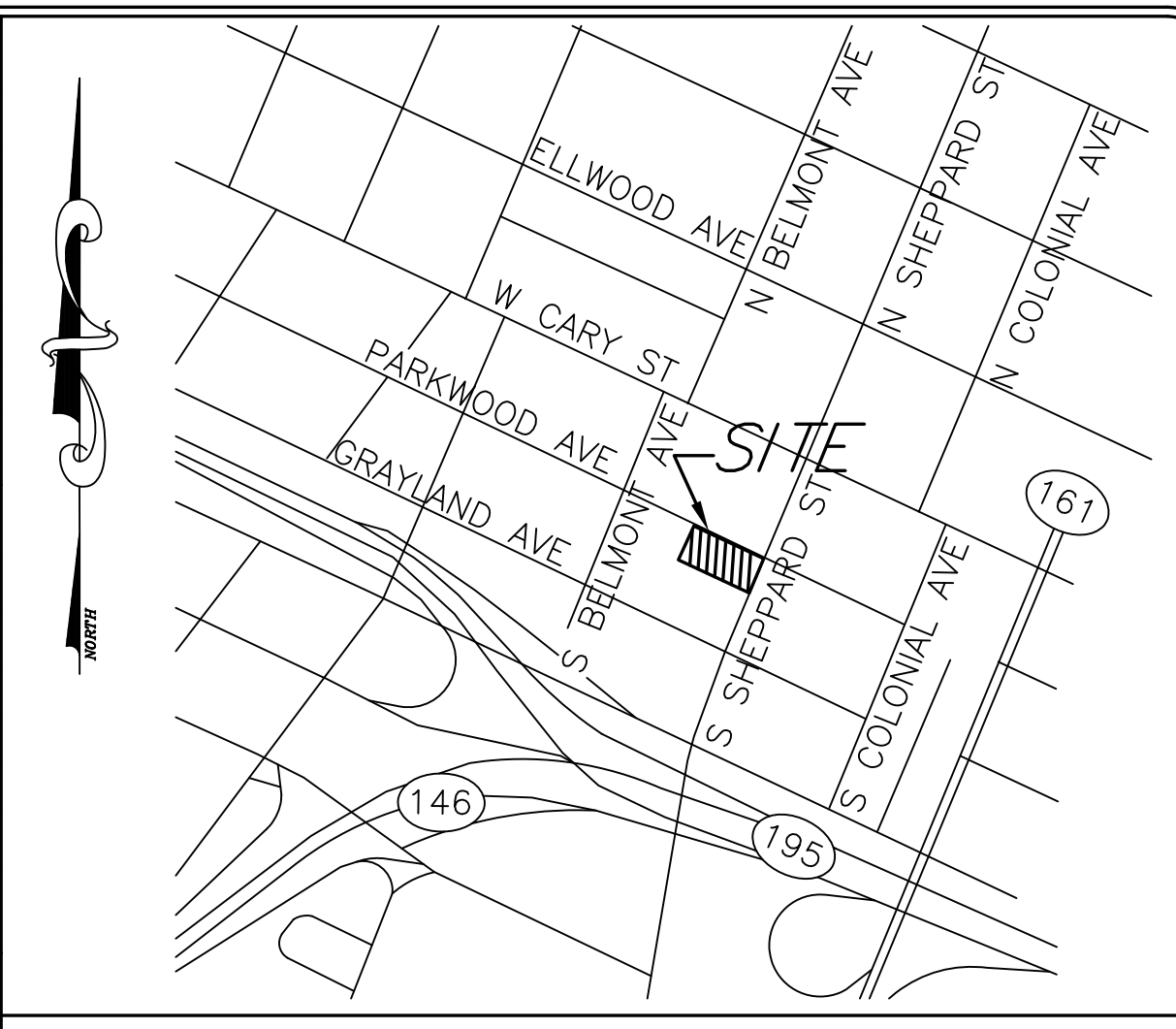
Meter Size based on Fixture Value Total → **2" (Existing Meter)**

NOTE: Other factors, such as distance/length of service or elevation, may make it necessary to utilize a larger meter than that which is indicated by this calculation.

DEVELOPER NAME: CRESCENT PRESERVATION & DEVELOPMENT CO.
600 RIDGE TOP ROAD
RICHMOND, VA 23229
CONTACT PERSON: ZACHERY R. FREDERICK
Phone: 804-519-3425
email: zfrederick@crescentpdc.com

ENGINEER NAME: TOWNES SITE ENGINEERING
9850 LORI ROAD, SUITE 201
CHESTERFIELD, VA 23832
CONTACT PERSON: ZACKARY A. WILKINS, P.E.
Phone: (804) 748-9011 ext. 244
Fax: (804) 748-2590
email: zwilkins@cctownes.com

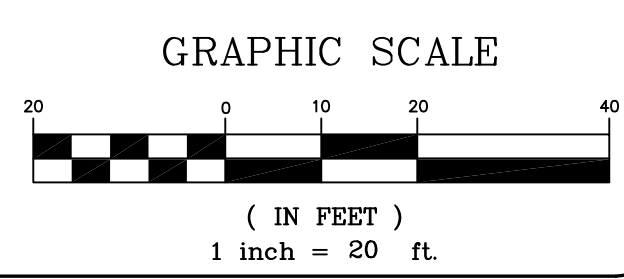
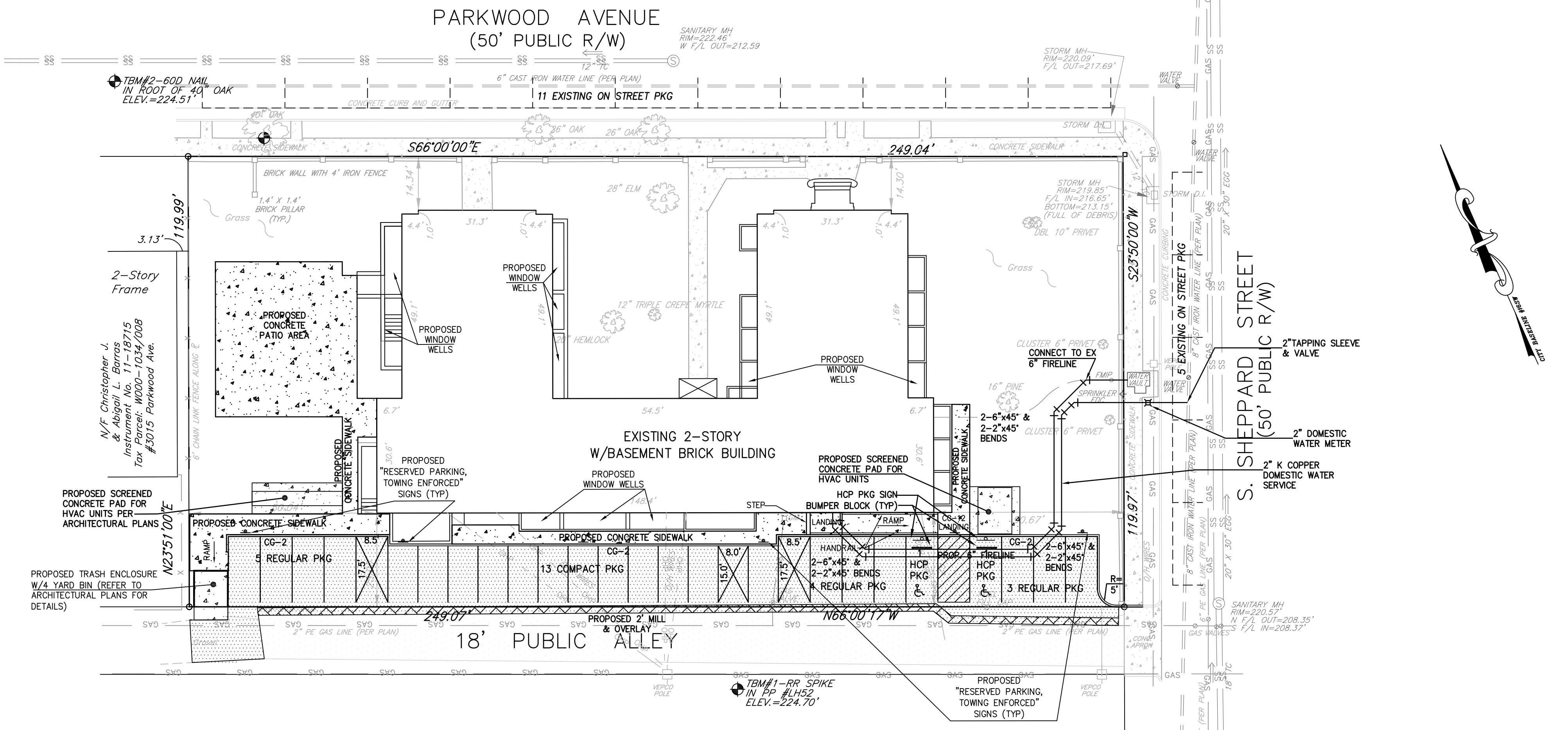
ARCHITECT NAME: walterPARKS ARCHITECTS
313 N. ADAMS STREET
RICHMOND, VA 23220
CONTACT PERSON: NAHUM GOODENOW
Phone: (804) 552-1613
email: nate@wparks.com



VICINITY MAP
SCALE: 1" = 600'

INDEX TO SHEETS

SHEET #	LATEST REVISION DATE	CONTENTS OF SHEET
C-1		SITE LAYOUT
C-2		EXISTING CONDITIONS, DEMOLITION PLAN & EROSION AND SEDIMENT CONTROL PLAN
C-3		GRADING PLAN
C-4		DETAILS



TOWNES
SITE ENGINEERING

9850 Lori Road, Suite 201
Chesterfield, Virginia 23832
Phone: (804) 748-9011 Fax: (804) 748-2590
Company Website: www.cctownes.com

ASK US HOW

PROFESSIONAL ENGINEER
ZACKARY A. WILKINS
Lic. No. 050952
09/23/2016

PARKWOOD APARTMENTS
3003 PARKWOOD AVENUE
RICHMOND, VIRGINIA

SITE LAYOUT

DATE	REVISIONS	ITEM
9/23/16	Revised per	City Comments

DATE: 08/18/2016
SCALE: 1" = 20'
PROJECT MANAGER: ZACKARY A. WILKINS, P.E.
DESIGNED BY: ZAW
CHECKED BY:
PROJ.#: 20160510
SHEET #: C-1

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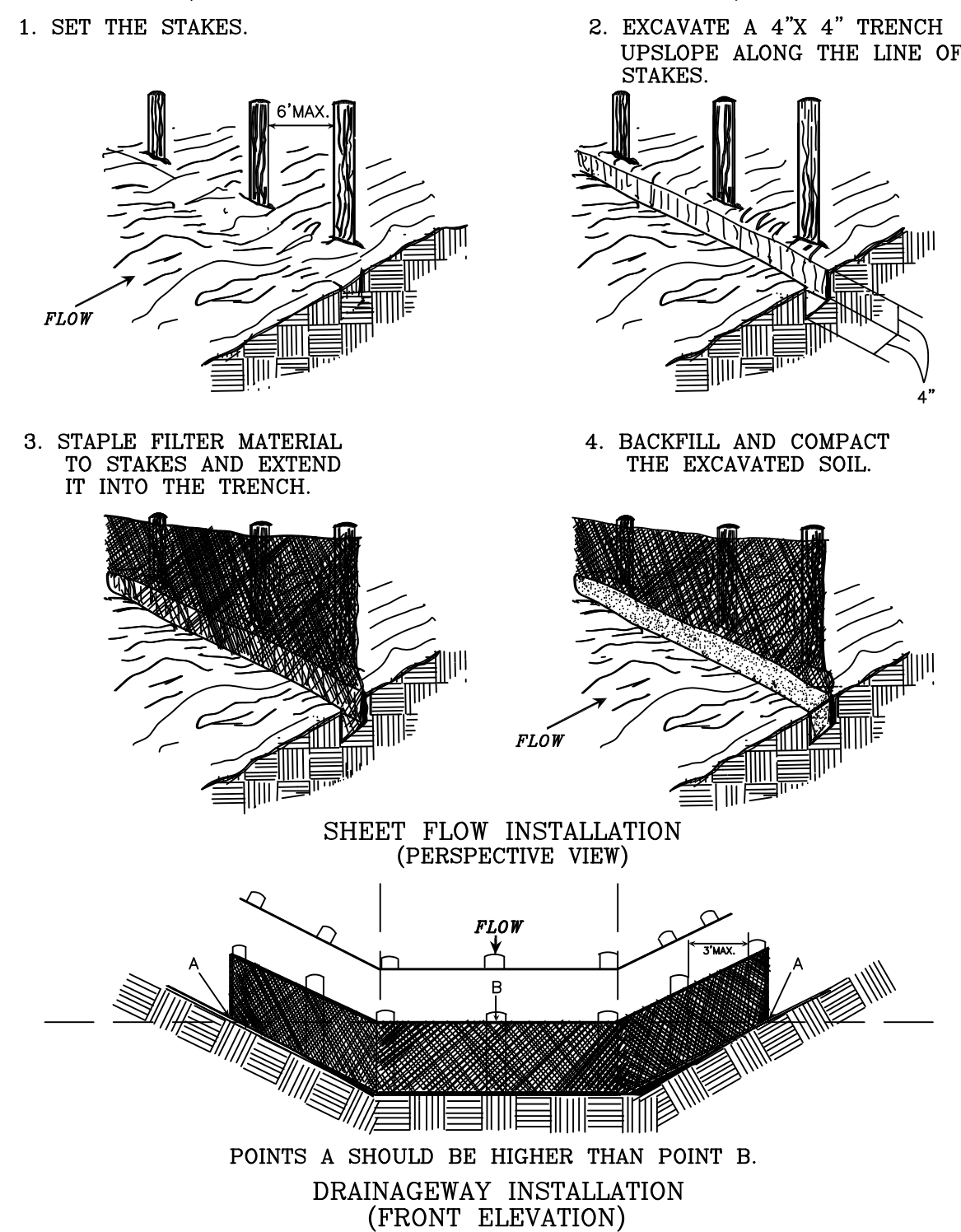
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-840.
 - ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
 - ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
 - ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
 - ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
 - ES-6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
 - ES-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
 - ES-8: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
 - ES-9: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- STATE AGENCIES SHALL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHOD USED AND THE OVERALL EFFECTIVENESS OF THE EROSION CONTROL PLAN. THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MAY BE AMENDED BY THE PLAN APPROVING AUTHORITY IF ON-SITE INSPECTION INDICATES THAT THE APPROVED CONTROL MEASURES ARE NOT EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION OR BECAUSE OF CHANGED CIRCUMSTANCES THE PLAN CAN NOT BE CARRIED OUT.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE

SEEDING SCHEDULE

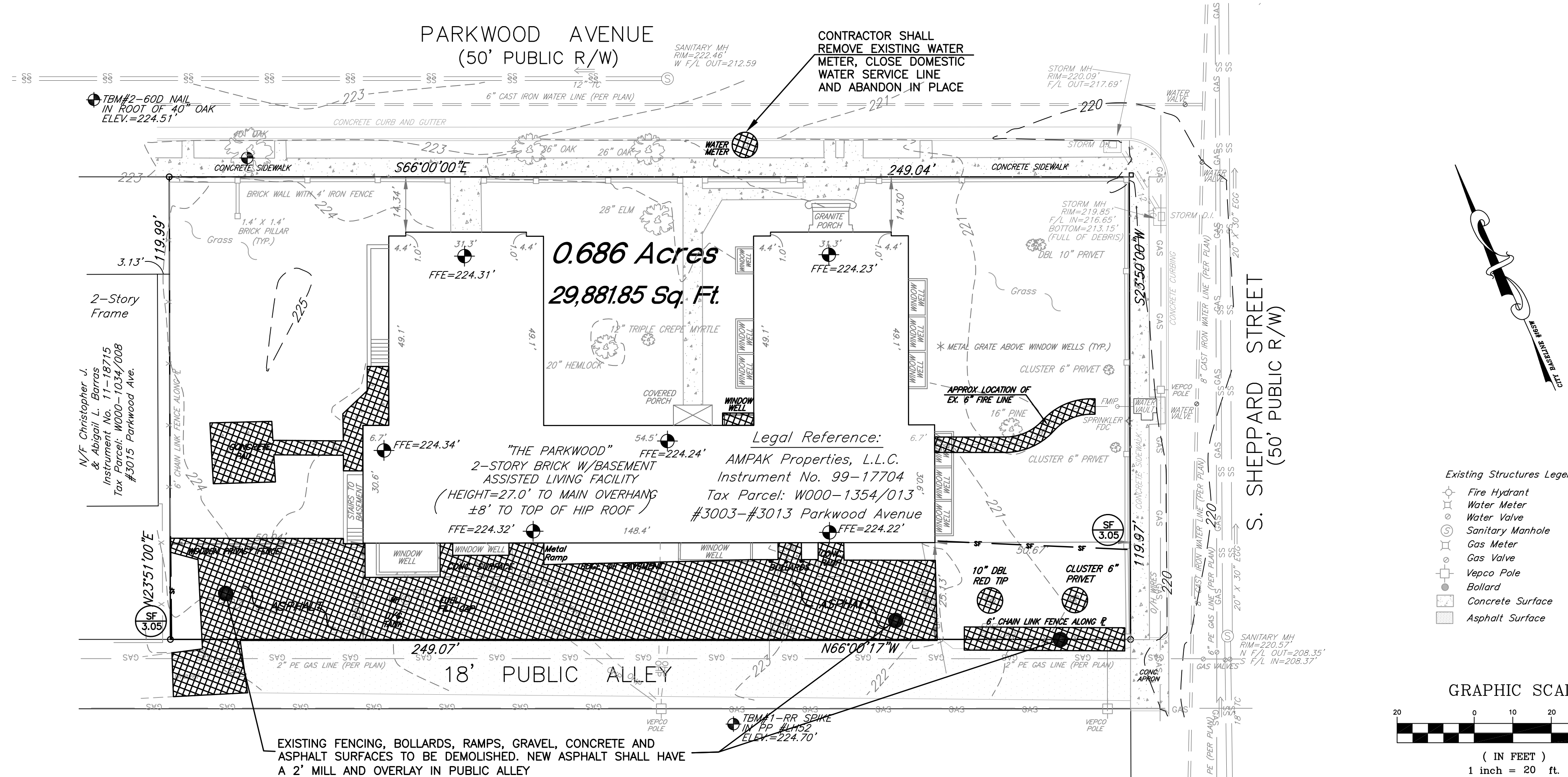
- ALL CUT AND FILL SLOPES AND CHANNELSIDE SLOPES WHICH ARE NOT TO BE PAVED SHALL BE SEEDED UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
- A. 100 LBS. PER 1,000 SQ. FT. GROUND LIMESTONE OR EQUIVALENT.
 - B. 20 LBS. OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQ. FT. VARIETIES TO BE SEEDED:
 1. SPRING SEEDING MARCH 1 - APRIL 30; SPRING OATS 2.5 LBS. PER 1,000 SQ. FT.
 2. SUMMER SEEDING MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ. PER 1,000 SQ. FT. MIXED WITH 1 BUSHEL SAWDUST FOR UNIFORM SEEDING.
 3. AUTUMN SEEDING AUGUST 1 - NOVEMBER 15; TALL FESCUE (KY 31) AT 1.5 LBS. PER 1,000 SQ. FT.

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA DSWC PLATE 3.05-2 Sherwood and Wyatt

SILT FENCE LENGTH = 75'



Townes
SITE ENGINEERING

9850 Lori Road, Suite 201
Chesterfield, Virginia 23832
Phone: (804) 748-9011 Fax: (804) 748-2590
Company Website: www.townes.com

ASK US HOW

ZACKARY A. WILKINS
Lic. No. 050952
09/23/2016
PROFESSIONAL ENGINEER

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**PARKWOOD APARTMENTS
3003 PARKWOOD AVENUE
RICHMOND, VIRGINIA**

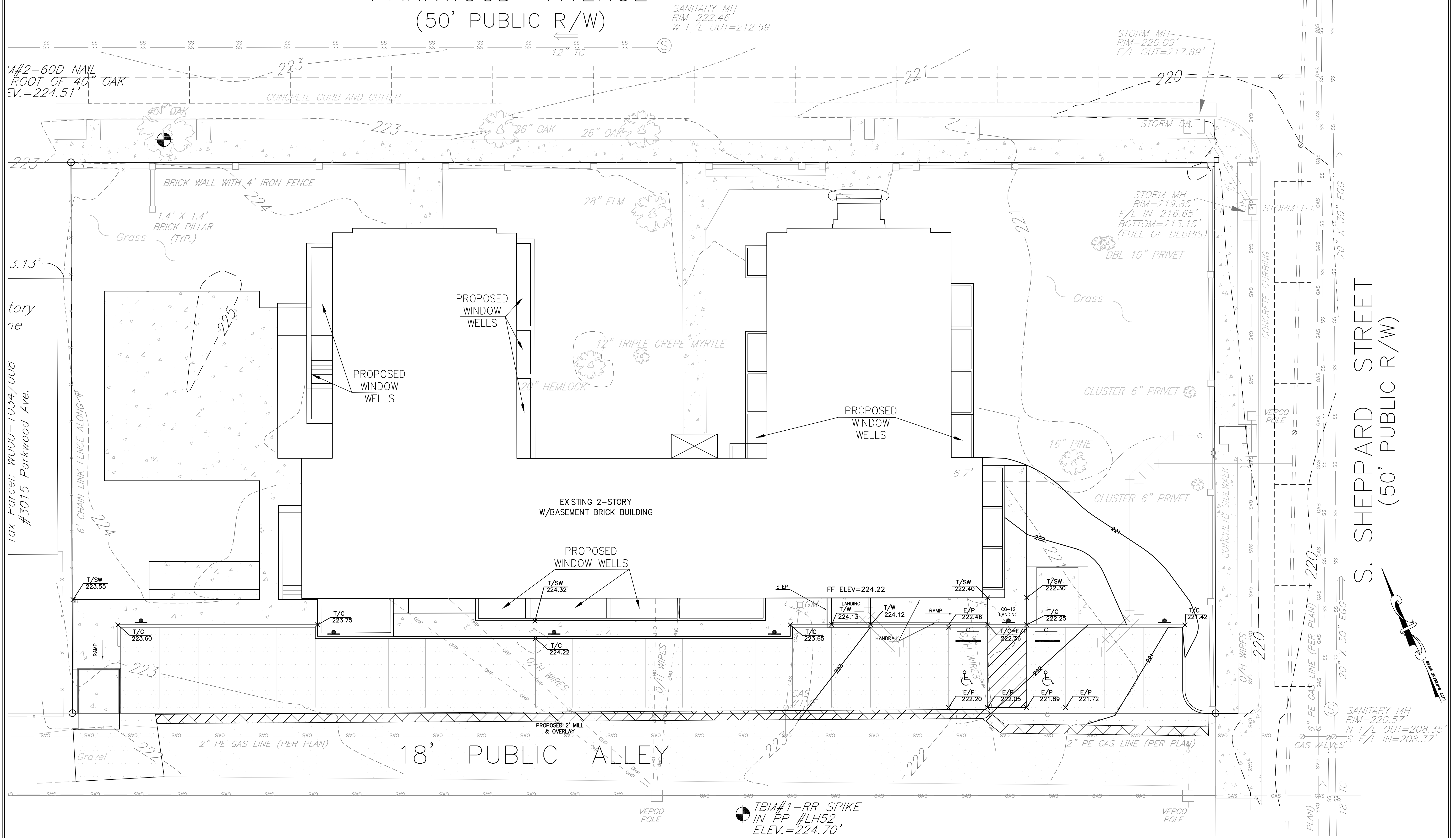
**EXISTING CONDITIONS, DEMOLITION PLAN
& EROSION AND SEDIMENT CONTROL PLAN**

DATE	REVISIONS	ITEM
9/23/16	Revised per	City Comments

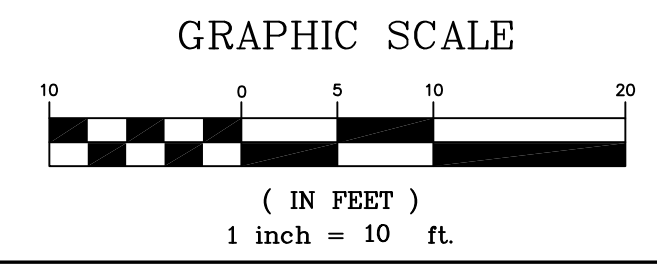
DATE: 08/18/2016
SCALE: 1" = 20'
PROJECT MANAGER: ZACKARY A. WILKINS, P.E.
DESIGNED BY: ZAW
CHECKED BY:
PROJ.#: 20160510
SHEET #: C-2

PARKWOOD AVENUE
(50' PUBLIC R/W)

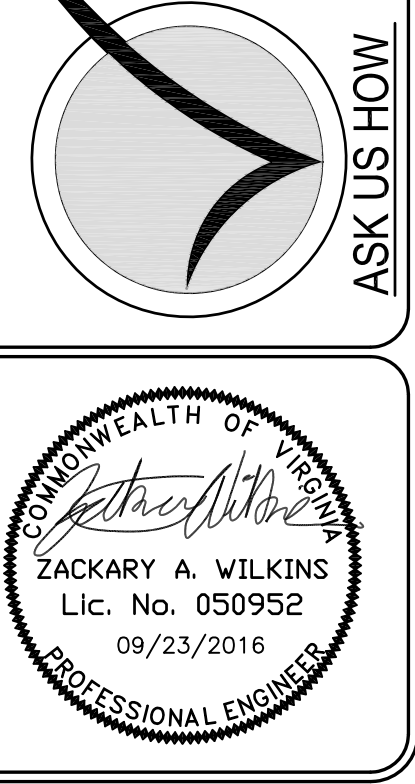
- NOTES:
 1. CONTRACTOR SHALL ENSURE ALL SIDEWALKS ARE GRADED TO CREATE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
 2. ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND MAXIMUM LONGITUDINAL SLOPE OF 5%.
 3. ANY ACCESSIBLE ROUTE WITH LONGITUDINAL SLOPE EXCEEDING 5% SHALL HAVE HANDRAILS INSTALLED ON BOTH SIDES PER ADA REQUIREMENTS.
 4. ALL HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM 2% SLOPE IN ANY DIRECTION.
 5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES BOTH HORIZONTALLY AND VERTICALLY TO CHECK FOR ANY POTENTIAL CONFLICTS. ENGINEER AND OWNER SHALL BE NOTIFIED OF ANY CONFLICTS PRIOR TO WORK BEING PERFORMED.



FF ELEV=FINISHED FLOOR ELEVATION
 T/W=TOP OF WALL ELEVATION
 T/C=TOP OF CURB ELEVATION
 E/P=EDGE OF PAVEMENT ELEVATION
 T/SW=TOP OF SIDEWALK ELEVATION



Townes
 SITE ENGINEERING
 9850 Lori Road, Suite 201
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PARKWOOD APARTMENTS
 3003 PARKWOOD AVENUE
 RICHMOND, VIRGINIA

DATE	REVISIONS
9/23/16	Revised per City Comments
08/18/2016	

SCALE
 1" = 10'

PROJECT MANAGER
 ZACKARY A. WILKINS, P.E.

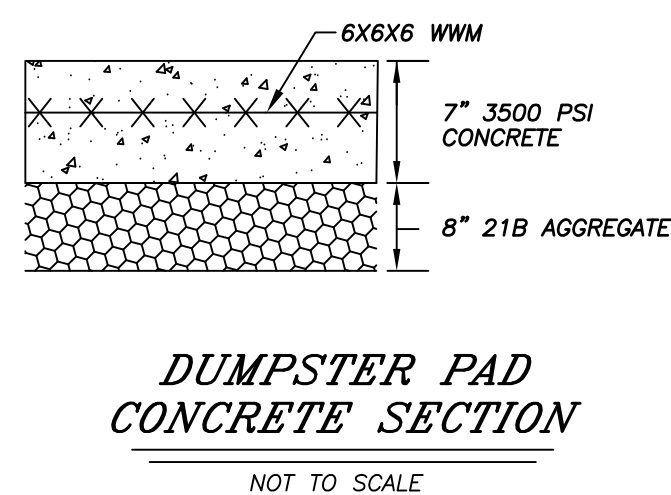
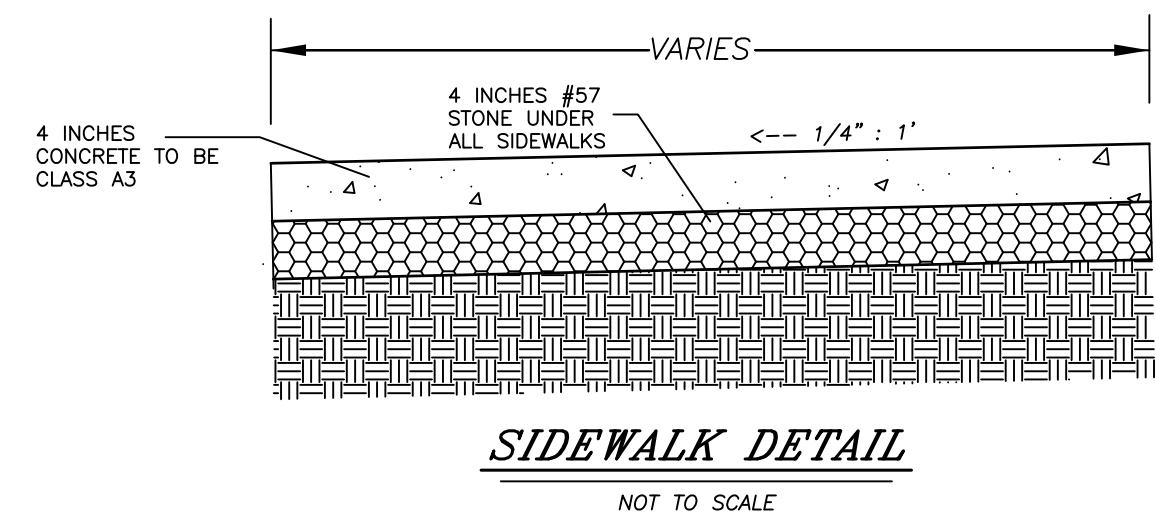
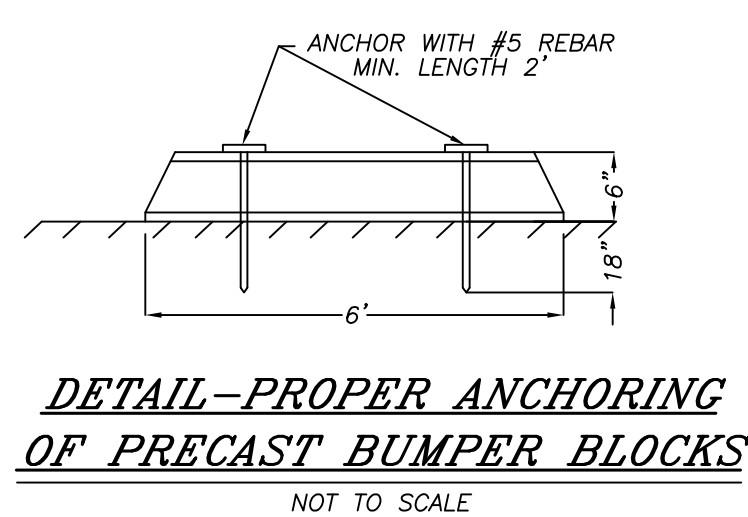
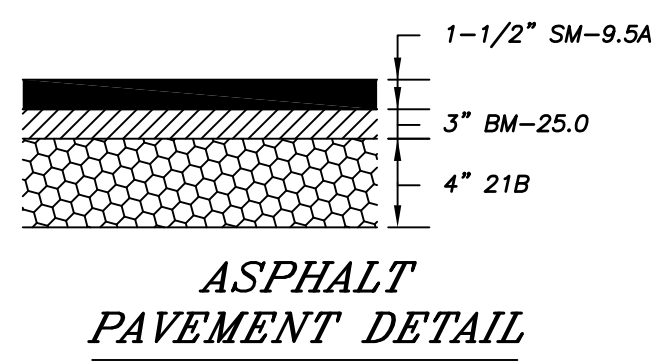
DESIGNED BY
 ZAW

CHECKED BY

PROJ.#
 20160510

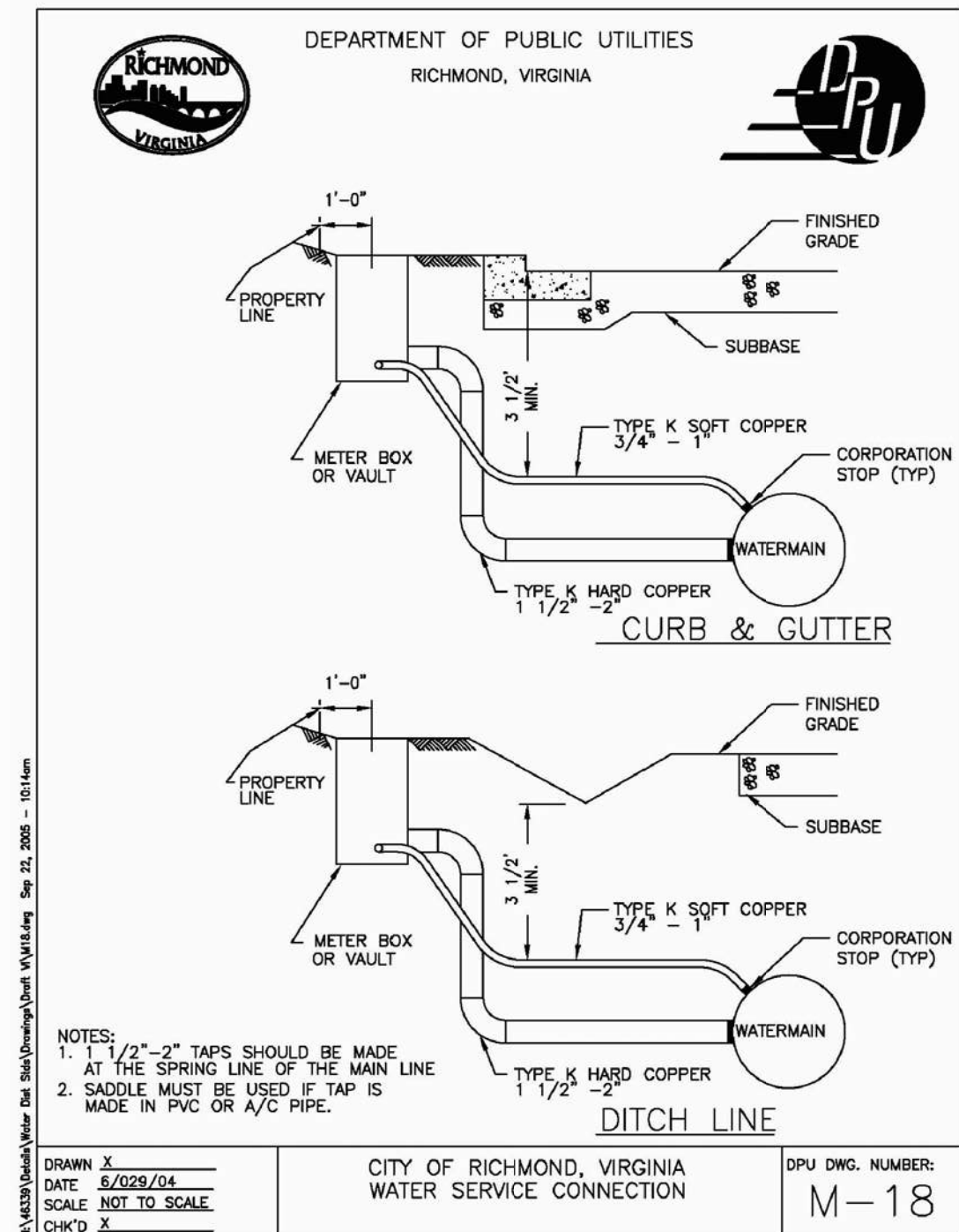
SHEET #
 C - 3

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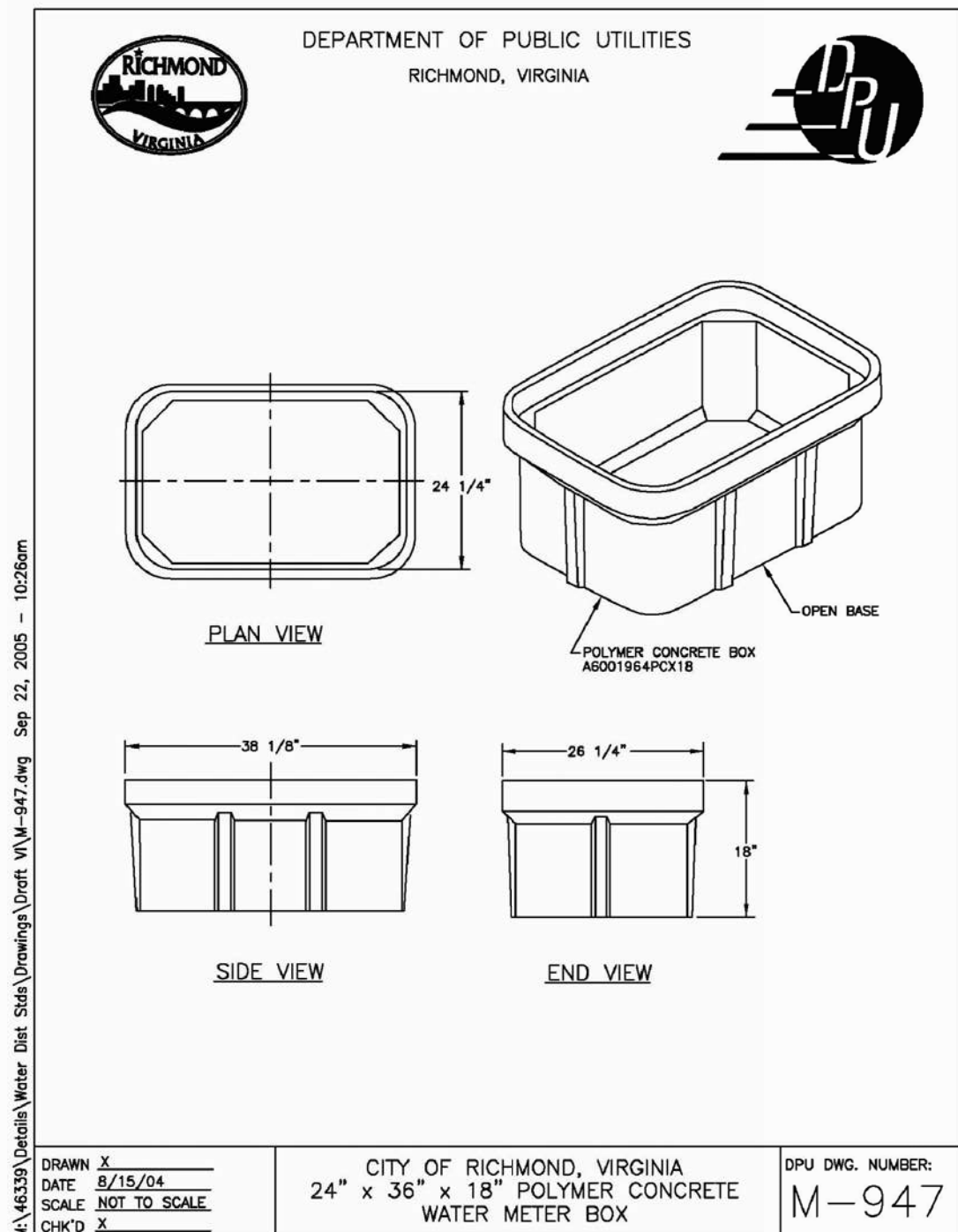


HANDICAPPED SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS AS RESERVED FOR PHYSICALLY HANDICAPPED PERSONS. PROVIDE (1) 12" X 18" SIGN AT EACH HANDICAPPED PARKING SPACE INDICATED ON THE SITE PLAN. SIGN WILL BE ALUMINUM (PAINTED BLUE) WITH WHITE LETTERS AND INTERNATIONAL WHEELCHAIR SYMBOL. THE LOWER EDGE OF SIGNS SHALL BE AT LEAST FIVE (5) FEET ABOVE GRADE, BUT NO HIGHER THAN SEVEN (7) FEET ABOVE GRADE.

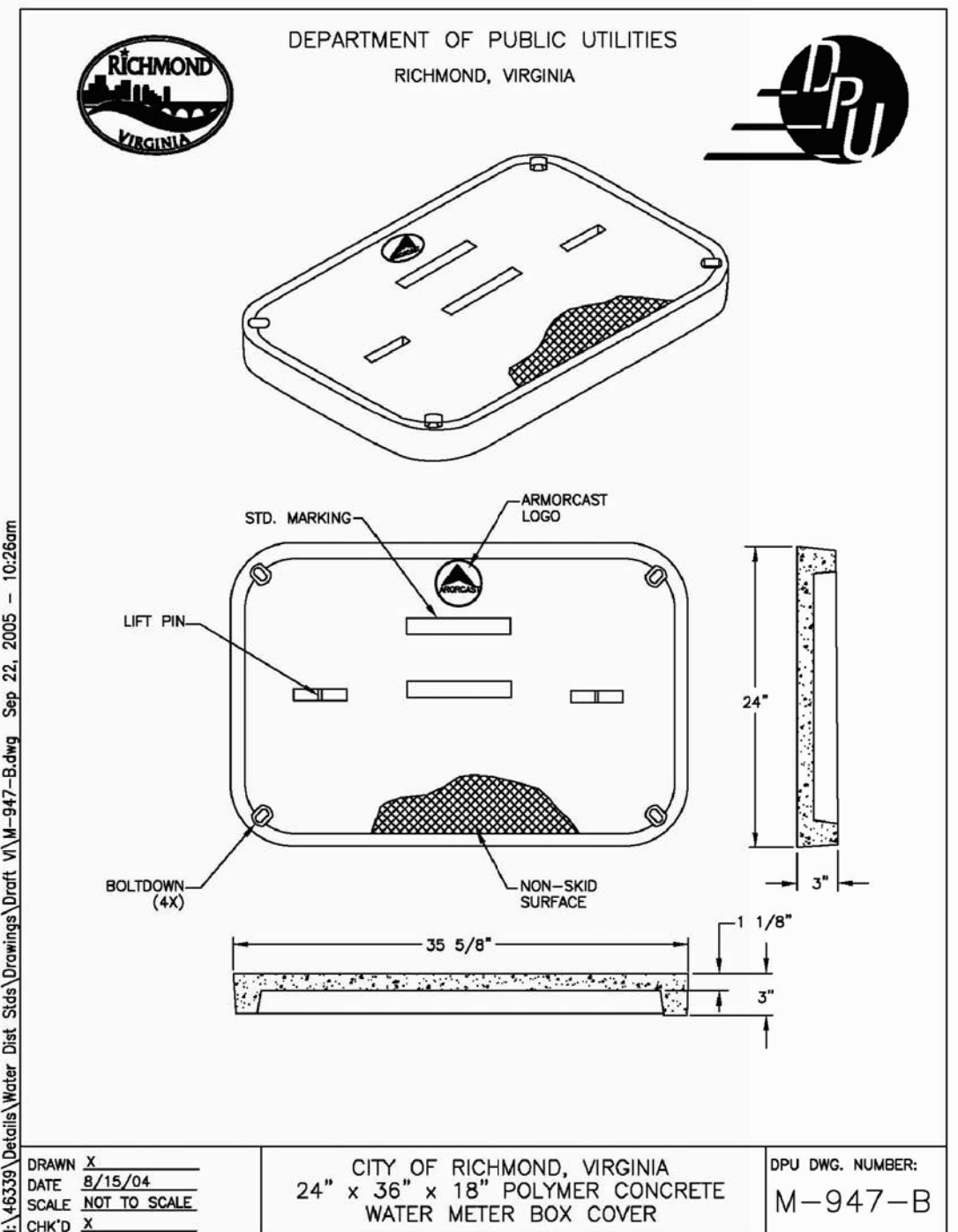
HANDICAPPED PARKING SIGN
NOT TO SCALE



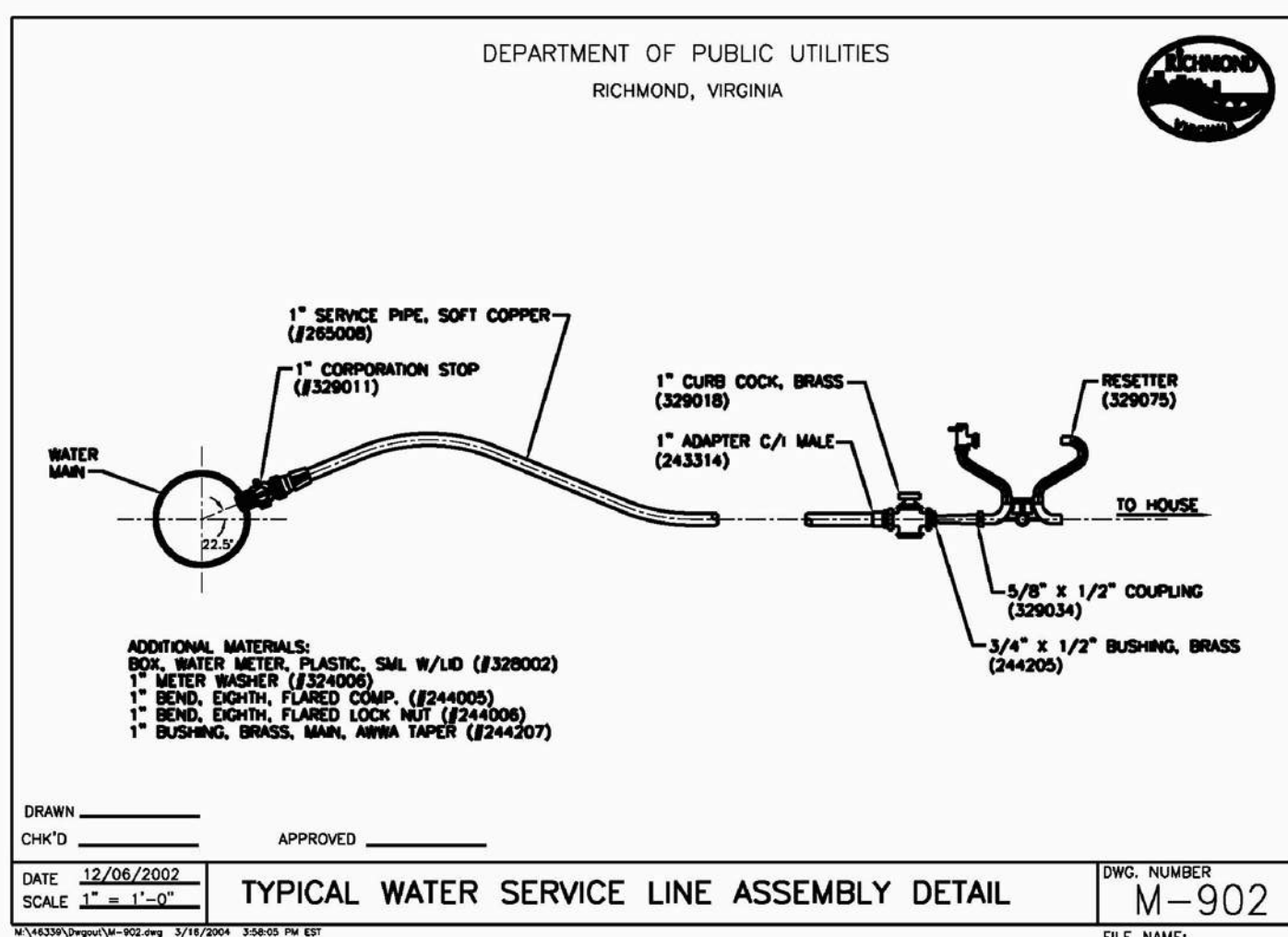
CITY OF RICHMOND, VIRGINIA
WATER SERVICE CONNECTION
DPU DWG. NUMBER: M-18



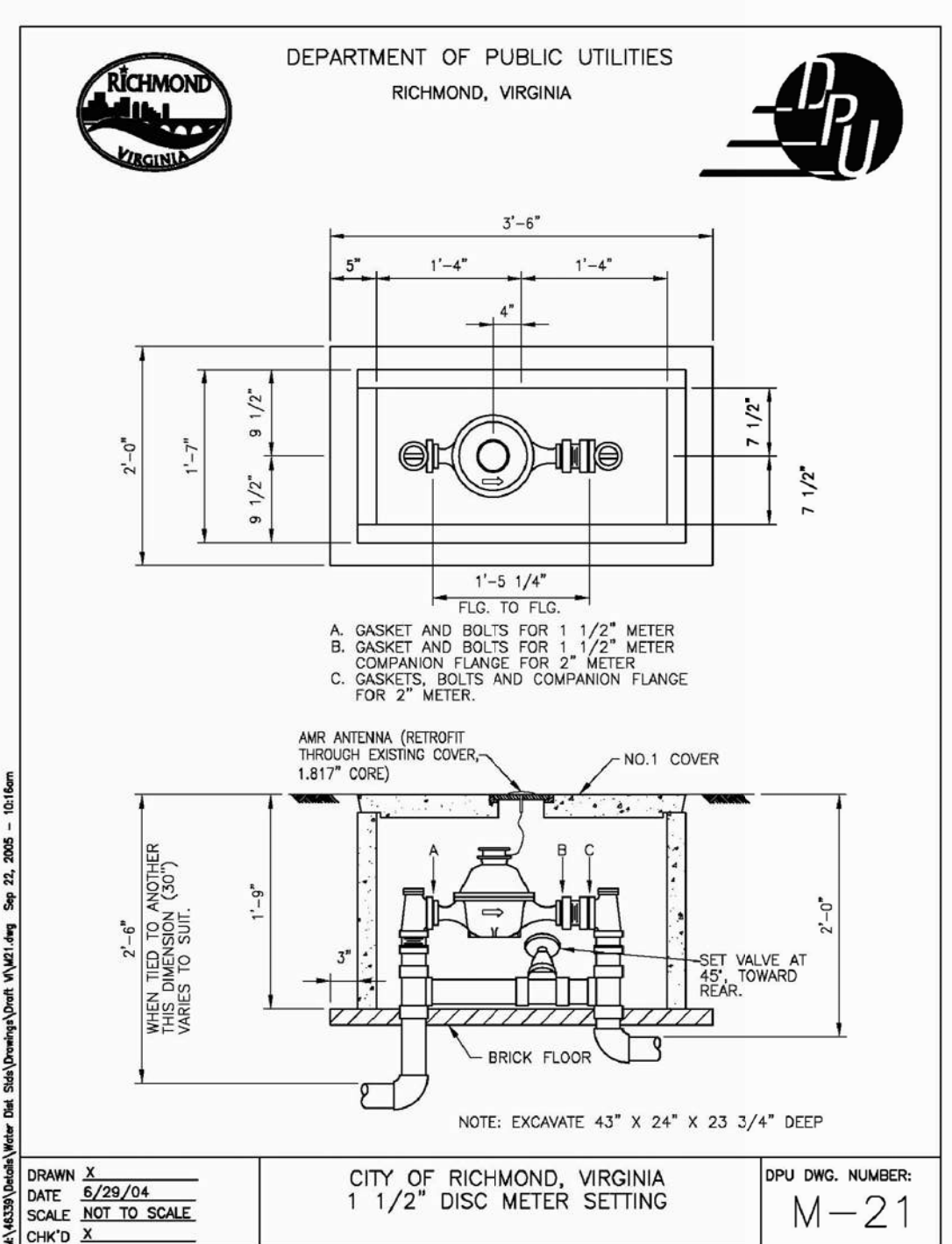
CITY OF RICHMOND, VIRGINIA
24" x 36" x 18" POLYMER CONCRETE WATER METER BOX
DPU DWG. NUMBER: M-947



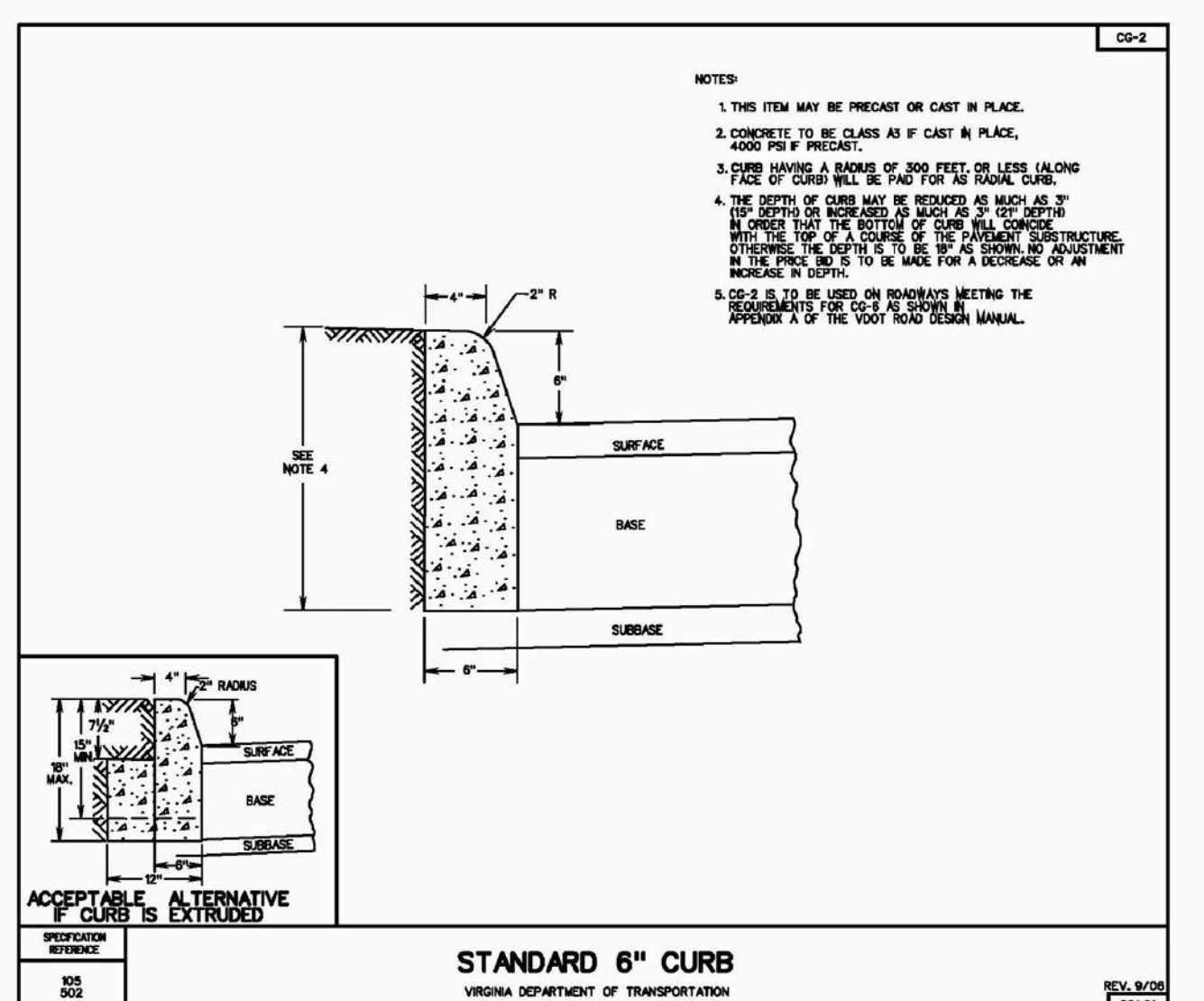
CITY OF RICHMOND, VIRGINIA
24" x 36" x 18" POLYMER CONCRETE WATER METER BOX COVER
DPU DWG. NUMBER: M-947-B



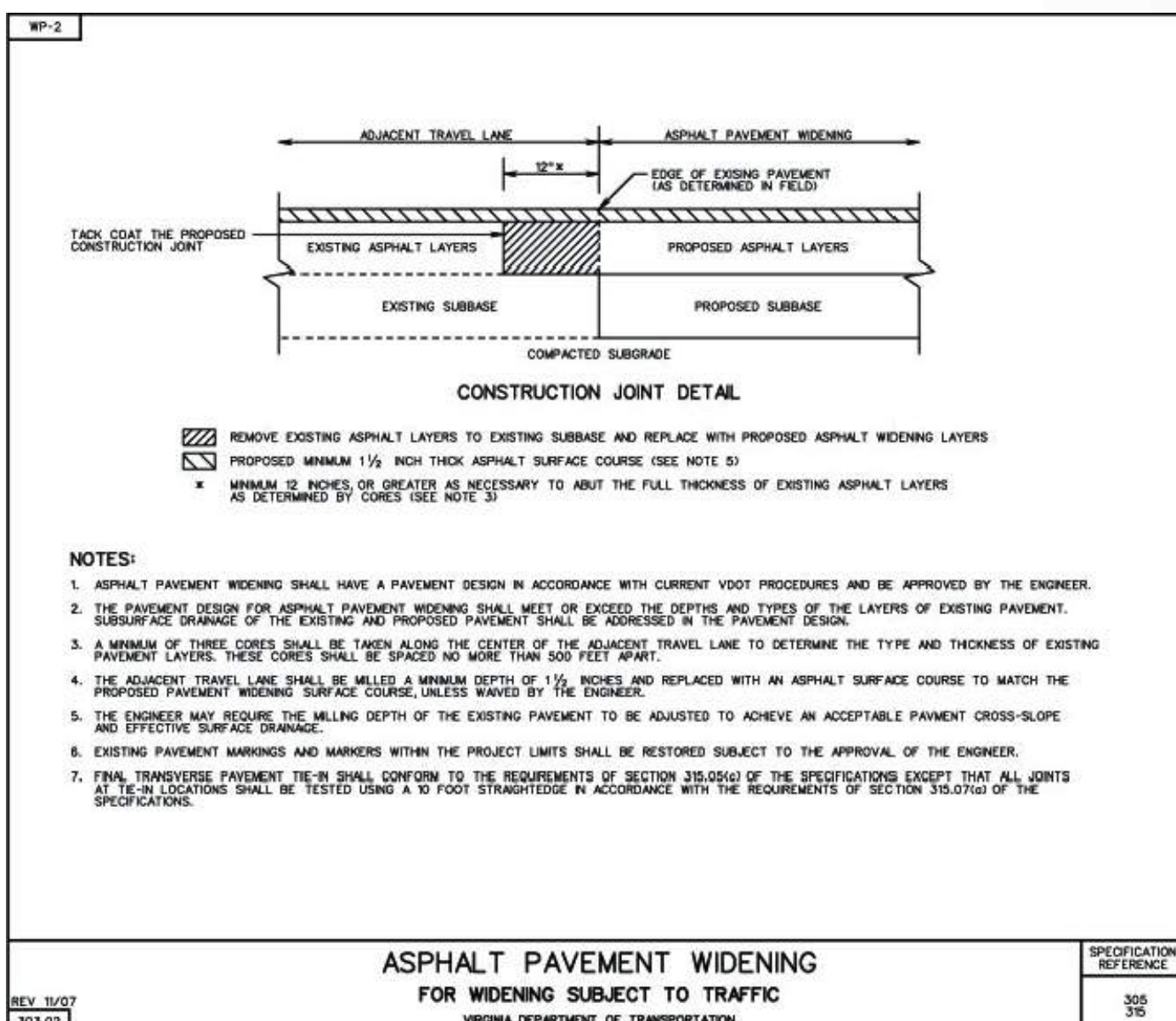
CITY OF RICHMOND, VIRGINIA
TYPICAL WATER SERVICE LINE ASSEMBLY DETAIL
DPU DWG. NUMBER: M-902



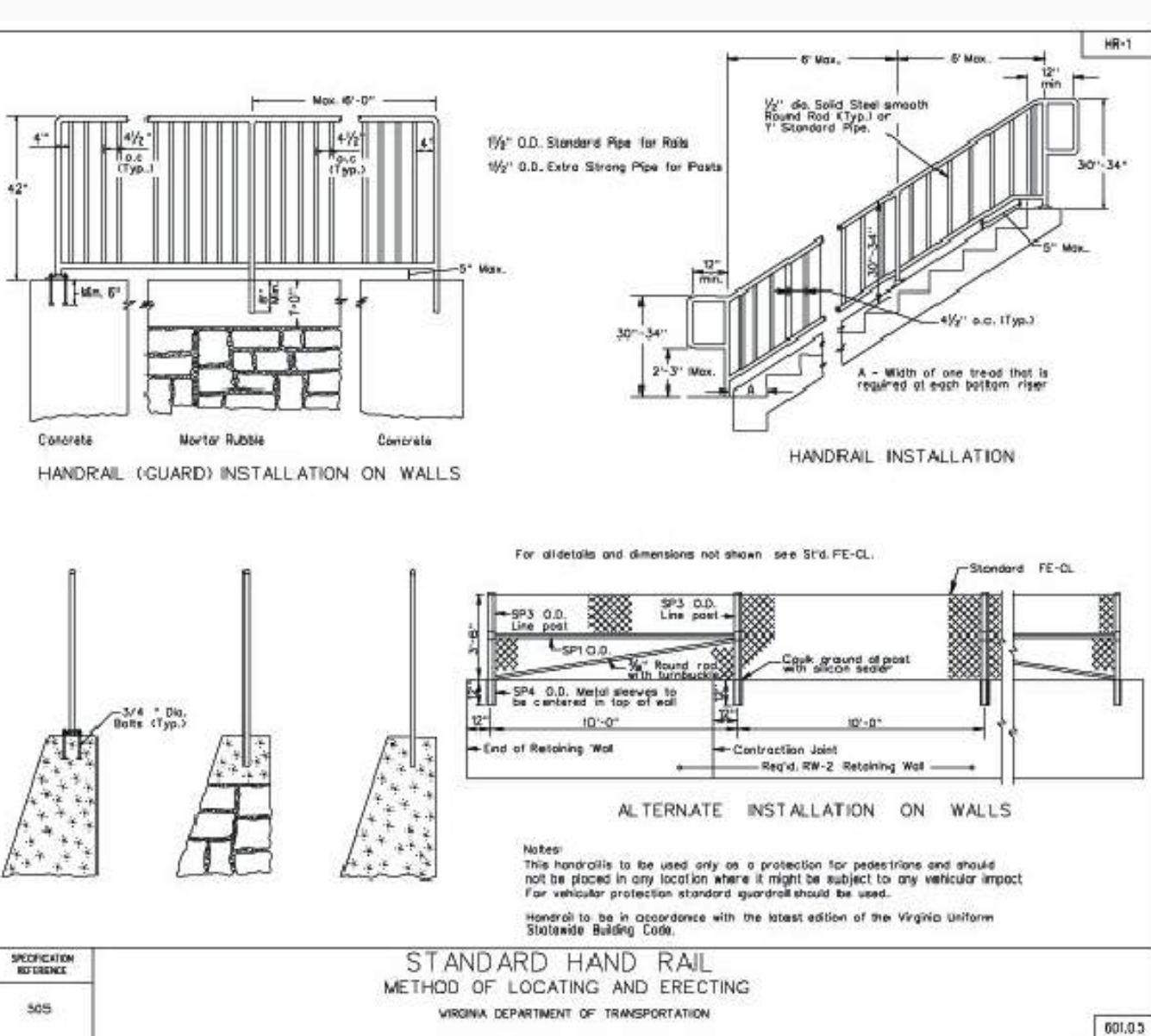
CITY OF RICHMOND, VIRGINIA
1 1/2" DISC METER SETTING
DPU DWG. NUMBER: M-21



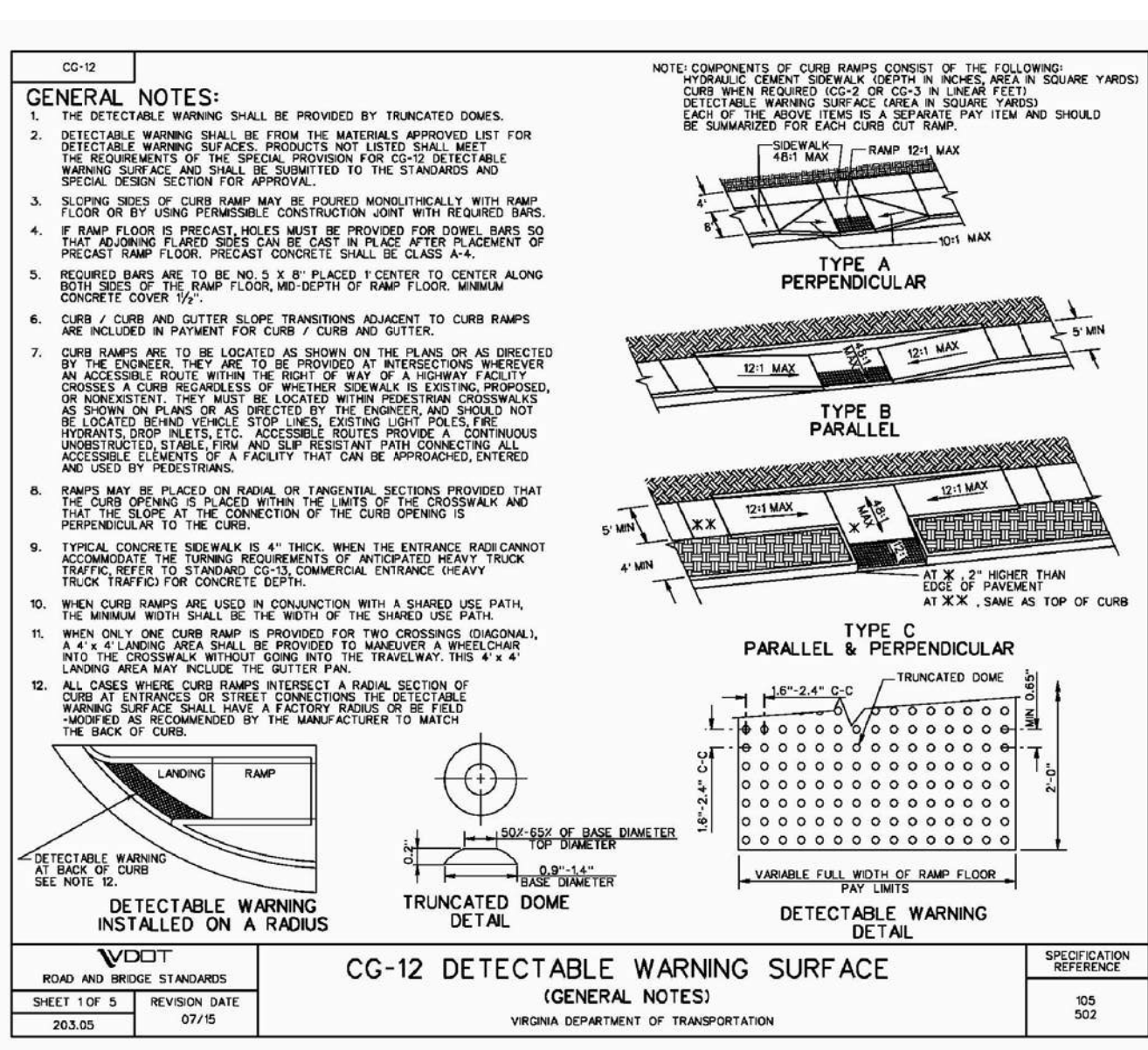
STANDARD 6" CURB
VIRGINIA DEPARTMENT OF TRANSPORTATION



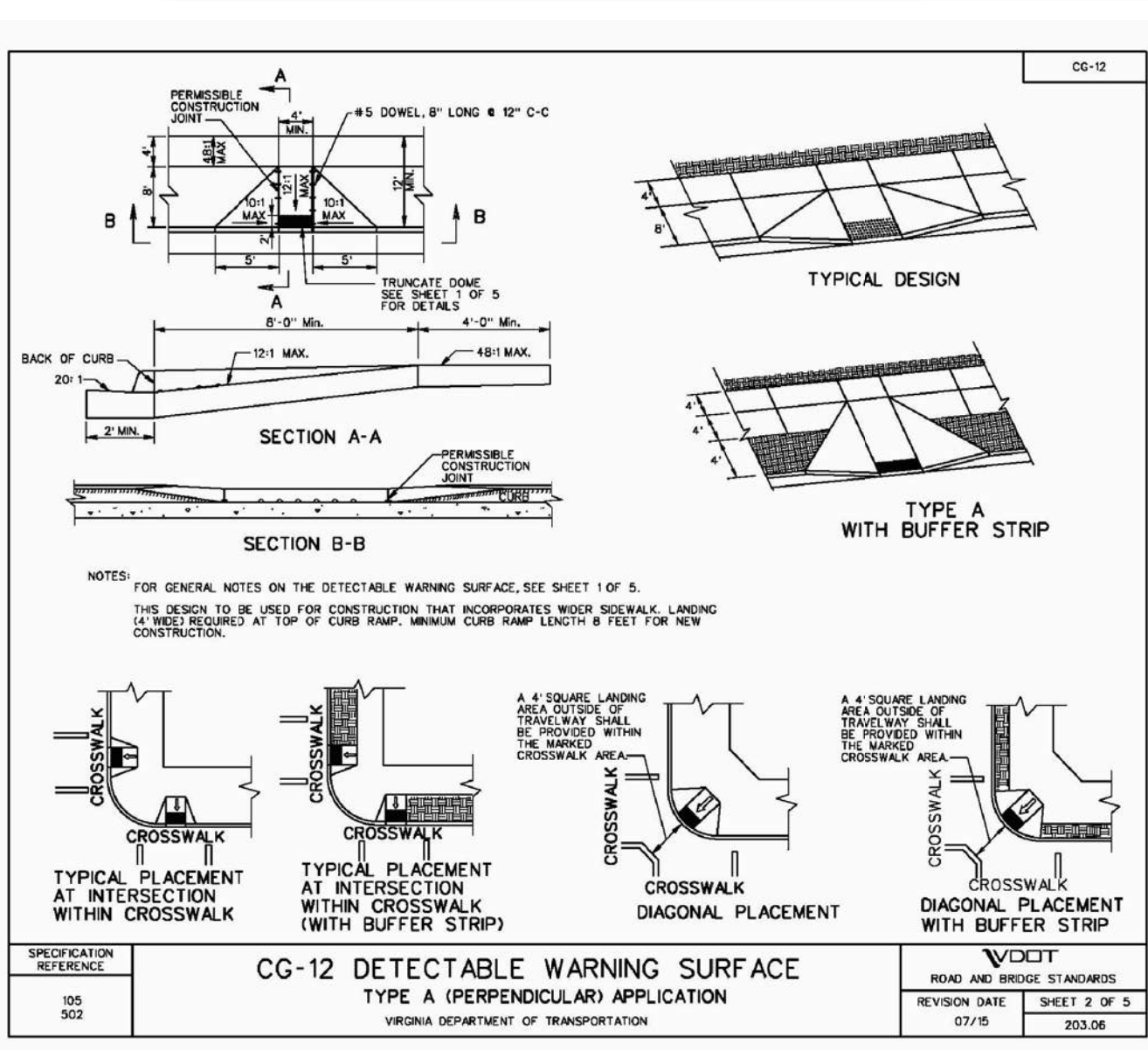
ASPHALT PAVEMENT WIDENING FOR WIDENING SUBJECT TO TRAFFIC
VIRGINIA DEPARTMENT OF TRANSPORTATION



STANDARD HAND RAIL METHOD OF LOCATING AND ERECTING
VIRGINIA DEPARTMENT OF TRANSPORTATION



CG-12 DETECTABLE WARNING SURFACE (GENERAL NOTES)
VIRGINIA DEPARTMENT OF TRANSPORTATION



CG-12 DETECTABLE WARNING SURFACE TYPE A PERPENDICULAR APPLICATION
VIRGINIA DEPARTMENT OF TRANSPORTATION

TOWNES
SITE ENGINEERING

9850 Lori Road, Suite 201
Chesterfield, Virginia 23832
Phone: (804) 748-9011 Fax: (804) 748-2590
Company Website: www.townes.com

ASK US HOW

PROFESSIONAL ENGINEER
ZACKARY A. WILKINS
Lic. No. 050952
09/23/2016

PARKWOOD APARTMENTS
3003 PARKWOOD AVENUE
RICHMOND, VIRGINIA

DETAILS

REVISIONS

DATE	ITEM
9/23/16	Revised per City Comments

DATE: 08/18/2016
SCALE: NOT TO SCALE
PROJECT MANAGER: ZACKARY A. WILKINS, P.E.
DESIGNED BY: ZAW
CHECKED BY:
PROJ.#: 20160510
SHEET #: C-4

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The Parkwood

Landscape and Hardscape Plans

Richmond, Virginia

Project Team:

OWNER Crescent Preservation & Development Co.
600 Ridge Top Road
Richmond, Va 23229
804.519.3425

LANDSCAPE ARCHITECT Cite Design
310 N. Adams St.
Richmond, VA 23220
804.340.2848
www.cite-design.com

CIVIL ENGINEER Townes Site Engineering
9850 Lori Road, Suite 201
Chesterfield, Va 23832
804.748.9011

ARCHITECT walterPARKS Architects
313 N. Adams St.
Richmond, VA 23220
804.552.1613



Location Map: NTS



General Notes:

- The utilities shown are for the contractor's convenience only. There may be other utilities not shown on these plans. The landscape architect assumes no responsibility for the locations shown and it shall be the contractor's responsibility to verify the locations of all utilities within the limits of work. Contractor shall contact "Miss Utility" and have all underground utilities marked prior to any land disturbance operation.
- Trees and light fixture locations will be field adjusted to avoid conflicts with utility and drainage structures as constructed.

SHEET INDEX

L000	Cover
L100	Demolition and General Notes Plan
L101	Landscape Improvement Plan
L102	Plant Schedule & Landscape Notes
L200	Parkwood Site Elements Hardscape Plan
L201	Patio Scoring Plan
L202	Patio Spot Grading & Layout Plan
L300	Details and Specifications
L301	Details and Specifications
L302	Details and Specifications
L303	Details and Specifications
L304	Details and Specifications

REVISIONS

Revision #	Revision Date	Notes



citedesign

DATE:
09.16.16

REVISION DESCRIPTION

DATE:

Project: The Parkwood
Location: 3024 Parkwood Ave.
Richmond, Virginia

DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
310 N. ADAMS STREET, RICHMOND, VA 23220
P.804.340.2848

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

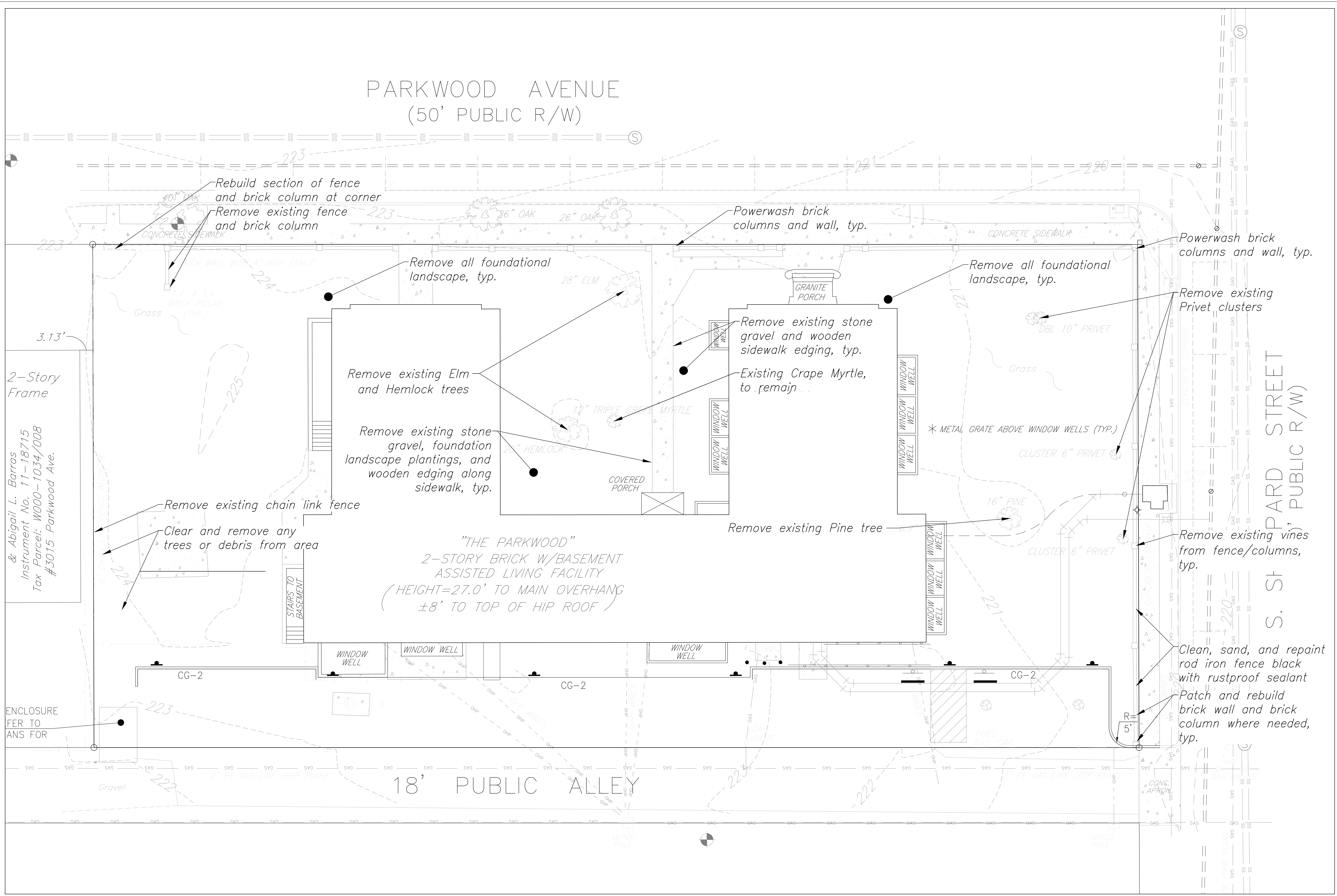
Scale

Sheet #
L000



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PARKWOOD AVENUE (50' PUBLIC R/W)



2-Story Frame

& Abigail L. Barras
Instrument No. 11-18715
Tax Parcel: W000-1034/008
#3015 Parkwood Ave.

"THE PARKWOOD"
2-STORY BRICK W/BASEMENT
ASSISTED LIVING FACILITY
(HEIGHT=27.0' TO MAIN OVERHANG
±8' TO TOP OF HIP ROOF)

S. ST. PARD STREET
(PUBLIC R/W)

DEMOLITION AND GENERAL NOTES PLAN

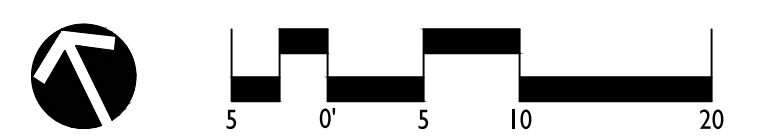
DATE:	09.16.16
REVISION DESCRIPTION	
DATE:	
REVISION DESCRIPTION	
DATE:	
REVISION DESCRIPTION	

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310 N. ADAMS STREET, RICHMOND, VA 23220
P.804.340.2848

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

Project: The Parkwood
Location: 3024 Parkwood Ave.
Richmond, Virginia

Scale
1" = 10'
Sheet #
L100

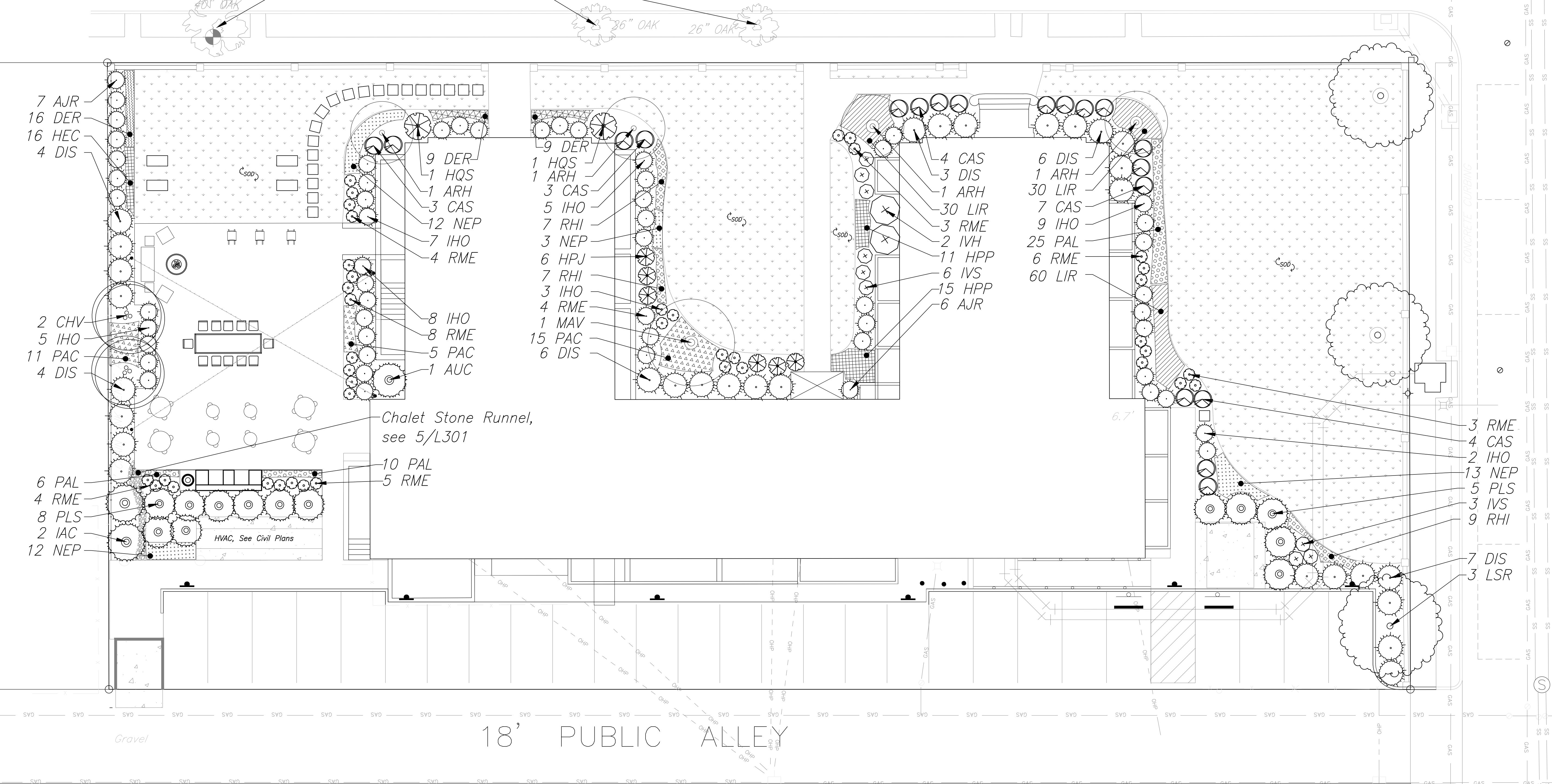


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PARKWOOD AVENUE
(50' PUBLIC R/W)

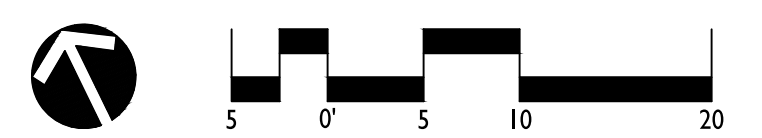
Existing Parkwood Ave.
street trees, to remain



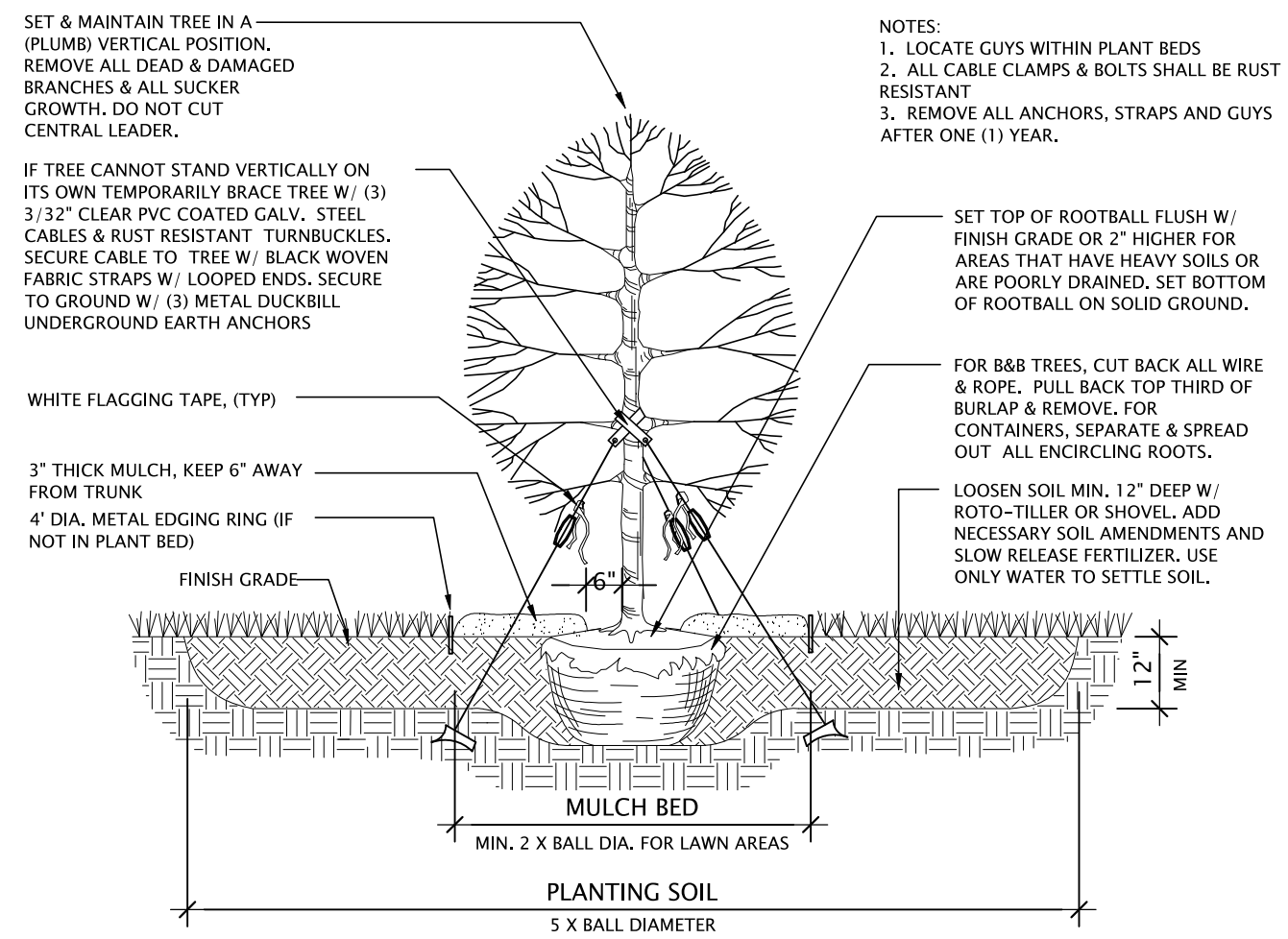
S. SHEPPARD STREET
(50' PUBLIC R/W)

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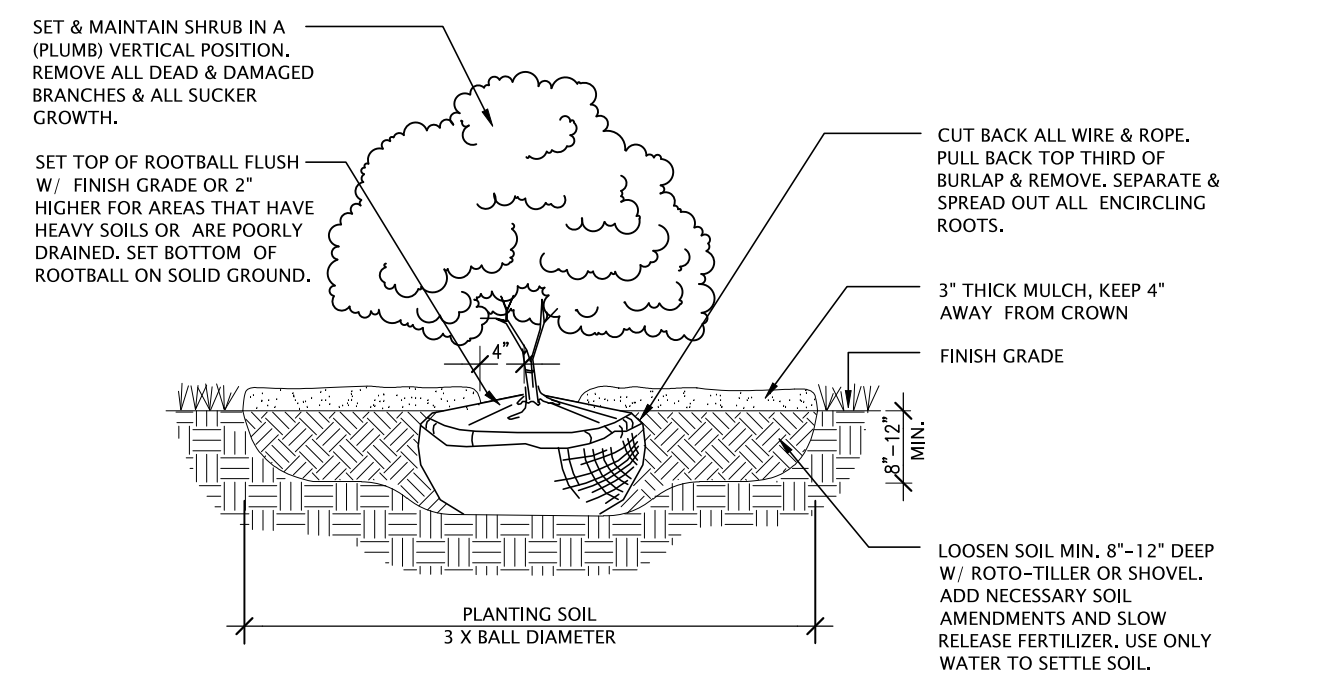
Project: The Parkwood	LANDSCAPE IMPROVEMENT PLAN
Location: 3024 Parkwood Ave. Richmond, Virginia	REVISION DESCRIPTION
URBAN DESIGN TOWN PLANNING LANDSCAPE ARCHITECTURE	DATE: 09.16.16
Scale 1" = 10'	DATE: 09.16.16
Sheet # L101	DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE 310 N. ADAMS STREET, RICHMOND, VA 23220 P.804.340.2848



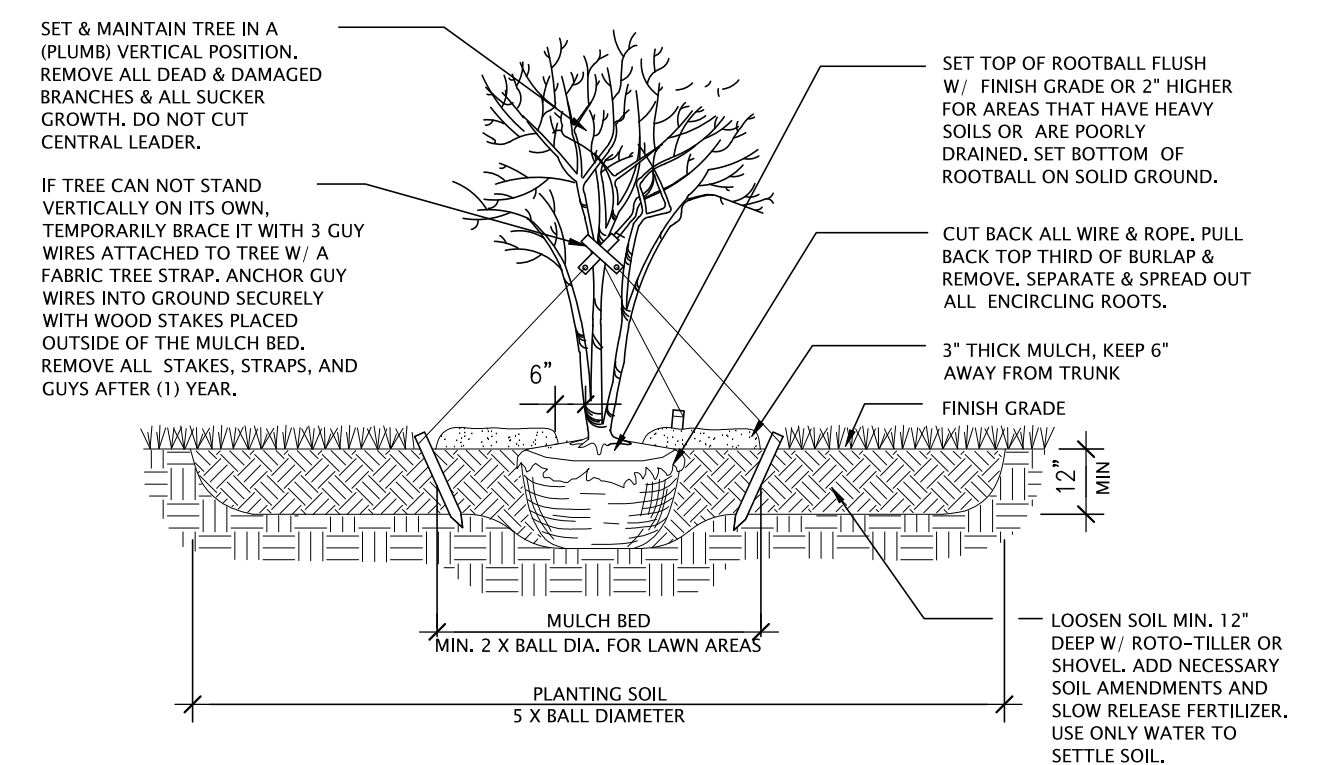
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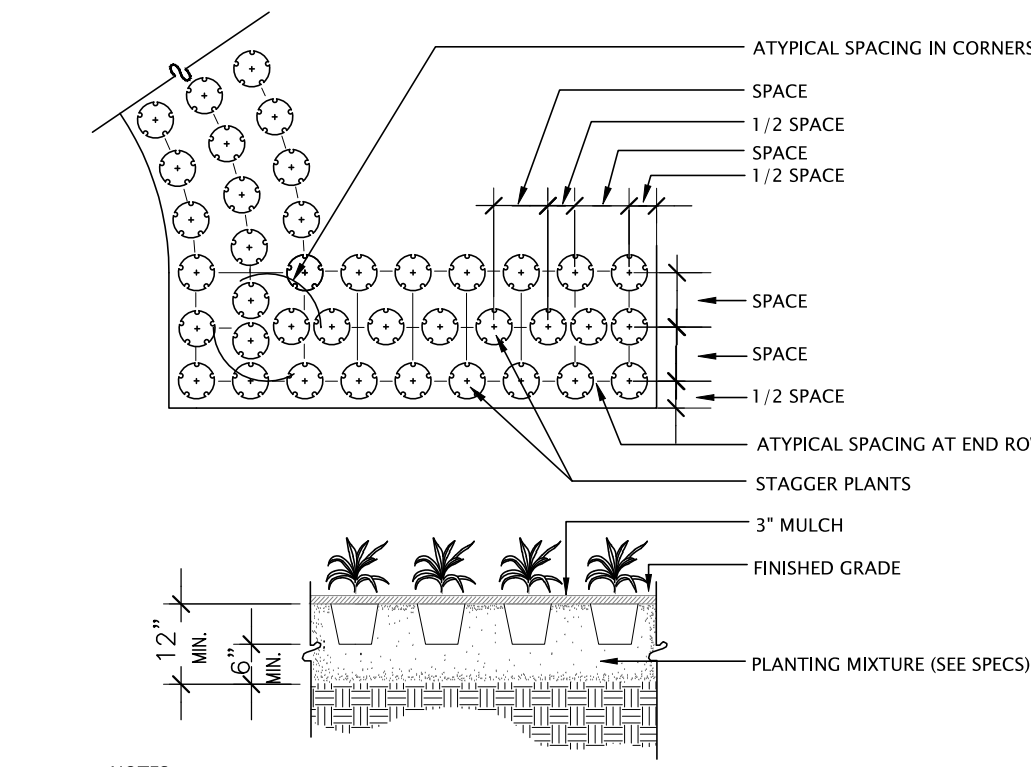
TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



MULTI-TRUNK TREE PLANTING
NOT TO SCALE



GROUNDCOVER PLANTING

NOTES:
 1. PLACE PLANTS IN BED AS SHOWN. SPACING AS SPECIFIED IN PLANT SCHEDULE.
 2. GROUNDCOVER SHALL BE TRIANGULAR SPACED IN ROWS PARALLEL TO STRAIGHT EDGES AND SHALL BE EVENLY SPACE IN ROWS PARALLEL TO CURVE EDGES.

Planting Notes:

- The utilities shown are for the contractor's convenience only. There may be other utilities not shown on these plans. The landscape architect assumes no responsibility for the locations shown and it shall be the contractor's responsibility to verify the locations of all utilities within the limits of work. Contractor shall contact "Miss Utility" and have all underground utilities marked prior to any land disturbance operations.
- Contractor shall verify plant material quantities shown on plan with totals in planting schedule. Notify Landscape Architect of any discrepancies prior to final bidding.
- All plant materials shall be guaranteed for one full year to be in a healthy growing condition. Plant materials which do not fulfill this guarantee shall be replaced at no cost to the owner. Replacement shall be guaranteed throughout the original guarantee period. Plants that die shall be replaced immediately.
- Contractor is responsible for watering all plant material during installation and until final inspection and acceptance by owner. Contractor shall not assume irrigation system is fully operational at completion of planting installation.
- Contractor is responsible for contacting Miss Utility prior to beginning of construction for location of all utility lines. Trees shall be located a minimum of 5 feet from sewer/water connections.
- All plant materials, topsoil, mulch, fertilizers, soil amenities, planting supplies and methods shall be subject to LA approval. Rejected materials shall be removed from the site without delay.
- All plant materials and planting methods shall conform to A.A.N. Standards.
- Contractor shall layout and mark location for all plant material, planting, and improvements shown and request in field approval from LA.
- Beds to contain shrubs or ground cover shall be tilled to a depth of 6" and the soil conditioned by adding clean, well rooted manure. If existing soil is considered to be unusable by owner, beds shall be treated to eliminate weeds and weed seeds.
- All planting bed areas shall be covered with a 3" min. layer of medium texture shredded hardwood mulch. Unless otherwise noted.
- All substitutions of plant material shall be requested in writing to the landscape architect and approved in writing by the owner.
- All planting operations shall be under the supervision of an experienced plantsman.
- For trees balled in wire baskets, cut and remove top and sides of basket after installation.
- Landscape Architect reserves the right to reject any plants and materials that are in an unhealthy or unsightly condition, as well as plants and materials that do not conform to A.A.N. Standards. See American Standard For Nursery Stock (current edition).
- Soil shall be free of all weeds.
- Any area within the limit of work that is disturbed shall be either re-seeded or mulched to match existing conditions.
- Landscape areas to be irrigated. Irrigation plans to be designed by others.

Pruning Notes:

- Corrective pruning removes damaged wood and eliminates rubbing branches.
- See "A Guide to Successful Pruning: Deciduous Tree Pruning Calendar" before pruning for specific monthly guidelines and notes.
- When removing diseased wood such as a fungal canker or fire blight, it is important that the cut be made in healthy wood beyond the point of infection.
- All branches with discernible "branch collars" should be removed outside the collar, not flush with the trunk. If you wound the branch collar, you compromise the zone protecting the rest of tree from decay.
- When cutting branches too large or too heavy to support with one hand while removing the pruners, use a 3-part cut to prevent the limb from falling before it's fully cut and tearing bark away from the tree. A 3-part cut is accomplished by first making an undercut; that is, sawing the bottom of the branch 6-12 inches out from the trunk and about 1/2 of the way through the branch. Next, make a second cut from the top, about 3 inches further out from the undercut, until the branch falls away. The resulting stub can then be cut back at the collar of the branch. If there is danger of the branch damaging other limbs below or objects on the ground, it must be properly roped and supported, then carefully lowered to the ground after the second cut by a professional arborist.

THE PARKWOOD PLANT SCHEDULE						
MEDIUM/LARGE DECIDUOUS TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	NOTES
3	LSR	Liquidambar styraciflua 'Rotundiloba'	Round-Lobed Sweetgum	10-12'	2 1/2" Min.	B&B, single trunk, full symmetrical uniform branching, full specimen
EVERGREEN TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	NOTES
2	IAC	Ilex x 'Magiana'	Acadiana Red Holly	6-8' MIN.	3 1/2 - 5'	B&B, full well formed to ground, uniform, symmetrical branching, full specimen
ORNAMENTAL TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	NOTES
4	ARH	Amelanchier x 'Robin Hill'	Robin Hill Serviceberry	6-8' MIN.		B&B, multi-trunk, full symmetrical branching
2	CHV	Chionanthus virginicus	White Fringe Tree	6-8' MIN.	1-2" Min.	B&B, single-trunk, full symmetrical branching
1	MAV	Magnolia virginiana	Sweet Bay Magnolia	8' Min.		B&B, multi-trunk, limbed up min. 4', full symmetrical branching
SHRUBS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	NOTES
1	AJC	Aucuba japonica 'Mr. Goldstrike'	Mr. Goldstrike Aucuba	24" Min.	24" MIN.	3 gal., healthy, full, well formed, rooted & established in container
13	AJR	Aucuba japonica 'Rozannie'	Rozannie Japanese Aucuba	18 - 24" Min.	18 - 24" MIN.	3 gal., healthy, full, well formed, rooted & established in container
22	CAS	Clethra alnifolia 'Sixteen Candles'	Sixteen Candles Summersweet	18 - 24" Min.	18 - 24" MIN.	3 gal., healthy, full, well formed, rooted & established in container
29	DIS	Distylium 'Coppertone'	Coppertone Distylium	18 - 24" Min.	18 - 24" MIN.	3 gal., healthy, full, well formed, rooted & established in container
6	HPJ	Hydrangea paniculata 'Jane'	Little Lime Hardy Hydrangea	18 - 24" Min.	18 - 24" MIN.	3 gal., healthy, full, well formed, rooted & established in container
2	HQS	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	18 - 24" Min.	18 - 24" MIN.	3 gal., healthy, full, well formed, rooted & established in container
39	IHO	Ilex crenata 'Hoogendorn'	Hoogendorn Holly	18" Min.	18" MIN.	3 gal., healthy, full, well formed, rooted & established in container
2	IVH	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetpire	18 - 24" Min.	18 - 24" MIN.	3 gal., healthy, full, well formed, rooted & established in container
9	IVS	Itea virginica 'Sprich'	Little Henry Dwarf Sweetpire	12-18"	15-18"	3 gal., healthy, full, well formed, rooted & established in container
13	PLS	Prunus laurocerasus 'Schipkaensis'	Schipka Cherry Laurel	30"	30"	3 gal., healthy, full, well formed, rooted & established in container
37	RME	Rosa 'Meigalpio'	Red Drift Rose	12-18"	15-18"	3 gal., healthy, full, well formed, rooted & established in container
PERENNIALS, ORNAMENTAL GRASSES, FERNS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COLOR	NOTES
34	DER	Dryopteris erythrosora	Autumn Fern	12-18"		15" o.c., full specimen, healthy, rooted & established, 1 gal.
16	HEC	Heuchera 'Caramel'	Caramel Coral Bells	8-10"		20" o.c., 1 gal. cont., Full specimen, healthy, vigorous, well-rooted, & established
26	HPP	Heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells	8-10"	Purple Flowers	20" o.c., 1 gal. cont., Full specimen, healthy, vigorous, well-rooted, & established
120	LJR	Liriope muscari 'Big Blue'	Big Blue Lilyturf	6-12"	Purple Flowers	15" o.c., full specimen, healthy, rooted & established, 1 gal.
49	NEP	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	6-12"	Purple Flowers	15" o.c., full specimen, healthy, rooted & established, 1 gal.
31	PAC	Pennisetum alopecuroides 'Cassian'	Dwarf Fountain Grass	12-18"		15" o.c., full specimen, healthy, rooted & established, 3 gal.
41	PAL	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Dwarf Fountain Grass	6-12"		15" o.c., full specimen, healthy, rooted & established, 1 gal.
23	RHI	Rudbeckia hirta 'Indian Summer'	Indian Summer Black-Eyed Susan	12-18"	Yellow Flowers	15" o.c., full specimen, healthy, rooted & established
GENERAL NOTE						
Mulch to be shredded hardwood bark mulch. To match existing mulch used.						

Plant Schedule Explanatory Notes:

- The following plant palette is prepared as a selection of planting materials.
- Where an abbreviation is shown, the following notes apply:
 Quan. - quantity of plant materials required for the project.
 (Note: contractor responsible to verify quantities indicated. Plan shall take precedence over schedule).
 Abbrv. - Botanical abbreviation
 Botanical/common - name of plant material
 Height - height of plant material
 Spread - diameter of plant material
 Cont. - container type in which plant material is encased upon site delivery (size shall take precedence over container).
 Spacing - distance from center of each plant (plan shall take precedence over schedule)
 Cal. - caliper/diameter of trunk (refer to specs for more information - caliper shall take precedence over height and spread)
 Notes - specific notes further specifying or describing plant material
- The contractor shall locate all proposed and existing utilities prior to the beginning of work. The contractor shall repair any damage to utilities that are disturbed as a result of the work.
- The contractor shall maintain all grassed areas, including the repair of erosion areas, until the grass has reached the level of final acceptance and throughout maintenance contract period, if applicable.
- All areas that are disturbed by construction inside or outside the limit of work shall be repaired, graded, and grassed.
- All plant beds shall receive double shredded hardwood mulch at a depth of 3".
- All existing trees to be saved will have tree barricades installed around them prior to beginning of demolition. All work in those areas is to be done by hand. Fences shall be maintained and kept in place at all times.
- Provide erosion control where slopes are greater than 3:1 and where erosion is recurring.
- All tree, shrub, and ground cover materials shall be planted within 24 hours after delivery.
- Apply weed germination inhibitor ("Preen" or equal) to all plant bed areas.
- Any plants located in direct sun shall be nursery sun grown.



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LANDSCAPE DETAILS AND PLANT SCHEDULE

Project: The Parkwood

Location: 3024 Parkwood Ave.
Richmond, Virginia

DATE:

REVISION DESCRIPTION

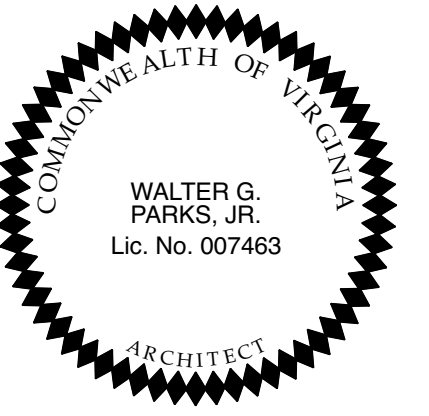
DATE:
09.16.16

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

**DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
 310 N. ADAMS STREET, RICHMOND, VA 23220
 P.804.340.2848 F.804.340.2656**

Scale
1" = 10'

Sheet #
L102



PARKWOOD APTS

3003 Parkwood Avenue
Richmond, VA

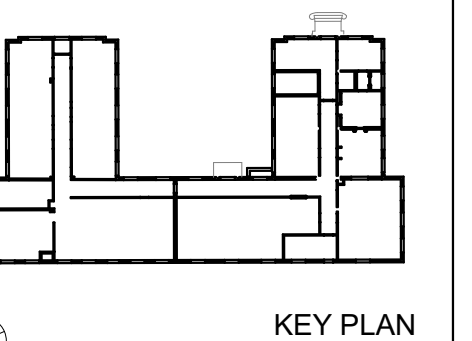
PARKING SCHEDULE	
Zone Category	Quantity
COMPACT	13
FULL	14
PROPOSED PARKING	27
REQUIRED PARKING	1 PER UNIT = 32
EXIST STREET PARKING	16

GROSS BLDG AREA SUMMARY	
Zone Name	Area
BASEMENT GBA	8,606
GROUND FLOOR GBA	8,500
SECOND FLOOR GBA	8,500
	25,606 sq ft

ZONING AREAS	
Zone Category	Area
LAND AREA COVERED BY BUILDINGS	8,500
OPEN SPACE	21,378
VEHICULAR PAVED AREA	4,279

UNIT SUMMARY	
Zone Category	Quantity
1 Bed/1 Bath	28
2 Bed/1 Bath	2
2 Bed/2 Bath	1
Studio	1
	32

UNIT AREAS		
Number	Zone Category	Area
101	1 Bed/1 Bath	790
102	1 Bed/1 Bath	482
103	1 Bed/1 Bath	664
104	1 Bed/1 Bath	534
105	1 Bed/1 Bath	515
106	1 Bed/1 Bath	604
107	1 Bed/1 Bath	780
108	1 Bed/1 Bath	449
109	1 Bed/1 Bath	450
110	2 Bed/1 Bath	824
201	1 Bed/1 Bath	580
202	1 Bed/1 Bath	461
203	1 Bed/1 Bath	474
204	1 Bed/1 Bath	680
205	1 Bed/1 Bath	570
206	1 Bed/1 Bath	491
207	1 Bed/1 Bath	558
208	1 Bed/1 Bath	552
209	Studio	407
210	1 Bed/1 Bath	471
211	1 Bed/1 Bath	445
212	1 Bed/1 Bath	668
B1	1 Bed/1 Bath	574
B2	1 Bed/1 Bath	465
B3	1 Bed/1 Bath	479
B4	1 Bed/1 Bath	647
B5	2 Bed/1 Bath	749
B6	1 Bed/1 Bath	595
B7	1 Bed/1 Bath	767
B8	1 Bed/1 Bath	526
B9	1 Bed/1 Bath	526
B10	2 Bed/2 Bath	824
		18,581 sq ft



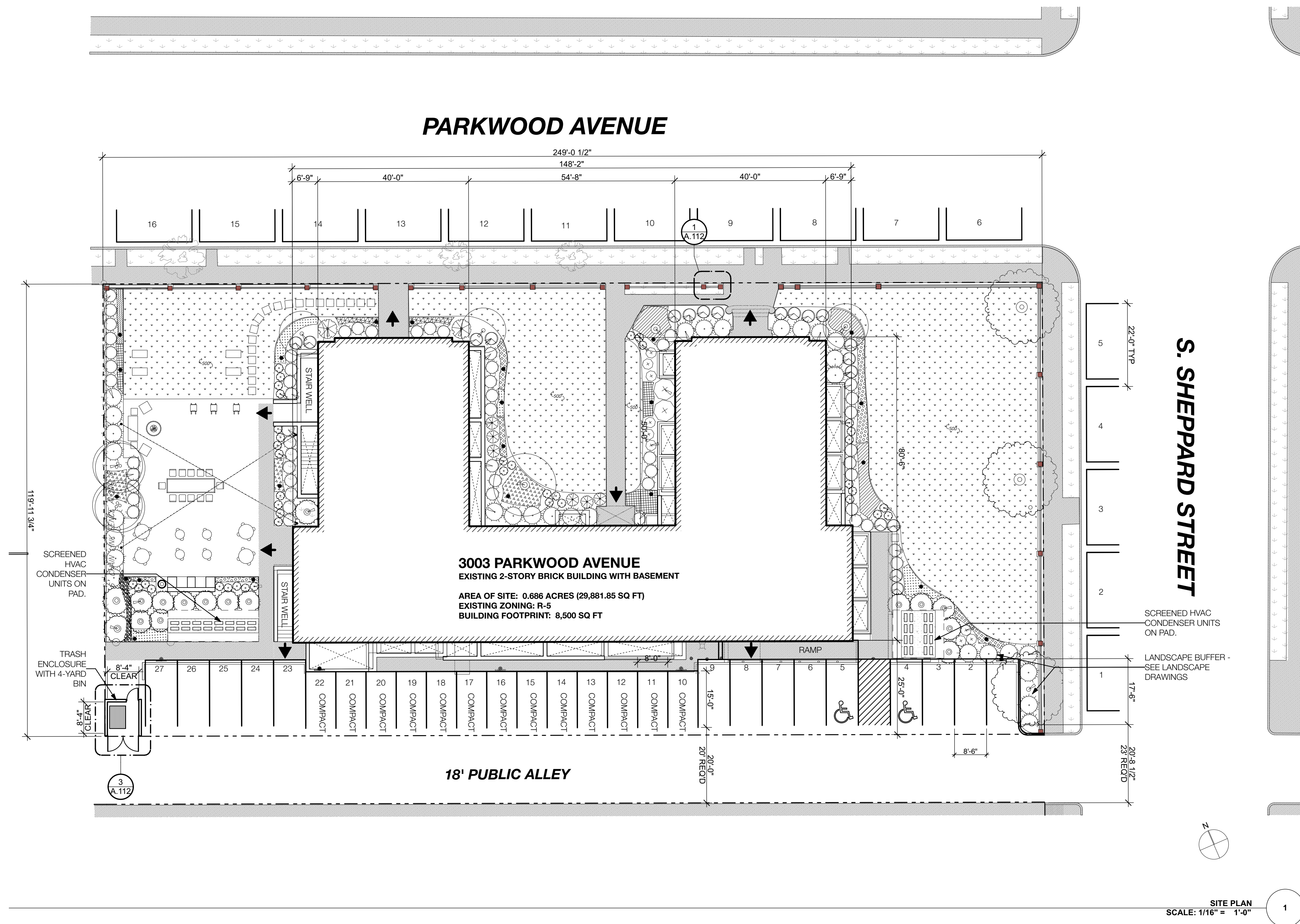
REVISIONS	
TAG	DATE

walter PARKS ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
T: 644-4761 / F: 644-4763

PROJECT #: 16.06
DATE: 10/27/16

ARCHITECTURAL
SITE PLAN
A.111



SITE PLAN
SCALE: 1/16" = 1'-0"

Printed on Thursday, October 27, 2016
BIM Server: upasserver.walpark.com - BIM Server 19/2003 Parkwood

PRODUCT SPECIFICATIONS

HUBBARDTON FC

Meridian Large
Outdoor Sconce



Base Item #305615

Item #305615-05-ZS283

There's something to be said about the welcoming glow of a light on a dark night. Our large, artfully handcrafted Meridian Outdoor Sconce says it well. Metal bands encircle contemporary seeded glass that in turn, surrounds an opaque glass housing the light. Now available in our New Coastal Outdoor Finishes.

FINISH
Bronze - 05

GLASS
Opal and Seeded Glass
(ZS)

LAMPING
Incandescent

FIXTURE F40 7

WPLED4T150Y



Ultra high output, high efficiency 150 Watt LED wallpacks. Patent Pending airflow technology ensures long LED and driver lifespan. 5 Year Warranty.
Color: Bronze Weight: 34.8 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	150W
120V:	1.31A	Color Temp:	3000K
208V:	0.80A	Color Accuracy:	81 CRI
240V:	0.69A	L70 Lifespan:	100000
277V:	0.60A	Lumens:	11,352
Input Watts:	153W	Efficacy:	74 LPW
Efficiency:	98%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have been received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDS:

Multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipses binning to achieve consistent future-to-future color.

Color Stability:

LED color temperature is warranted to shift no more than 20K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candelper at lateral angles from 90° to 270°.

IP Rating:

Ingress Protection rating of IP66 for dust and water.

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures

Cold Weather Starting:

The minimum starting temperature is -40°C/-40°F

Thermal Management:

Superior thermal management with external Air-Flow fins.

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Heavy-duty mounting arm with 1/2" ring seal & stainless steel screws

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

Drivers:

Two Drivers, Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, Power Factor 99%

THD:

6% at 120V, 11.4% at 277V

Other

California Title 24:

See WPLED4T150/D10 or WPLED4T150/BL for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

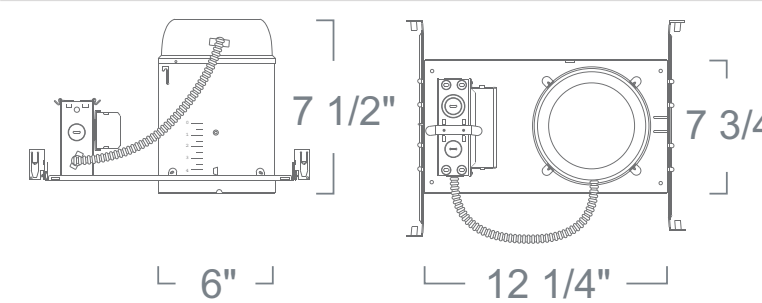
Patents:

The design of WPLED150 is protected by patents pending in US, Canada, China, Taiwan and Mexico.

F42 FIXTURE 6

LITON TYPE PROJECT CATALOG#

LH276IC - IC HOUSING 1-LAMP (ELECTRONIC)
6" COMPACT FLUORESCENT HOUSINGS



This housing is now available as ENERGY STAR, please consult factory for more info.

SPECIFICATION

Application: General purpose recessed downlight housing for medium to high ceilings for residential and light commercial applications. A variety of trims, compatible styles and finishes are available to achieve the proper décor and illumination.

Housing: Pre-wired .037" aluminum housing adjusts up to 1 1/2" ceiling thickness. Trim is secured with torsion wing springs/standard coil springs.

Mounting: Housing suitable for new construction installations only, supplied with (2) 24" adjustable hanger bars with 90 degree repositioning ability. Hanger bars equipped with no-less install 3/4" serrated barbed studs and with captive nails, for faster and easier secure mounting in wood joists. Self-screws lock into position and prevent shifting after installation. Earthquake structural cable compatible for drop panel ceiling or any other mounting that requires direct support from structural ceilings.

Ballast: Electronic Class P 60Hz Ballast with inherent thermal protection. For Double Twin Tube (D TT) or Triple Twin Tube Lamps (TT). Sound A rated. Micro-Processor controlled. Min. starting temperature -10°C. Accessible from above or below the ceiling. Contact factory for detailed technical information on ballast specifications. Note: For dimming applications must use compatible dimmer switch. Consult specific ballast manufacturer for up-to-date compatibility list.

Socket: Thermo-plastic socket UL Listed rated for high temperature and provides nickel plated contacts. Either accepts 2-Pin lamps for use with magnetic ballast or 4-Pin lamps with electronic ballast selection. Vertically adjustable galvanized steel plate enables lamp repositioning to optimize performance.

Junction Box: 16 gauge pre-wired galvanized steel Junction Box, 32 cubic-inch for a maximum of (8) #12 AWG wires. Furnished with (7) 3/4" and (4) Romex knock-outs. Strain clamps to install or remove covers for easy access and ground wire. Equipped with safety standard fitting for flex-conduit.

Airflow: Airtight option is designed to restrict air flow from room into plenums in compliance to the WSEC - Washington State Energy Code, (less than 2.0 CFM - Cubic Feet per Minute), Complies to Title 24 air flow requirements (Airtight).

Safety Labels: UL/CUL listed for through-branch wiring (8) No.12 AWG 90°C and suitable for damp locations, NYC approved, Calendar #41937.

Emergency Option: Emergency back-up operates one lamp for a minimum of 90 minutes at 750 Lumens in case of power outage. Unit is remotely mounted. It includes battery, charger, and test switch with indicator light. Consult factory for 1300 Lumen Package.

Label: UL Listed, cETL Listed

Compatibility Table:

Note: Wattage limitations on compatible items must be met.

FEATURE: UL, ETL, Energy Star, Dimmable, Emergency, Airtight, Airtight Glass Lens W/ Baffle, Frosted Dome W/ Reflector, Glass Dome W/ Baffle, Prismatic Glass Lens W/ Baffle, Remodel IC Airtight Housing, Remodel IC Housing 1-Lamp (Electronic), Remodel Housing (Electronic), Wash W/ Reflector, Metal Baffle 30, Glass Ring-Shaped, Shower Trim W/ Opal Lens, Frosted Dome W/ Reflector, Fire Barrier, Lenses W/ Baffle, Metal Baffle 30, Glass Dome W/ Baffle, Alkaline Lens W/ Reflector, Glass Dome W/ Baffle, Baffle W/ Clear Reflector, Wall Wash W/ Reflector Baffle, Wall Wash W/ Reflector, Metal Baffle W/ Gasket W/ Socket Mount, Reflector (Cone).

ORDERING EXAMPLE: LH276ICA-26E

NOTE: Wattage limitations on compatible items must be met.

Feature icons and descriptions.

LH276IC	WATTAGE	BALLAST	OPTION
LH276IC	A-26 :26W Airtight	UD :0-10V Dimming (120V/277V)	Blank :None
	A-2642:26W/32W/42W	E :Electronic (120V)	-EM :Emergency
		E-27 :120V/277V	-FS :Fuse

* Not available for -42 option.

Note: Wattage limitations on compatible items must be met.

TD#: 265

Feature icons and descriptions.

Tel: 323.904.0200 Product specifications subject to change without notice. www.liton.com

ORDERING EXAMPLE: LH276ICA-26E

NOTE: Wattage limitations on compatible items must be met.

Feature icons and descriptions.

TD#: 265

Feature icons and descriptions.

Tel: 323.904.0200 Product specifications subject to change without notice. www.liton.com

ORDERING EXAMPLE: LH276ICA-26E

NOTE: Wattage limitations on compatible items must be met.

Feature icons and descriptions.

TD#: 265

Feature icons and descriptions.

Tel: 323.904.0200 Product specifications subject to change without notice. www.liton.com

ORDERING EXAMPLE: LH276ICA-26E

NOTE: Wattage limitations on compatible items must be met.

Feature icons and descriptions.

TD#: 265

Feature icons and descriptions.

Tel: 323.904.0200 Product specifications subject to change without notice. www.liton.com

ORDERING EXAMPLE: LH276ICA-26E

NOTE: Wattage limitations on compatible items must be met.

Feature icons and descriptions.

TD#: 265

Feature icons and descriptions.

Tel: 323.904.0200 Product specifications subject to change without notice. www.liton.com

ORDERING EXAMPLE: LH276ICA-26E

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TD#: 265

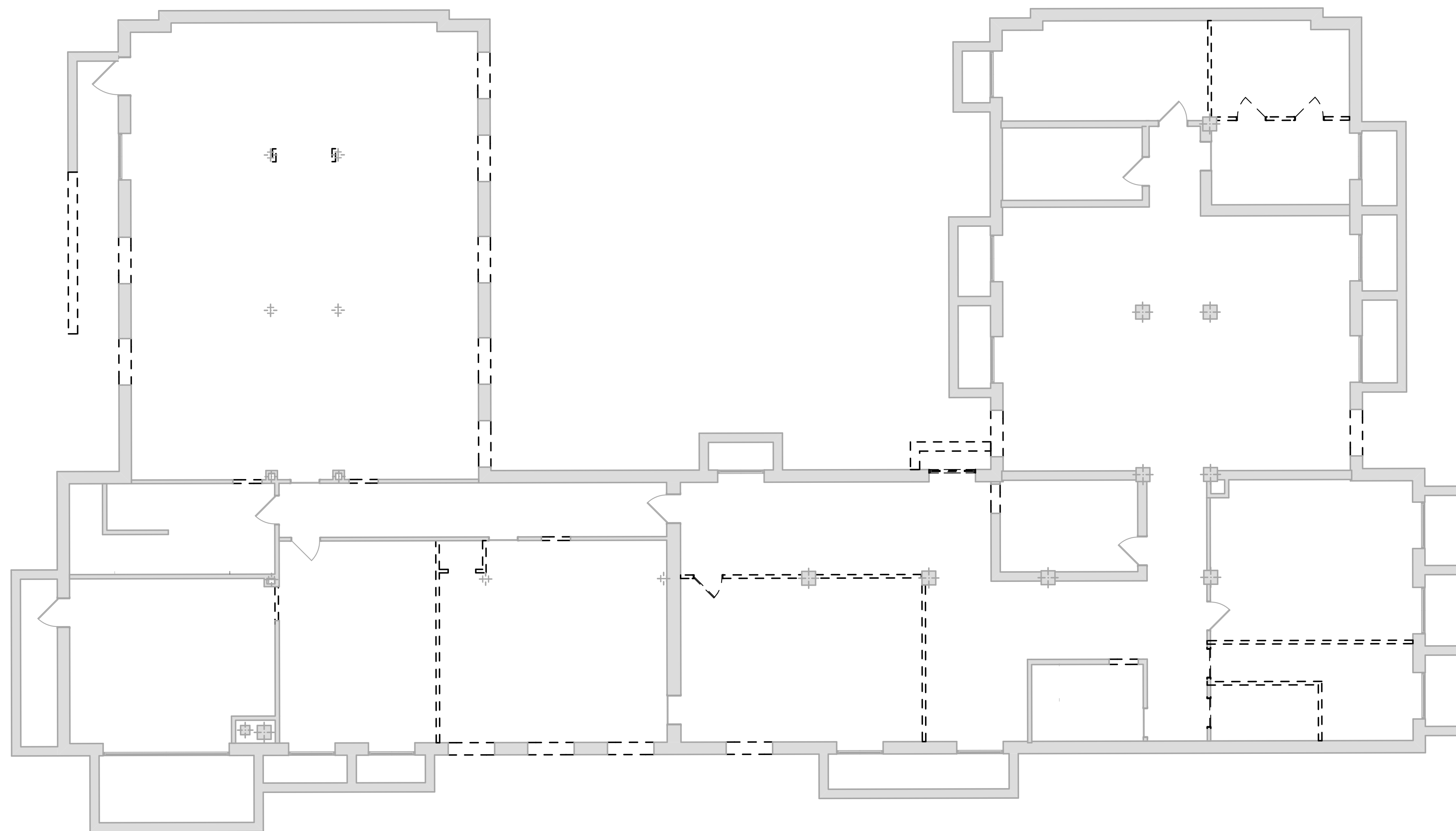
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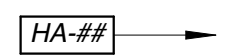
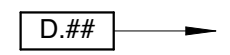

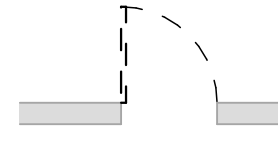

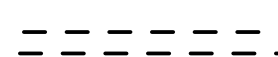
ORDERING EXAMPLE: LH276ICA-26E

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BIM Server: \\parksonline.walpark.com - BIM Server 192003 Parkwood

1 BASEMENT DEMO PLAN
SCALE: 1/8" = 1'-0"

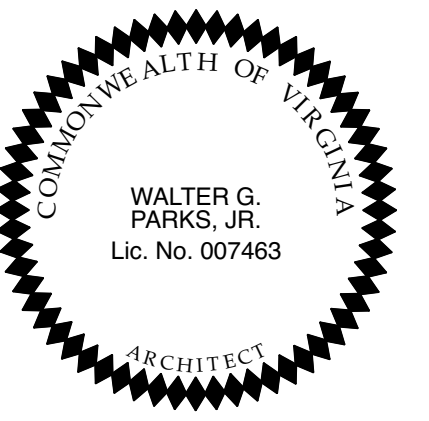


DEMOLITION SYMBOLS

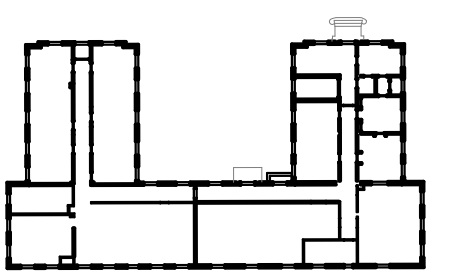
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-  DEMOLITION KEY NOTE
-  EXISTING WALL TO REMAIN
-  EXISTING DOOR/FRAME/HARDWARE TO BE REMOVED
-  EXISTING DOOR TO BE SALVAGED.
-  EXISTING CONSTRUCTION TO BE REMOVED.

DEMOLITION KEY NOTES

D.##



PARKWOOD APTS
3003 Parkwood Avenue
Richmond, VA



KEY PLAN

REVISIONS	
TAG	DATE

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ARCHITECT

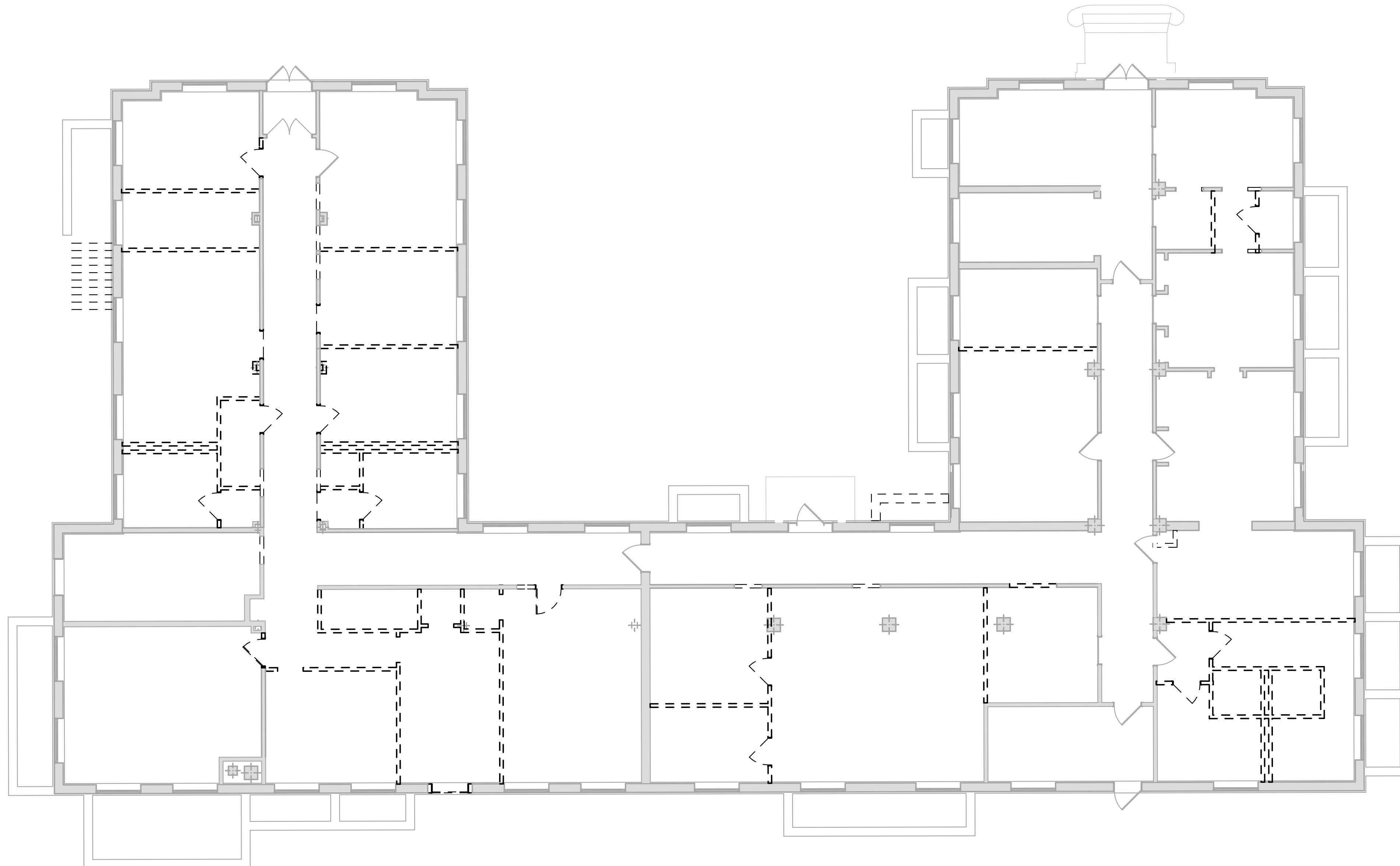
313 N. ADAMS STREET
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t: 644-4761 / f: 644-4763

PROJECT #: 16.06
DATE: 9/16/16

BASEMENT DEMO
D.200

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1 GROUND FLOOR DEMO PLAN
 SCALE: 1/8" = 1'-0"

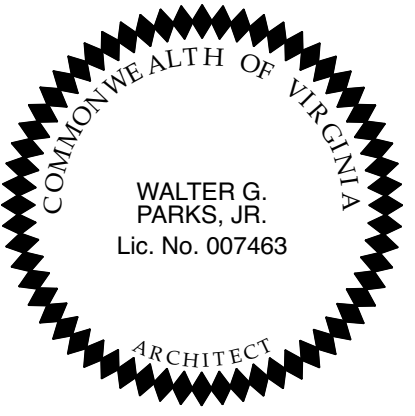


DEMOLITION SYMBOLS

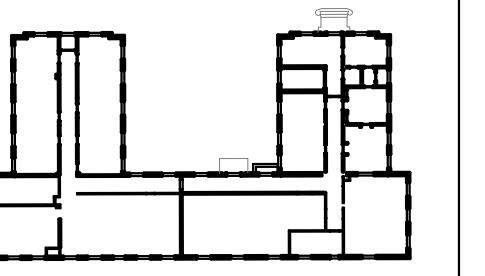
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	DEMOLITION KEY NOTE
	EXISTING WALL TO REMAIN
	EXISTING DOOR/FRAME/HARDWARE TO BE REMOVED
	EXISTING DOOR TO BE SALVAGED.
	EXISTING CONSTRUCTION TO BE REMOVED.

DEMOLITION KEY NOTES

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PARKWOOD APTS
 3003 Parkwood Avenue
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KEY PLAN

REVISIONS

TAG	DATE

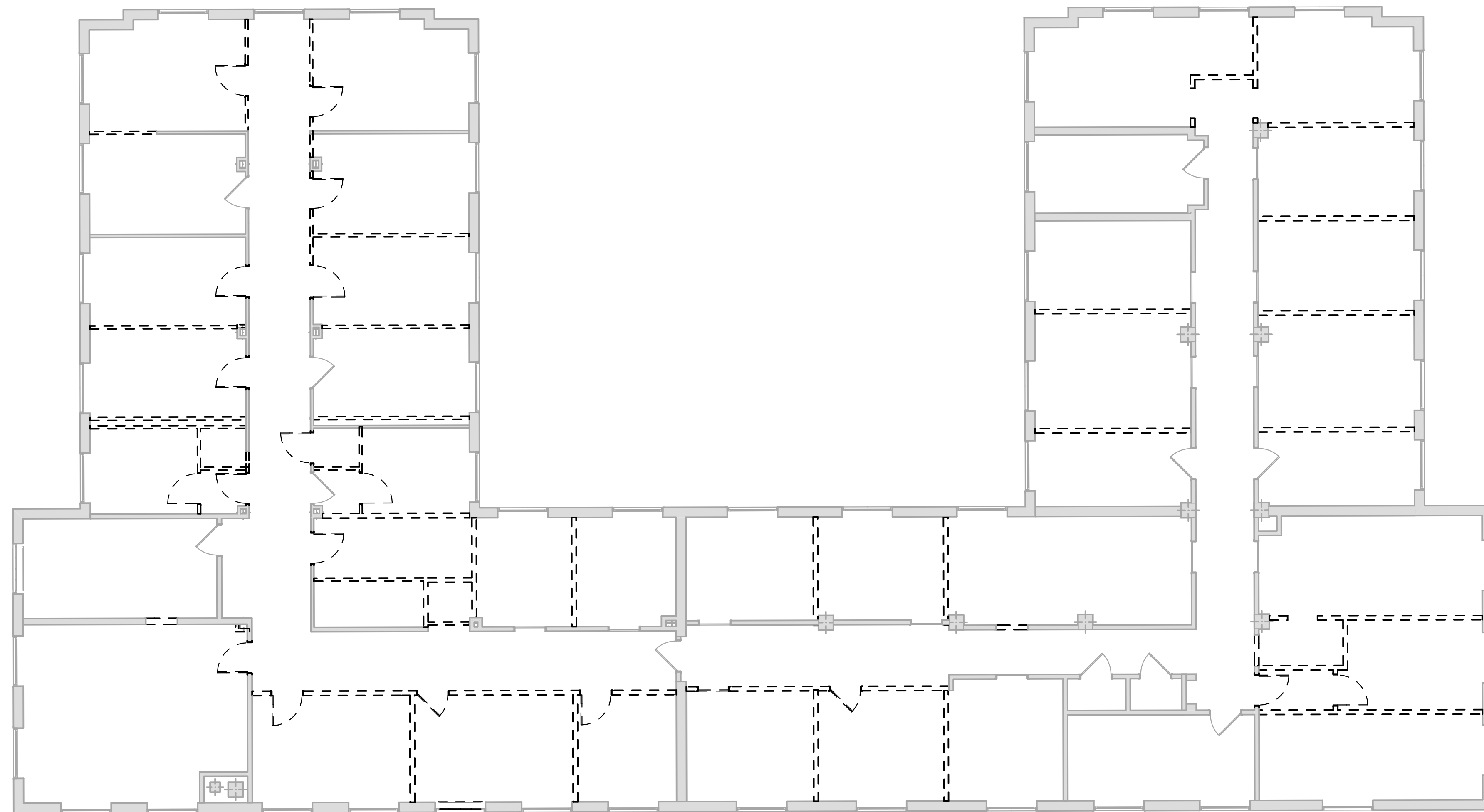
walter PARKS ARCHITECT

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GROUND FLOOR
 DEMO
D.201

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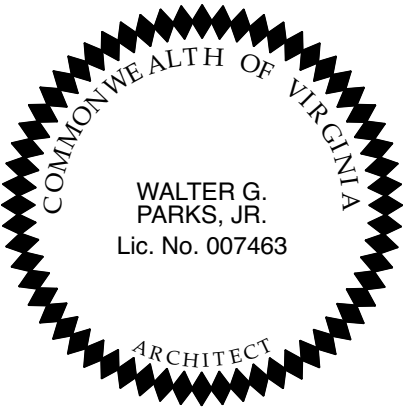
1 SECOND FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION SYMBOLS

	EXISTING HISTORIC ARTIFACT TO BE SALVAGED
	DEMOLITION KEY NOTE
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	EXISTING DOOR/FRAME/HARDWARE TO BE REMOVED
	EXISTING DOOR TO BE SALVAGED.
	EXISTING CONSTRUCTION TO BE REMOVED.

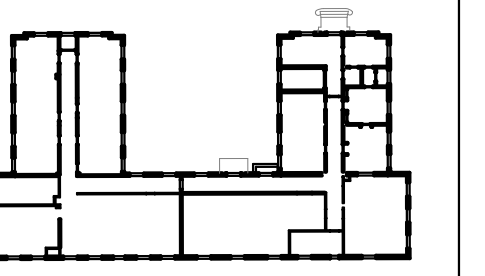
DEMOLITION KEY NOTES

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PARKWOOD APTS

3003 Parkwood Avenue
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KEY PLAN

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TAG	DATE

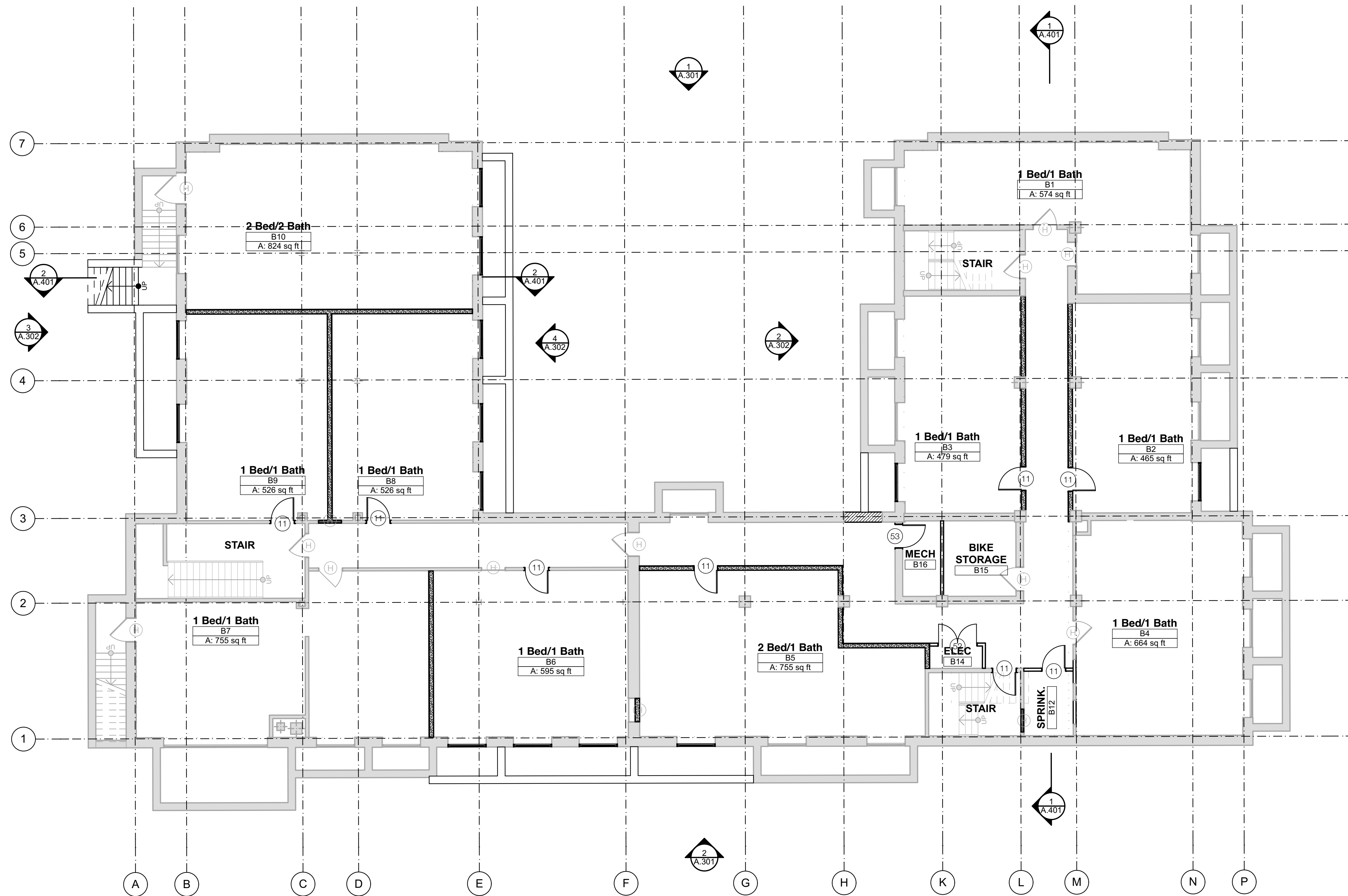
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PROJECT #: 16.06
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SECOND FLOOR
DEMO
D.202

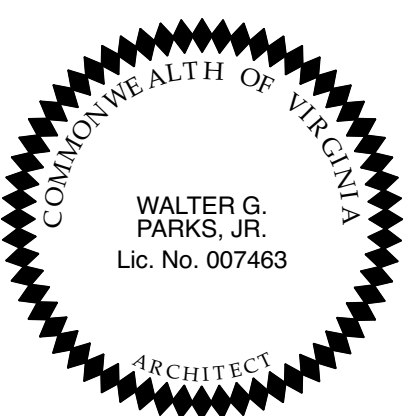
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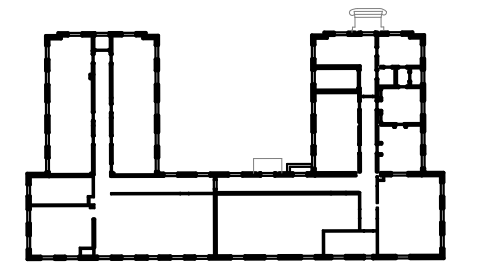
1 BASEMENT LAYOUT PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN SYMBOLS

- KEY NOTE
- EXISTING WALL TO REMAIN
- EXISTING HISTORIC DOOR TO BE CLOSED & FIXED.
- EXISTING DOOR TO REMAIN
- PARTITION TAG
- NEW PARTITION
- DOOR TAG
NEW DOOR/FRAME/HARDWARE. REF. DOOR & HARDWARE SCHEDULE



PARKWOOD APTS
 3003 Parkwood Avenue
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KEY PLAN

REVISIONS	
TAG	DATE

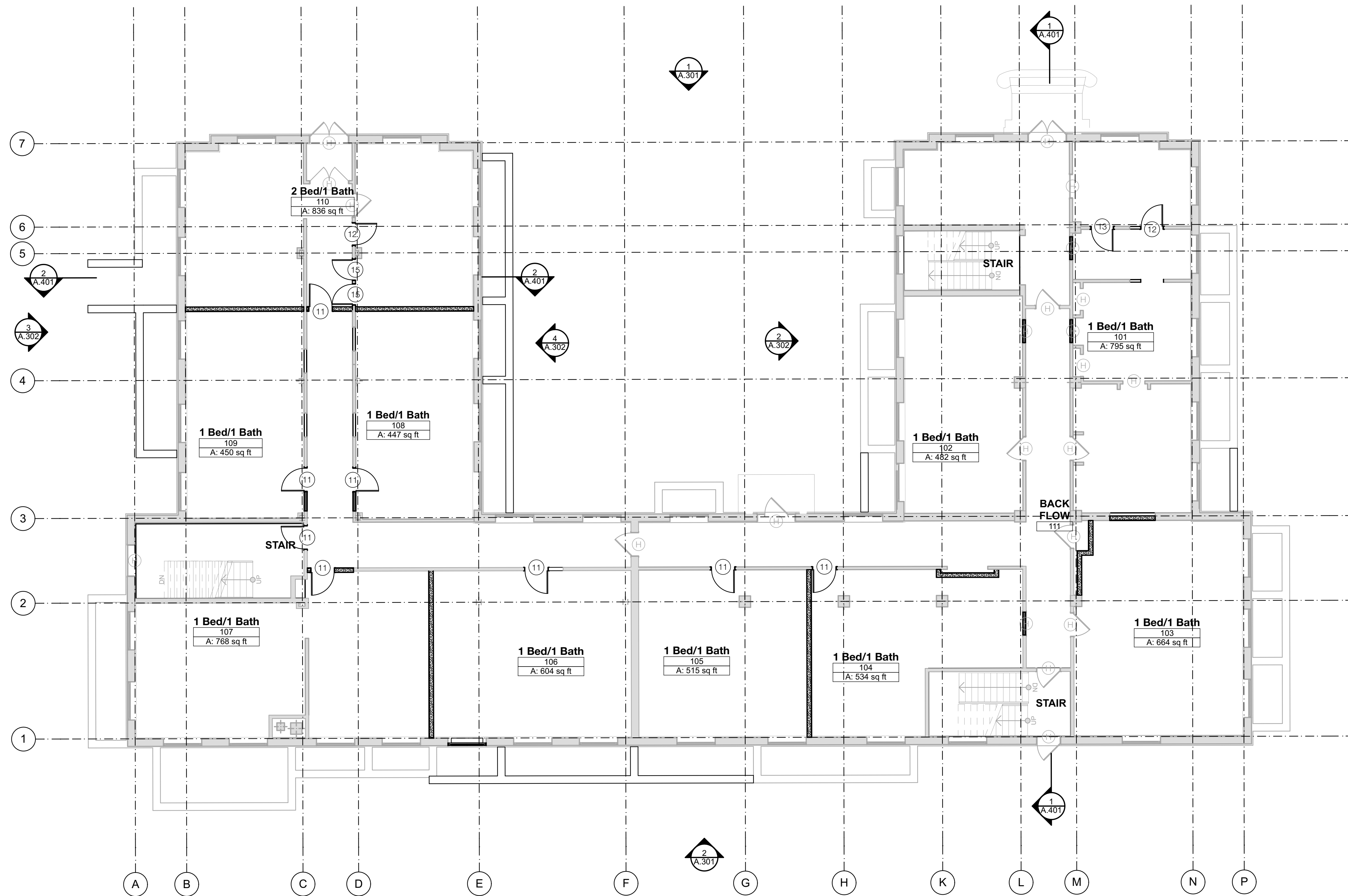
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PROJECT #: 16.06
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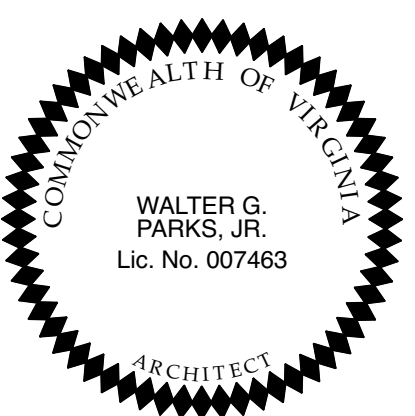
BASEMENT LAYOUT
 PLAN
A.200

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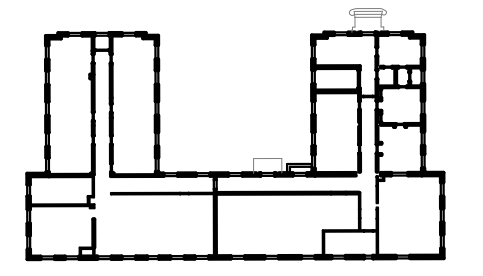


1 GROUND FLOOR LAYOUT PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN SYMBOLS	
	KEY NOTE
	EXISTING WALL TO REMAIN
	EXISTING HISTORIC DOOR TO BE CLOSED & FIXED.
	EXISTING DOOR TO REMAIN
	PARTITION TAG
	NEW PARTITION
	DOOR TAG
	NEW DOOR/FRAME/HARDWARE. REF. DOOR & HARDWARE SCHEDULE



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KEY PLAN

REVISIONS	
TAG	DATE

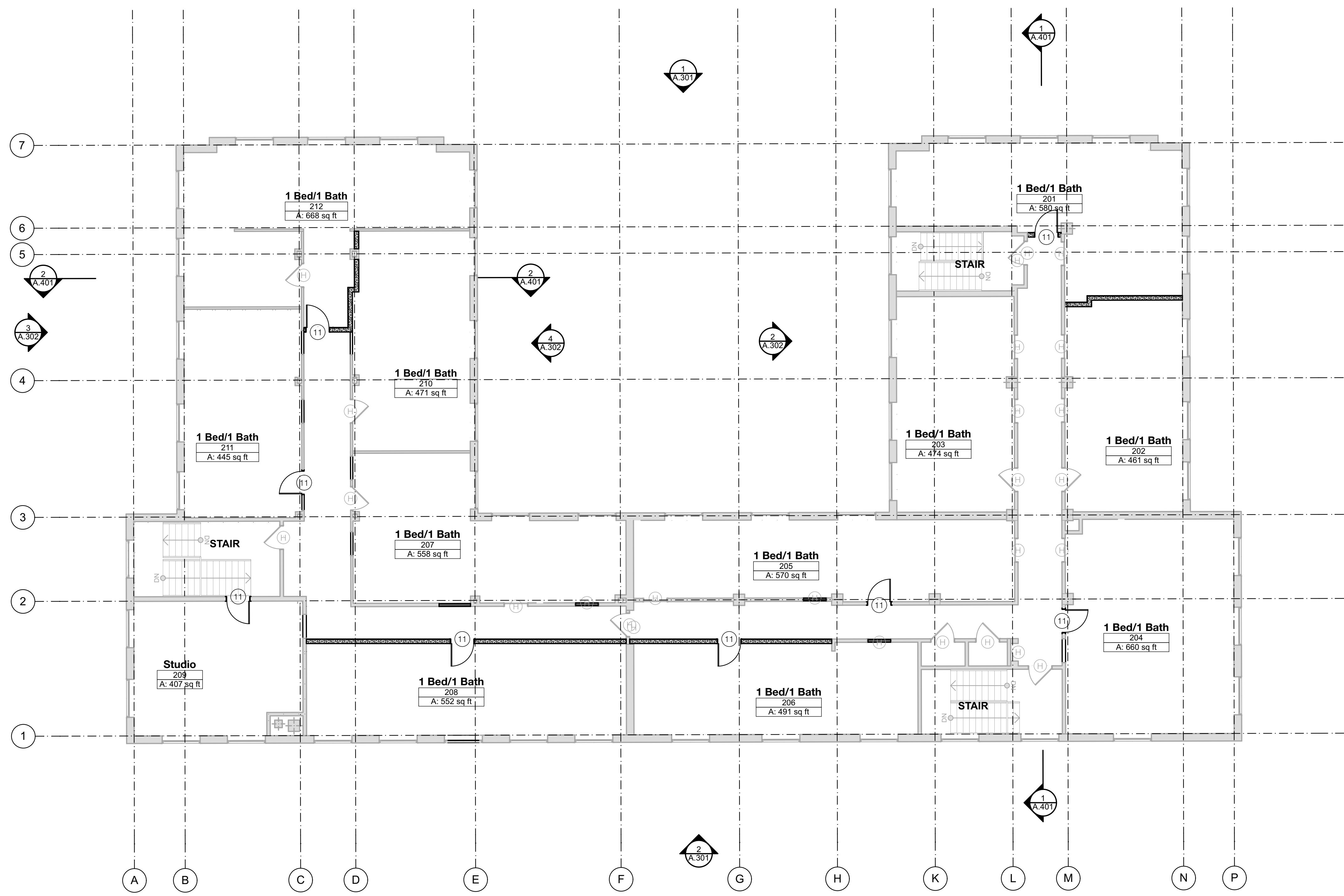
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PROJECT #: 16.06
 DATE: 9/16/16

GROUND FLOOR
 LAYOUT PLAN
A.201

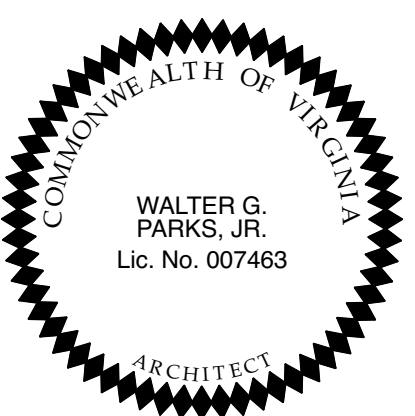
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 BIM Server: \\parksonline.walpark.com - BIM Server 192003 Parkwood



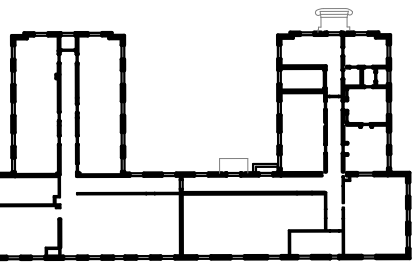
1 SECOND FLOOR LAYOUT PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN SYMBOLS

- KEY NOTE
- EXISTING WALL TO REMAIN
- EXISTING HISTORIC DOOR TO BE CLOSED & FIXED.
- EXISTING DOOR TO REMAIN
- PARTITION TAG
- NEW PARTITION
- DOOR TAG
- NEW DOOR/FRAME/HARDWARE. REF. DOOR & HARDWARE SCHEDULE



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KEY PLAN

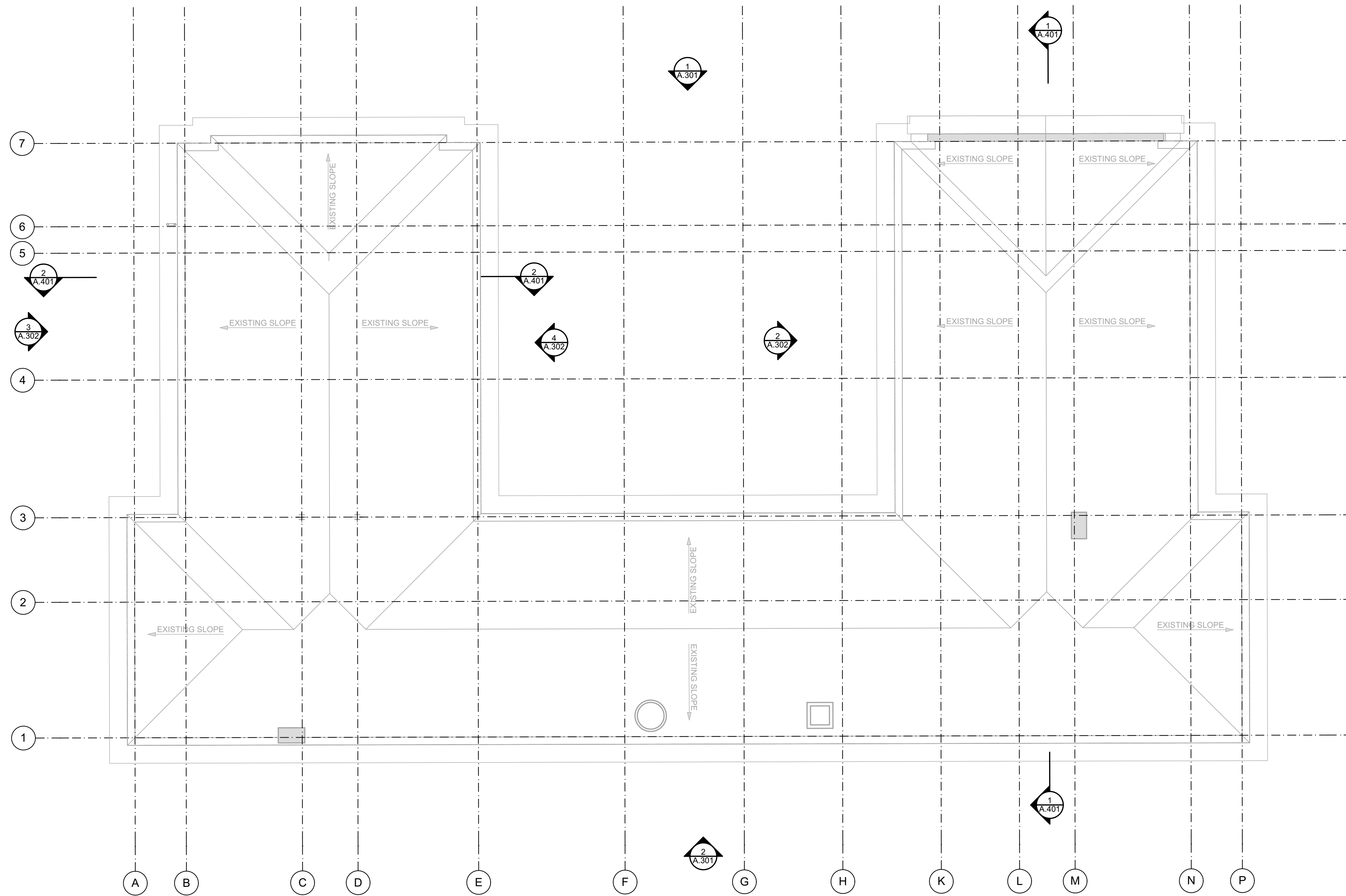
REVISIONS	
TAG	DATE

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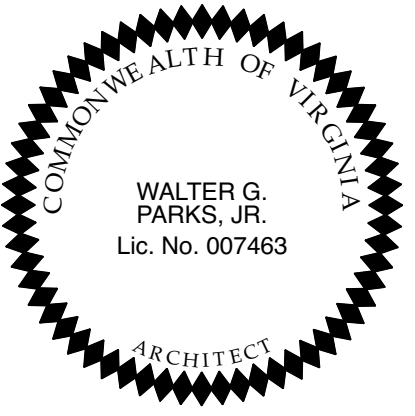
PROJECT #: 16.06
 DATE: 9/16/16

SECOND FLOOR
 LAYOUT PLAN
A.202

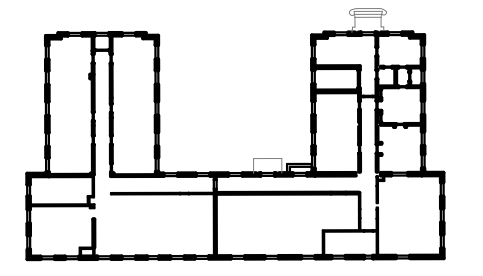


1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN SYMBOLS	
	KEY NOTE
	EXISTING WALL TO REMAIN
	EXISTING HISTORIC DOOR TO BE CLOSED & FIXED.
	EXISTING DOOR TO REMAIN
	PARTITION TAG
	NEW PARTITION
	DOOR TAG
	NEW DOOR/FRAME/HARDWARE. REF. DOOR & HARDWARE SCHEDULE



PARKWOOD APTS
 3003 Parkwood Avenue
 Richmond, VA



KEY PLAN

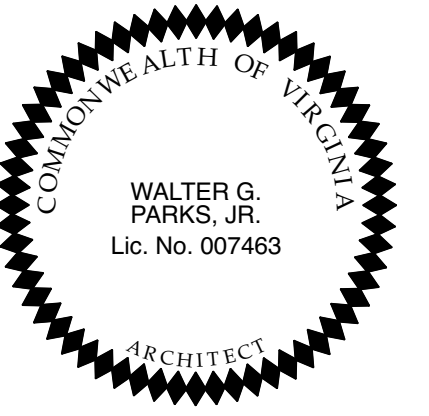
REVISIONS	
TAG	DATE

walter PARKS
 ARCHITECT

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 RICHMOND, VIRGINIA 23220
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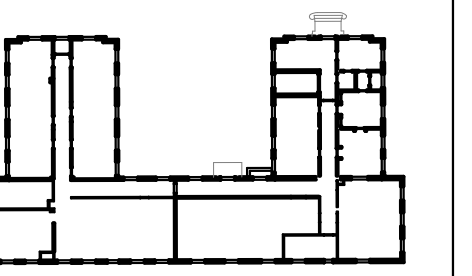
PROJECT #: 16.06
 DATE: 9/16/16

ROOF PLAN
A.203



PARKWOOD APTS

3003 Parkwood Avenue
Richmond, VA



KEY PLAN

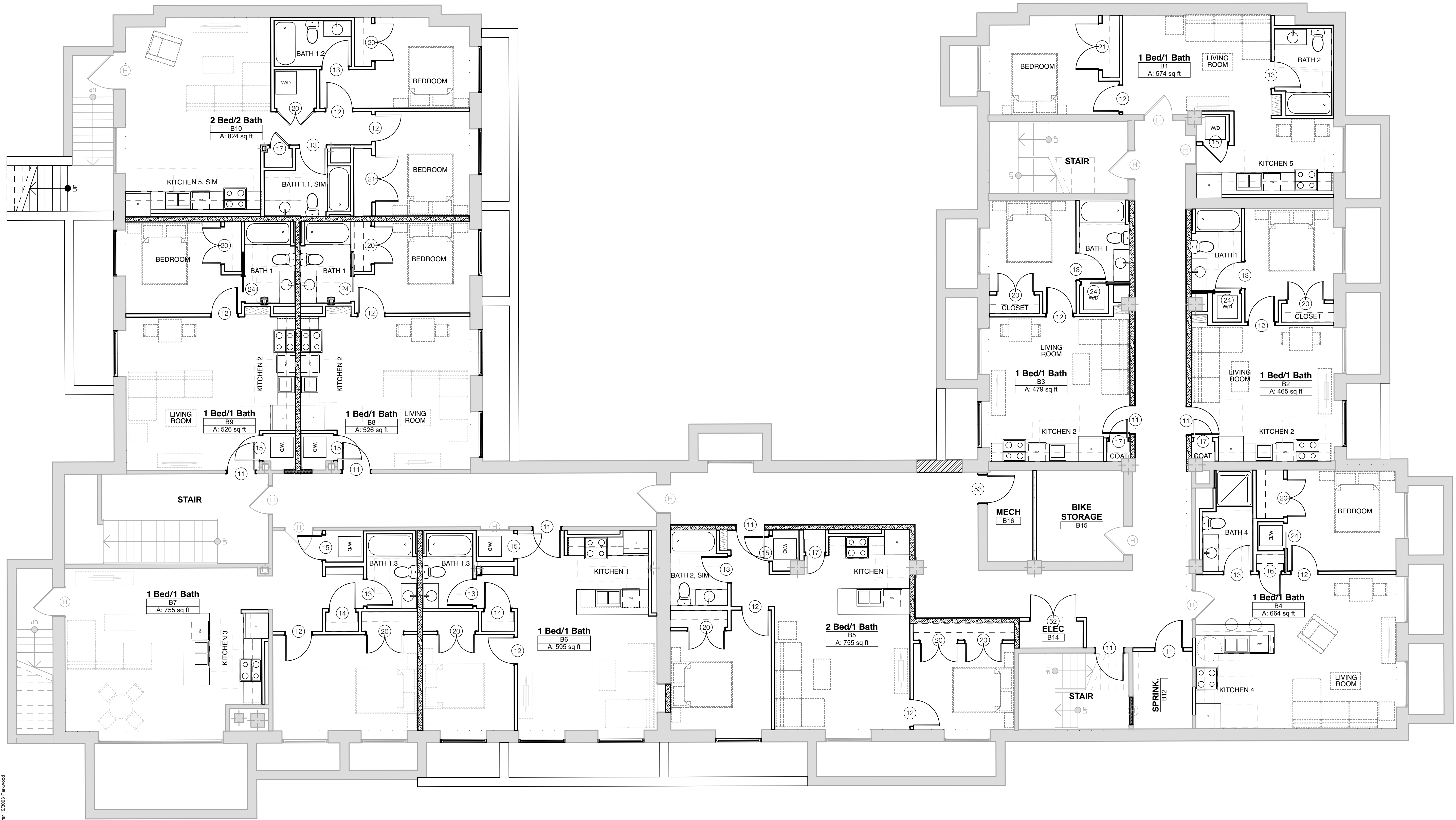
REVISIONS	
TAG	DATE

walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 16.06
DATE: 9/16/16

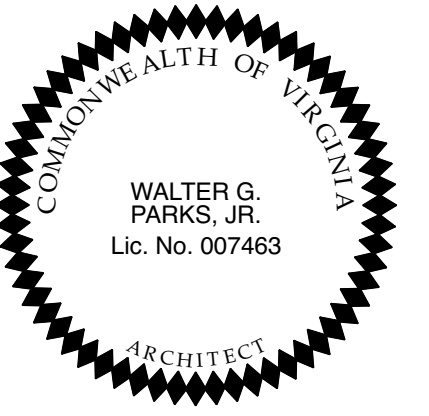
BASEMENT UNIT
PLAN
A.210



1 BASEMENT UNIT PLAN
SCALE: 3/16" = 1'-0"

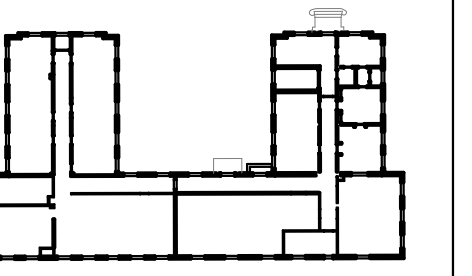


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BIM Server: s:\projects\parkwood\3003 Parkwood - BIM Server\192003 Parkwood



PARKWOOD APTS

3003 Parkwood Avenue
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KEY PLAN

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TAG	DATE

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ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

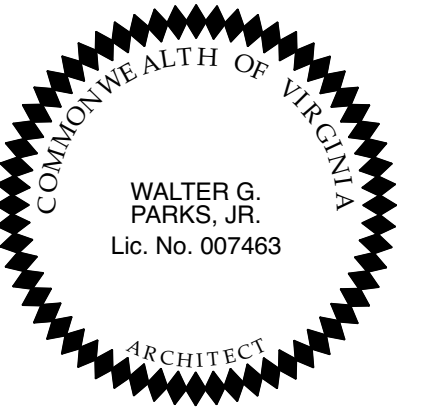
PROJECT #: 16.06
DATE: 9/16/16

GROUND FLOOR
UNIT PLAN
A.211

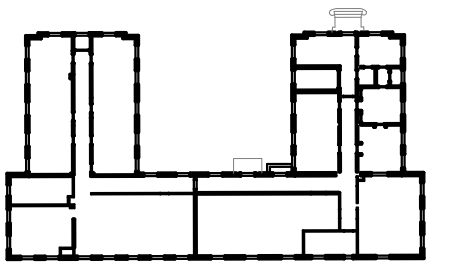


1 GROUND FLOOR UNIT PLAN
SCALE: 3/16" = 1'-0"





PARKWOOD APTS
 3003 Parkwood Avenue
 Richmond, VA



KEY PLAN

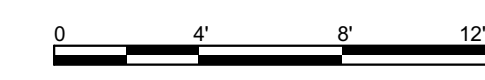
REVISIONS	
TAG	DATE

walter PARKS
 ARCHITECT

313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 t: 644-4761 / f: 644-4763

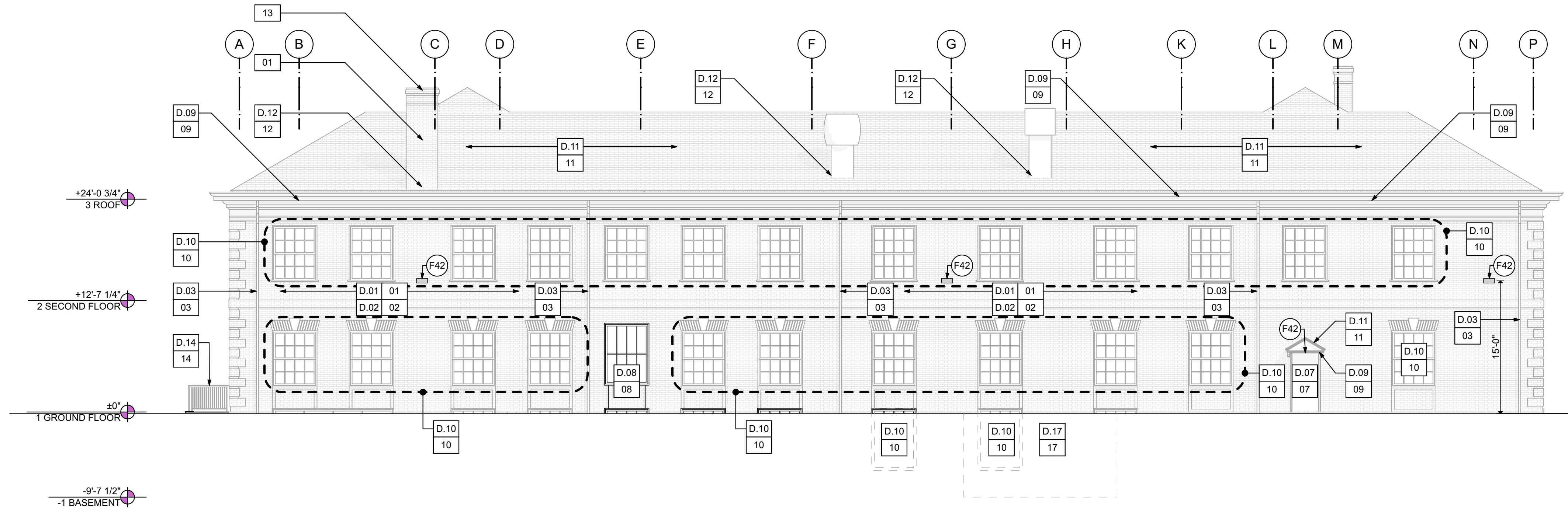
PROJECT #: 16.06
 DATE: 9/16/16

SECOND FLOOR
 UNIT PLAN
A.212

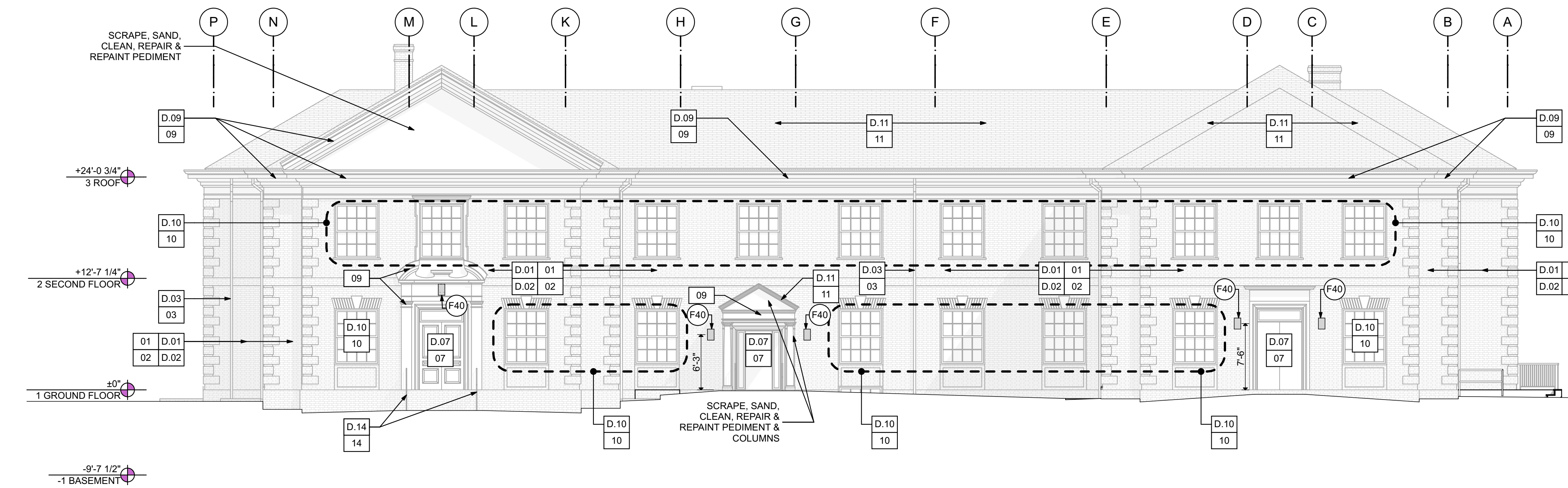


1 SECOND FLOOR UNIT PLAN
 SCALE: 3/16" = 1'-0"

Printed on Friday, September 16, 2016
 BAA Server: appserver\dwg\plan\3003 Parkwood - BIM Server 192003 Parkwood



SOUTH ELEVATION
SCALE: 1/8" = 1'-0" 2



NORTH ELEVATION
SCALE: 1/8" = 1'-0" 1

ELEVATION DEMO KEY NOTES

- D.01 REMOVE ALL MOUNTED WIRING, CONDUITS, PIPING, & DUCTWORK NOT SCHEDULED FOR REUSE. CUT BACK & CAP ALL LINES AS REQ'D.
- D.02 REMOVE ALL ORGANIC MATERIAL ON BUILDING FACADE, SILLS, ROOFING, ETC.
- D.03 REMOVE DAMAGED, RUSTED & NON-FUNCTIONING DRAINAGE COMPONENTS.
- D.04 REMOVE DAMAGED ASSEMBLY COMPONENT MATERIALS AND CUT BACK TO LOGICAL TERMINATION POINT TO PROVIDE FOR REPAIR/NEW ASSEMBLY OR MATERIAL.
- D.05 REMOVE DAMAGED BUILDING FACADE MATERIAL. CUT BACK & CLEAN TO PROVIDE FOR REPAIRS & NEW MATERIAL.
- D.06 REMOVE EXISTING MOUNTED FIXTURE. CUT BACK AND CAP LINES NOT SCHEDULED FOR REUSE.
- D.07 REMOVE & SALVAGE EXISTING DOOR & ASSOCIATED HARDWARE.
- D.08 REMOVE EXISTING DOOR, ASSOCIATED HARDWARE, & FRAME. CLEAN & PREP ROUGH OPENING.
- D.09 REMOVE DAMAGED & ROTTED WD FASCIA, MOULDING, CORNICE & DENTILS. CUT BACK TO LOGICAL TERMINATION. CLEAN & PREP FOR REPAIR & NEW MATERIAL.
- D.10 REMOVE DAMAGED FRAME/SASH/GLAZING COMPONENTS WHERE OCCURS. CLEAN & PREP ASSEMBLY TO RECEIVE REPAIRS, RESTORATION, & NEW COMPONENTS.
- D.11 REMOVE DAMAGED ROOFING MATERIALS, ASSEMBLY & COMPONENTS AS REQ'D. CLEAN & PREP FOR REPAIR & NEW ASSEMBLY MATERIALS.
- D.12 REMOVE DAMAGED FLASHING & REGLETS, WHERE OCCURS. PREP & CLEAN TO RECEIVE NEW ROOFING FLASHING COMPONENTS.
- D.13 REMOVE EXISTING MECHANICAL ASSEMBLY. CLEAN & PREP EXPOSED VOID TO RECEIVE SCHEDULED ASSEMBLY/EQUIPMENT.
- D.14 REMOVE & SALVAGE EXISTING METAL RAIL, ASSEMBLY & ASSOCIATED HARDWARE. CLEAN & PREP AREA FOR FOR SCHEDULED REPAIRS.
- D.15 EXCAVATE EXISTING EARTH & FILL FOR SCHEDULED LIGHT WELL. SEE CIVIL & STRUCTURAL DWGS FOR SHORING, RETAINING WALL & WELL DRAINAGE DETAILS.
- D.16 DEMO EXISTING WALL TO PROVIDE ROUGH OPENING. COORDINATE OPENING DIMENSIONS WITH SCHEDULED OPENING ASSEMBLY. SEE STRUCTURAL FOR LINTEL DETAILS.
- D.17 REMOVE DAMAGED MATERIALS/COMPONENTS & UNUSED ASSEMBLIES/FIXTURES/LINES FROM LIGHT WELL. CUT BACK & CAP ANY LINES NOT SCHEDULED FOR REUSE.

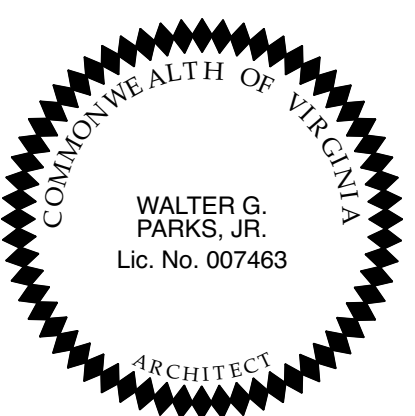
ELEVATION KEY NOTES

- 01 REPOINT EXISTING EXTERIOR BRICK & STONE MASONRY. MATCH NEW MORTAR TO EXISTING HISTORICAL MORTAR JOINT. COLOR & TEXTURE. PATCH & REPAIR DAMAGED OR MISSING MASONRY UNITS TO MATCH EXISTING ADJACENT.
- 02 CLEAN EFFLORESCENCE, MOLD, STAINS & GRAFFITI FROM EXTERIOR WALLS & FOUNDATIONS.
- 03 PROVIDE NEW GUTTERS, SCUPPERS, DRAINS DOWNSPOUTS & BOOTS AS REQ'D.
- 04 SCRAPE, SAND, CLEAN, REPAIR & PAINT EXISTING METAL COMPONENTS & ASSOCIATED HARDWARE.
- 05 PATCH & REPAIR VOIDS OR DAMAGED MATERIAL RESULTING FROM THE REMOVAL OF EQUIPMENT, ASSEMBLIES, FIXTURES, DAMAGED OR INFILL MATERIAL WITH IN KIND MATERIAL TO MATCH EXISTING ADJACENT.
- 06 PROVIDE NEW FIXTURE WHERE SCHEDULED. PATCH AND REPAIR VOID FROM REMOVED FIXTURE WHERE NO NEW FIXTURE IS SCHEDULED.
- 07 REPAIR EXISTING FRAME, THRESHOLD & HEAD CONDITIONS AS REQ'D. SCRAPE, SAND, CLEAN & PAINT FRAME PER FINISH NOTES. PROVIDE DOOR & HARDWARE PER DOOR SCHEDULE.
- 08 REPAIR EXISTING HEAD & JAMB CONDITIONS. PROVIDE SCHEDULED FRAME, THRESHOLD, DOOR & HARDWARE.
- 09 REPAIR ORNAMENTAL WD COMPONENTS/TRIM/ MOULDING AS REQ'D. SCRAPE, SAND, CLEAN, REPAIR & PAINT EXISTING SALVAGABLE WD COMPONENTS PER FINISH SCHEDULE. REPLACE DAMAGED OR ROTTED WD COMPONENTS W/ IN KIND COMPONENT TO MATCH EXISTING HISTORICAL PROFILES.
- 10 SCRAPE, SAND, CLEAN, REPAIR & PAINT EXISTING FRAMES, SASHES, TRIM & CASING. REPAIR ALL FLASHING, JAMB, HEADER & SILLS CONDITIONS. REPAIR ALL LINTEL & ARCH CONDITIONS, WHERE OCCURS. REPLACE ALL DAMAGED & NON-TRANSPARENT GLAZING AS REQ'D.
- 11 REPAIR EXISTING ROOFING MATERIAL & ASSEMBLY. PATCH & REPAIR W/ NEW MATERIAL AT EXPOSED VOIDS FROM REMOVED DAMAGED MATERIAL. PROVIDE NEW STRUCTURE, SUBSTRATE, MEMBRANE & FLASHING AS REQ'D.
- 12 REPAIR CRICKET/REGLETS/FLASHING AT ROOF PENETRATION AS REQ'D.
- 13 REPAIR EXISTING STACK WASH/EXHAUST CAP.
- 14 SCRAPE, SAND, CLEAN, REPAIR & REPAINT RAIL ASSEMBLY. REINSTALL RAIL & ASSOCIATED HARDWARE AT ORIGINAL LOCATION.
- 15 PROVIDE LIGHT WELL RETAINING WALLS & DRAINAGE PER CIVIL & STRUCTURAL. CLEAN, REPOINT, & REPAIR EXPOSED FOUNDATION.
- 16 PROVIDE SCHEDULED ASSEMBLY. SEE WINDOW SCHEDULE & DETAILS FOR FINISHED HEAD, JAMB, & SILL CONDITIONS.
- 17 REPAIR & REPOINT MASONRY & FOUNDATION IN LIGHT WELL. CLEAR OF DEBRIS & ORGANIC MATERIAL. REPAIR BUILDING FACADE, RETAINING WALLS, & DRAINAGE COMPONENTS AS REQ'D.

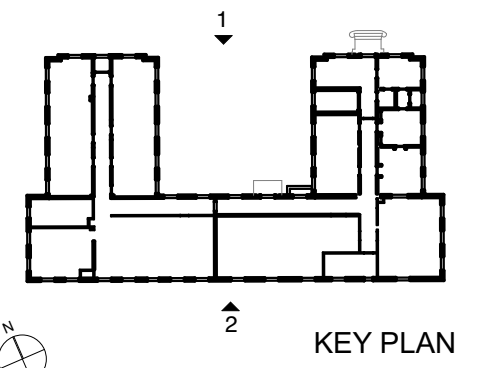
EXTERIOR LIGHTING KEY

- F40 WALL SCONCE
- F41 6" RECESSED CAN
- F42 WALL PACK

NOTE: REFER TO SHEET A.112 FOR FIXTURE SPECIFICATION SHEETS



PARKWOOD APTS
3003 Parkwood Avenue
Richmond, VA



REVISIONS	
TAG	DATE

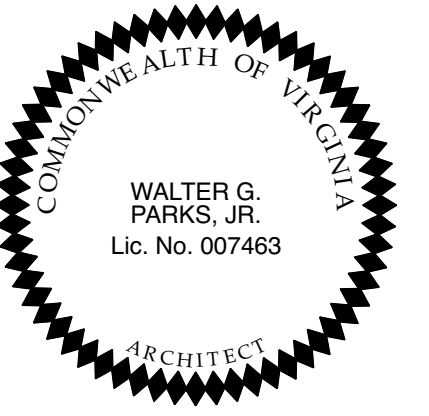
walter PARKS ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 16.06
DATE: 9/16/16

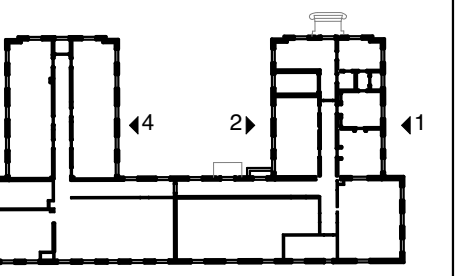
ELEVATIONS
A.301

Printed on Friday, September 16, 2016
BIM Server: walterparks.com - BIM Server 19:00:03 Parkwood



PARKWOOD APTS

3003 Parkwood Avenue
Richmond, VA



KEY PLAN

REVISIONS	
TAG	DATE

walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 16.06
DATE: 9/16/16

ELEVATIONS
A.302

ELEVATION DEMO KEY NOTES

- D.01 REMOVE ALL MOUNTED WIRING, CONDUITS, PIPING, & DUCTWORK NOT SCHEDULED FOR REUSE. CUT BACK & CAP ALL LINES AS REQ'D.
- D.02 REMOVE ALL ORGANIC MATERIAL ON BUILDING FACADE, SILLS, ROOFING, ETC.
- D.03 REMOVE DAMAGED, RUSTED & NON-FUNCTIONING DRAINAGE COMPONENTS.
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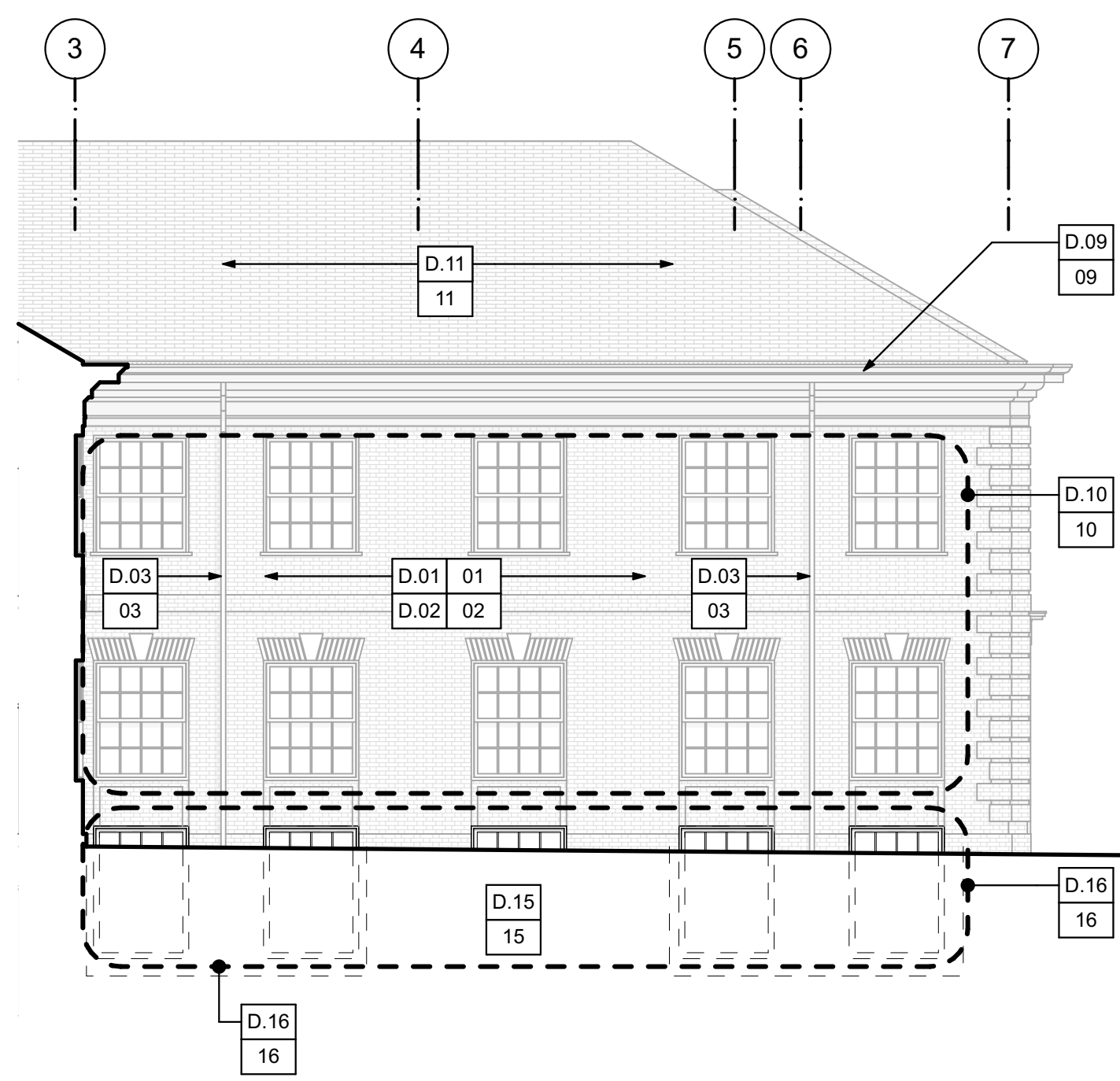
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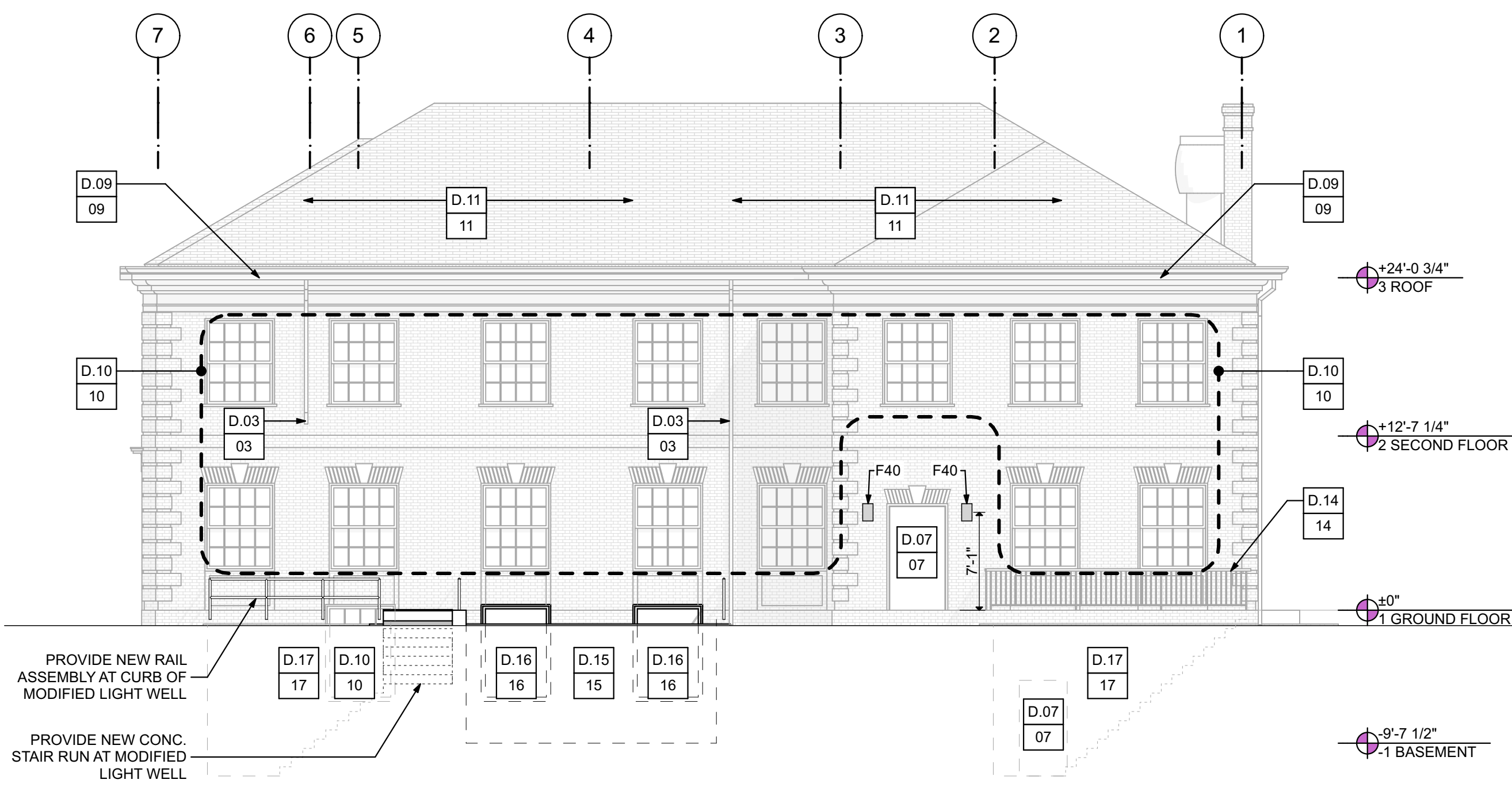
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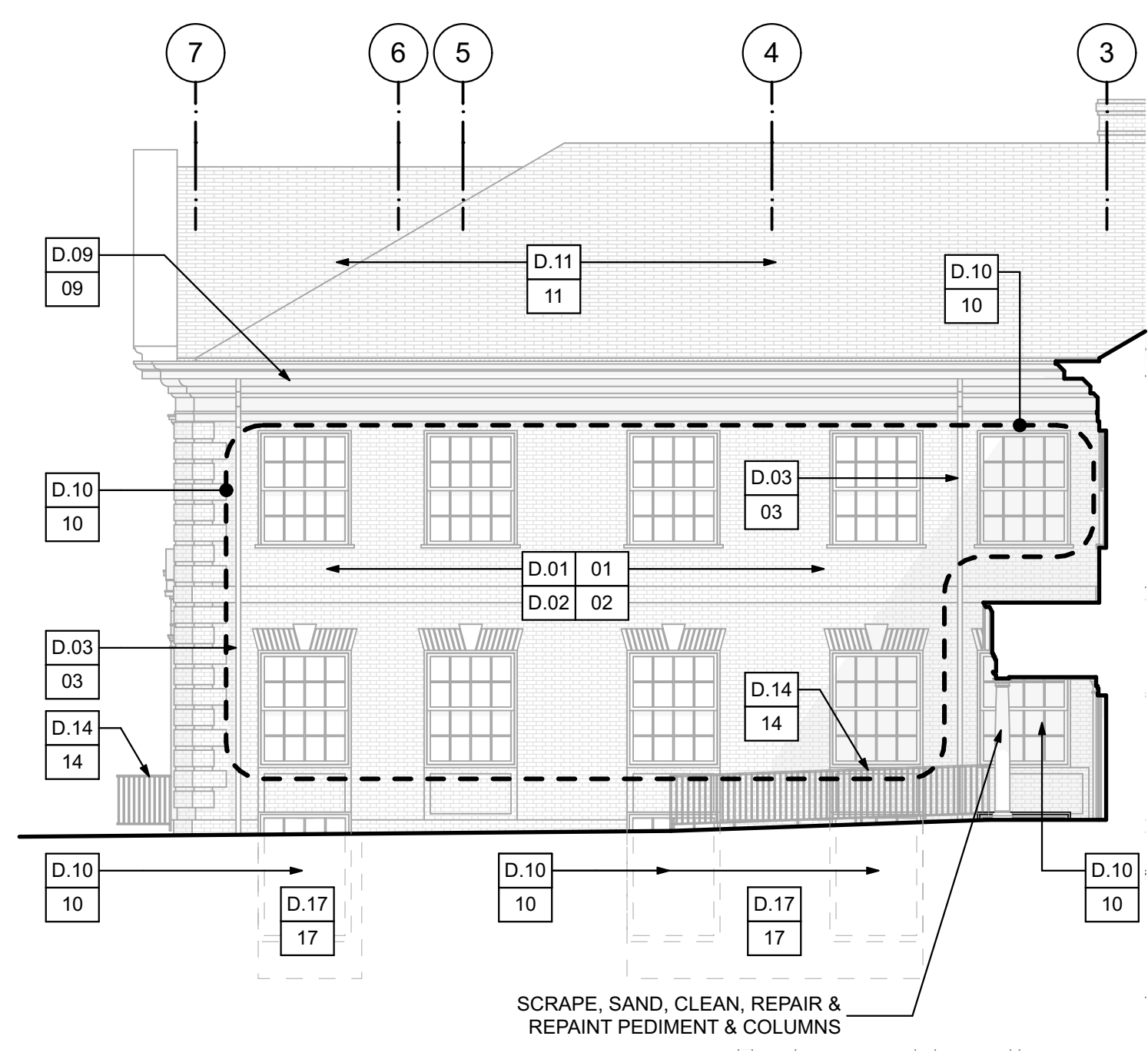
NOTE: REFER TO SHEET A.112 FOR FIXTURE SPECIFICATION SHEETS



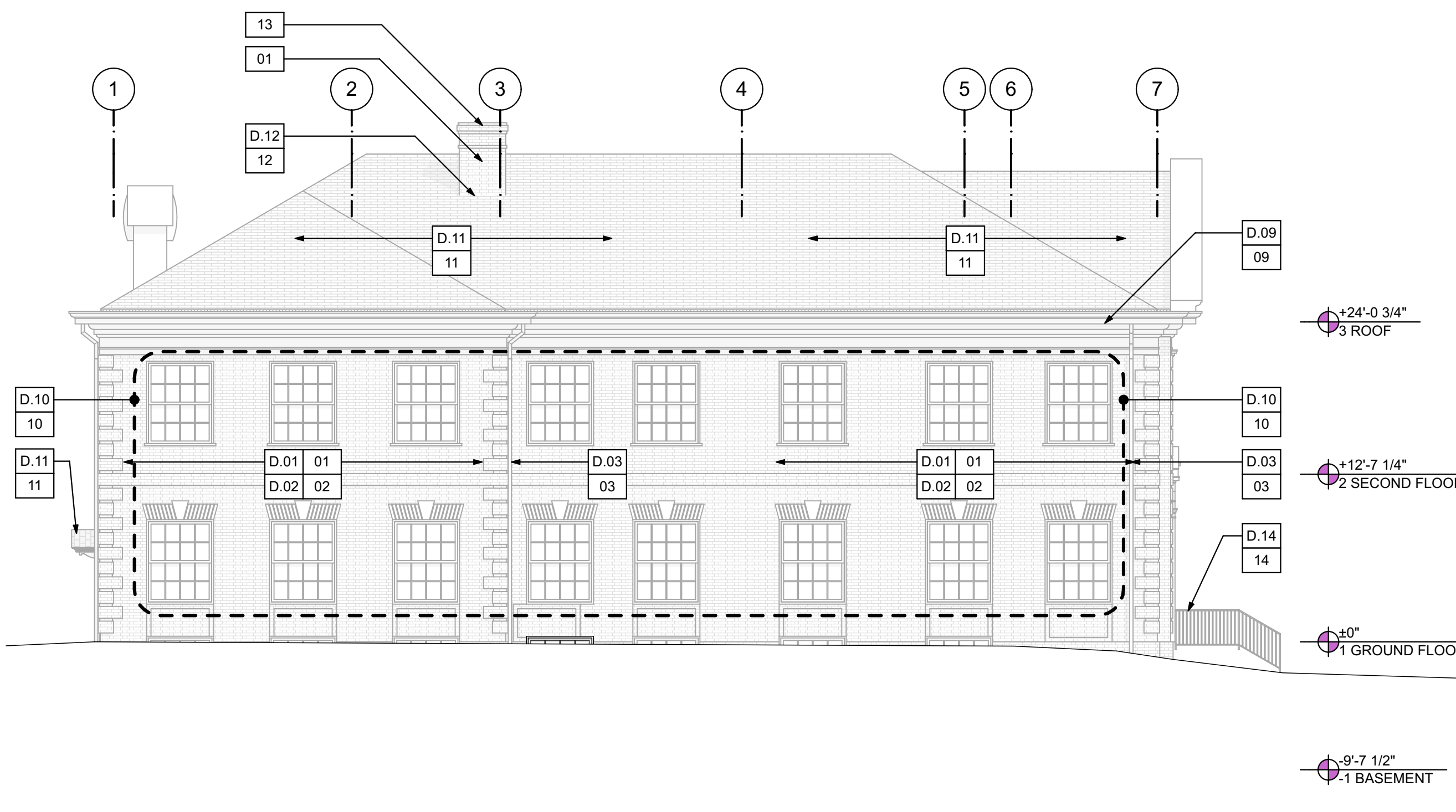
4 WEST ELEVATION 2
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION 2
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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