

INTRODUCED: March 14, 2022

AN ORDINANCE No. 2022-095

To authorize the special use of the property known as 933 West Grace Street for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: APR 11 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 933 West Grace Street, which is situated in a B-4 Central Business District, desires to use such property for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, which use, among other things, is not currently allowed by section 30-440.3(3), concerning rear yards, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES:            9            NOES:            0            ABSTAIN: \_\_\_\_\_

ADOPTED:    APR 11 2022    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 933 West Grace Street and identified as Tax Parcel No. W000-0468/004 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing #931 & #933 W. Grace Street, Richmond, Virginia, Surveyed for Switzerland Town, LLC,” prepared by Baseline Land Surveying, and dated July 16, 2020, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “931-933 W Grace St, Richmond VA 23220 USA,” prepared by Walter Parks Architect, and dated January 21, 2022, and hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building containing up to 21 dwelling units and commercial space, substantially as shown on the Plans. The first floor commercial space shall contain non-residential uses permitted by the underlying zoning district in which the Property is situated.

(b) No off street parking shall be required for the Special Use.

(c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) The height of the Special Use shall not exceed four stories, substantially as shown on the Plans.

(f) No fewer than seven bicycle parking spaces shall be provided, substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

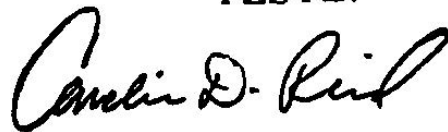
amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:  
TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reed". The signature is written in a cursive style with a large initial 'C'.

**City Clerk**



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov

## Item Request File Number: PRE.2022.0023

### O & R Request

**DATE:** February 14, 2022

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Mayor, by Request)  
(This is no way reflects a recommendation on behalf of the Mayor.)

**THROUGH:** J.E. Lincoln Saunders, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic  
Development and Planning

**FROM:** Kevin J. Vonck, Director, Department of Planning and Development Review

**RE:** To authorize the special use of the property known as 933 West Grace Street for the purpose of a mixed-use building, containing up to twenty-one dwelling units and commercial space, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 933 West Grace Street for the purpose of a mixed-use building, containing up to twenty-one dwelling units and commercial space, upon certain terms and conditions.

**REASON:** The applicant is requesting a Special Use Permit which would allow for a mixed use building including multi-family and commercial uses within a B-4 Central Business zoning district. While the proposed uses are currently permitted within the B-4, the use does not meet certain feature requirements within the B-4 district, including Rear yard depth requirements. A Special Use Permit is therefore required.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its April 4, 2022, meeting.

**BACKGROUND:** The property is located in the VCU neighborhood on West Grace Street, between North Harrison and Shafer Streets. The property is currently a 4,150 sq. ft. building on a 6,379 sq. ft. (.15 acre) parcel of land. The application is for a four story, mixed use building.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Destination Mixed Use. This designation is defined as a "Key gateways featuring prominent destinations, such as retail, sports venues, and large employers, as well as housing and open space."

Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space.

Secondary Uses: Institutional and government. (p. 64)

The surrounding land uses include mixed-use residential and commercial with some institutional uses to the in the vicinity, especially along Broad Street to the north. The current zoning for this property is B-4 Central Business zoning district. Adjacent properties to the east north, and west are located within the same B-4 Zone. Properties adjacent and directly to the south are zoned R-73 Multifamily Residential District. The density of the proposed development is approximately 140 units per acre.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No

**REVENUE TO CITY:** \$2,400 application fee

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** March 14, 2022

**CITY COUNCIL PUBLIC HEARING DATE:** April 11, 2022

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
April 4, 2022

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

**STAFF:** Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734





Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

**Project Name/Location**

Property Address: 931-933 W. Grace Street, Richmond, VA 23230 Date: 5/12/2021  
Tax Map #: W0000468004 Fee: \$2,400.00  
Total area of affected site in acres: 0.146

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

**Zoning**

Current Zoning: B-4 - Business

Existing Use: 426-B Restaurant/Bar

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)

Addition of three new stories of multi-family residential space atop an existing single story commerical building. The building will have 21 units  
Existing Use: Restaurant/bar; the current tenant upfits are not a part of the project scope.

Is this property subject to any previous land use cases?

Yes  No  If Yes, please list the Ordinance Number: \_\_\_\_\_

**Applicant/Contact Person:** T. Preston Lloyd, Jr.

Company: Williams Mullen  
Mailing Address: 200 S. 10th Street, Suite 1600  
City: Richmond State: VA Zip Code: 23219  
Telephone: (804) 420-6615 Fax: ( ) N/A  
Email: plloyd@williamsmullen.com

**Property Owner:** Switzerland Town LLC

If Business Entity, name and title of authorized signee: Antar Abouzaki, Manager

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 807 E. Parham Road  
City: Richmond State: VA Zip Code: 23227  
Telephone: (804) 519-8548 Fax: ( ) N/A  
Email: \_\_\_\_\_

**Property Owner Signature:**

T. Preston Lloyd, Jr., Acting Under Special Power of Attorney

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

August 3, 2021

VIA E-MAIL

City of Richmond Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
Attn. Richard Saunders, Secretary, Planning Commission

**Re. Applicant's Report | Special Use Permit Application  
931-933 W. Grace Street, W0000468004**

Ladies and Gentlemen:

This firm is counsel to Switzerland Town LLC, a Virginia limited liability company (the "Applicant"), on whose behalf we submit the enclosed materials referenced on Exhibit A (collectively, the "Application") for authorization of the special use of certain property further described herein pursuant to Section 30-1050.1 *et seq.* of the Code of the City (the "Code"). This letter will serve as the Applicant's Report.

**Subject Property**

The subject property, presently owned by the Applicant, is 0.146 acres, more or less, known as 931-933 W. Grace Street, Richmond, Virginia 23220, located near the corner of W. Grace Street and N. Harrison Street in the City of Richmond, Virginia, as depicted immediately below (the "Property").



**Current Use & Zoning District Regulation**

The Property, designated as B-4 Central Business District on the Zoning Map of the City, is currently improved as a single-story storefront used as a restaurant. Surrounding properties are designated as B-4 along W. Grace Street and R-73 to the rear across an alley, as shown on the Zoning Map excerpted immediately below. The Property’s frontage on W. Grace Street is designated on the Zoning Map of the City as “priority street” frontage.



**Proposed Special Use**

Consistent with the site plan enclosed herewith (the “Site Plan”), the Applicant proposes the addition of 3 new stories of multi-family residential use comprised of 21 units atop an existing single-story commercial building located on the Property. This use is permitted as a matter of right within the B-4 district.

In connection with its special use of the Property, the Applicant requests relief from the rear yard setback requirement imposed by the Code. Per Section 30-440.3(3), the Property is subject to a 20-foot rear yard setback requirement due to the proximity of land zoned R-73 located immediately across the alley at the rear of the parcel. The Applicant proposes a rear yard setback of \_\_\_\_ feet, as shown on the Site Plan.

**Conformance with Master Plan**

The proposed special use of the Property conforms to the City’s Master Plan, approved in the form of the Richmond 300 Master Plan (the “Master Plan”). According to the Master Plan, Richmond

300 intends the Property to be part of the VCU National/Regional Node. VCU's Monroe Park Campus anchors a cluster of shopping, dining, and housing for students and neighborhood residents alike. Further, the Richmond 300 Future Land Use Map categorizes the Property as Destination Mixed-Use. The Master Plan provides that areas designated Destination Mixed-Use are intended to be key gateways featuring prominent destinations, including retail and housing. Development in Destination Mixed-Use areas are recommended to include a mix of commercial and residential buildings with features that encourage walking, and buildings that are generally at least five stories tall. These vertically mixed-use buildings require commercial ground floor uses on street-oriented commercial frontages. The Property is currently comprised of a single-story commercial building used as a restaurant. Since the proposed development shown on the Site Plan would add three new stories of 21 multi-family residential units to the current building, the proposed development enhances the ability of the Property to achieve the future Destination Mixed-Use concept that the Master Plan outlines.

Additionally, residential units can be developed through compatible infill development and developing two to three stories of residential above existing commercial structures. New infill development incorporates high-quality architecture, complements the character of historic buildings, and matches the intensity of existing buildings with active ground floor uses that enliven the sidewalks. Given the location of the Property in the VCU National/Regional Node, the proposed infill development fits within the goals of the Master Plan as it would modernize the current building, provide additional housing, and maintain an active and engaged street front with a restaurant on the first floor. Further, since the Property is located on "priority street" frontage, deviation from the rear yard setback requirement set forth under Sec. 30-440.3(3) of the Code would improve the design and function of the development.

### **Charter Requirements**

Based on the foregoing, the proposed use on the Property meets the criteria set forth in Section 17.11(b) of the Charter of the City that the Application is not (i) detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to cause overcrowding of land and an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air.

### **Conclusion**

The proposed special use of the Property, i.e., deviation from the rear yard setback requirement imposed by the Code, would further catalyze the ability to achieve the goals of the Master Plan. A reduction in the rear yard setback requirement would advance the land use policy priorities of City Council evidenced in the Master Plan, as authorized by the Charter of the City.

City of Richmond Department of Planning and Development Review  
August 3, 2021  
Page 4

Thank you for your consideration of this matter. Please confirm your determination that the Application has been received and deemed complete by your office, and kindly contact us should you have any questions or require additional materials.

Very truly yours,

/s/

T. Preston Lloyd, Jr.

cc. The Hon. Katherine L. Jordan, Councilperson for 2nd District (via email)  
Kevin J. Vonck, Ph.D., Acting Director, Department of Planning and Development Review  
(via email)  
Nael Abouzaki (via email)

Enclosures

45209201\_3







**GRACE PROJECT Analysis**

Property Address: 931, 933 W Grace Street  
 Zoning: B-4 - Business (Central Business)  
 Planning District: Near West  
 Traffic Zone: 1097  
 City Neighborhood Name: VCU  
 Parcel Area: 6378.53 sf (0.146 acres)  
 Parcel Area to midline of street & alley: 5,727sf

**DIVISION 22. B-4 CENTRAL BUSINESS DISTRICT**

**SEC. 30-440.1. PERMITTED PRINCIPAL AND ACCESSORY USES.**

The following uses of buildings and premises shall be permitted in the B-4 district.

A plan of development shall be required as specified in this section; construction of any new building of greater than 50,000 square feet of floor area; and construction of any new building or addition to any existing building where vehicular circulation, including driveways, parking areas or loading areas, is to be provided on the site; provided that a plan of development shall not be required for any use that is subject to location, character and extent approval by the city planning commission in accordance with section 17.07 of the City Charter.

(12) Dwelling units, provided that when such units are located within buildings fronting on streets designated as street oriented commercial frontage, a minimum of one-third or 1,000 square feet, whichever is greater, of the floor area of the ground floor of the building shall be devoted to other principal uses permitted in this district, and such uses shall have a depth of not less than 20 feet along the entire street oriented commercial frontage, except for ingress and egress. A plan of development shall be required as set forth in article X of this chapter for construction of any new building containing more than ten dwelling units (Ord. No. 2011-205-2012-1, 1-9-2012)

**SEC. 30-440.3. YARDS.**

(1) Front Yard.  
 (c) Where existing buildings are located on both adjacent lots along the same street frontage, the front yard shall be the same as the front yard provided for the existing building closest to the street, but in no case greater than ten feet.

(2) Side yards. No side yards shall be required.

(3) Rear yard. No rear yard shall be required except as provided in subsection (4) of this section, and except that where a rear lot line abuts or is situated across an alley from property in an R or RO district there shall be a rear yard of not less than 20 feet in depth.

(4) Side and rear yards adjacent to shelters. Side and rear yards adjacent to newly constructed buildings or portions thereof devoted to shelters shall be not less than 15 feet in depth.

**Sec. 30-440.4. Screening.**

(2) Where a use prohibited on a transitional site is situated across an alley from the side lot line of property in an R district, there shall be an opaque structural fence or wall not less than four feet in height erected along the alley line, but not within 15 feet of any street line.

**SEC. 30-440.5. FLOOR AREA AND USABLE OPEN SPACE.**

(See section 30-1220)  
 (1) Floor area ratio. The floor area ratio shall not exceed 6.0, provided that additional floor area for non dwelling uses shall be permitted as set forth in section 30-690.  
 (2) Usable open space ratio. A usable open space ratio of not less than 0.08 shall be provided for newly constructed buildings or portions thereof devoted to dwelling uses or shelters.

Floor area ratio (FAR) means the total square foot amount of floor area on a lot for each square foot of land area. Floor area ratio is determined by dividing the floor area on a lot by the land area attributed to the lot.

Usable open space means that portion of a lot or that portion of a development site which is not covered by building area or vehicular area and including usable roof area and exterior balconies, terraces or patios not covered by enclosed building space.

Usable open space ratio means the total square foot amount of usable open space on a lot for each square foot of floor area on the lot or on the development site. The usable open space ratio is determined by dividing the amount of usable open space by the amount of floor area (devoted to dwellings uses).

Floor Area: Lot area to midline of streets & alley is 5,727sf x 6.0 FAR = 34,362 sf  
 Usable Open Space: Building Area devoted to Dwelling Use (17,812.75 sf) x 0.08 = 1,425.02 sf

**SEC. 30-440.6. HEIGHT.**

There shall be no maximum height limit in the B-4 central business district, provided that no portion of a building shall penetrate an inclined plane originating at the centerline of each abutting street and extending over the lot at an inclination of one foot horizontal for each four feet vertical and provided, further, that such inclined plane may be penetrated by a building wall adjacent to a street for a horizontal distance not exceeding 50 percent of the length of the property line along such street.

**Sec. 30-440.7. Building facade fenestration.**

(1) Street level story.  
 a. Nondwelling uses. For nondwelling uses, a minimum of 60 percent of the building facade between two and eight feet in height along the street frontage shall be comprised of windows or glass doors or both that allow views into and out of the interior building space. Windows used to satisfy this requirement shall have a minimum height of four feet. In the case of a street level story having less than its full height above the mean grade level at the building facade along the street frontage of the lot, a minimum of 30 percent of the building facade above such mean grade level shall be comprised of windows or glass doors or both that allow views into and out of the interior building space, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building facade along the street frontage of the lot, the requirements of this subsection (1) "a" shall not apply.  
 b. Dwelling uses. For dwelling uses, windows or glass doors or both that allow views out of the interior of the building space shall comprise a minimum of 30 percent of the building facade between two and eight feet in height along the street frontage. In the case of a street level story having less than its full height above the mean grade level at the building facade along the street frontage of the lot, windows or glass doors or both that allow views out of the interior building space shall comprise a minimum of 15 percent of the building facade above such mean grade level, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building facade along the street frontage of the lot, the requirements of this subsection (1) "b" shall not apply. In all cases, windows shall be double-hung, single-hung, awning or casement type, and fixed windows shall be permitted only as a component of a system including operable windows within a single wall opening.  
 (2) Upper stories.

**GENERAL NOTES**

- PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
- VERIFY EXISTING CONDITIONS, DIMENSIONS AND VERTICAL ELEVATIONS THAT AFFECT THE WORK INDICATED IN THESE DOCUMENTS AND NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES. DISCREPANCIES AND CONDITIONS THAT REQUIRE ADDITIONAL DOCUMENTATION BEYOND THAT SHOWN IN THESE PROJECT DOCUMENTS IN ORDER FOR THE CONTRACTOR TO PERFORM HIS WORK SHALL BE PROVIDED AND INCLUDED IN THE CONTRACTOR'S BASE BID.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS SHALL GOVERN. ALL DIMENSIONS ARE TAKEN TO FACE OF STUDS OR EXISTING MASONRY/ CONCRETE OR OTHER EXISTING CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- OBTAIN AND PAY FOR ALL PERMITS, PROCESS AND COMPLETE ALL INSPECTIONS AND REPORTS, SECURE FINAL BUILDING CODE OFFICIAL SIGN-OFFS AND OBTAIN A CERTIFICATE OF OCCUPANCY. PROVIDE THE OWNER WITH A BONAFIDE RELEASE OF ALL LIENS WITH EACH SUBCONTRACTOR'S SIGNATURE.
- INSTALL ARCHITECT'S SIGN WITHIN 30 DAYS OF NOTICE TO PROCEED, ADJACENT TO CONTRACTOR'S SIGN OR AS APPROVED BY THE OWNER. ARCHITECT'S SIGN SHALL BE FURNISHED BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN SIGN IN NEAT APPEARANCE THROUGH DURATION OF THE CONTRACT. REMOVE AND TURN OVER SIGN TO THE ARCHITECT AT PROJECT COMPLETION.
- SCHEDULE A KICK OFF MEETING WITH ARCHITECT, CONTRACTOR AND MAJOR SUBCONTRACTORS TO COORDINATE ALL BUILDING SYSTEMS.
- PROVIDE ALL TEMPORARY FACILITIES AND UTILITIES REQUIRED FOR COMPLETION OF THE PROJECT.
- IF LEAD PAINT IS ENCOUNTERED, COMPLY WITH OSHA 29CFR 1926.62
- PROTECT ALL EXISTING ELEMENTS AND FINISHES TO BE SALVAGED, REUSED OR MAINTAINED. FROM DAMAGES, REPAIR DAMAGE TO EXISTING BUILDING FROM CONSTRUCTION ACTIVITIES TO LIKE NEW OR ORIGINAL CONDITIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.
- ISOLATE CONSTRUCTION ACTIVITIES FROM OCCUPIED AREAS, PARKED VEHICLES, ADJACENT BUILDINGS OR PROPERTY FOR NOISE, DUST, HEAT LOSS AND GENERAL ACCESS.
- KEEP CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PROVIDE A SUBMITTAL/ SHOP DRAWING LOG WITHIN 30 DAYS OF NOTICE TO PROCEED TO THE ARCHITECT. LOG MUST INDICATE ANTICIPATED DATES FOR DESIGN PROFESSIONAL REVIEW. PROVIDE SHOP DRAWINGS AND/ OR SUBMITTALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF ALL ITEMS. PRIOR TO SUBMITTING SHOP DRAWINGS AND SUBMITTALS, REVIEW EACH ITEM FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. ALL SUBMITTALS SHALL BE FOR PRODUCTS SPECIFIED OR INDICATED. SUBSTITUTIONS MUST BE SO IDENTIFIED AND MAY REQUIRE ADDITIONAL REVIEW TIME BY THE ARCHITECT OR ENGINEER.

- ALL ITEMS FOR CONSTRUCTION SHALL BE NEW, UNUSED AND OF HIGHEST QUALITY. INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR IN ROOF APPLICATIONS (CURBS, BLOCKING ETC.) SHALL BE PRESSURE PRESERVATIVE TREATED.
- ALL GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION REQUIREMENTS AS INDICATED IN BUILDING CODE.
- PROVIDE CAULKING BETWEEN DISSIMILAR MATERIALS IN ORDER TO INSURE WEATHER TIGHTNESS, FIRE RATINGS, AND/ OR CONTINUITY OF FINISHES. CAULKING AT ALL JOINTS WHERE FIRE RATINGS ARE REQUIRED SHALL BE FIRE RATED AND COMPATIBLE WITH INDEPENDENT LAB TESTED ASSEMBLY.
- PROVIDE ADEQUATE FRAMING/ BLOCKING OR CONCEALED SUPPORTS AND FASTENING DEVICES FOR ALL ITEMS TO BE MOUNTED TO THE CEILINGS OR WALLS.
- EXTEND ALL FLOOR, WALL, AND CEILING FINISHES UNDER OR BEHIND ANY ITEM OF EQUIPMENT, FURNITURE, ETC.
- SIGNAGE: ALL SIGNAGE FOR FIRE EQUIPMENT SHALL BE PERMANENTLY INSTALLED AND BE READILY VISIBLE ON THE ENTRANCE DOOR. LETTERS MUST CONTRAST WITH THE SIGN BACKGROUND. SIGNAGE MUST BE 4" IN HEIGHT AND SHALL READ "SPRINKLER CONTROL VALVES". PROVIDE TACTILE WARNING SIGNAGE STATING "EXIT" AT DOORS TO ENCLOSED STAIRWAYS, ADJACENT TO THE LATCH SIDE OF THE DOOR, 60 INCHES ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN.

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE RATED ASSEMBLIES THAT ARE PENETRATED BY BUILDING SYSTEMS. REPAIR AND/OR FILL ALL VOIDS AND HOLES IN FLOORS, WALLS, CEILINGS, AND ROOFS WITH SOLID MATERIAL TO MATCH ADJACENT CONSTRUCTION, FIRE RATINGS AND PERFORMANCE.
- PROVIDE 1/8" THICK, 4" TALL BRUSHED ALUMINUM NUMBERS AT EACH APARTMENT ENTRY DOOR, UNLESS OTHERWISE NOTED.
- WHERE NEW ROOFING IS INDICATED, PROVIDE FLASHING AT ADJOINING STRUCTURES AND PENETRATIONS TO ENSURE THEY ARE WATERTIGHT AND MAINTAIN REQUIRED WARRANTY. UNLESS OTHERWISE INDICATED, EXTEND ROOF MEMBRANE UP THE BACK OF PARAPETS AND UNDER COPINGS TO BUILDING EXTERIOR.
- BUILDING TO BE WATERTIGHT AGAINST ELEMENTS.
- WHERE TUBS ARE LOCATED AGAINST FIRE RATED ASSEMBLIES, PROVIDE ADDITIONAL LAYER OF 1/2" GYPSUM TO COVER TUB FLANGE UP TO CEILING.
- PROVIDE 4" MINIMUM BETWEEN HINGE SIDE OF DOOR OPENINGS AND NEAREST ADJOINING WALL OR PARTITION, UNLESS OTHERWISE NOTED.
- PROVIDE 1/2" GYPSUM BOARD IN ATTICS ABOVE AND IN LINE WITH DWELLING UNIT SEPARATION WALLS.
- EACH FINISH SUB-CONTRACTOR SHALL INSPECT THE SUBSTRATE AND DETERMINE THE SUITABILITY FOR THE TYPE OF MATERIAL TO BE INSTALLED. REPORT ALL UNSUITABLE CONDITIONS TO CONTRACTOR FOR CORRECTION. CARPET AND TILE CONTRACTORS SHALL PROVIDE FLASH PATCHING AS REQUIRED FOR A TRUE AND LEVEL FINISH. CLEAN ALL SURFACES TO RECEIVE NEW FINISHES OF FOREIGN MATERIAL THAT WOULD ADVERSELY AFFECT THE APPLICATION AND PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK IS ACKNOWLEDGEMENT OF THE CONTRACTOR'S ACCEPTANCE OF THE SUBSTRATE.
- COMPLY WITH THE CITY OF RICHMOND CROSS CONNECTION AND BACKFLOW PROGRAM REQUIREMENTS. PROVIDE DETAIL DRAWINGS OF EXISTING UTILITIES AND NEW BACKFLOW AND SPRINKLER INSTALLATIONS TO THE DEPARTMENT OF UTILITIES FOR APPROVAL PRIOR TO INSTALLATION.
- PROVIDE ALL HOOKUPS REQUIRED FOR INDICATED EQUIPMENT.
- SPRINKLER SYSTEM SHALL BE PROVIDED ON A DESIGN-BUILD BASIS WITH SHOP DRAWINGS INCLUDING A PROFESSIONAL ENGINEER SEAL FOR APPROVAL BY BUILDING CODE OFFICIAL. SPRINKLER CONTRACTOR SHALL VERIFY THE OWNER'S SPRINKLER SUPERVISION METHOD SELECTION AND COORDINATE WITH THE FIRE ALARM SUB CONTRACTOR. COORDINATE ALL COMPONENTS WITH OTHER TRADES TO MINIMIZE CONFLICTS.
- PROVIDE PORTABLE FIRE EXTINGUISHER ON EACH COMPLETED FLOOR DURING CONSTRUCTION IN ACCORDANCE WITH NFPA 10 (STANDARDS FOR PORTABLE FIRE EXTINGUISHERS).
- GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

**GENERAL HAZARD NOTES**

- UNDERGROUND STORAGE TANKS (UST), IF FOUND, ARE TO BE "CLOSED IN PLACE". ANALYZE A MINIMUM OF 8 SOIL SAMPLES ADJACENT TO THE BOTTOM OF THE USTS FOR TOTAL PETROLEUM HYDROCARBON VIA EPA METHOD 8015B.
- REMOVE ALL ABOVE GROUND STORAGE TANKS FROM THE SITE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REGULATIONS.
- ASBESTOS-CONTAINING MATERIALS, IF FOUND, ARE TO BE MANAGED UNDER A SITE-SPECIFIC OPERATIONS AND MAINTENANCE PROGRAM DEVELOPED IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES BY A LICENSED ASBESTOS PROJECT DESIGNER.
- LEAD-BASED PAINT, IF FOUND, SHALL BE ENCAPSULATED IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS UNLESS OTHERWISE NOTED. AREAS IDENTIFIED WITH LEAD PAINT SUBJECT TO PAINT REMOVAL SHALL BE PERFORMED IN A CONTROLLED MANNER PER OSHA 29 CFR 1926.62.
- POLYCHLORINATED BIPHENYLS - PCB CONTAINING LIGHT BALLASTS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL APPLICABLE REGULATIONS BY AN ELECTRICAL CONTRACTOR FAMILIAR WITH PCBs.
- ALL AREAS CONTAINING PIGEON GUANO SHALL BE PROPERLY CLEANED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

**SANITARY SEWER AND STORM SEWER NOTES**

- BASED ON CITY GIS THE EXISTING BUILDING IS SERVED BY THE CSS FROM THE ALLEY OFF N. HARRISON STREET. THE SEWER MAIN IN N. HARRISON STREET IS A 20"x30" (EGIBR). THE PROPOSED 21 ONE BEDROOM UNITS WILL GENERATE 200 GPD EACH. THIS EQUATES TO A PEAK FLOW OF 0.014 MGD OR 0.064 CFS. THE EXISTING RESTAURANT WILL REMAIN AT ITS SAME FLOW RATE. PRIOR TO APPLYING FOR ANY PERMITS, ENGINEER TO CONFIRM SEWER SIZE, PIPE MATERIAL, AND PIPE CAPACITY DURING SITE CONSTRUCTION PLAN REVIEW.
- A FULLY ENGINEERED SITE CONSTRUCTION PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO APPLYING FOR ANY PERMITS. THE CONSTRUCTION PLAN SHALL INCLUDE EXISTING AND POST DEVELOPMENT SANITARY SEWER AND STORMWATER FLOW RATES. EXISTING AND PROPOSED SANITARY SEWER QUANTITIES SHALL ALSO BE PROVIDED.

**PROJECT SCOPE**

THIS PROJECT IS THE ADDITION OF THREE NEW STORIES OF MULTI-FAMILY RESIDENTIAL SPACE ATOP AN EXISTING SINGLE-STORY COMMERCIAL BUILDING ON WEST GRACE STREET IN THE FAN DISTRICT. THE BUILDING WILL HAVE 21 UNITS. THE EXISTING COMMERCIAL TENANT SPACE(S) UPFITS ARE NOT PART OF THIS SCOPE.

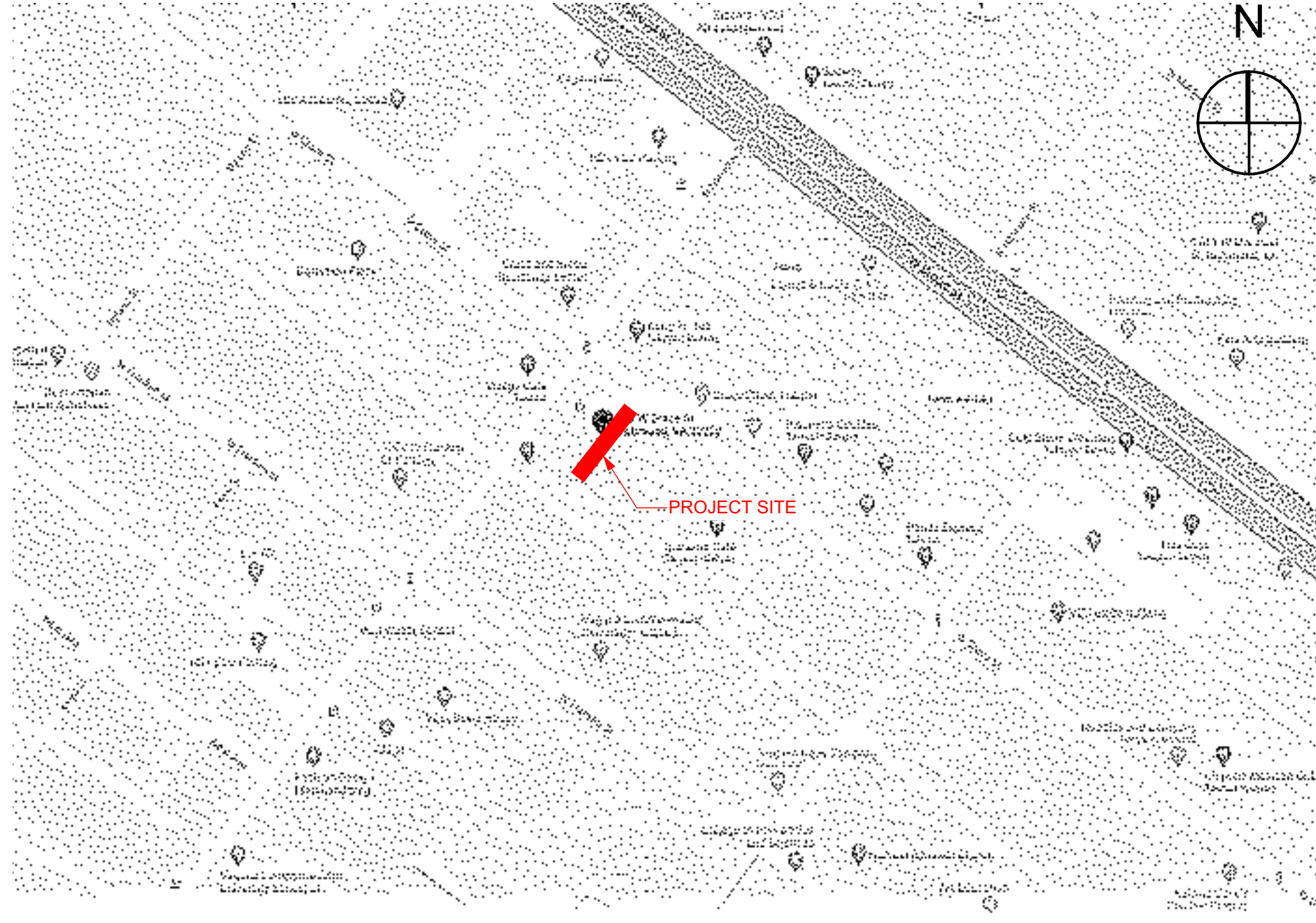
**PROJECT DIRECTORY**

- Owner**  
 Switzerland Town LLC
- Architect**  
 Walter Parks Architect  
 Contact: Walter Parks  
 313 North Adams Street  
 Richmond, VA 23220  
 804.644.4761
- Civil Engineer**  
 HG Design Studio  
 Contact: Edward Glass  
 5701 Grove Avenue  
 Richmond, VA 23228  
 804.740.7500
- Structural Engineer**  
 Balzer & Associates  
 Contact: Randy Tritt  
 15871 City View Drive, Suite 200  
 Midlothian, VA 23113\*  
 804.794.0571
- MEP Engineer**  
 O'Neil Engineering Services  
 Contact: Patrick O'Neil  
 2420 New Dorset Terrace  
 Powhatan, VA 23139  
 804.921.3569

**ZONING MAP**



**VICINITY MAP**



**SEWER UTILITY MAP**

**Legend**

- Manhole
- Locked
- Gravity Pipe
- Active
- Proposed
- Under Construction
- Sewer System Chamber
- Sewer System Clean Out
- Sewer System Drop Inlet
- Filling
- Sewer System Outfall
- Sewer System Pump
- Sewer System Pump Station
- Sewer System Monument
- Sewer System Force Main
- Sewer System Lateral
- Sewer System Casing
- Abandoned Structure
- Abandoned Pipe
- Sewer System Miscellaneous Point
- Miscellaneous Line
- Sewer System Easement

**Map Information: Sewer Utility Map**

Scale: 1 inch = 100 feet

City of Richmond  
 Department of Public Utilities

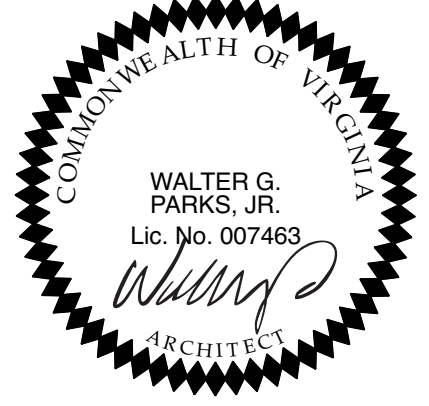
To Report Mapping Errors  
 Please Call 804-646-8533

To Report: Emergency Conditions CALL 804-646-7000

WARNING: Pipe lines depicted in the color RED are NOT as-built and may be PROPOSED only!

As the recipient of this information it is your responsibility to protect it and also your obligation to destroy it when it is no longer needed.

No guarantee of accuracy expressed or implied for the content of this map. The user shall hold harmless the City of Richmond for any consequences resulting from the use of this map.



**931-933 W Grace St**  
 RICHMOND VA 23220 USA

REVISIONS TAG DATE
01 01/20/2022

**walter PARKS ARCHITECT**

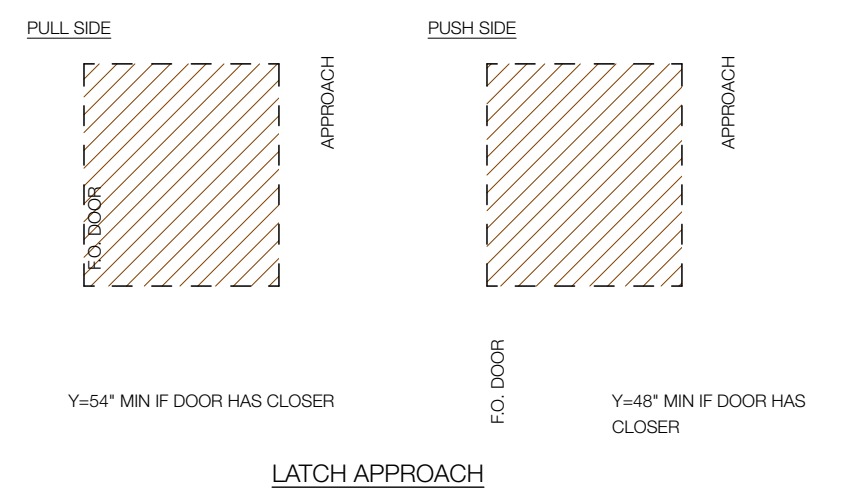
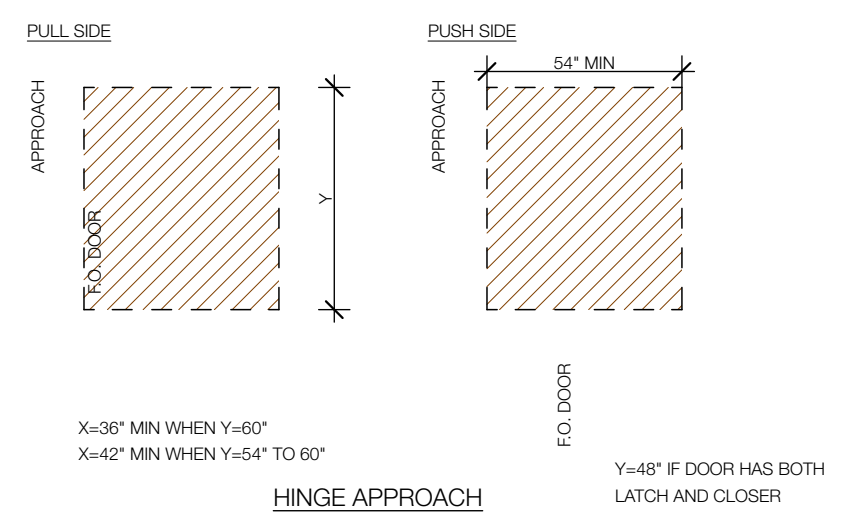
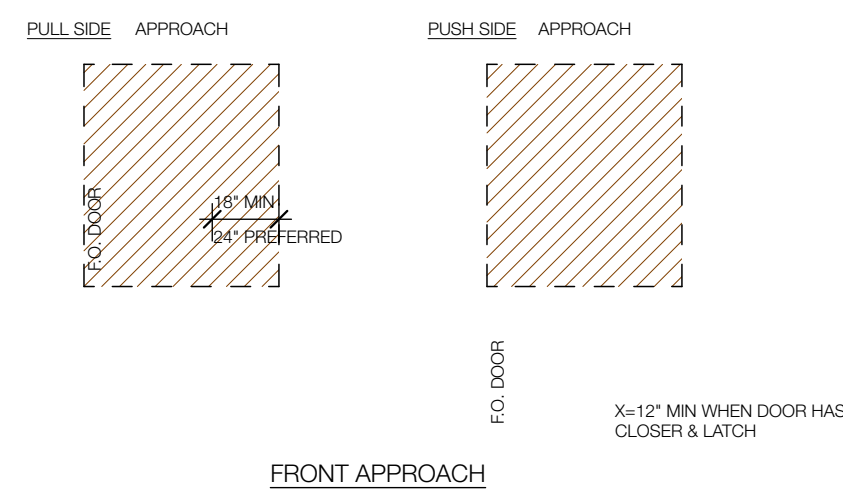
313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
 DATE: 1/21/22

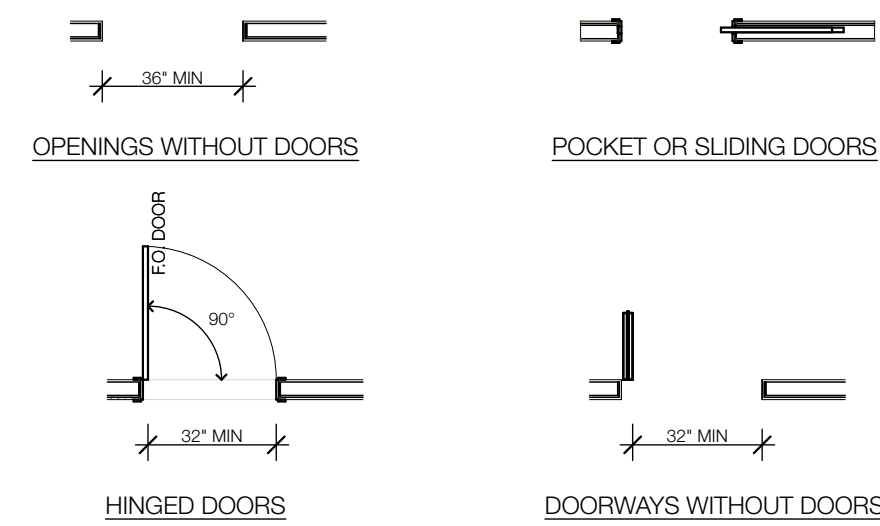
GENERAL NOTES  
**G.001**



MANEUVERING CLEARANCES AT SWINGING DOORS ANSI SECTION 404.2.3



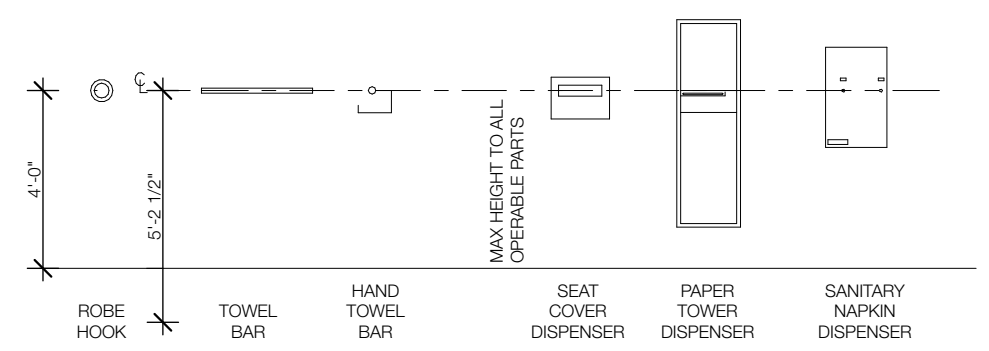
CLEAR WIDTH OF DOORWAYS ANSI SECTION 404.2.2



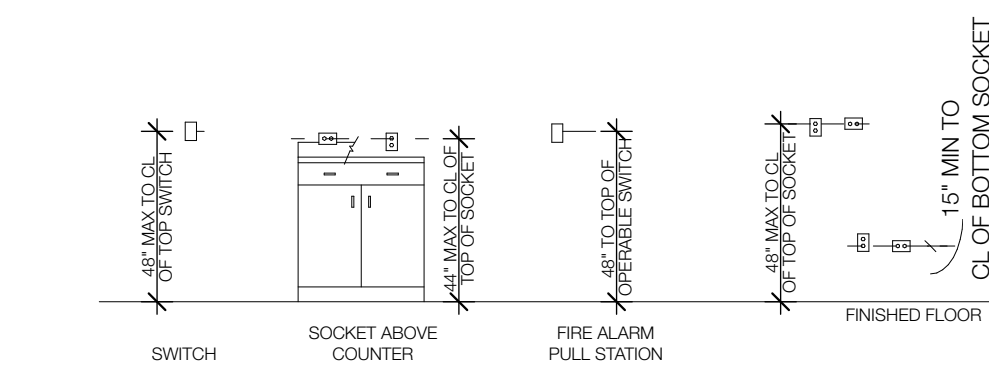
MOUNTING HEIGHTS

MOUNTING HEIGHTS ANSI SECTION 309

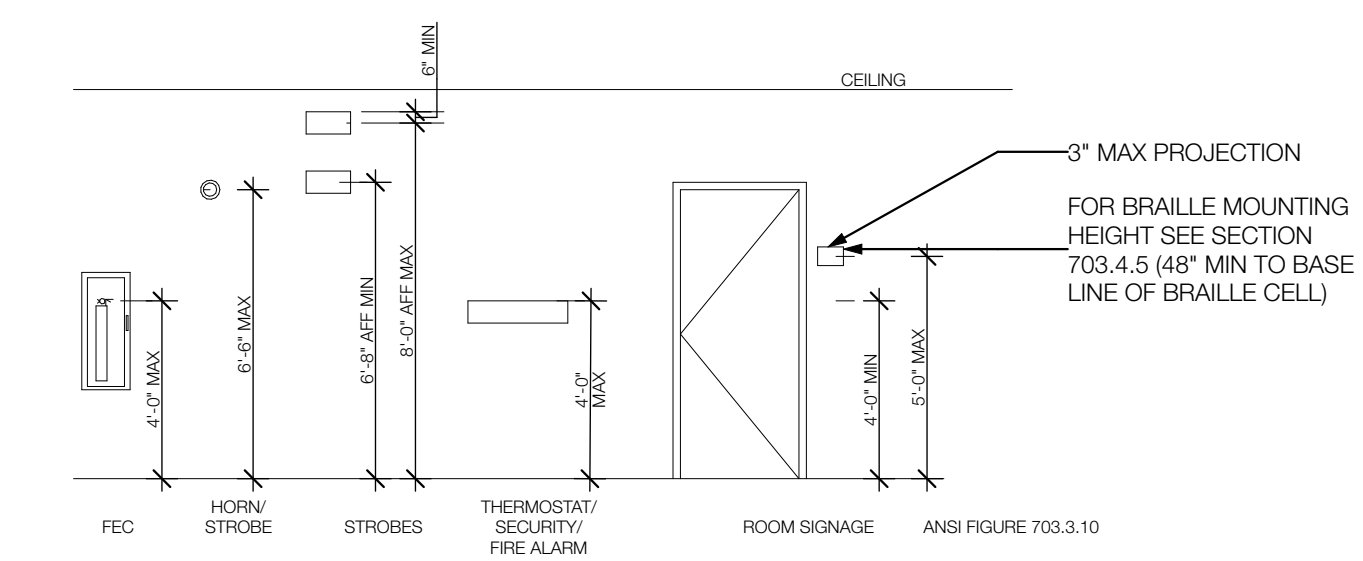
NOTE:  
1. WALL MOUNTED DEVICES SHALL NOT EXTEND MORE THAN 4" BEYOND WALL SURFACE WHEN LOCATED BELOW 6'-8"



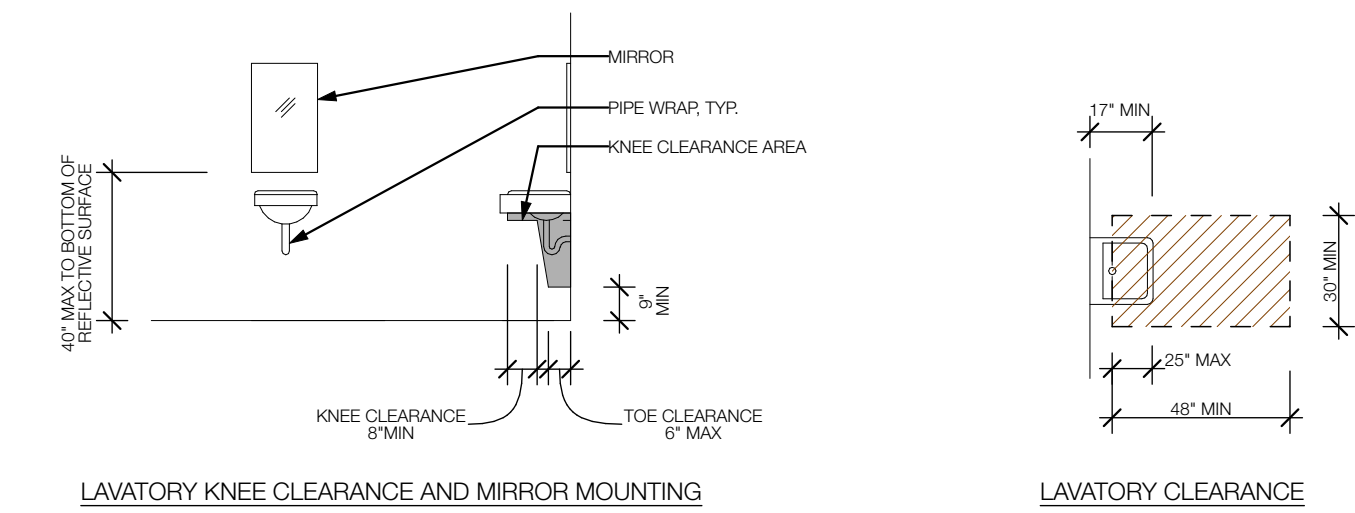
TOILET ROOM ACCESSORY MOUNTING HEIGHTS



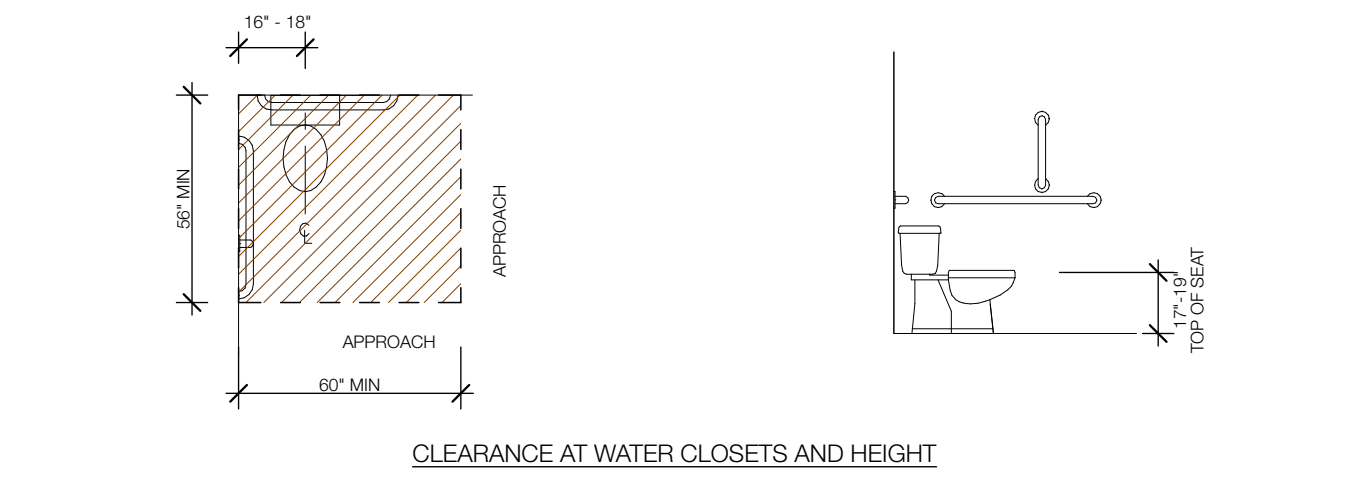
WALL MOUNTED DEVICES AND APPLIANCES ANSI SECTION 309



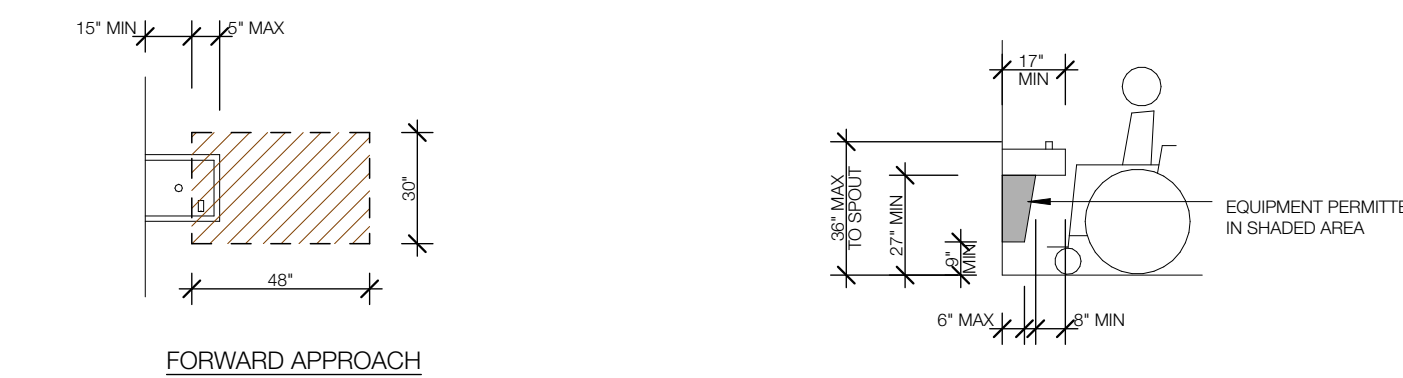
CLEARANCE AT LAVATORIES AND SINKS ANSI FIGURE C606.2(a) AND FIGURE 306.2



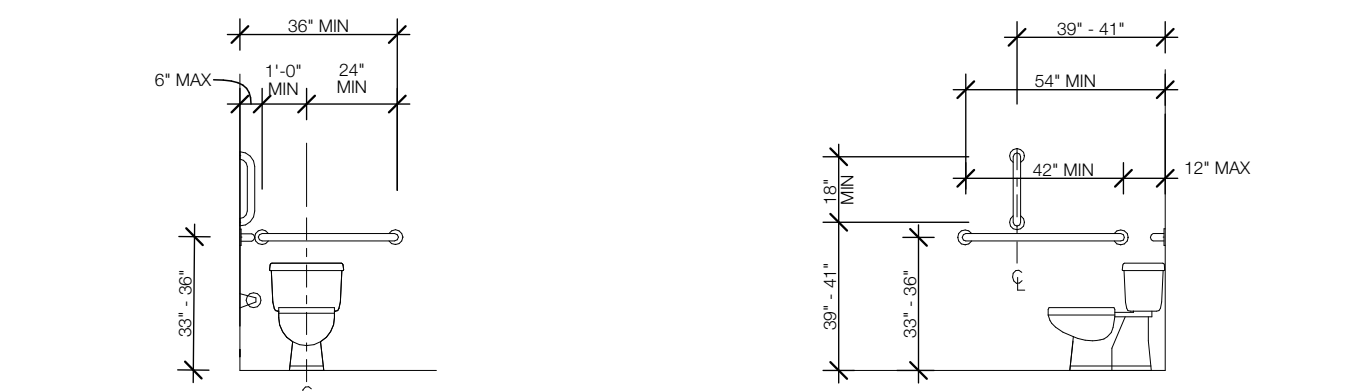
CLEARANCE AT WATER CLOSETS AND HEIGHT ANSI FIGURE 604.3 AND FIGURE 604.4



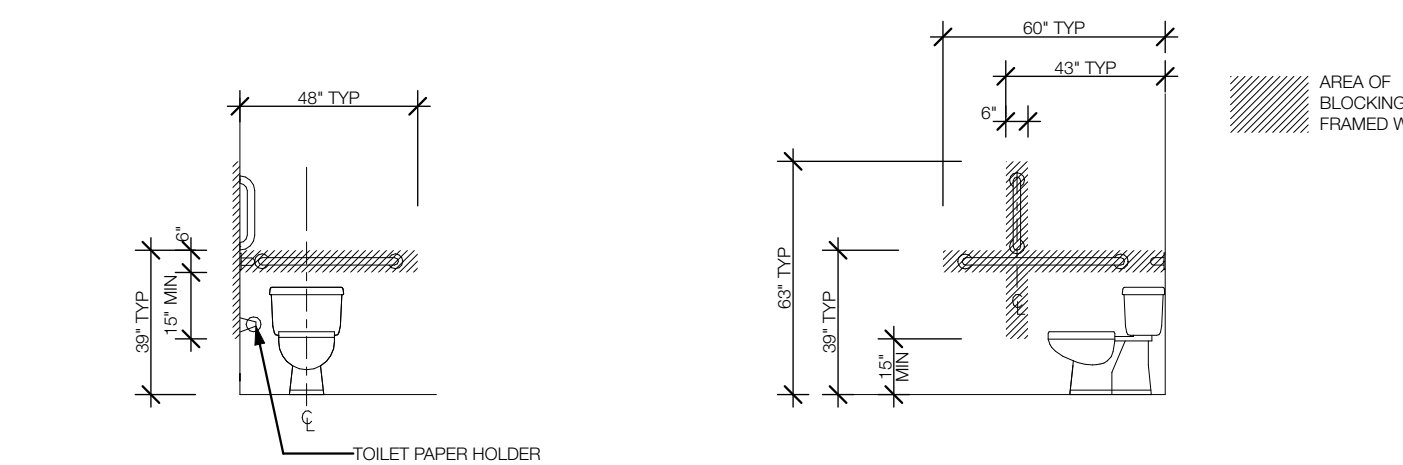
DRINKING FOUNTAIN WITH FORWARD APPROACH ANSI FIGURE C602.2 (a) AND FIGURE 602.5 (a)



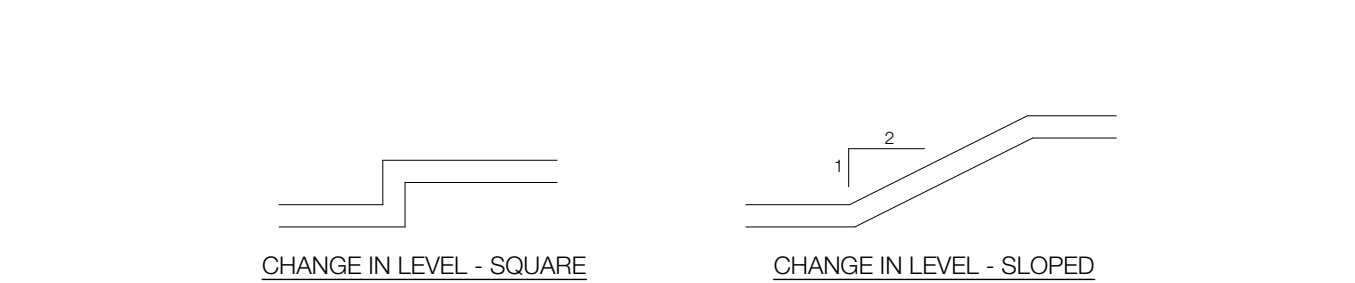
GRAB BARS AT WATER CLOSETS ANSI FIGURE 604.5.1 AND FIGURE 604.5.2



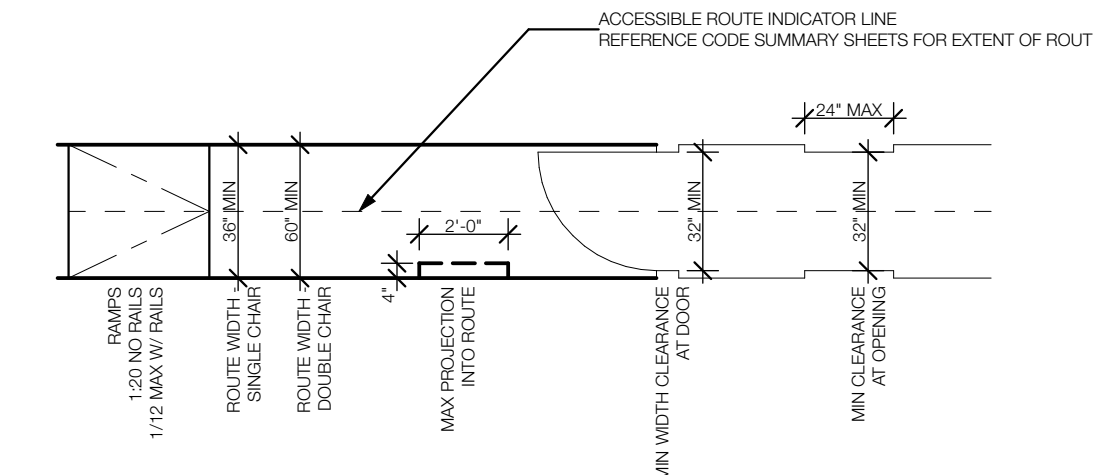
BLOCKING AT WATER CLOSET GRAB BARS



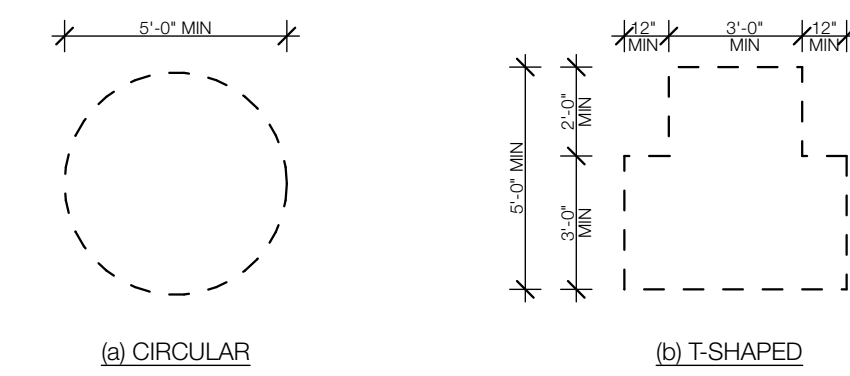
LEVEL CHANGE ON ACCESSIBLE ROUTE ANSI FIGURE 303.2 AND FIGURE 303.3



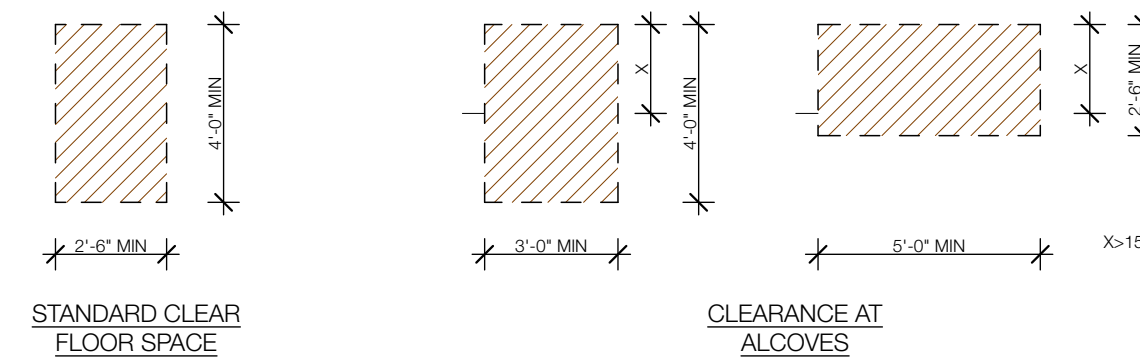
CLEAR WIDTH OF ACCESSIBLE ROUTE ANSI FIGURE 403.5 AND FIGURE C403.5



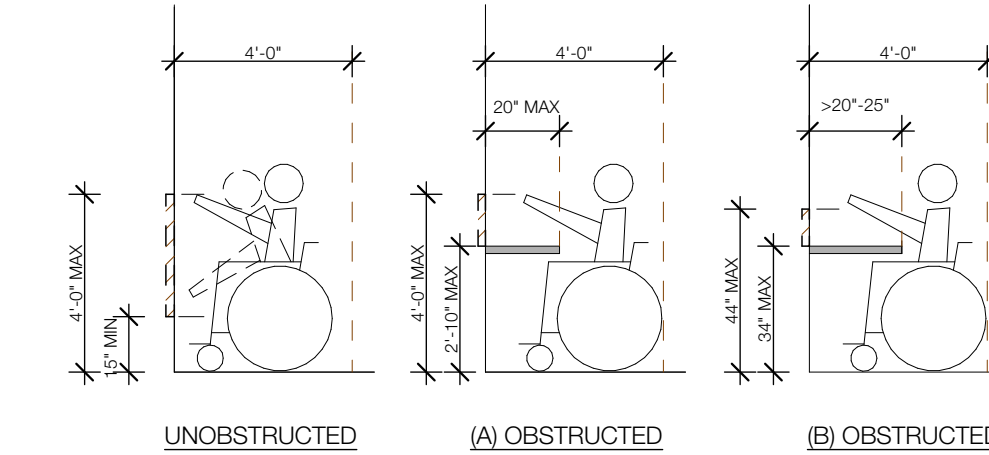
SIZE OF TURNING SPACE FIGURE 304.3



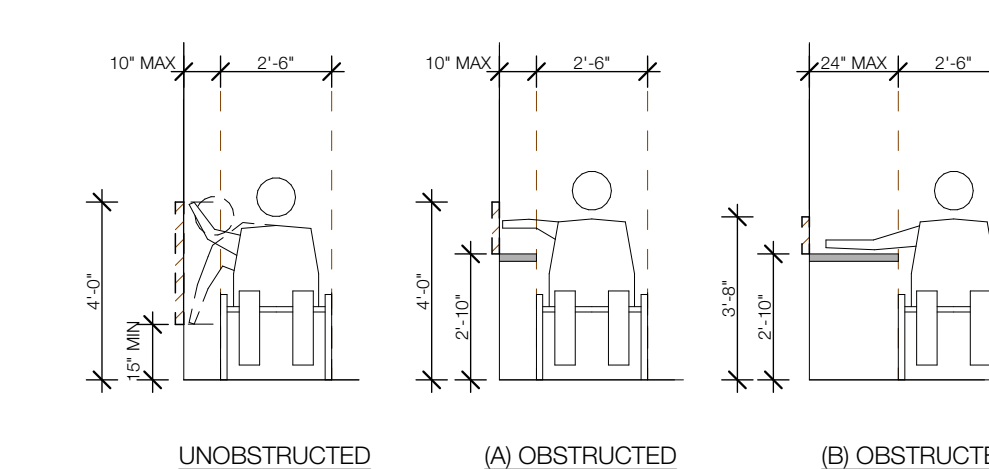
CLEAR FLOOR SPACES ANSI FIGURE 305.3 AND FIGURE 305.7



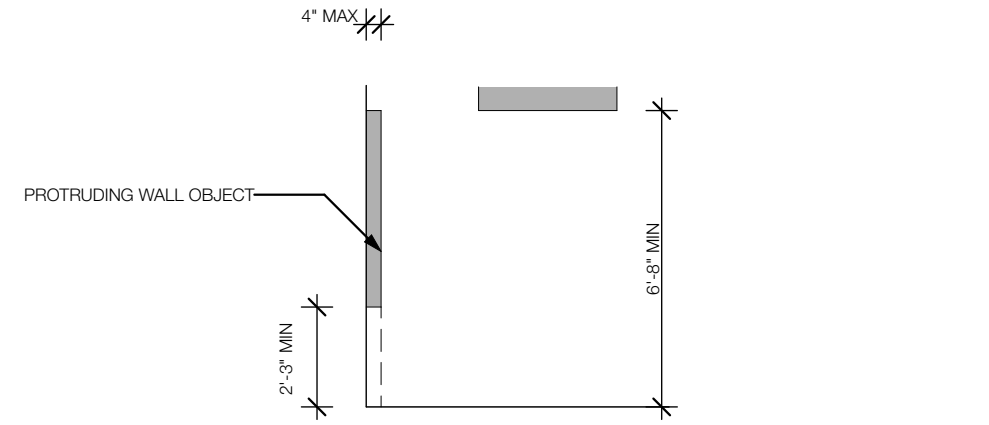
FORWARD REACH REQUIREMENTS ANSI FIGURE 308.2.1 AND FIGURE 308.2.2



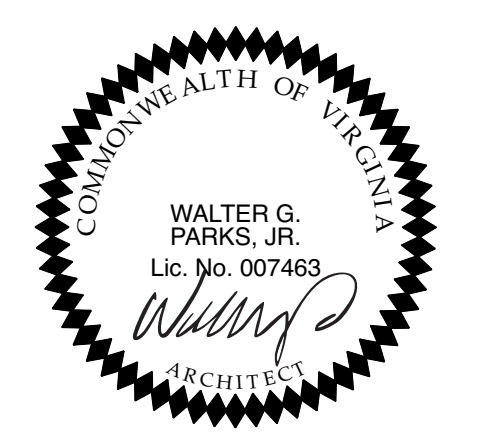
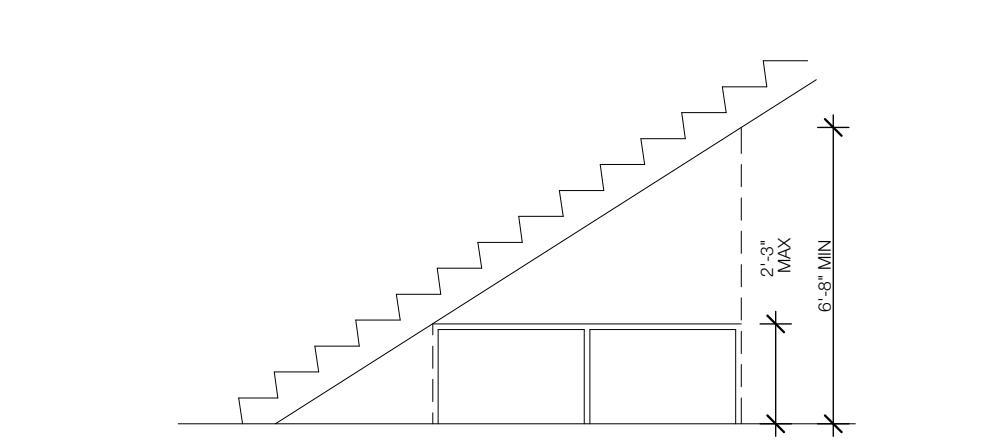
SIDE REACH REQUIREMENTS ANSI FIGURE 308.3.1 AND FIGURE 308.3.2



LIMIT OF PROTRUDING OBJECTS ANSI FIGURE 307.2



REDUCED VERTICAL CLEARANCE ANSI FIGURE 307.4



**931-933 W Grace St**  
RICHMOND VA 23220 USA

REVISIONS	TAG	DATE

**walter PARKS ARCHITECT**

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
DATE: 1/21/22

COMMON AREA ANSI  
ACCESS INFORMATION  
**G.002**





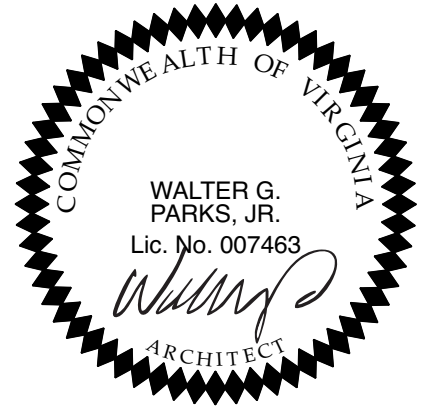












**931-933 W Grace St**  
RICHMOND VA 23220 USA



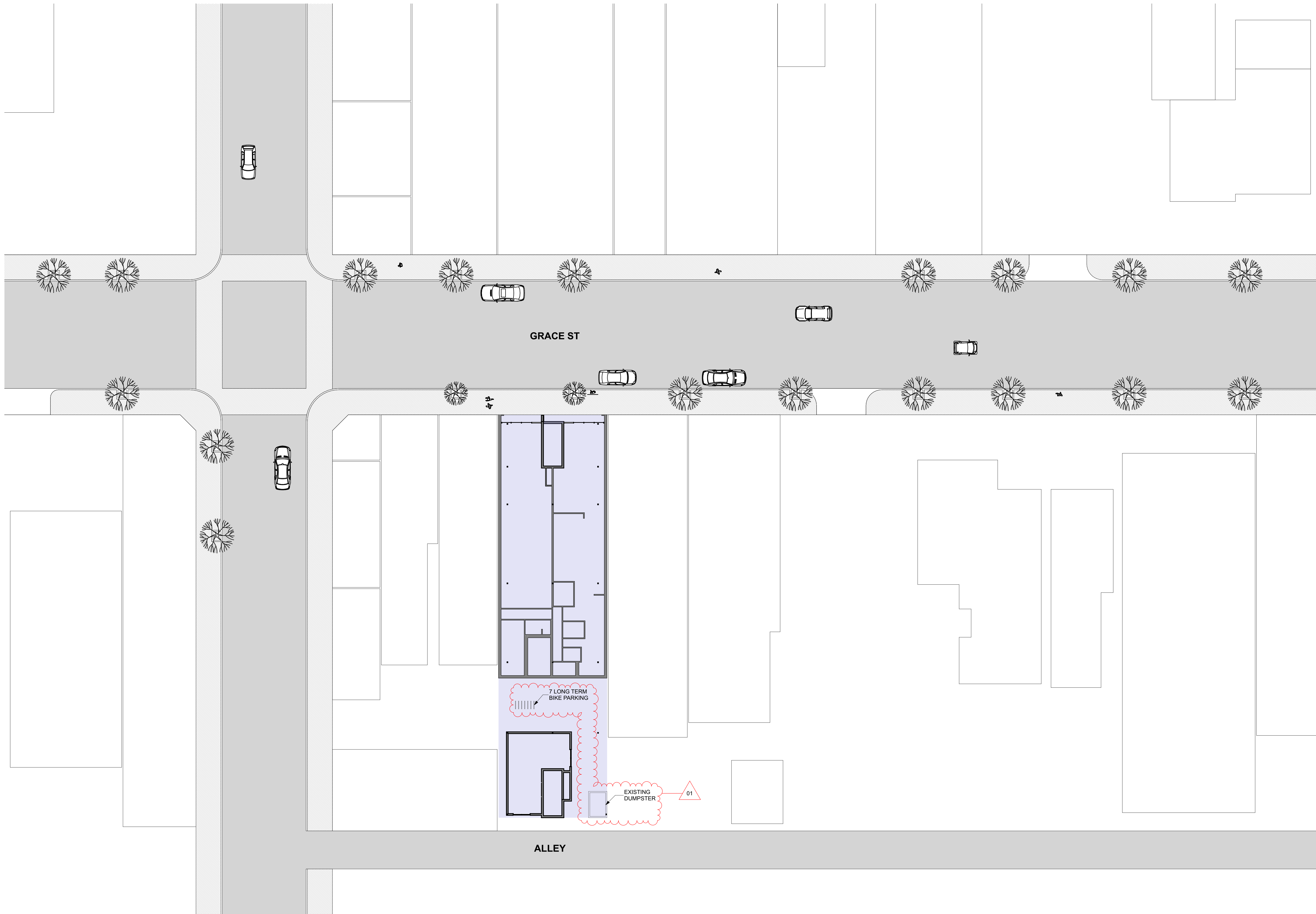
REVISIONS	
TAG	DATE
01	01/20/2022

**walter PARKS**  
ARCHITECT

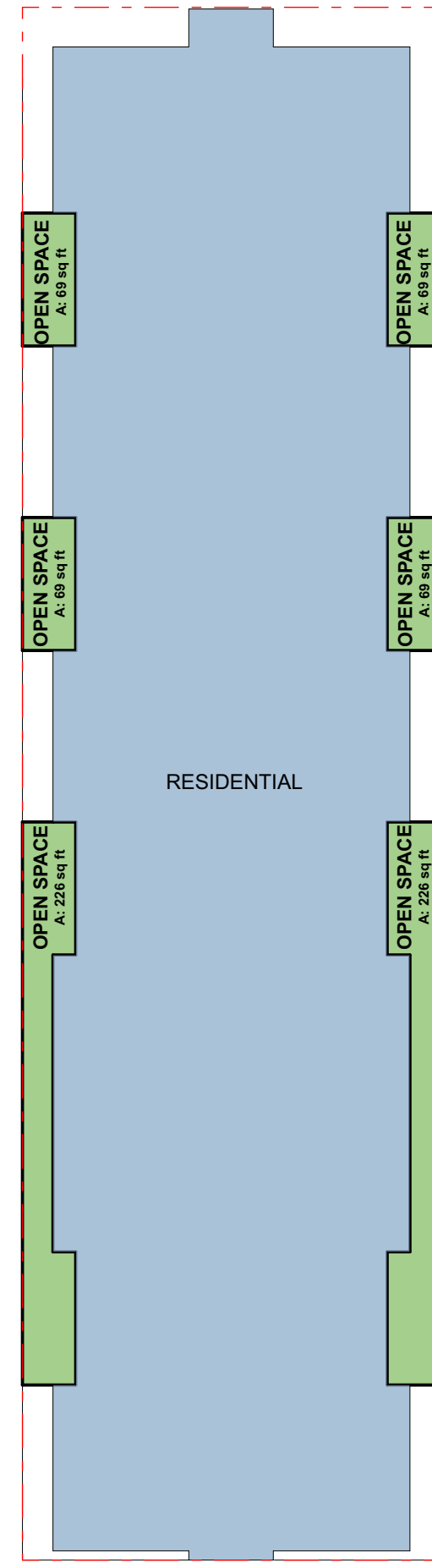
313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
DATE: 1/21/22

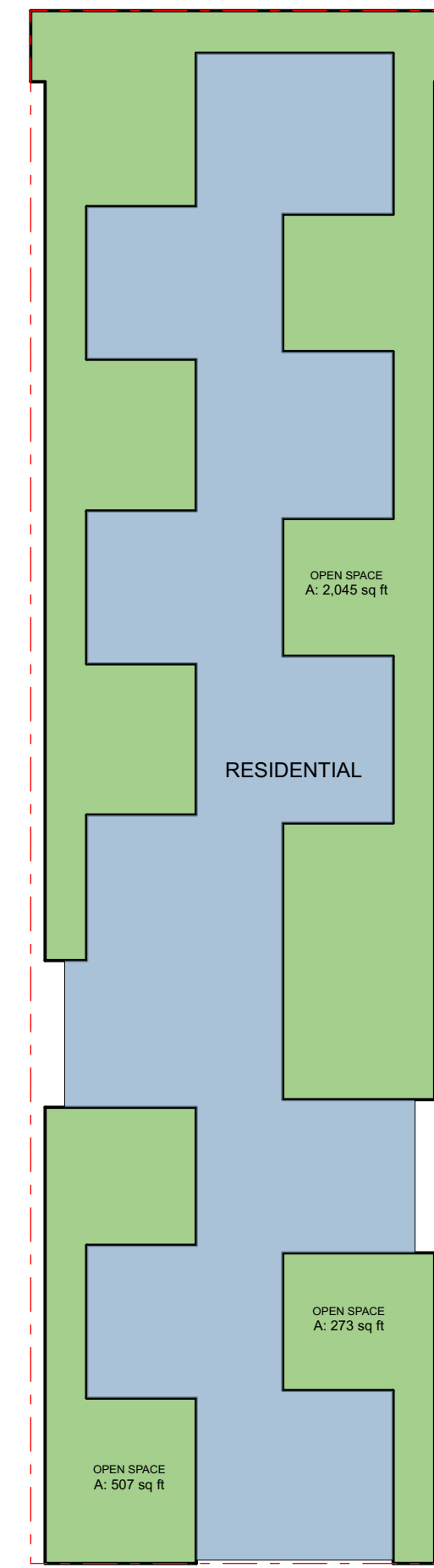
SITE PLAN  
**G.006**



# OPEN SPACE AREA



5 2ND FLOOR  
G.007 SCALE: 1/16" = 1'-0"



6 4TH FLOOR  
G.007 SCALE: 1/16" = 1'-0"

OPEN SPACE AREA	
HOME STORY	AREA
2ND FLOOR	726.48
4TH FLOOR	2,823.77
	<b>3,550.25 sq ft</b>

UNIT SUMMARY PER FLOOR		
HOME STORY	ZONE CATEGORY	QUANTITY
FIRST FLOOR	1 Bed/1 Bath	1
		1
2ND FLOOR	1 Bed/1 Bath	10
		10
3RD FLOOR	1 Bed/1.5 Bath loft	10
		10
		21

UNIT MATRIX		
UNIT TYPE	QUANTITY	AREA
1 Bed/1 Bath	12	5,547.31
1 Bed/1.5 Bath loft	9	4,066.50
	<b>21</b>	<b>9,613.81 sq ft</b>

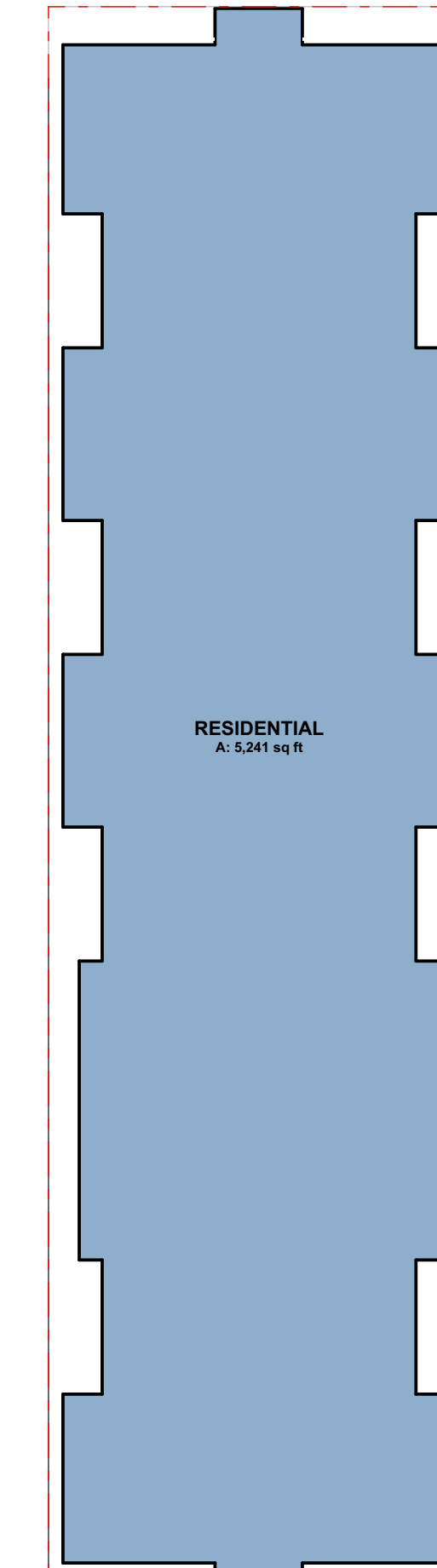
UNIT TYPE SUMMARY PER FLOOR				
Home Story Name	Zone Category	Element ID	Quantity	Measured Area
FIRST FLOOR	1 Bed/1 Bath	TYPE A	1	604.94
			1	604.94 sq ft
2ND FLOOR	1 Bed/1 Bath	TYPE 1A	1	439.12
			1	444.57
			1	474.24
			1	456.74
			1	456.93
			1	474.24
			1	437.28
			1	442.42
			1	447.94
			1	431.61
			10	4,505.09 sq ft
			3RD FLOOR	1 Bed/1 Bath
1	439.06			
1	474.05			
1	456.74			
1	444.57			
1	456.75			
1	474.05			
1	442.42			
1	447.60			
1	431.26			
10	4,503.78 sq ft			
21	9,613.81 sq ft			

UNIT TYPE SUMMARY			
ZONE CATEGORY	UNIT TYPE	QUANTITY	MEASURED AREA
1 Bed/1 Bath	TYPE 1A	1	439.12
		1	444.57
		1	474.24
		1	456.74
		1	456.93
		1	474.24
		1	437.28
		1	442.42
		1	447.94
		1	431.61
		2	1,042.22
		12	5,547.31 sq ft
1 Bed/1.5 Bath loft	TYPE 3A	1	439.06
		1	474.05
		1	456.74
		1	444.57
		1	456.75
		1	474.05
		1	442.42
9	4,066.50 sq ft		
21	9,613.81 sq ft		

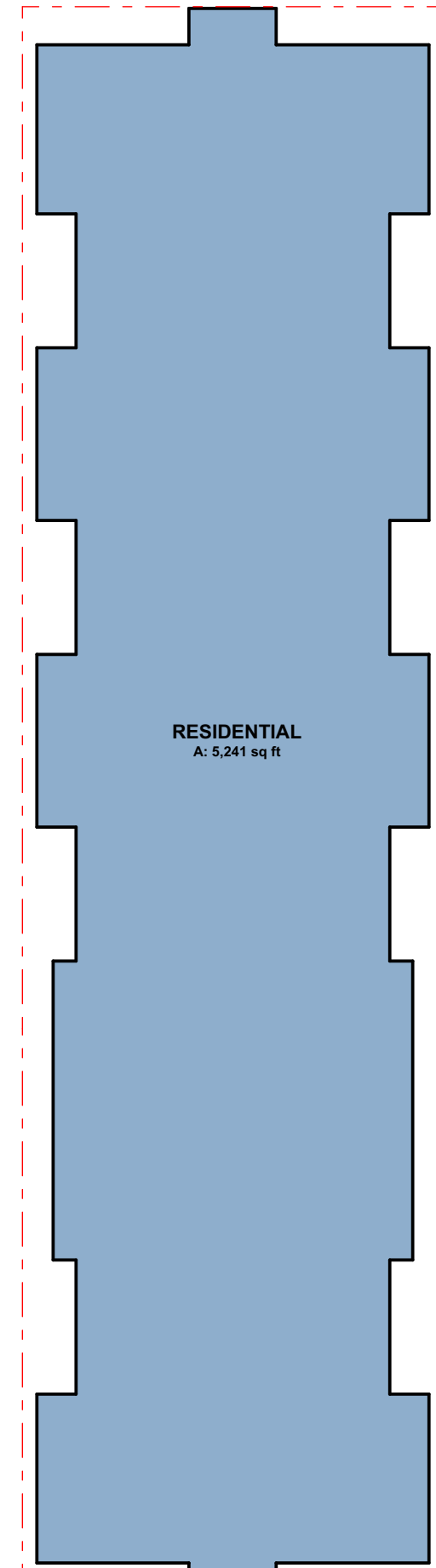
# GROSS AREA



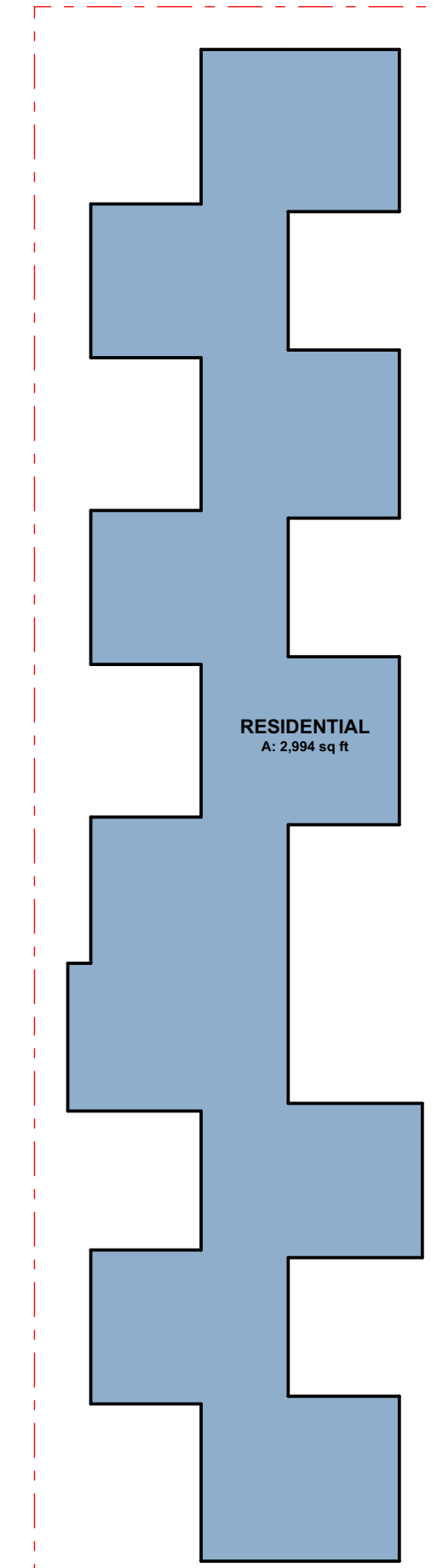
1 FIRST FLOOR  
G.007 SCALE: 1/16" = 1'-0"



2 2ND FLOOR  
G.007 SCALE: 1/16" = 1'-0"



3 3RD FLOOR  
G.007 SCALE: 1/16" = 1'-0"

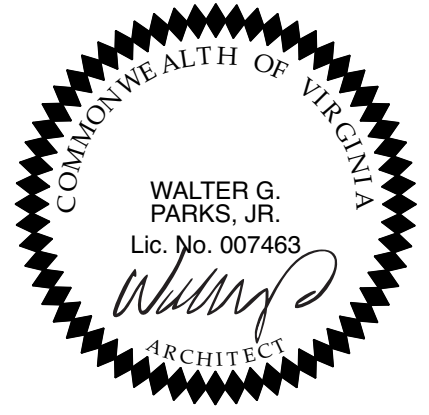


4 4TH FLOOR  
G.007 SCALE: 1/16" = 1'-0"

GBA SUMMARY		
FLOOR	NAME	AREA
FIRST FLOOR	COMMERCIAL	3,881.82
	RESIDENTIAL	907.93
		<b>4,789.75 sq ft</b>
2ND FLOOR	RESIDENTIAL	5,240.98
		<b>5,240.98 sq ft</b>
3RD FLOOR	RESIDENTIAL	5,240.98
		<b>5,240.98 sq ft</b>
4TH FLOOR	RESIDENTIAL	2,994.33
		<b>2,994.33 sq ft</b>
		<b>18,266.04 sq ft</b>

GBA TOTALS	
ZONE NAME	AREA
COMMERCIAL	3,881.82
RESIDENTIAL	14,384.22
	<b>18,266.04 sq ft</b>

RESIDENTIAL FLOOR AREA	
HOME STORY	AREA
FIRST FLOOR	907.93
2ND FLOOR	5,240.98
3RD FLOOR	5,240.98
4TH FLOOR	2,994.33
	<b>14,384.22 sq ft</b>



**931-933 W Grace St**  
RICHMOND VA 23220 USA



REVISIONS	
TAG	DATE

**walter PARKS ARCHITECT**

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
DATE: 1/21/22

GROSS BUILDING  
AREAS, OPEN SPACE  
CALCULATIONS, & UNIT  
COUNTS  
**G.007**

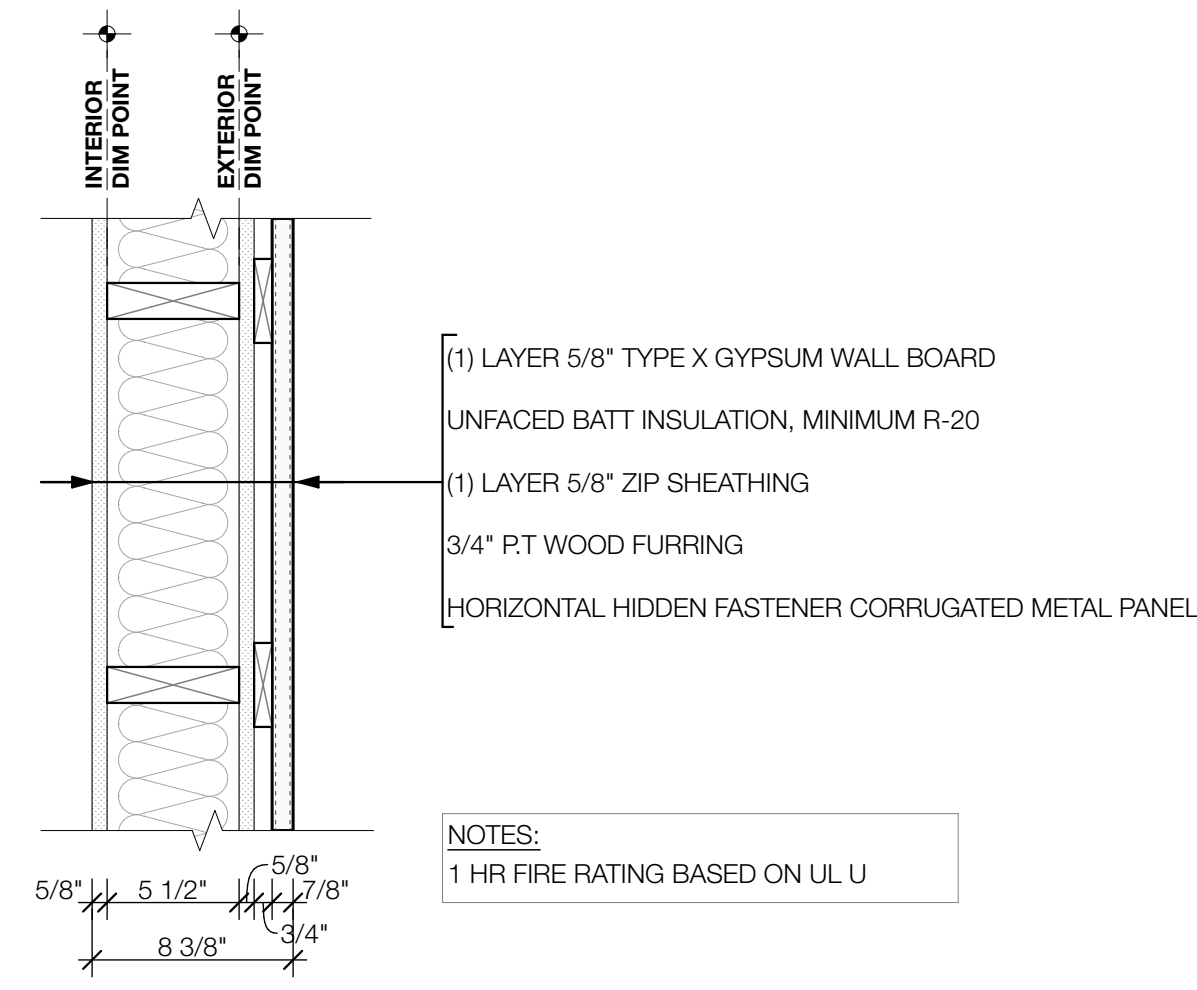


TYPE VA CONSTRUCTION ( NON - COMBUSTIBLE )

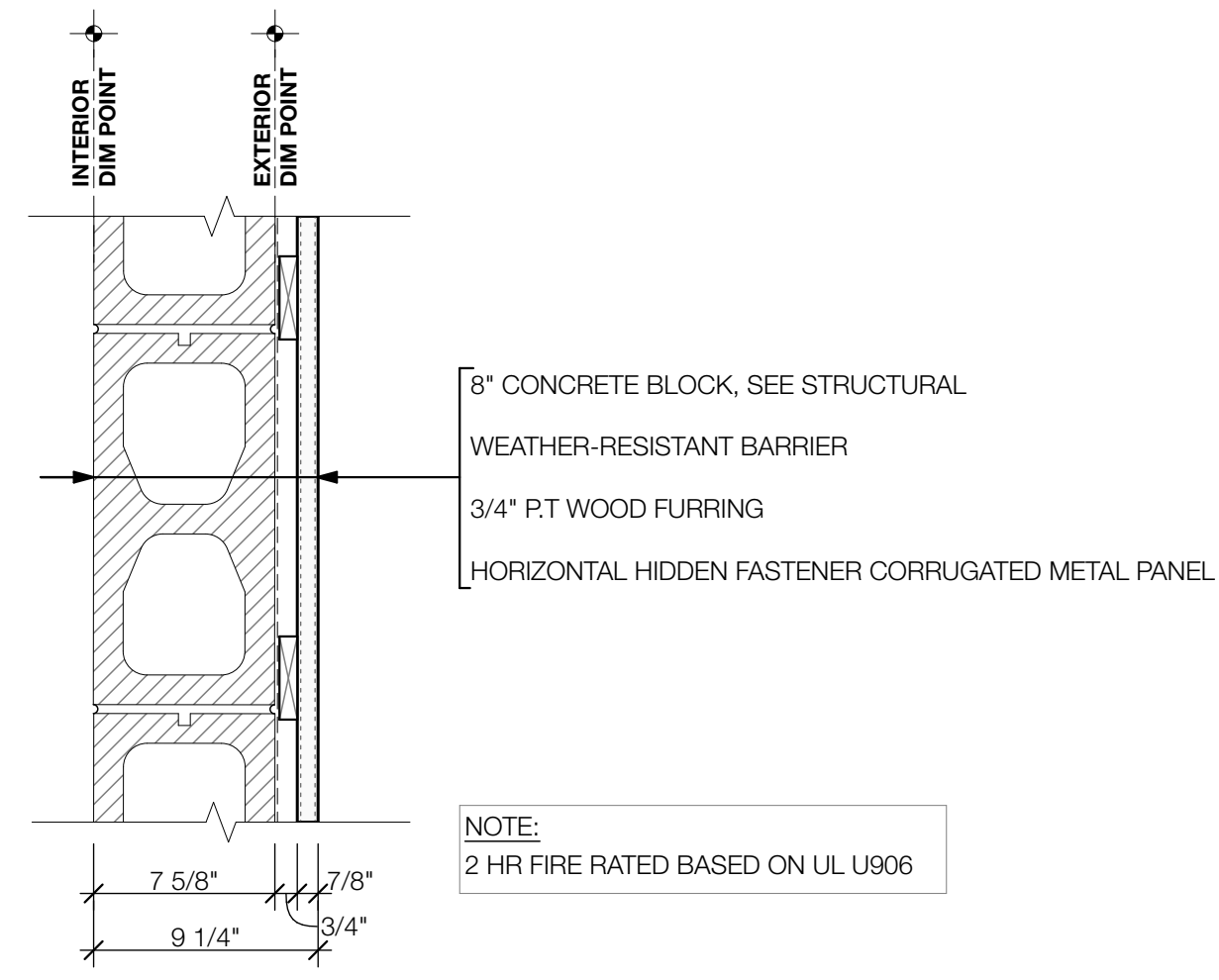
LEVELS 1ST - 4TH

TYPE VA CONSTRUCTION ( COMBUSTIBLE )

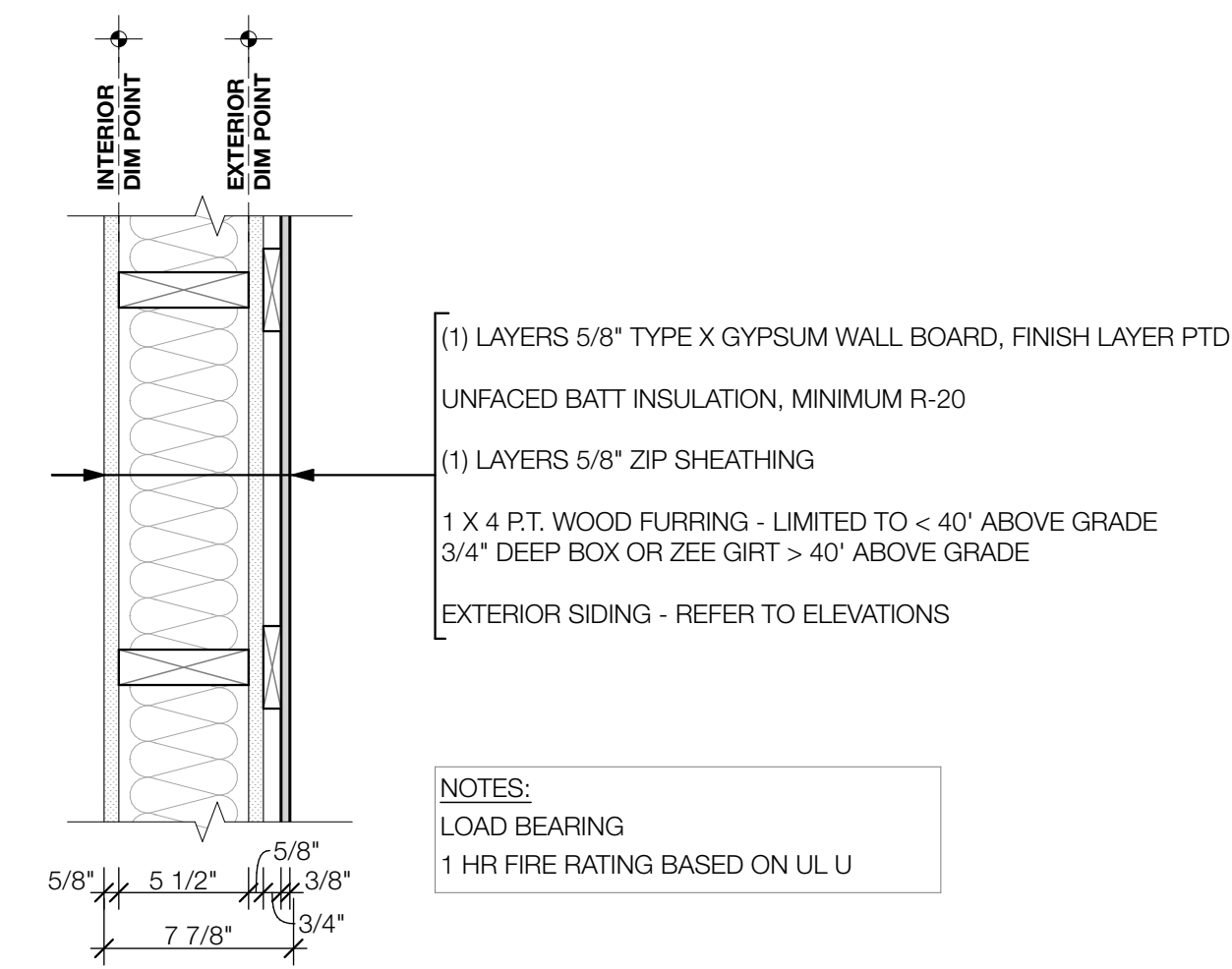
LEVELS 1ST - 4TH



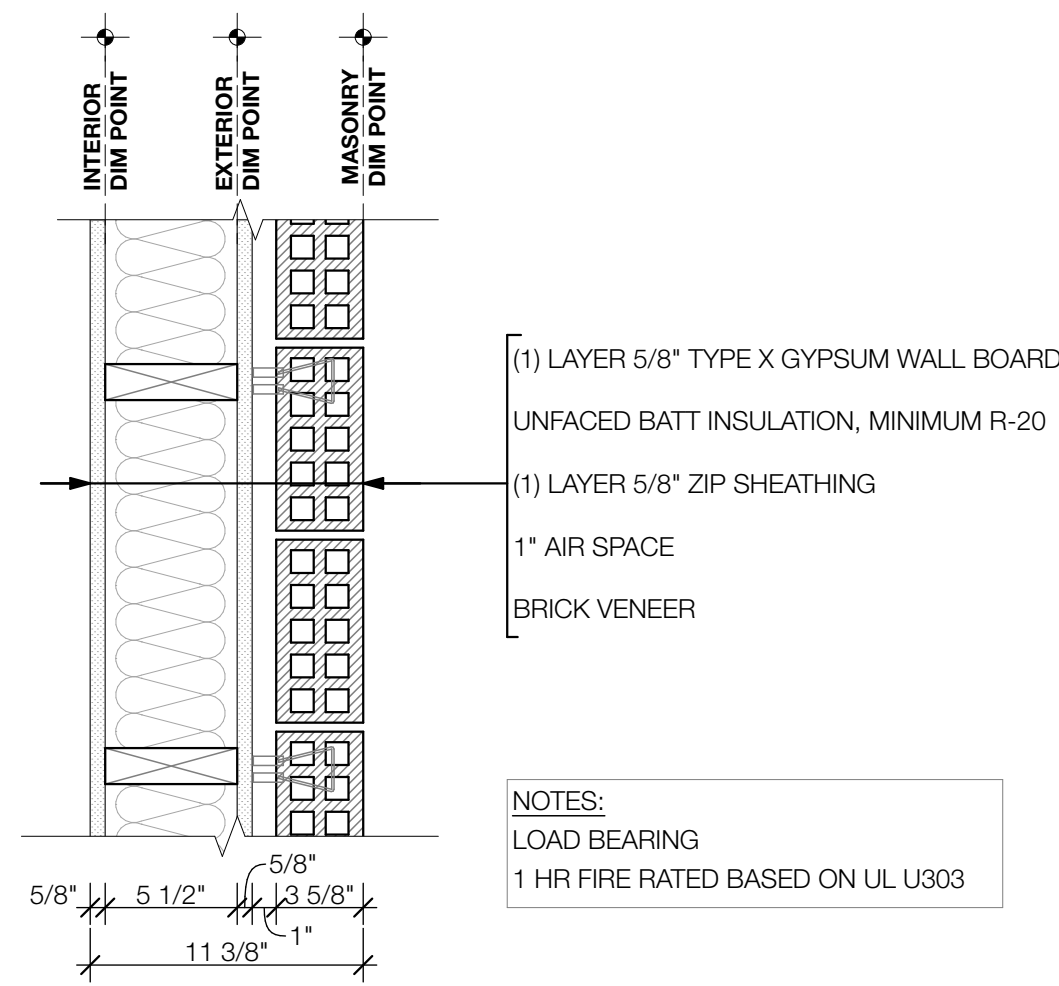
CORRUGATED METAL PANEL ON WOOD FRAMING W4



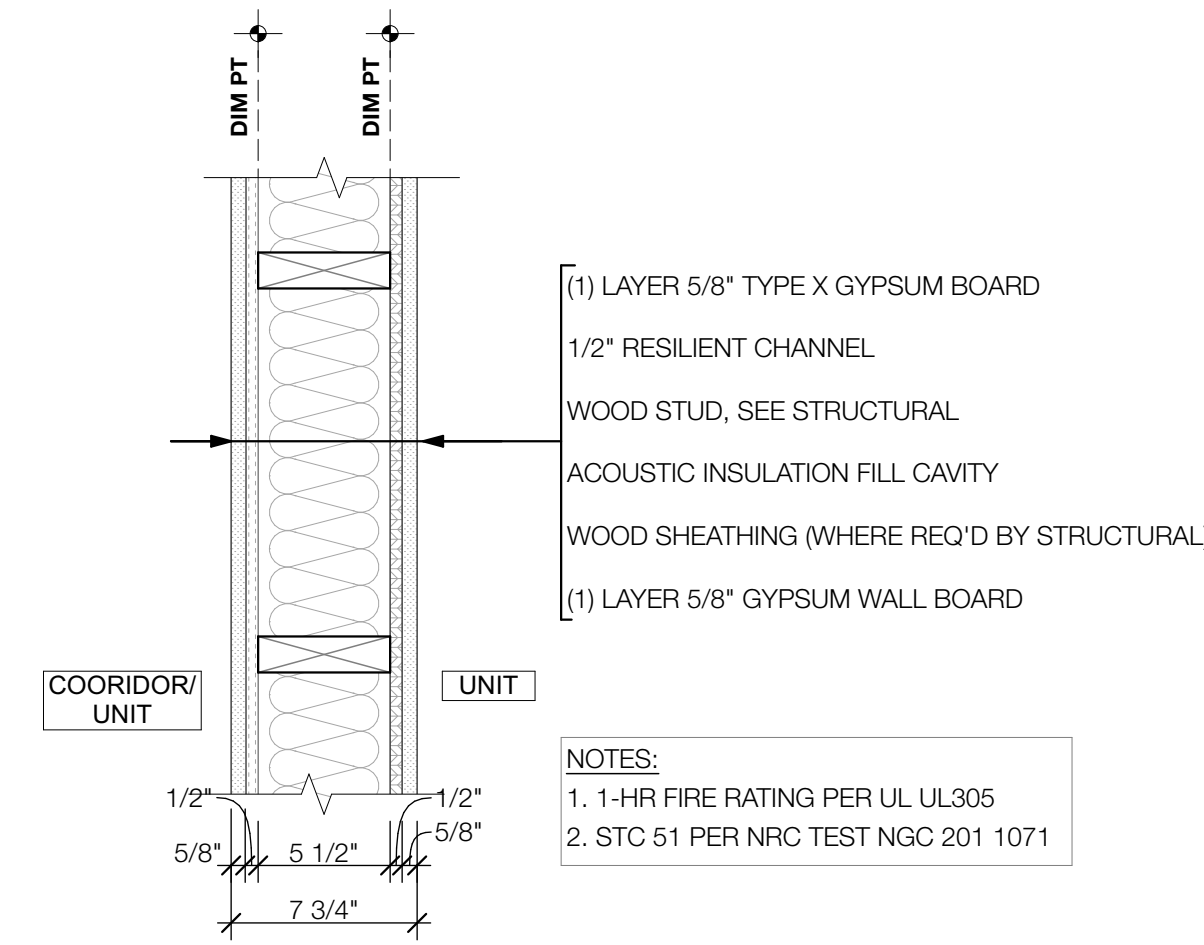
CORRUGATED METAL PANEL ON CMU W3



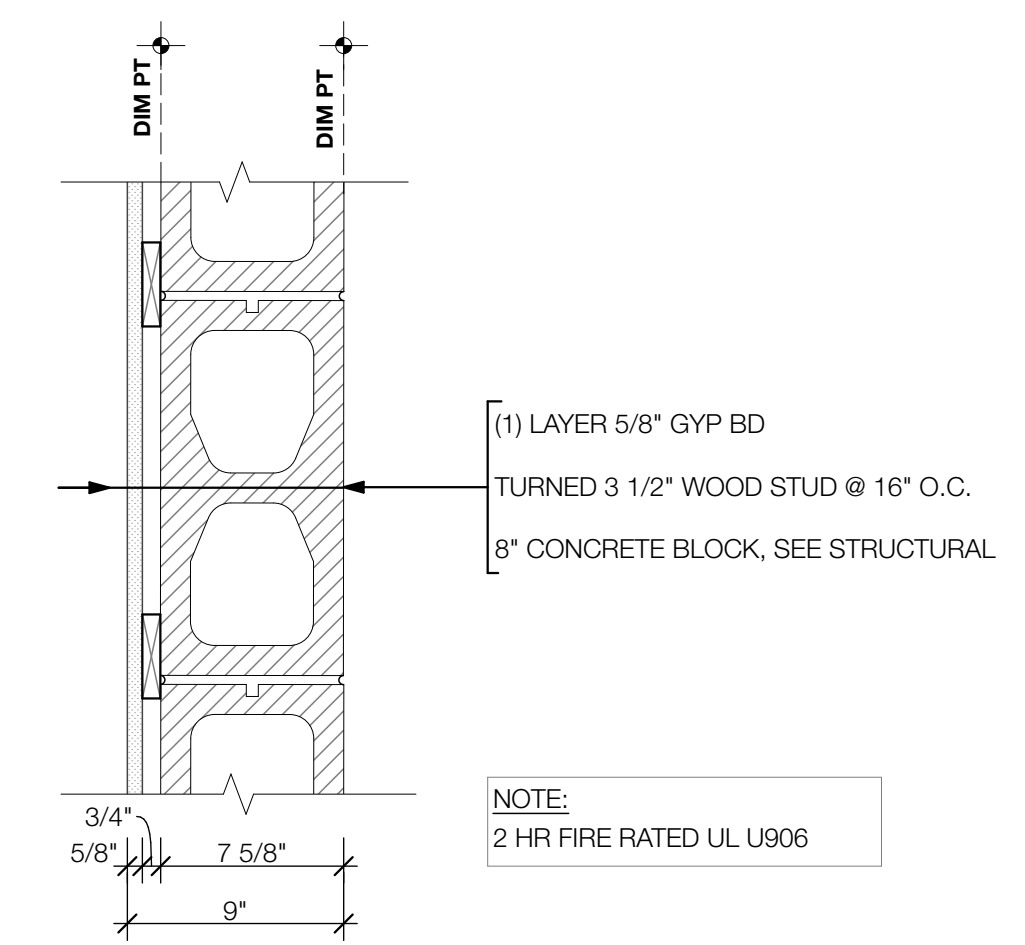
FIBER CEMENT PANEL ON WOOD FRAMING W2



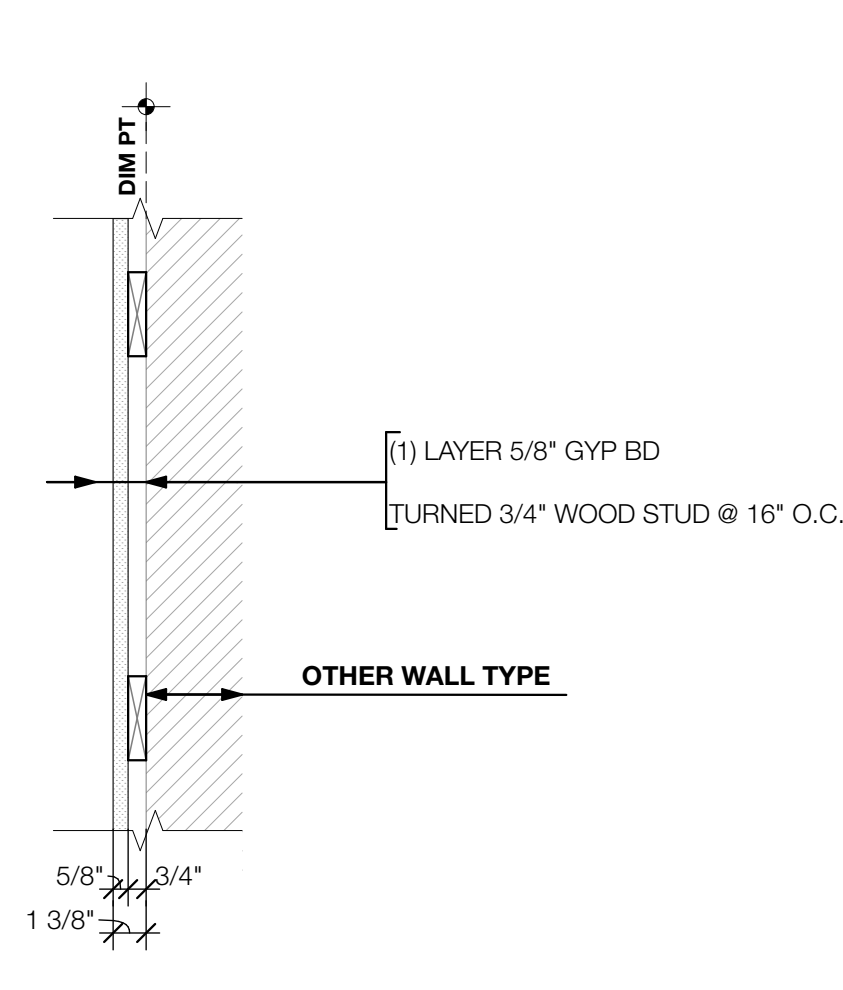
BRICK VENEER ON WOOD FRAMING W1



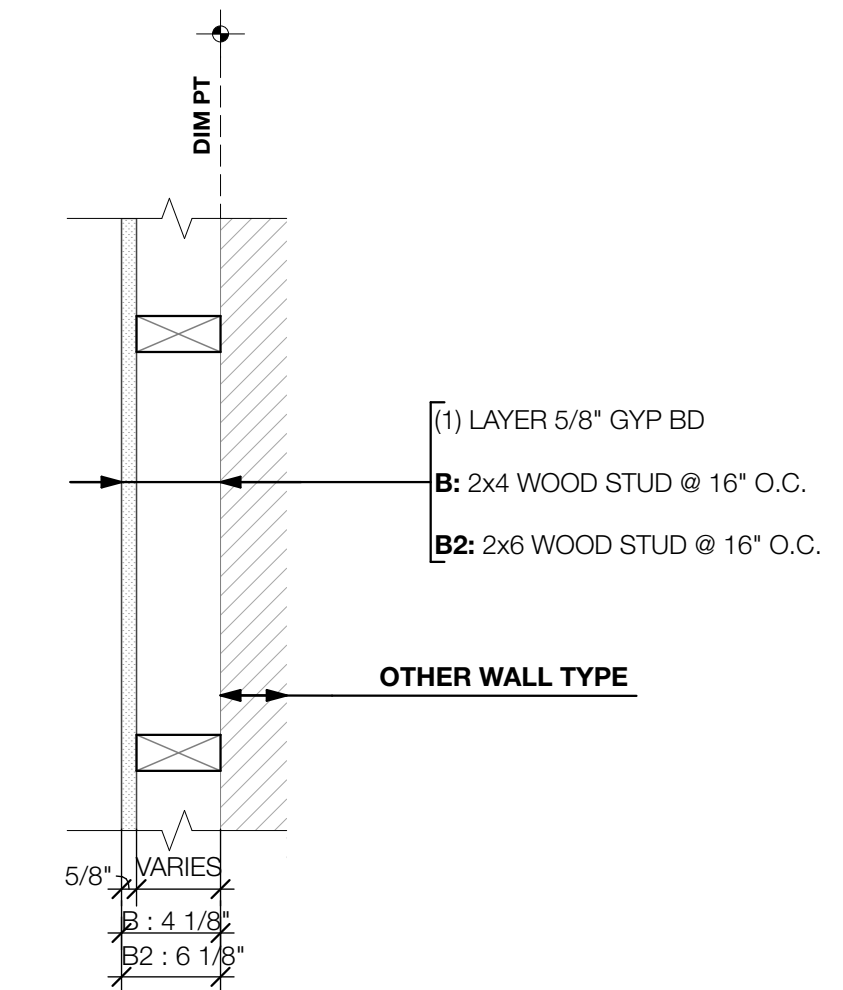
CORRIDOR & DEMISING WALL O



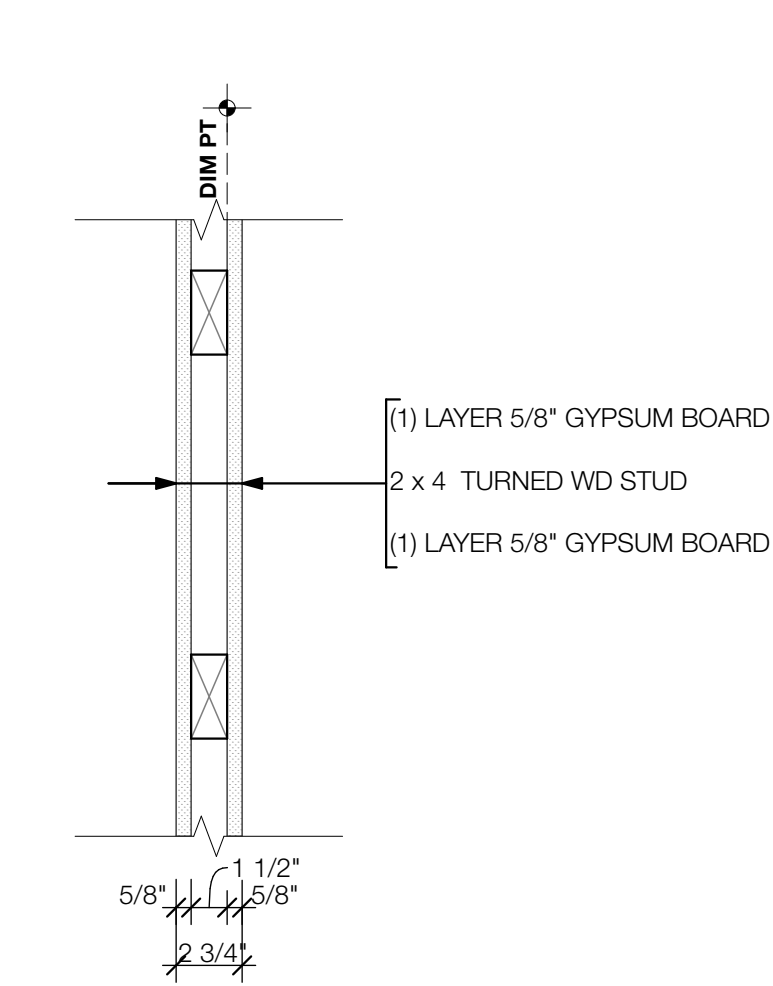
CMU WALL W/ FURRING K



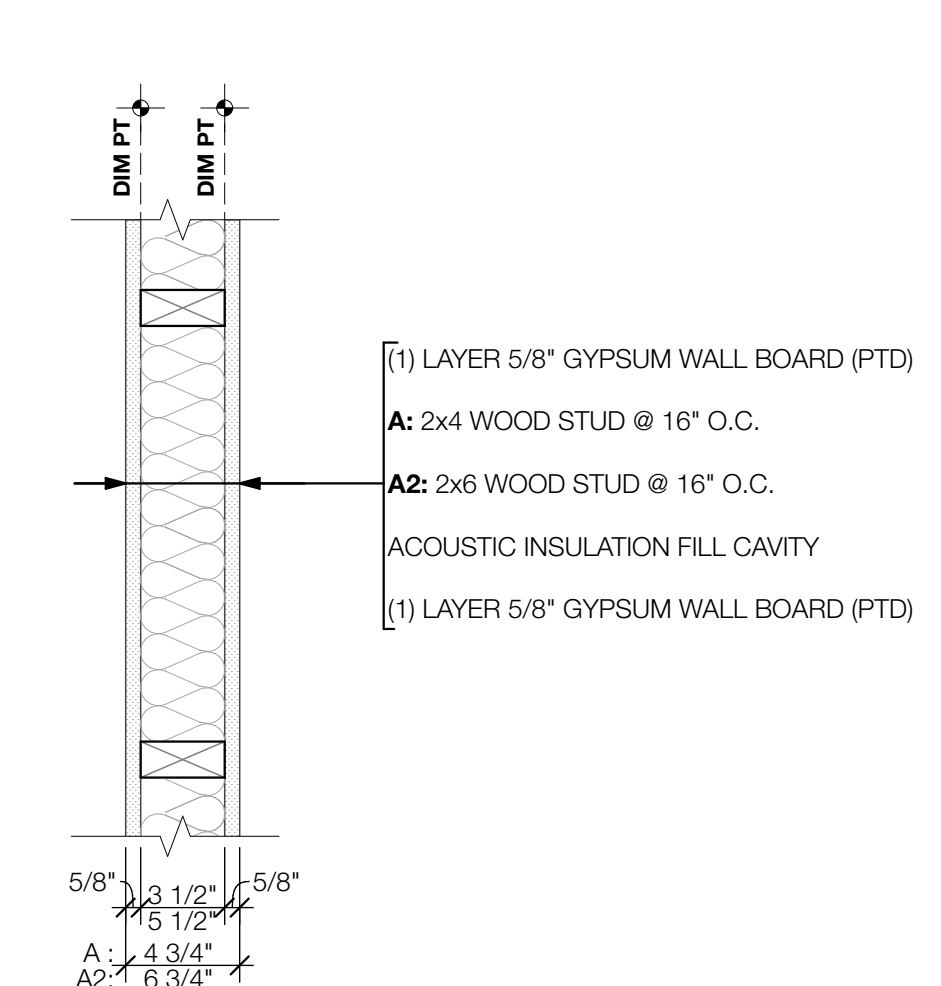
FURRING WALL (TURNED STUD) E



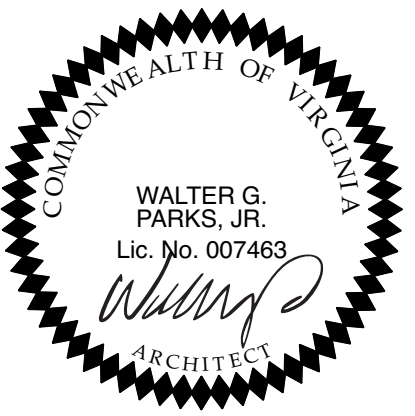
FURRING WALL B



TURNED STUD WALL A4



TYPICAL UNIT WALL A



**931-933 W Grace St**  
RICHMOND VA 23220 USA

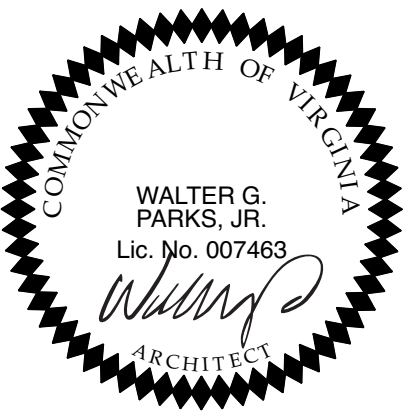
REVISIONS	
TAG	DATE

**walter PARKS ARCHITECT**

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
DATE: 1/21/22

VERTICAL ASSEMBLIES  
**G.008**



**931-933 W Grace St**  
 RICHMOND VA 23220 USA

**FENESTRATION LEGEND**

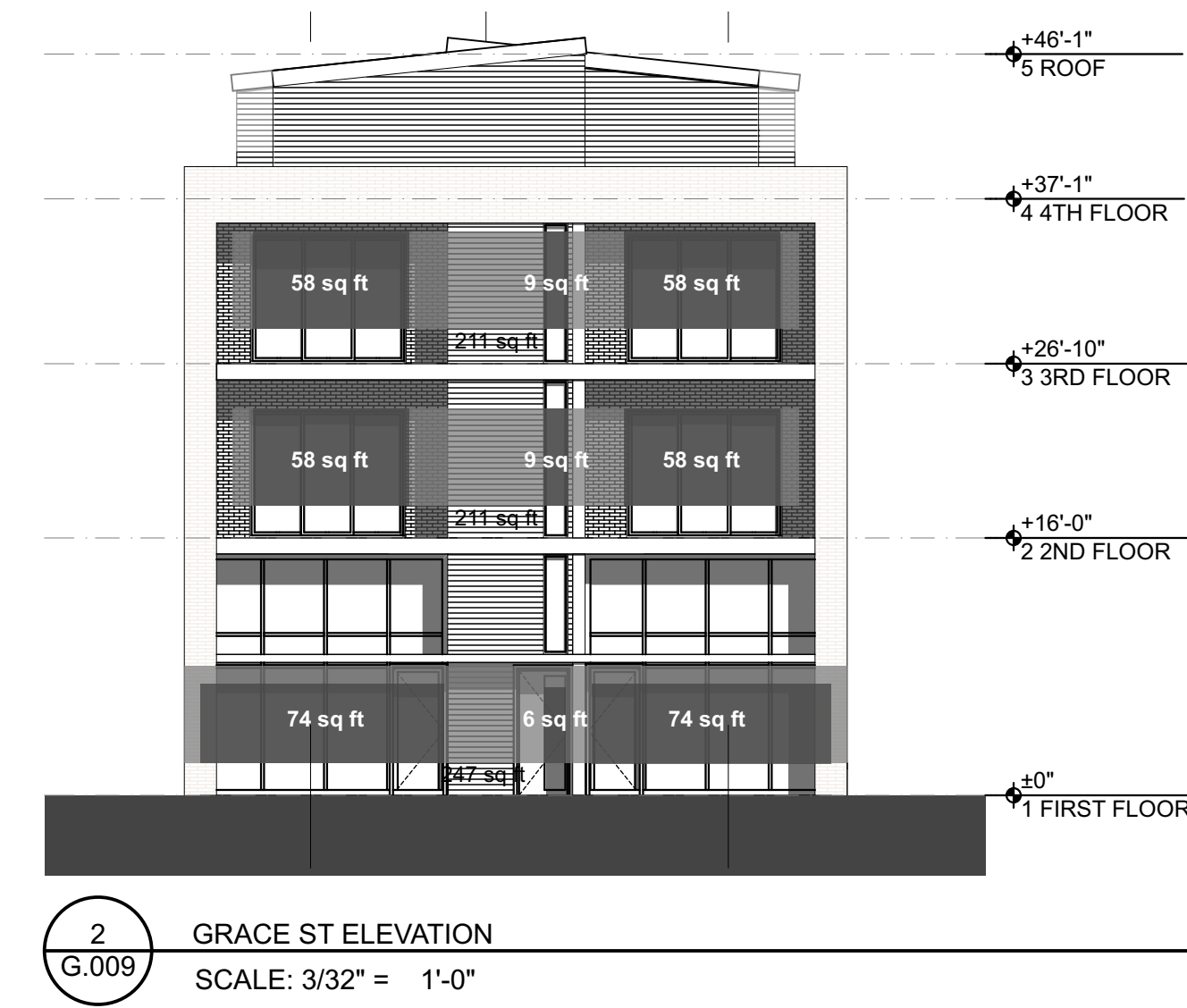
- OVERALL AREA BETWEEN 2'-8" RANGE
- WINDOW & DOORS WITHIN 2'-8" RANGE

**CALCULATION SCHEDULE**

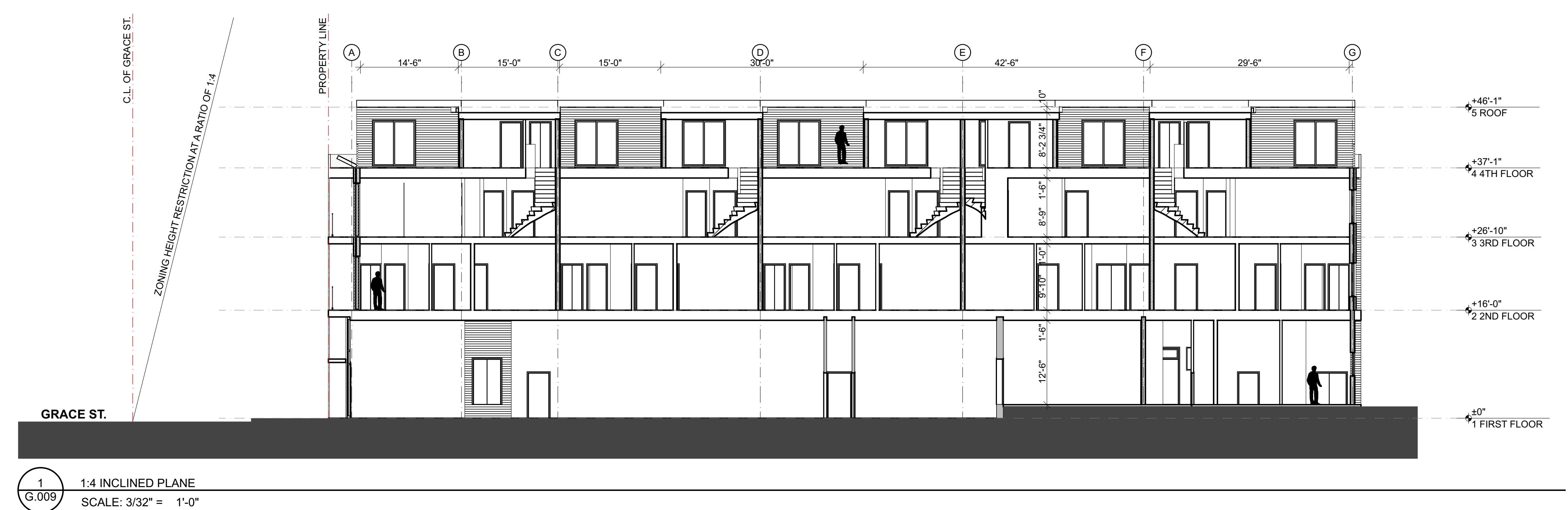
LEVEL 1 (STREET) - 60% REQUIRED	
GLAZING	74
GLAZING	6
GLAZING	74
TOTAL OPENING AREA	154
TOTAL AREA WITHIN 2' TO 8" RANGE	247
154 SF/247 SF (PERCENTAGE)	62%

LEVELS 2 - 3 — 30% REQUIRED	
GLAZING	58
GLAZING	9
GLAZING	58
TOTAL OPENING AREA	125
TOTAL AREA WITHIN 2' TO 8" RANGE	211
125 SF/211 SF (PERCENTAGE)	59%



**2**  
 G.009 GRACE ST ELEVATION  
 SCALE: 3/32" = 1'-0"



**1**  
 G.009 1:4 INCLINED PLANE  
 SCALE: 3/32" = 1'-0"

REVISIONS	
TAG	DATE

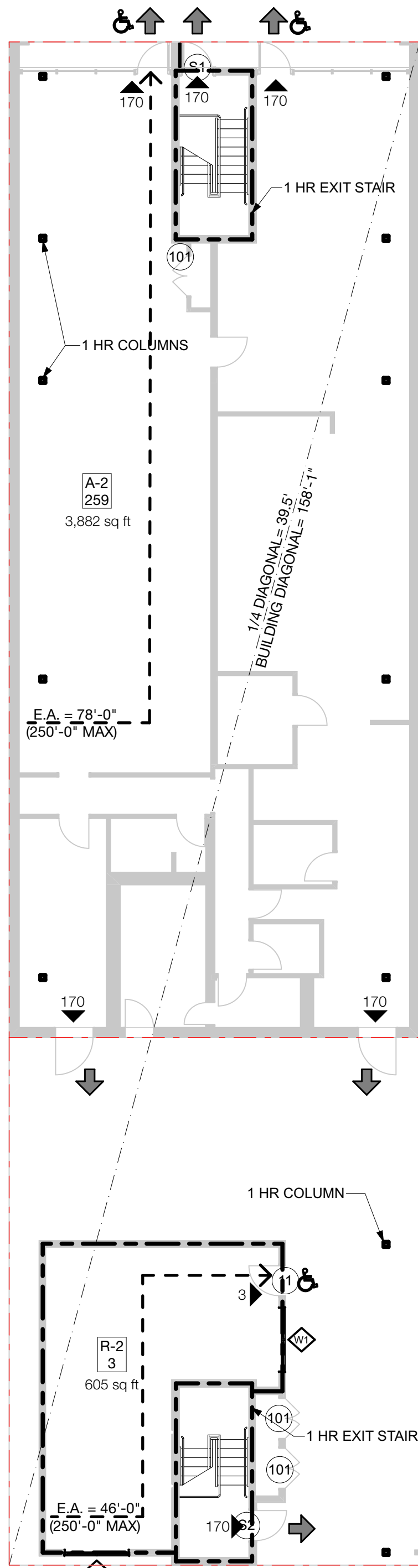
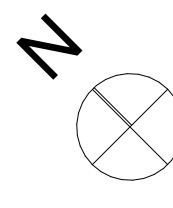
**walter PARKS**  
 ARCHITECT

313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 T: 644-4761 / F: 644-4763

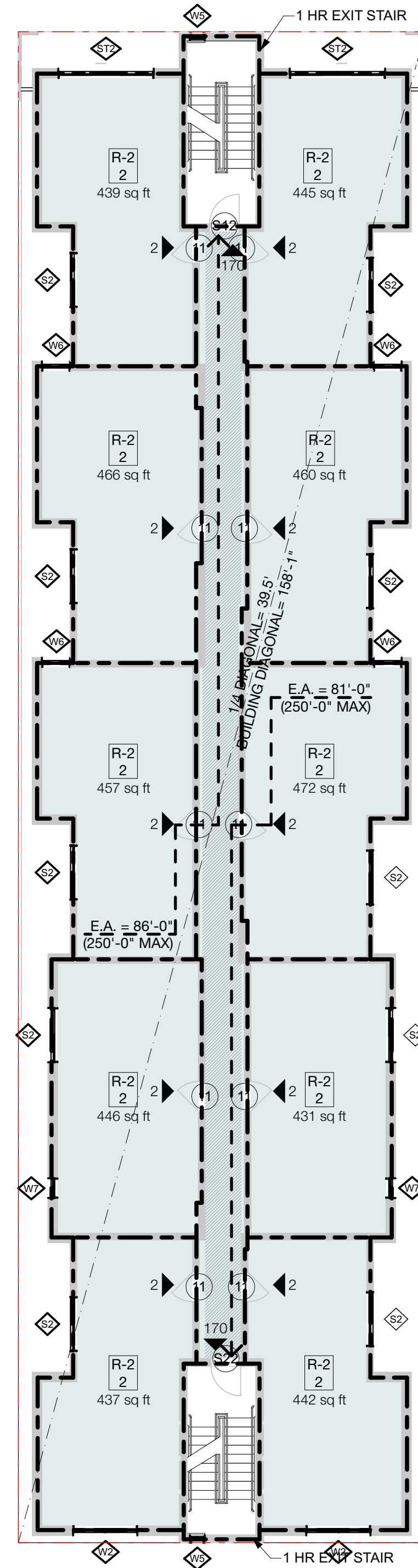
PROJECT #: 20.30  
 DATE: 1/21/22

1:4 INCLINED PLANE  
 AND FENESTRATION  
 CALCULATIONS  
**G.009**

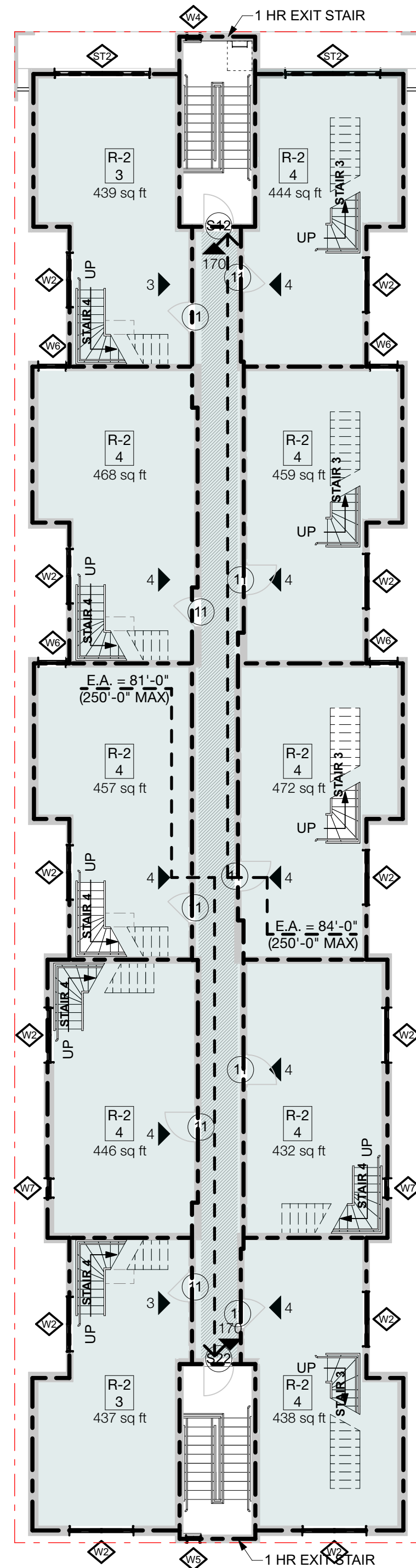




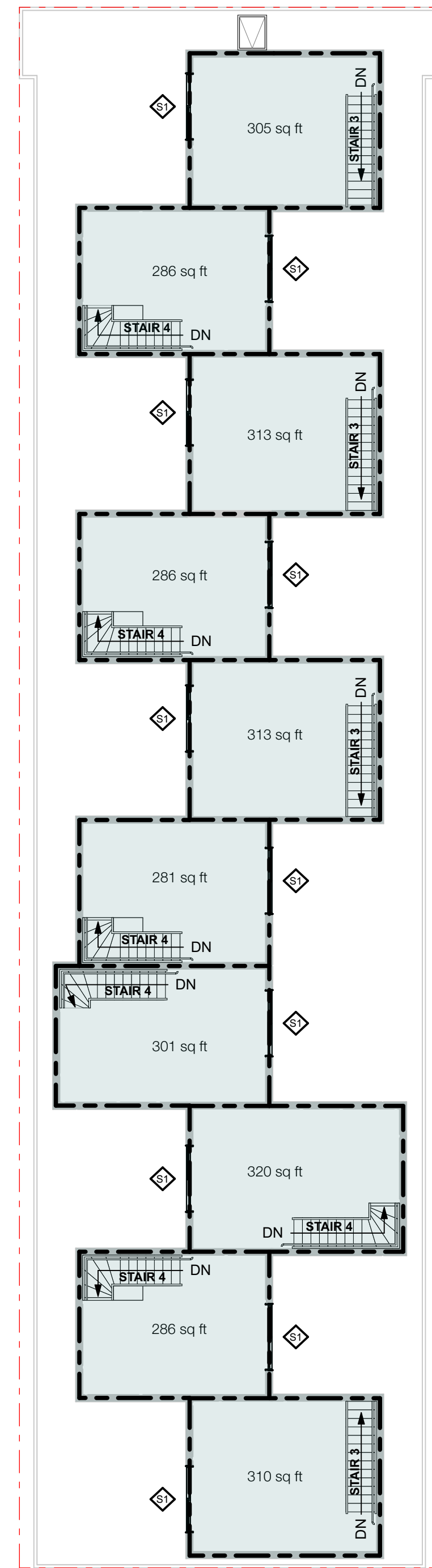
1  
A.101 FIRST FLOOR  
SCALE: 3/32" = 1'-0"



2  
A.101 2ND FLOOR  
SCALE: 3/32" = 1'-0"



3  
A.101 3RD FLOOR  
SCALE: 3/32" = 1'-0"



4  
A.101 4TH FLOOR  
SCALE: 3/32" = 1'-0"

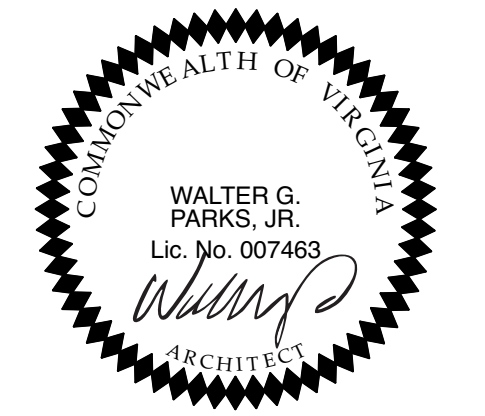
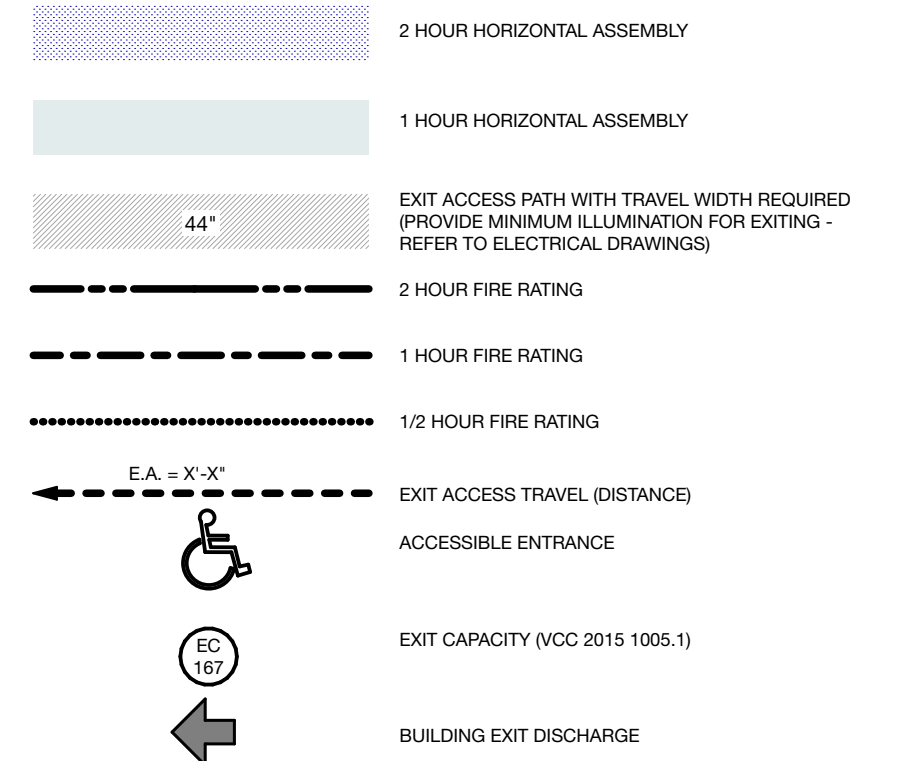
CODE INFORMATION

APPLICABLE CODES	2015 VIRGINIA CONSTRUCTION CODE (VCC) 2015 VIRGINIA MECHANICAL CODE (VMC) 2014 NATIONAL ELECTRIC CODE (NFPA-70) 2015 VIRGINIA PLUMBING CODE 2015 VIRGINIA ENERGY CONSERVATION CODE (VECC) 2009 INTERNATIONAL CODE COUNCIL, ICC-ANSI A117.1 NATIONAL FIRE ALARM CODE (NFPA-72) STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13) FAIR HOUSING ACT DESIGN MANUAL	
OTHER REQUIRED STANDARDS	ADDITION OF THREE NEW STORIES OF MULTI-FAMILY RESIDENTIAL SPACE ATOP AN EXISTING SINGLE-STORY COMMERCIAL BUILDING.	
NARRATIVE	B-4 CENTRAL BUSINESS DISTRICT	
ZONING	REF.	
USE GROUPS	RESIDENTIAL	COMMERCIAL
CONSTRUCTION TYPES	VA	VA
AUTOMATIC SPRINKLER SYSTEM	NFPA-13	
ALLOWABLE AREA PER FLOOR	VACC T. 506.2,	36,000
ALLOWABLE INCREASE FOR OPEN PERIMETER	NOT USED	NOT USED
TOTAL ALLOWABLE AREA PER FLOOR	36,000	34,500
ACTUAL AREAS:		
LEV 1 (COMMERCIAL)		3,882
LEV 2 (RESIDENTIAL)	926	
LEV 3	4,984	
LEV 4	3,016	
TOTAL ACTUAL AREAS:	13,910	3,882
ALLOWABLE BUILDING HEIGHT	VACC 504.3	70'
ALLOWABLE BUILDING STORIES	VACC 504.4	4
ACTUAL BUILDING HEIGHT		31'-10"
ACTUAL BUILDING STORIES		4 STORIES
MAX. FLOOR AREA PER OCCUPANT	VACC T. 1004.1.2	200 GROSS
TOTAL OCCUPANT LOAD		70
DWELLING UNITS:		
TOTAL UNITS		21
ACCESSIBLE DWELLING UNITS (TYPE A)	VACC 1107.6.2.2.1	1 (NO ELEVATOR SERVICE)
REQUIRED FIRE RATINGS		
PRIMARY FRAME	T-601	1
EXTERIOR BEARING WALLS	T-601	1
INTERIOR BEARING WALLS	T-601	1
NONBEARING WALLS AND PARTITIONS INTERIOR	T-601	0
FLOOR CONSTRUCTION	T-601	1
ROOF CONSTRUCTION	T-601	1
SHAFTS		1
REQUIRED OCCUPANCY SEPARATIONS	VACC 508.4	
BETWEEN R-2 TENANTS	VACC 708.3	1
BETWEEN R-2 TENANTS AND CORRIDORS	VACC 1020.1	0.5
BETWEEN R-2 & A2 USE GROUPS	VACC 508.4	1
REQUIRED EXITS PER BUILDING	VACC T. 1006.3.1	2
TRAVEL DISTANCE REQUIRED	VACC T. 1017.2	250'
DEAD END CORRIDOR	VACC 1020.4	50'
PLUMBING FIXTURE CALCULATIONS	VACC T. 2902.1	
CALCULATED PER OCCUPANCY		
OCCUPANTS PER AREA		
WATER CLOSETS (REQUIRED)		1 PER DWELLING UNIT
WATER CLOSETS (PROVIDED)		MINIMUM 1 PER DWELLING UNIT
URINALS (PROVIDED)		N/A
LAVATORIES (REQUIRED)		1 PER DWELLING UNIT
LAVATORIES (PROVIDED)		MINIMUM 1 PER DWELLING UNIT
DRINKING FOUNTAIN (REQUIRED)		N/A
DRINKING FOUNTAIN (PROVIDED)		N/A
BATHTUBS/ SHOWERS		1 PER DWELLING UNIT
SERVICE SINK (REQUIRED)		N/A
SERVICE SINK (PROVIDED)		N/A

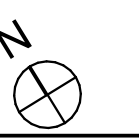
GENERAL NOTES - CODE

- A. PROVIDE A LISTED FIRESTOP CONTINUOUS AT PERIMETER GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.
- B. REFER TO OCCUPANCY LOAD SCHEDULE FOR OCCUPANCY TOTALS.

LEGEND



**931-933 W Grace St**  
RICHMOND VA 23220 USA



REVISIONS	TAG	DATE

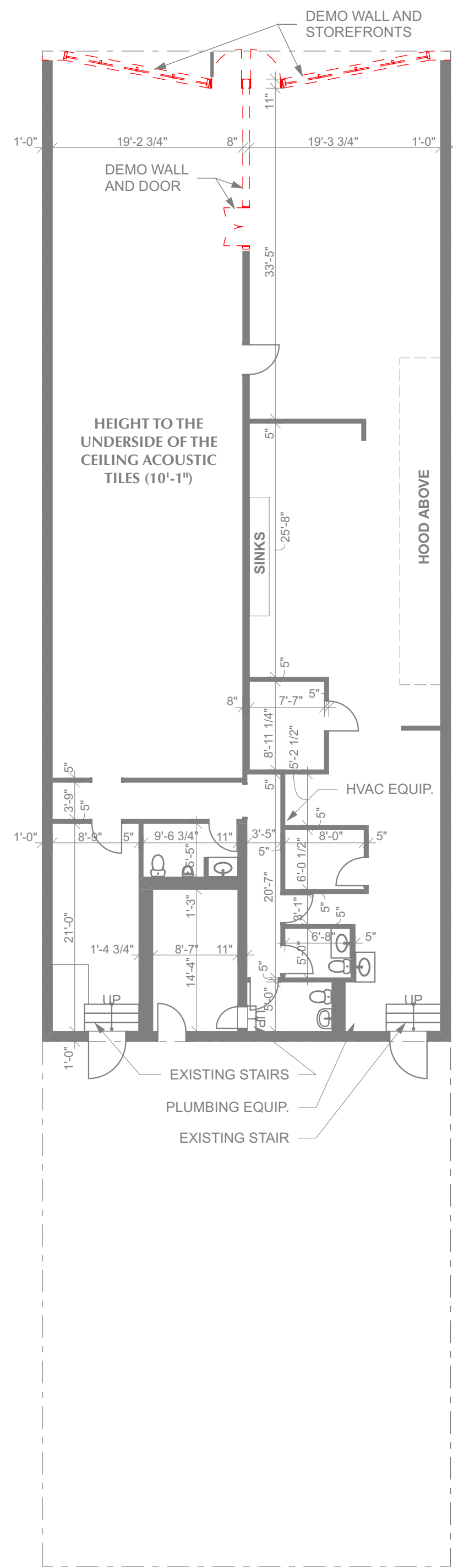
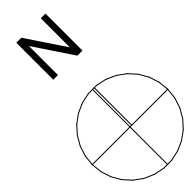
walter PARKS ARCHITECT

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

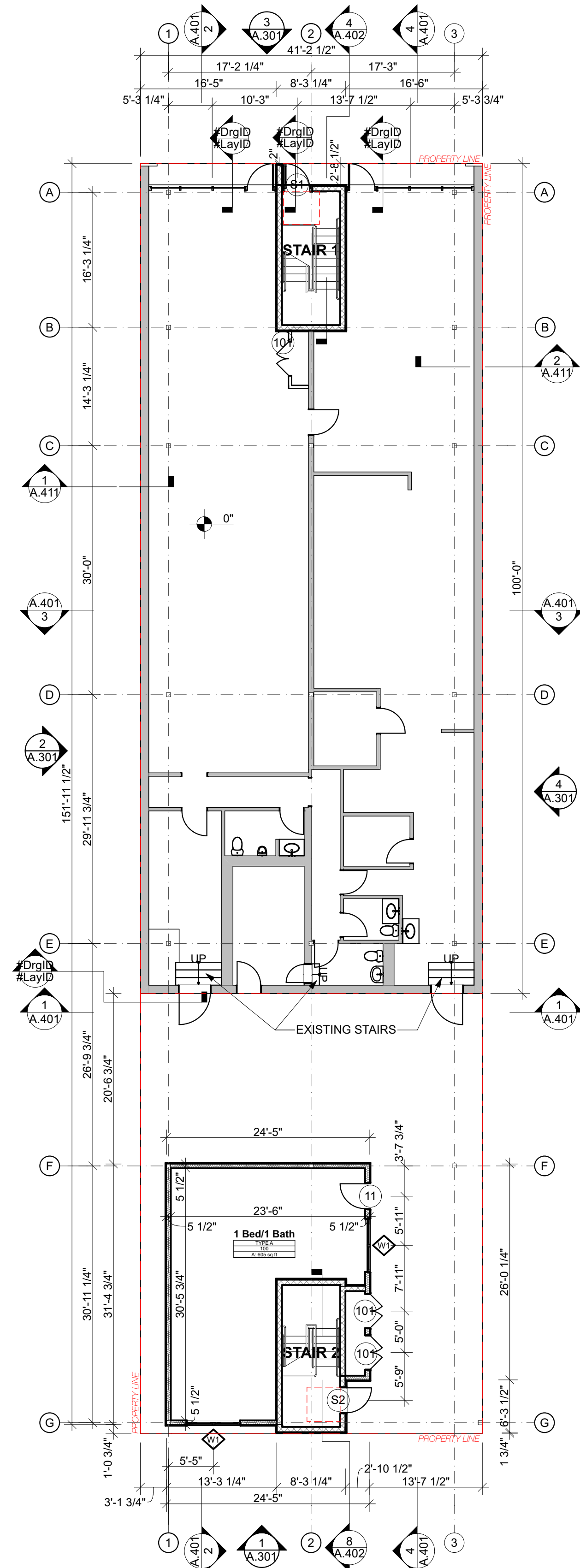
PROJECT #: 20.30  
DATE: 1/21/22

LIFE SAFETY PLANS  
**A.101**

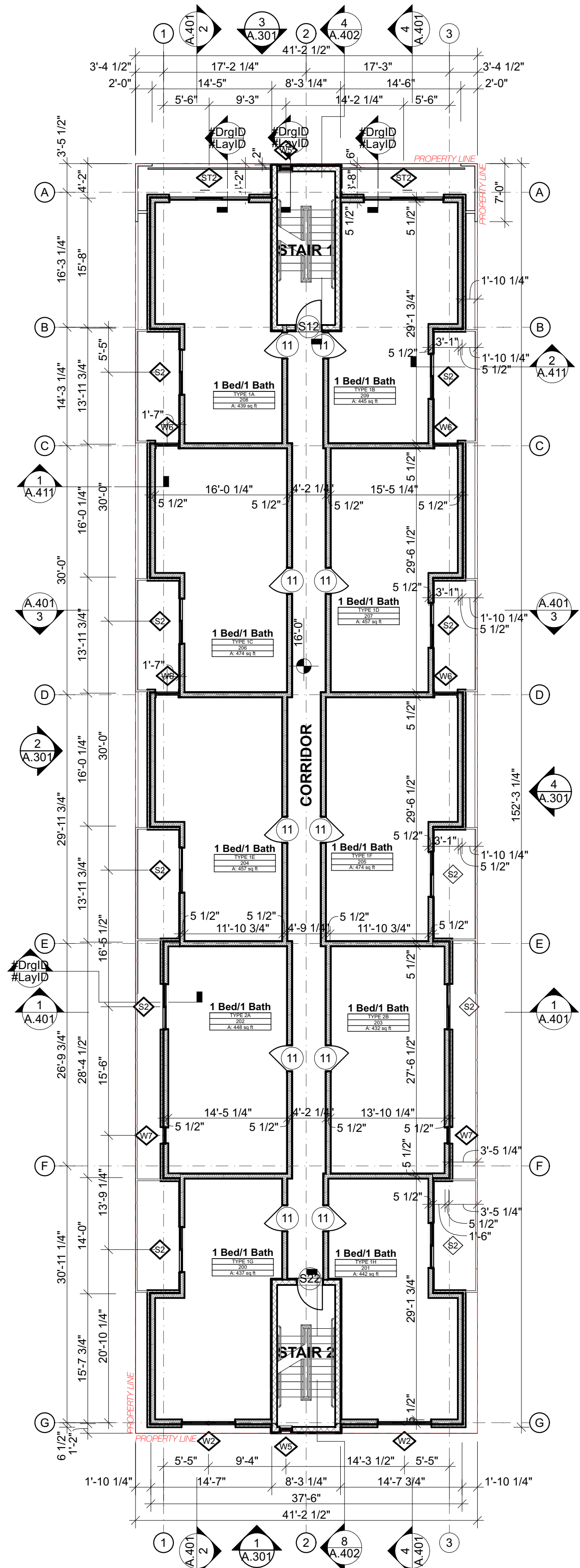




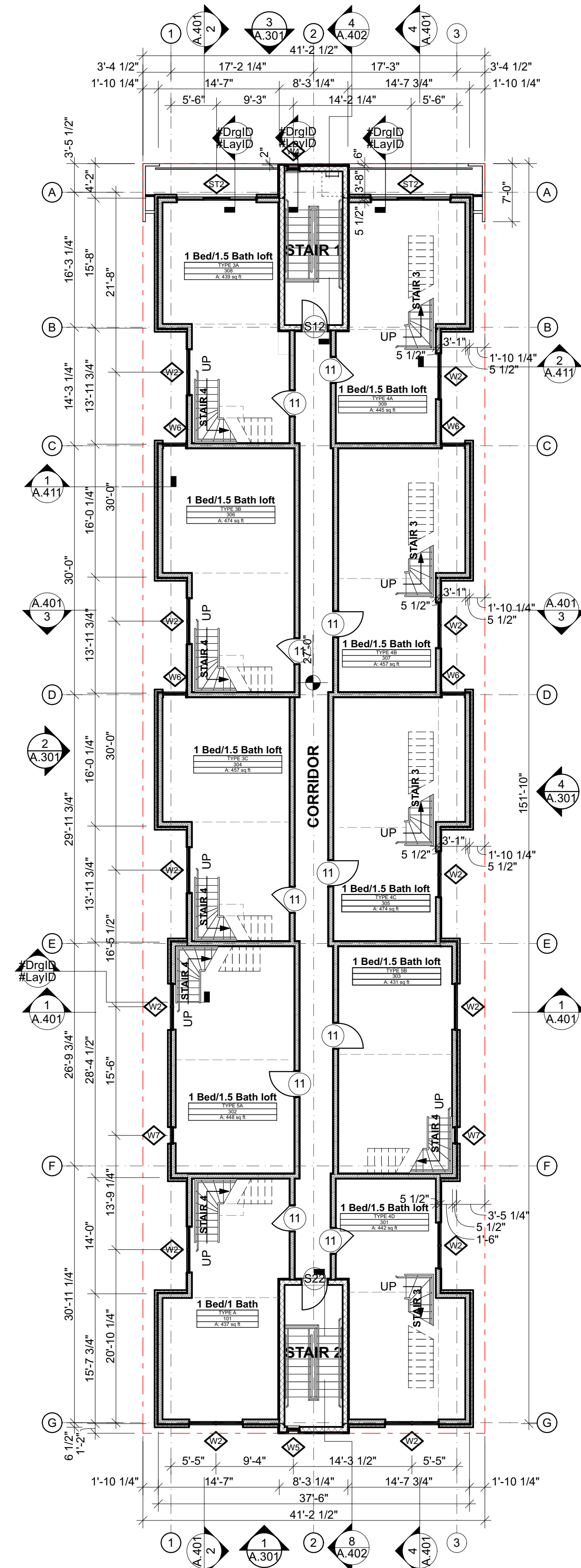
1 FIRST FLOOR AS-IS PLAN  
SCALE: 3/32" = 1'-0"



2 FIRST FLOOR PROPOSED PLAN  
SCALE: 3/32" = 1'-0"



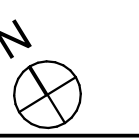
3 SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"



4 THIRD FLOOR PLAN  
SCALE: 3/32" = 1'-0"



**931-933 W Grace St**  
RICHMOND VA 23220 USA



REVISIONS	TAG	DATE

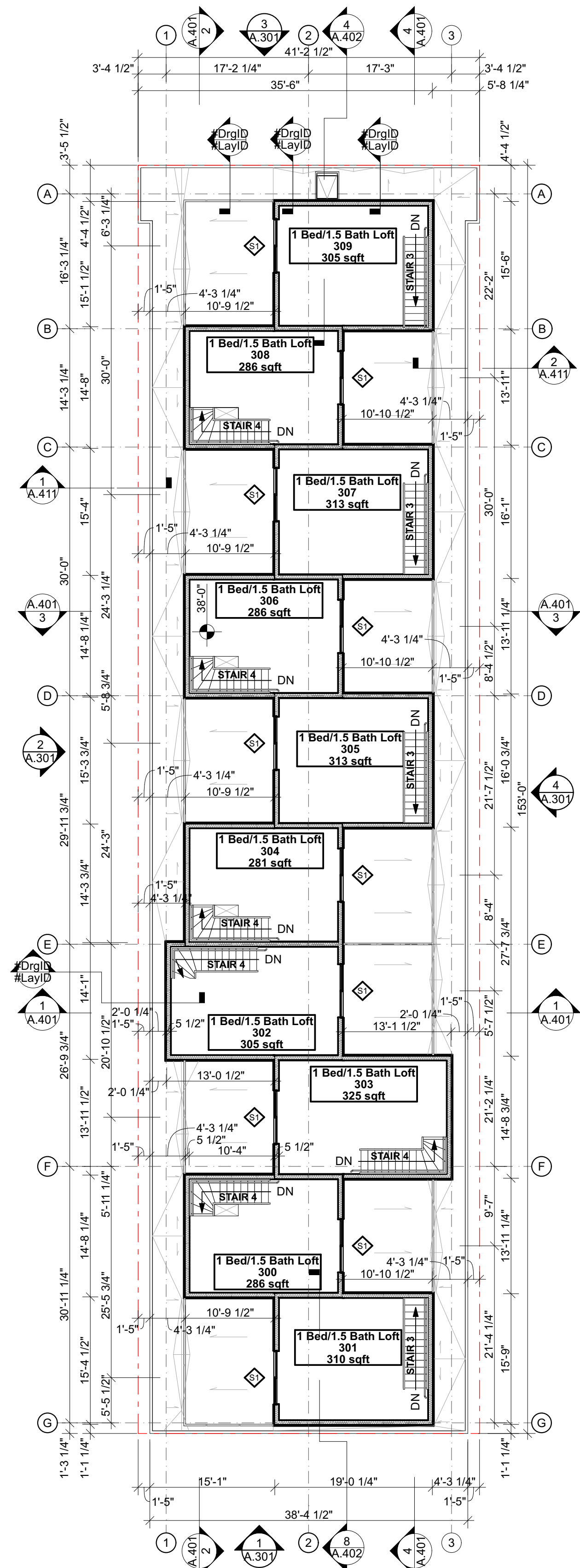
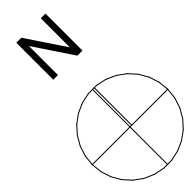
**walter PARKS**  
ARCHITECT

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

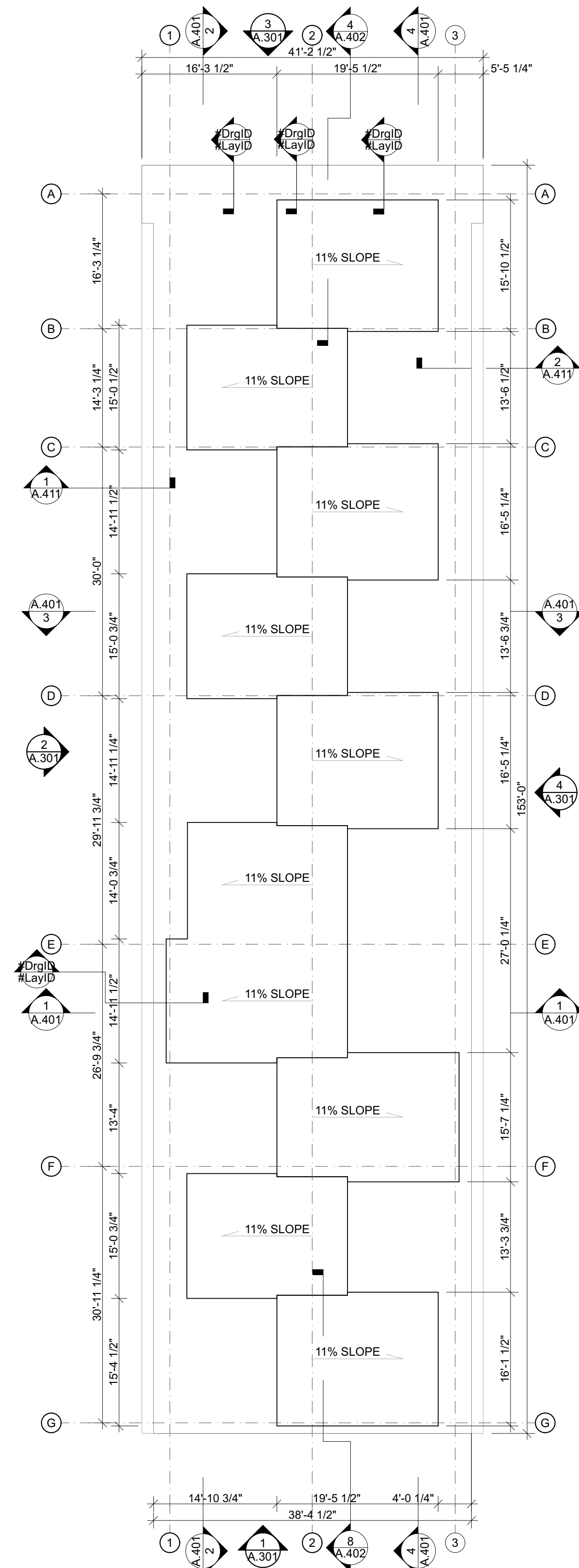
PROJECT #: 20.30  
DATE: 1/21/22

FIRST - 3RD FLOOR  
PLANS  
**A.201**





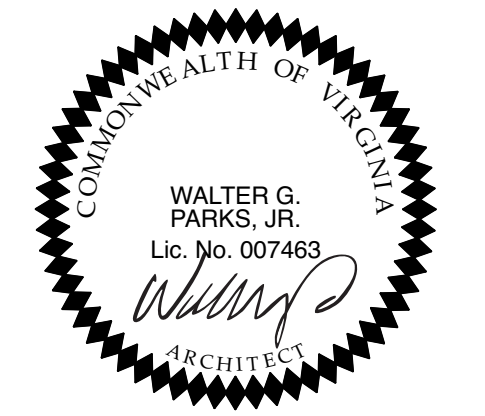
1  
A.202  
4TH FLOOR  
SCALE: 3/32" = 1'-0"



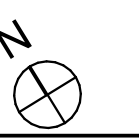
2  
A.202  
ROOF PLAN  
SCALE: 3/32" = 1'-0"

finish schedule

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
CPT1	24" X 24" CARPET TILE	SHAW CONTRACT	ARRANGE TILE 5T294	GLASSY GREEN 94335	CORRIDORS	INSTALLATION METHOD: BRICK
CT1	12" X 24" PORCELAIN FLOOR TILE	ROCA TILE	AVILA	ANTRACITA UFV101-1224	UNIT BATH	EVEN FLOORS
CT2	12" X 24" PORCELAIN FLOOR TILE	ROCA TILE	SILK	GRAY USK102-1224	UNIT BATH	ODD FLOORS
CT3	4" X 16" CERAMIC WALL TILE	ROCA TILE	COLOR COLLECTION	TENDER GRAY BRIGHT U761	UNIT KITCHEN	EVEN & ODD FLOORS, RUNNING BOND
GR1	1/8" GROUT	MAPEI	TBD	47 CHARCOAL	UNIT BATH	COORDINATE W/ CT1
GR2	1/8" GROUT	MAPEI	TBD	107 IRON	UNIT BATH	COORDINATE W/ CT2
GR3	1/8" GROUT	MAPEI	TBD	77 FROST	UNIT KITCHEN	COORDINATE W/ CT3
GT1	2CM GRANITE	(OZ ENTERPRISES)	ARABESCO	POLISHED	UNIT KITCHEN & BATH	EVEN FLOORS, POLISH EXPOSED EDGES
GT2	2CM GRANITE	(OZ ENTERPRISES)	ARABESCO	POLISHED	UNIT KITCHEN & BATH	ODD FLOORS, POLISH EXPOSED EDGES
LVT1	6" X 48" LVT (12 MIL)	SHAW CONTRACT	TERRAIN II 12MIL, 0453V	ORCHARD 05013	UNIT	EVEN FLOORS
LVT2	6" X 48" LVT (12 MIL)	SHAW CONTRACT	TERRAIN II 12MIL, 0453V	ROOT 00568	UNIT	ODD FLOORS
LVT3	6" X 48" X 5mm LVT (20 MIL)	SHAW CONTRACT	SOLITUDE 0648V	SMOKE 48506	CORRIDOR, STAIR LANDINGS	CORRIDORS
PT1	OVERALL GYP BD CLG PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	UNIT	
PT2	OVERALL UNIT WALL PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	UNIT	
PT3	UNIT TRIM & DOOR PAINT	SHERWIN WILLIAMS	SW7015, REPOSE GRAY	SEMI-GLOSS	UNIT	
PT4	BATH PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	SEMI-GLOSS	UNIT	
PT5	CORRIDOR WALL & LOBBY CLG PAINT	SHERWIN WILLIAMS	SW0068, COPEN BLUE	FLAT	CORRIDOR	
PT6	CORRIDOR CEILING PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	CORRIDOR	
PT7	WAINSCOT PAINT	SCUFFMASTER	TO MATCH SW7624, SLATE TILE	FLAT	CORRIDOR	
PT8	ABOVE WAINSCOT PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	CORRIDOR	
PT9	ACCENT PAINT @ UNIT ENTRY	SHERWIN WILLIAMS	SW7624, SLATE TILE	FLAT	CORRIDOR	
PT10	TRIM PAINT*	SHERWIN WILLIAMS	SW7069, IRON ORE	SEMI-GLOSS	CORRIDOR*	
PT11	STAIRWELL RAILING, CORRIDOR CHAIR RAIL, TRIM PAINT (BASE & DOOR)*	SHERWIN WILLIAMS	SW7624, SLATE TILE	SEMI-GLOSS	STAIR & CORRIDOR @ PT9 WALLS	*UNLESS OTHERWISE NOTED *ALL TRIM AT CORRIDOR PT9 WALLS PAINTED TO MATCH PROVIDE SAMPLES FOR ARCHITECT TO APPROVE
PT14	WOOD STAIN	FLOOD	PRO SERIES	CINDER	CORRIDOR	
PT15	WOOD STAIN	FLOOD	PRO SERIES STANDARD EXCELON IMPERIAL TEXTURE	PEARL GRAY	CORRIDOR	
VCT1	12" VINYL COMPOSITION TILE	ARMSTRONG	51875 MID GRAYED BLUE	51875 MID GRAYED BLUE	STORAGE & UTILITY CLOSETS	
VYL1	RESILIENT WALL BASE (VINYL)	JOHNSONITE	TRADITIONAL WALL BASE	71 STORM CLOUD	STORAGE & UTILITY CLOSETS	
VYL2	VINYL TREADS	JOHNSONITE	SAFE-T-RIB	29 MOON ROCK	STAIRS	
WD1	LAMINATE CABINETS	LEEDO	ASCONA	WHITE	UNIT KITCHEN	EVEN FLOORS
WD2	LAMINATE CABINETS	LEEDO	ASCONA	WHITE	UNIT KITCHEN	ODD FLOORS
WD3	LAMINATE CABINETS	LEEDO	ASCONA	WHITE	UNIT BATHROOMS, WALL CABINETS @ KITCHENS	ALL FLOORS



**931-933 W Grace St**  
RICHMOND VA 23220 USA



REVISIONS	
TAG	DATE

**walter PARKS**  
ARCHITECT

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

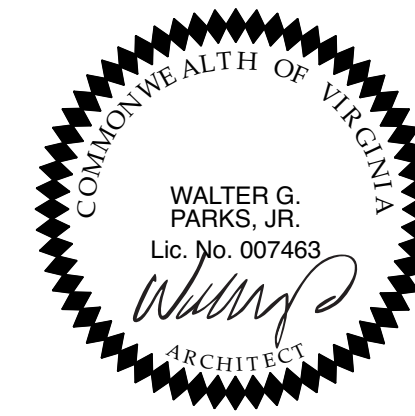
PROJECT #: 20.30  
DATE: 1/21/22

4TH FLOOR, ROOF  
PLAN, & FINISH  
SCHEDULE  
**A.202**

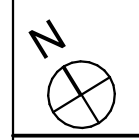








**931-933 W Grace St**  
 RICHMOND VA 23220 USA



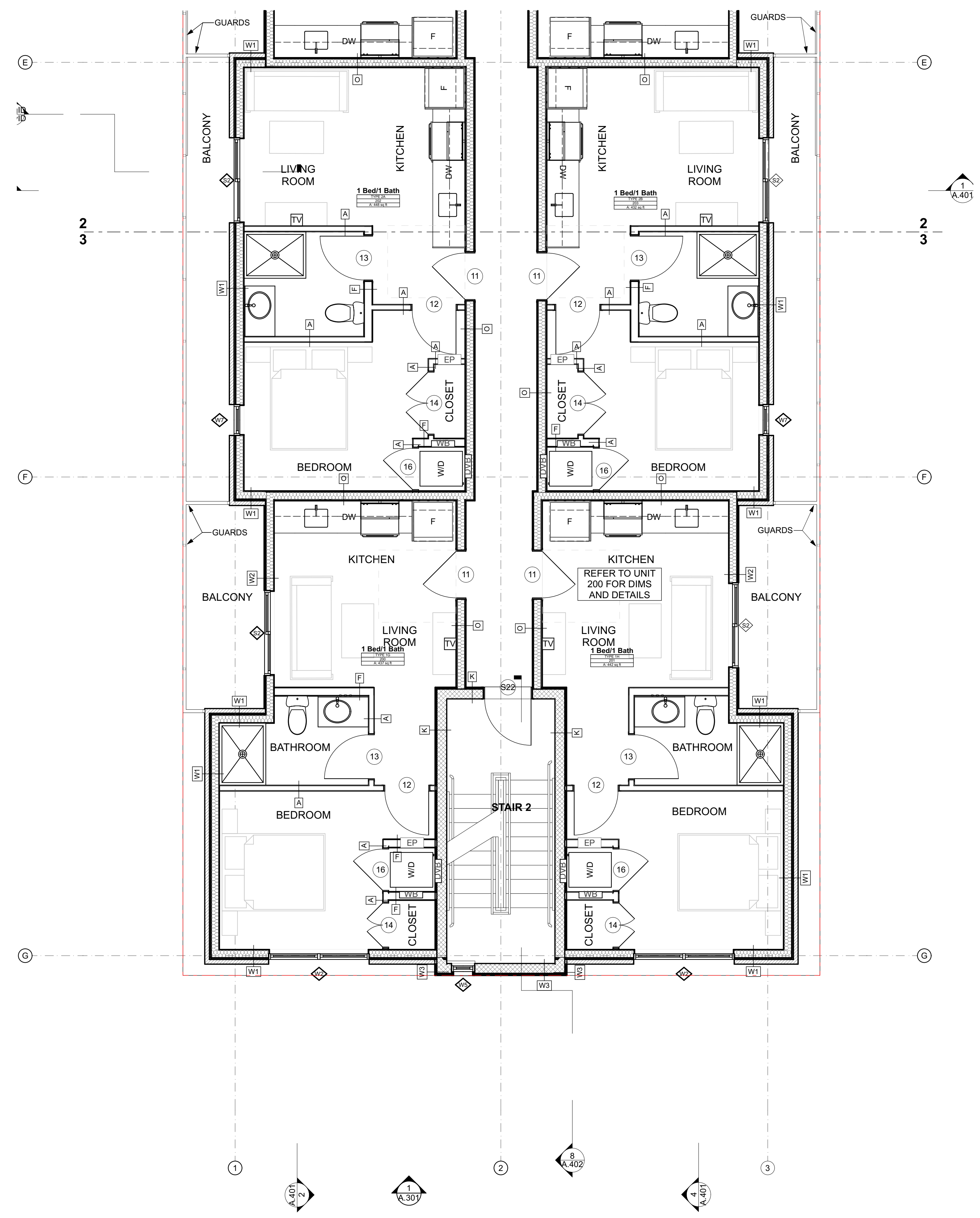
REVISIONS	
TAG	DATE

**walter PARKS**  
 ARCHITECT

313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 t: 644-4761 / f: 644-4763

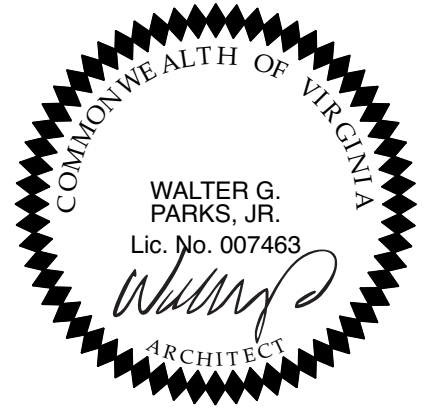
PROJECT #: 20.30  
 DATE: 1/21/22

SECOND FLOOR UNIT  
 PLAN  
**A.212.3**



**1**  
 A.212.3  
 2ND FLOOR  
 SCALE: 1/4" = 1'-0"





# 931-933 W Grace St

RICHMOND VA 23220 USA

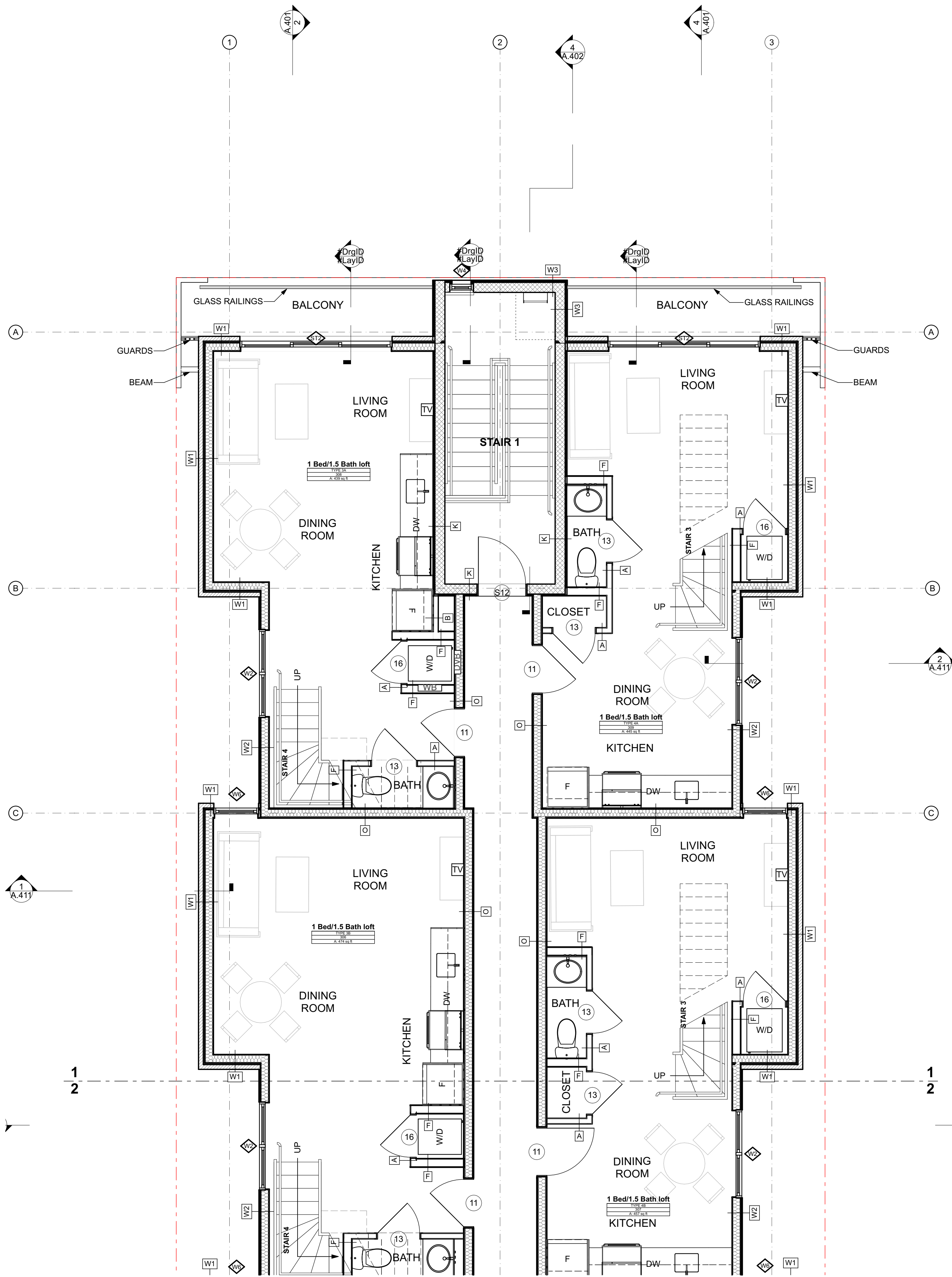
REVISIONS	TAG	DATE

**walter PARKS**  
ARCHITECT

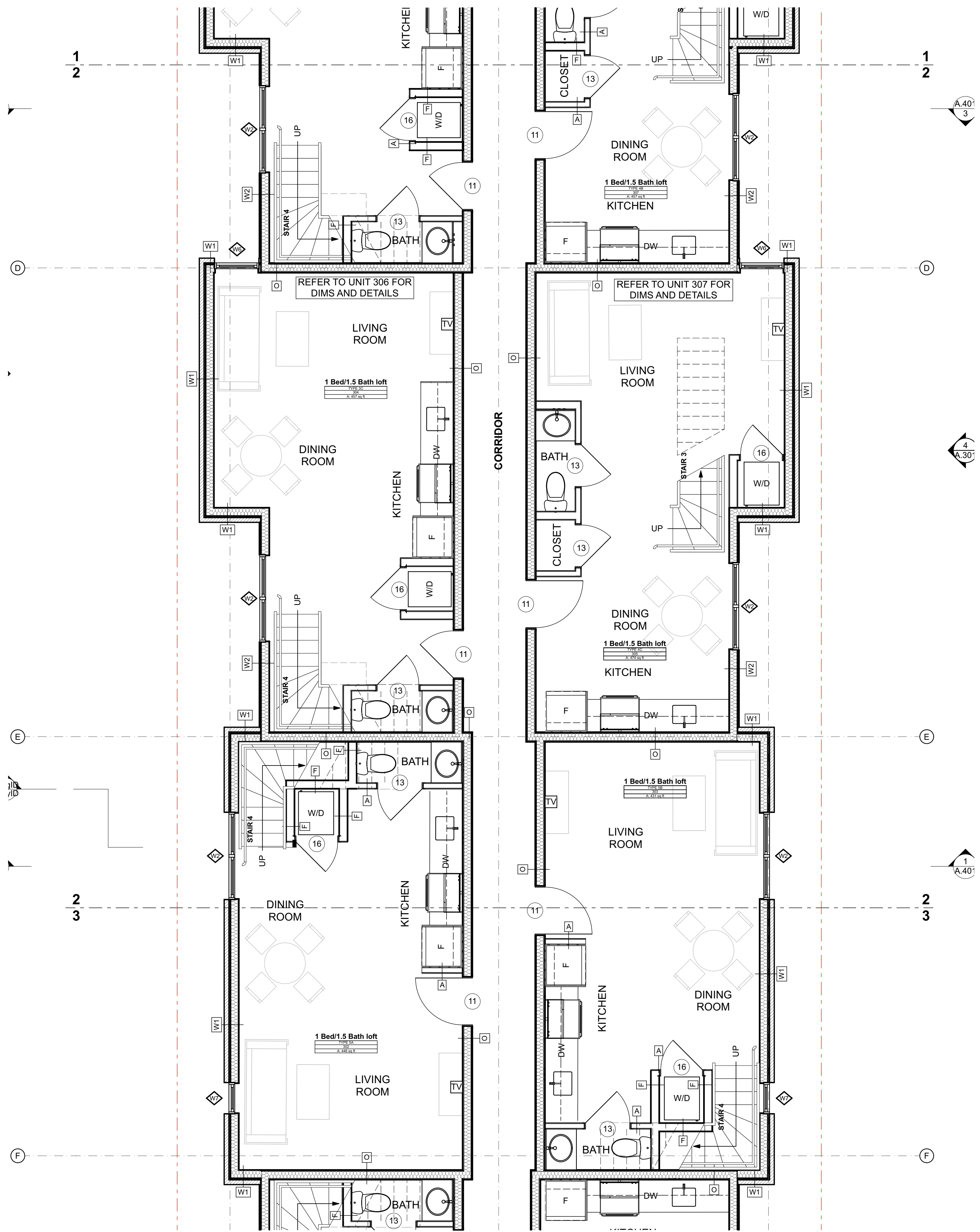
313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
DATE: 1/21/22

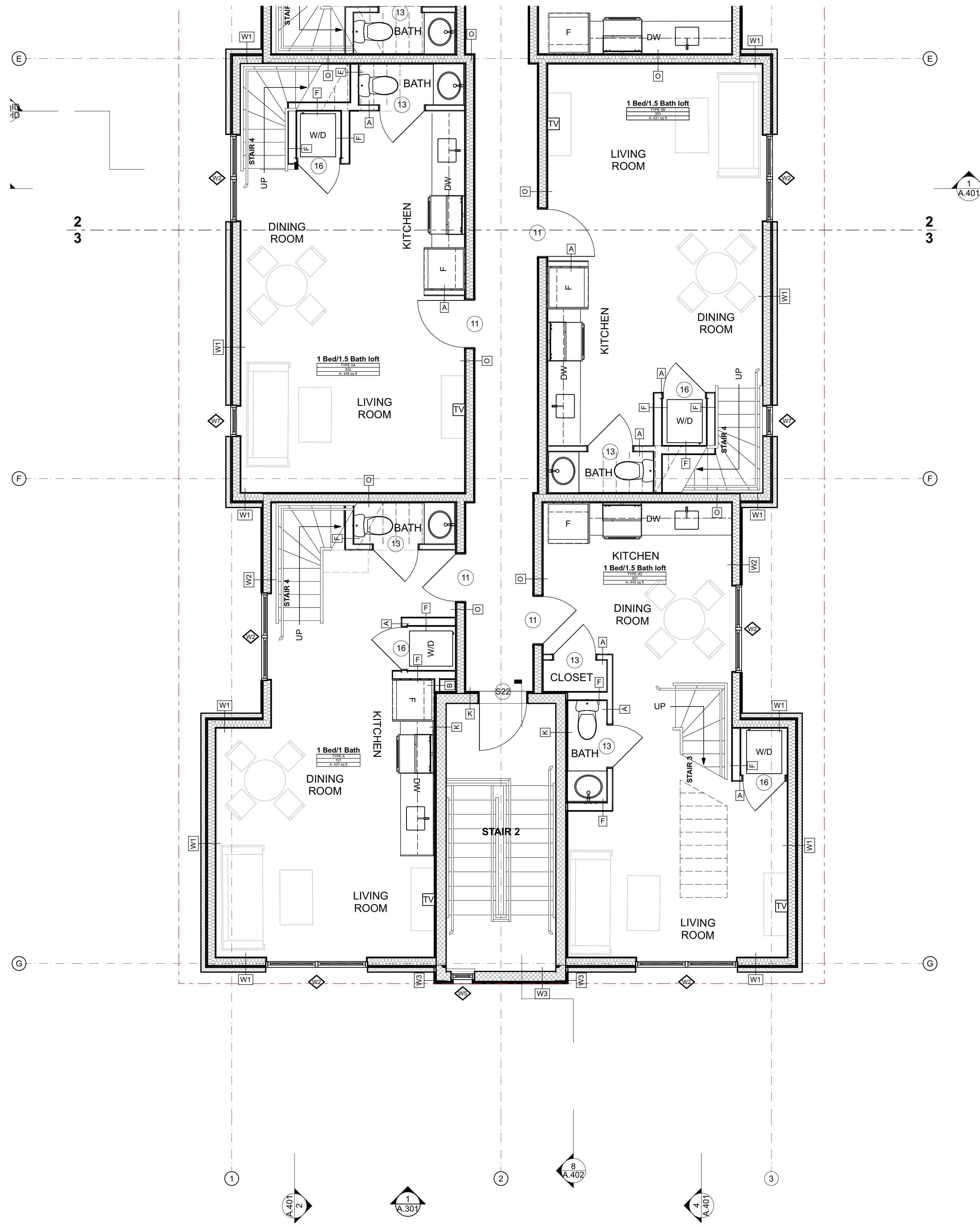
THIRD FLOOR UNIT  
PLAN  
**A.213.1.2**



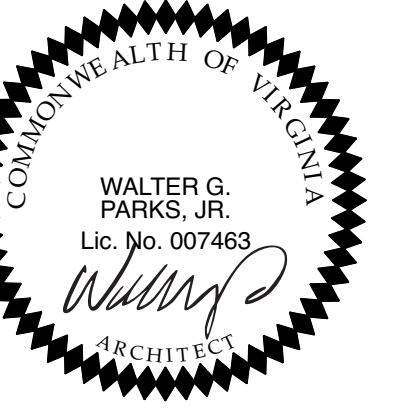
1 3RD FLOOR  
A.213.1.2 SCALE: 1/4" = 1'-0"



2 3RD FLOOR  
A.213.1.2 SCALE: 1/4" = 1'-0"



1  
A.213.3 3RD FLOOR  
SCALE: 1/4" = 1'-0"



**931-933 W Grace St**  
RICHMOND VA 23220 USA



REVISIONS	
TAG	DATE

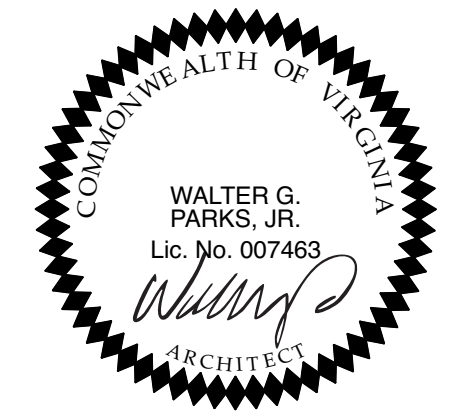
**walter PARKS**  
ARCHITECT

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

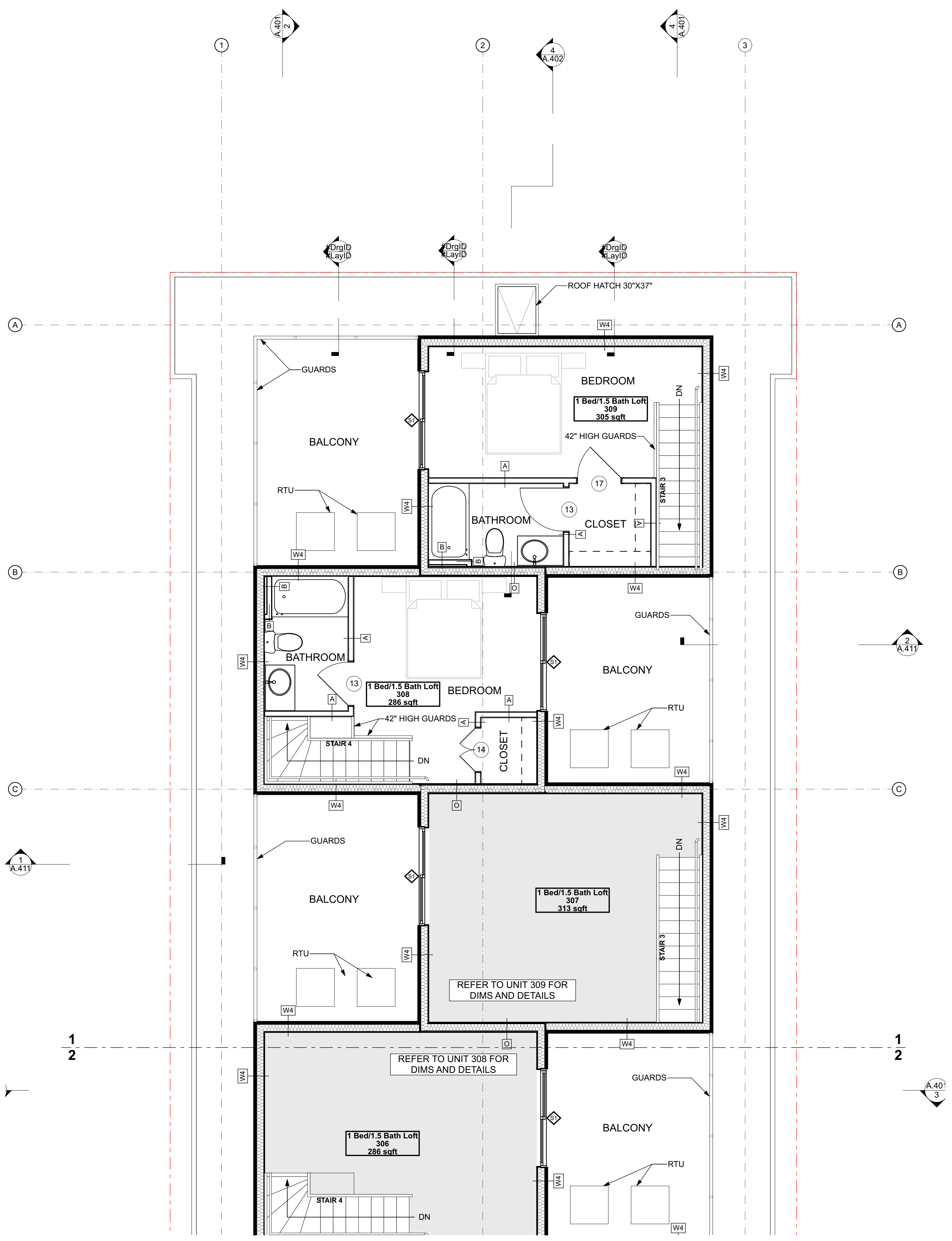
PROJECT #: 20.30  
DATE: 1/21/22

THIRD FLOOR UNIT  
PLAN  
**A.213.3**

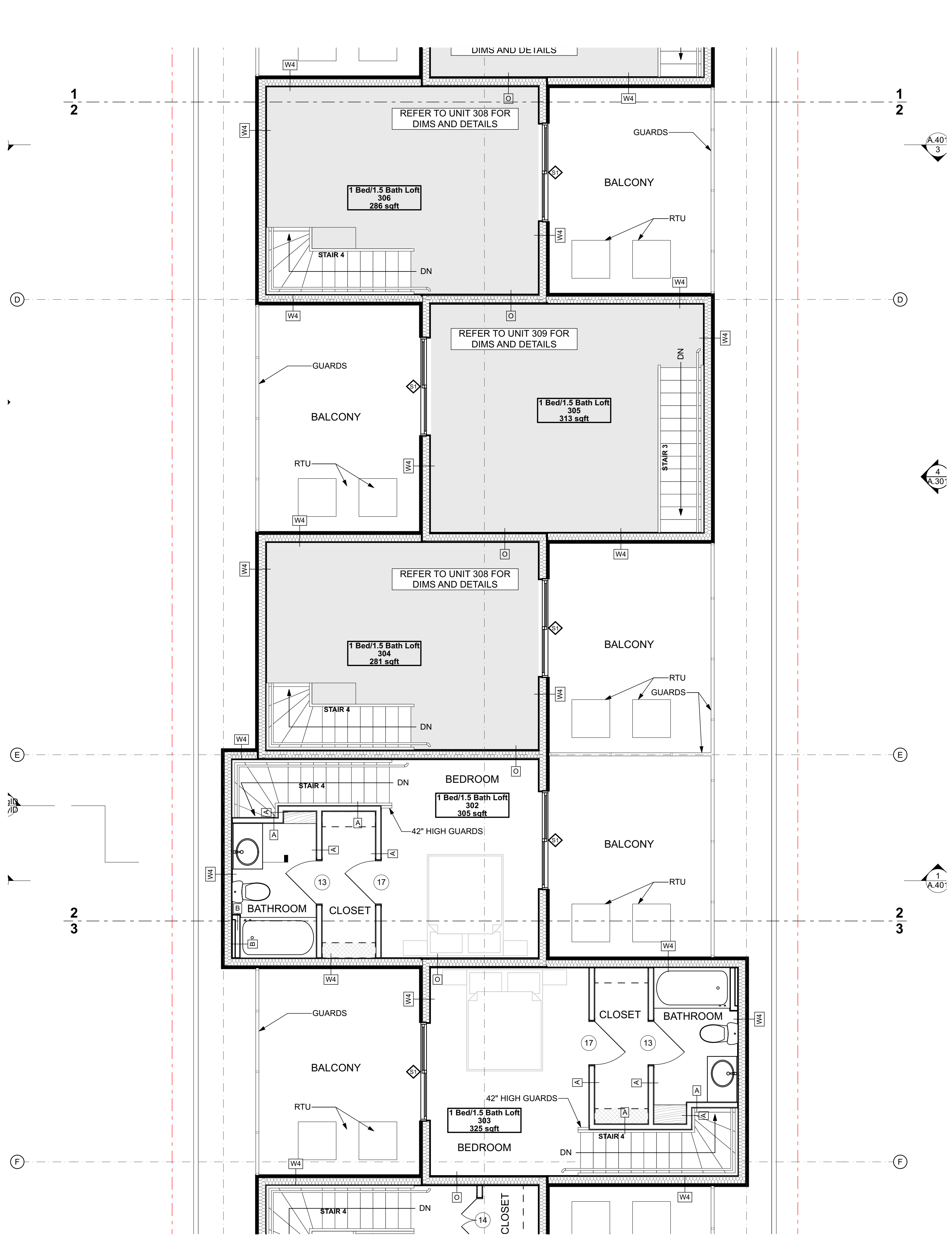




**931-933 W Grace St**  
 RICHMOND VA 23220 USA



1 4TH FLOOR  
 A.214.1.1 SCALE: 1/4" = 1'-0"



2 4TH FLOOR  
 A.214.1.2 SCALE: 1/4" = 1'-0"



REVISIONS	TAG	DATE

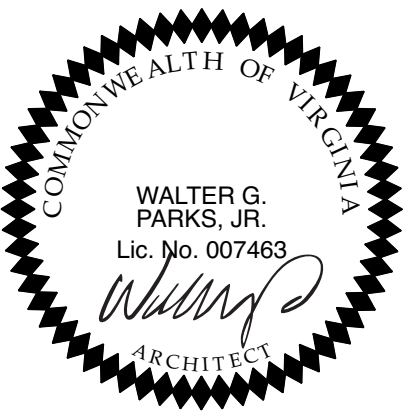
**walter PARKS**  
 ARCHITECT

313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
 DATE: 1/21/22







**931-933 W Grace St**  
 RICHMOND VA 23220 USA



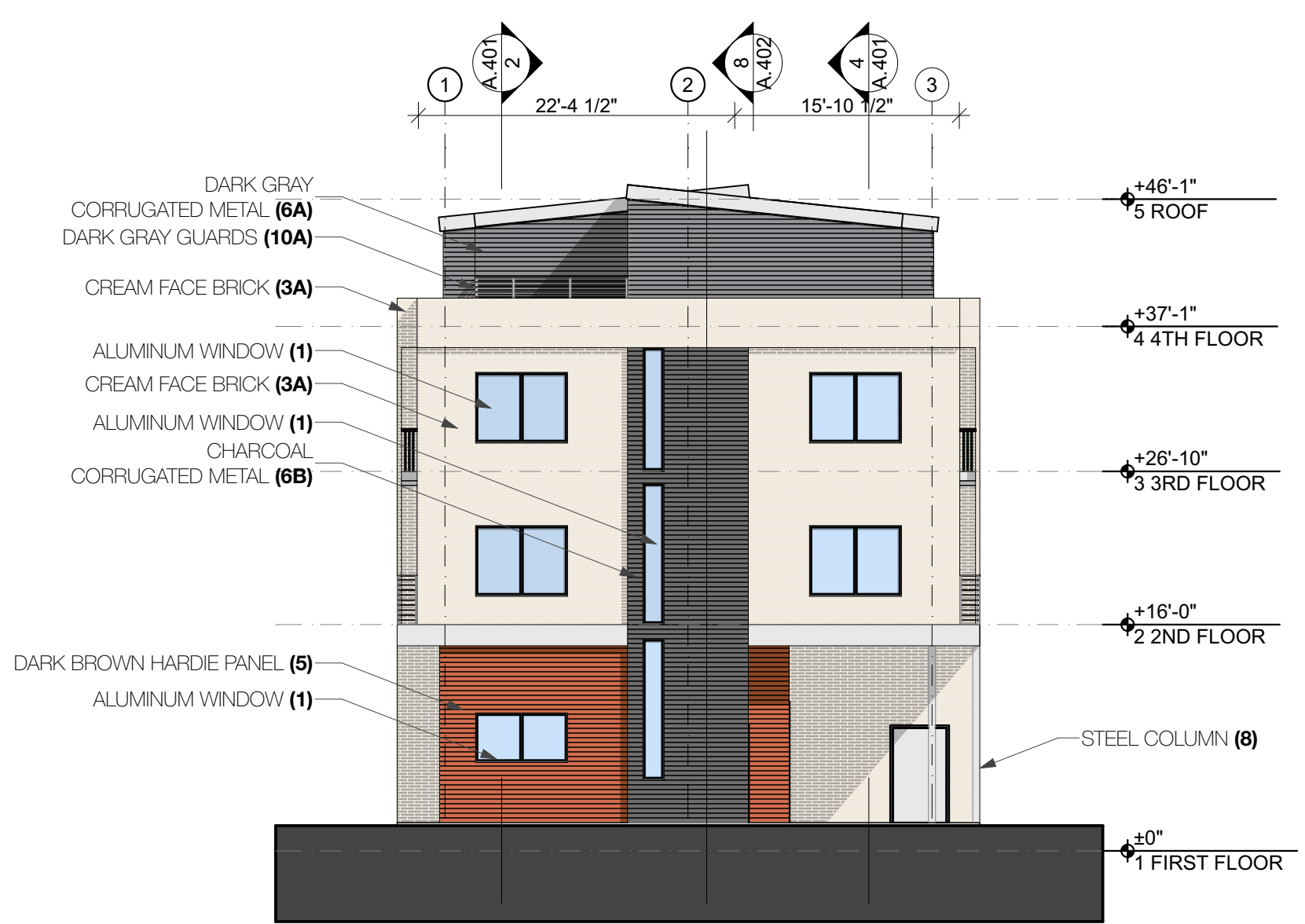
**4 NE COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**3 GRACE ST COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**2 NW COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**1 ALLEY COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"

**EXTERIOR FINISHES**

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
1	WINDOWS / DOORS	TBD	TBD	BLACK	OVERALL	CLEAR GLASS
2	STOREFRONT	KAWNEER	TBD	BLACK	OVERALL	CLEAR GLASS
3A	BRICK, ENGINEER SIZE	PALMETTO BRICK COMPANY	TBD	CREAM (WIRE CUT)	OVERALL	ENGINEER SIZE, SHADE & WISE
3B	BRICK, ENGINEER SIZE	PALMETTO BRICK COMPANY	TBD	DARK BROWN (WIRE CUT)	BUILDING FRONTAGE	ENGINEER SIZE, SHADE & WISE
4	MORTAR COLOR	FLAMINGO BRIXMENT	TBD	TBD	OVERALL	
5	FIBER CEMENT SYSTEM	TBD	TBD	DARK BROWN	RECESSED WALLS AT BALCONIES	
6A	CORRUGATED METAL	TBD	TBD	DARK GRAY	4TH LEVEL	
6B	CORRUGATED METAL	TBD	TBD	CHARCOAL	STAIR WAYS	
7	CANOPY	TBD	ALUMINUM	ORANGE	BUILDING FRONTAGE ENTRIES	
8	STEEL COLUMNS / BEAMS / CHANNELS PAINT	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	OVERALL	EXTERIOR PAINT, PREP & PRIME, POWDER COATED - 10 YEAR WARRANTY
9	COPING PAINT	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	OVERALL	MARINE GRADE - 30 YEAR WARRANTY
10A	STEEL GUARDRAIL / RAILINGS	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	BALCONIES	MARINE GRADE - 30 YEAR WARRANTY
10B	GLASS RAILINGS	TBD	TBD	BLACK	BALCONIES	CLEAR GLASS
11	PAVERS	TBD	TBD	GRAY	2ND FLOOR TERRACES & ROOF TERRACES	
12	PREFINISHED ALUMINUM SIGNAGE	TBD	1'-3" TALL REVERSED CHANNEL LETTERS	CLEAR ANODIZED	BUILDING FRONTAGE	BACK LIT
13	STEEL METAL PANEL	TBD	TBD	CHARCOAL	BUILDING ENTRIES STOREFRONTS	

\* ALL PAINT FINISHES TO BE POWDER COATED.

REVISIONS	
TAG	DATE

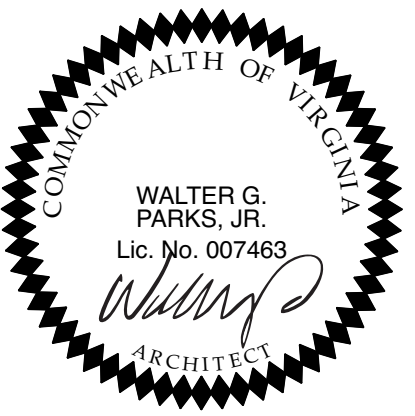
**walter PARKS**  
 ARCHITECT

313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 t: 644-4761 / f: 644-4763

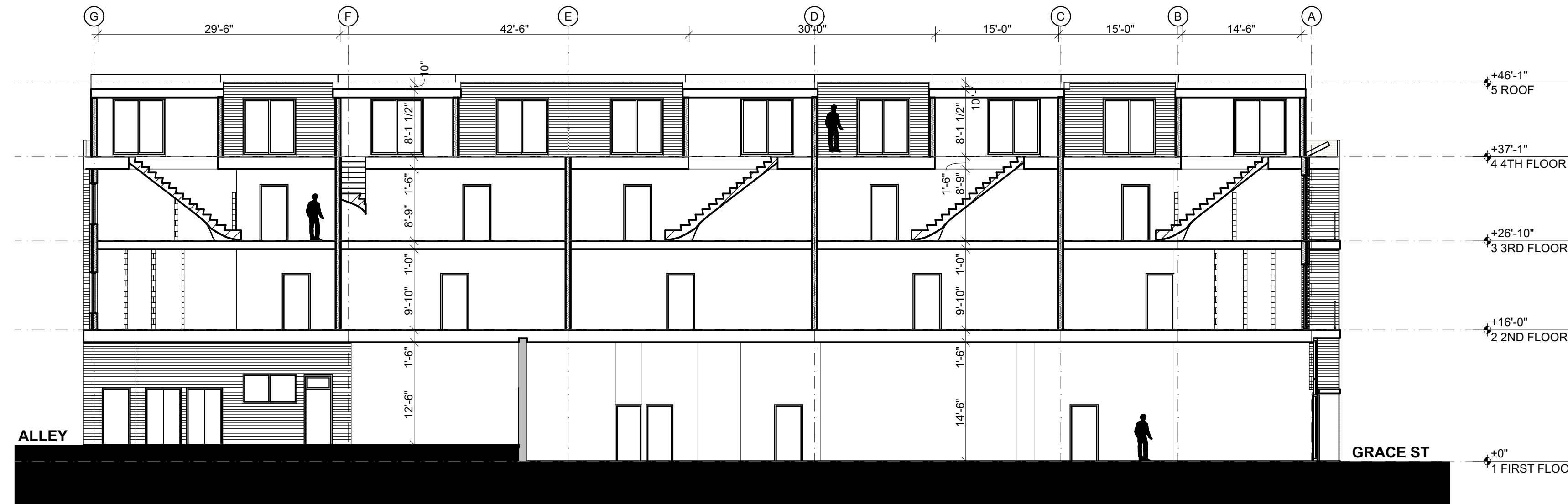
PROJECT #: 20.30  
 DATE: 1/21/22

ELEVATIONS  
**A.301**

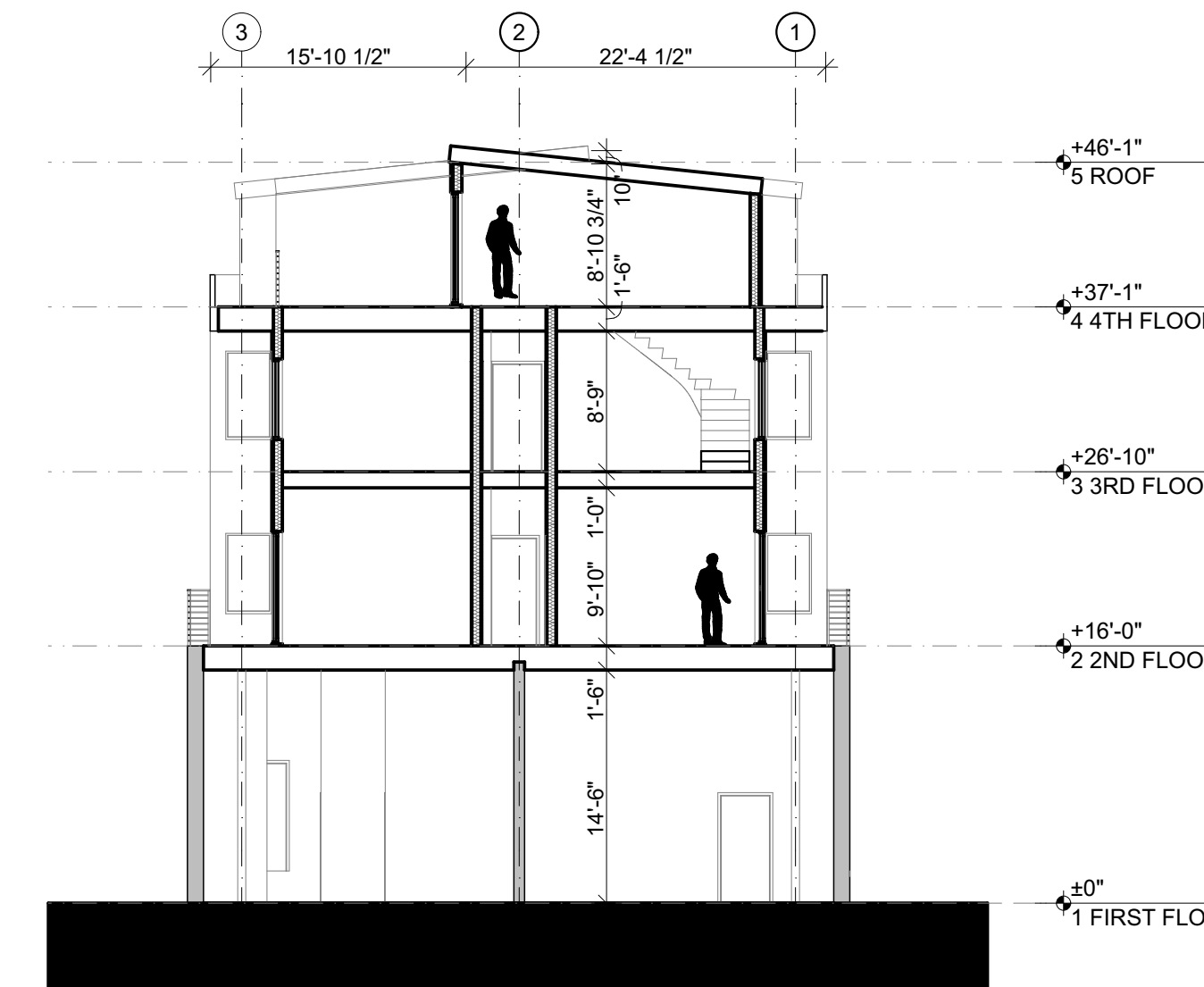




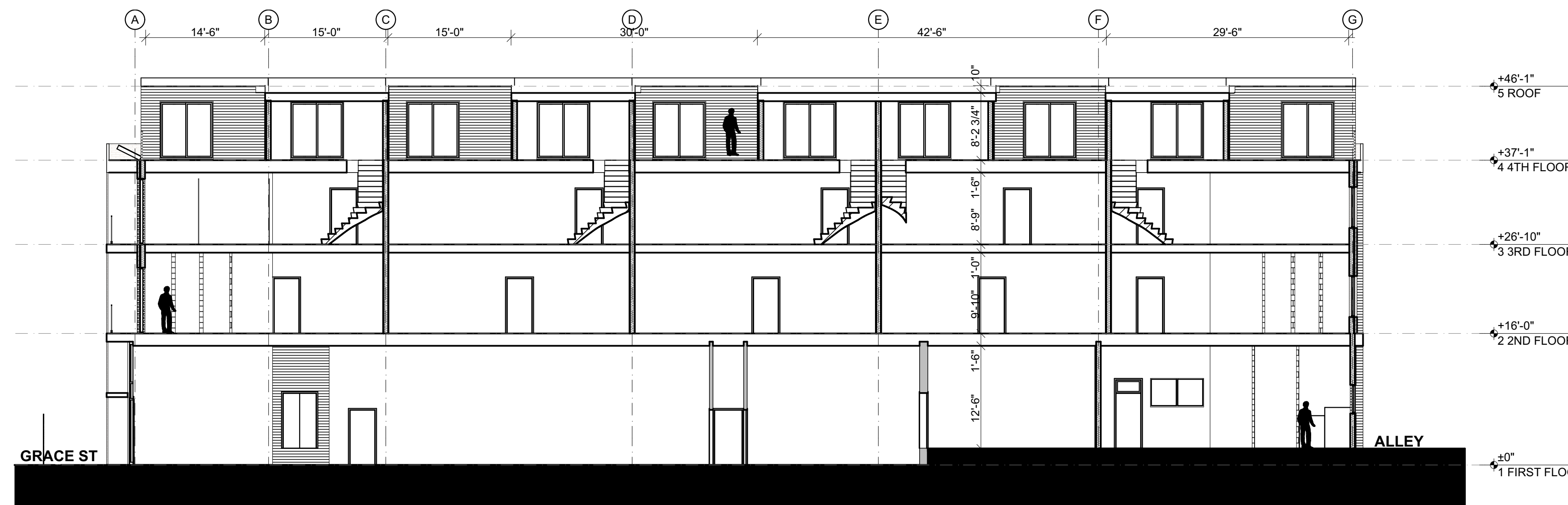
**931-933 W Grace St**  
 RICHMOND VA 23220 USA



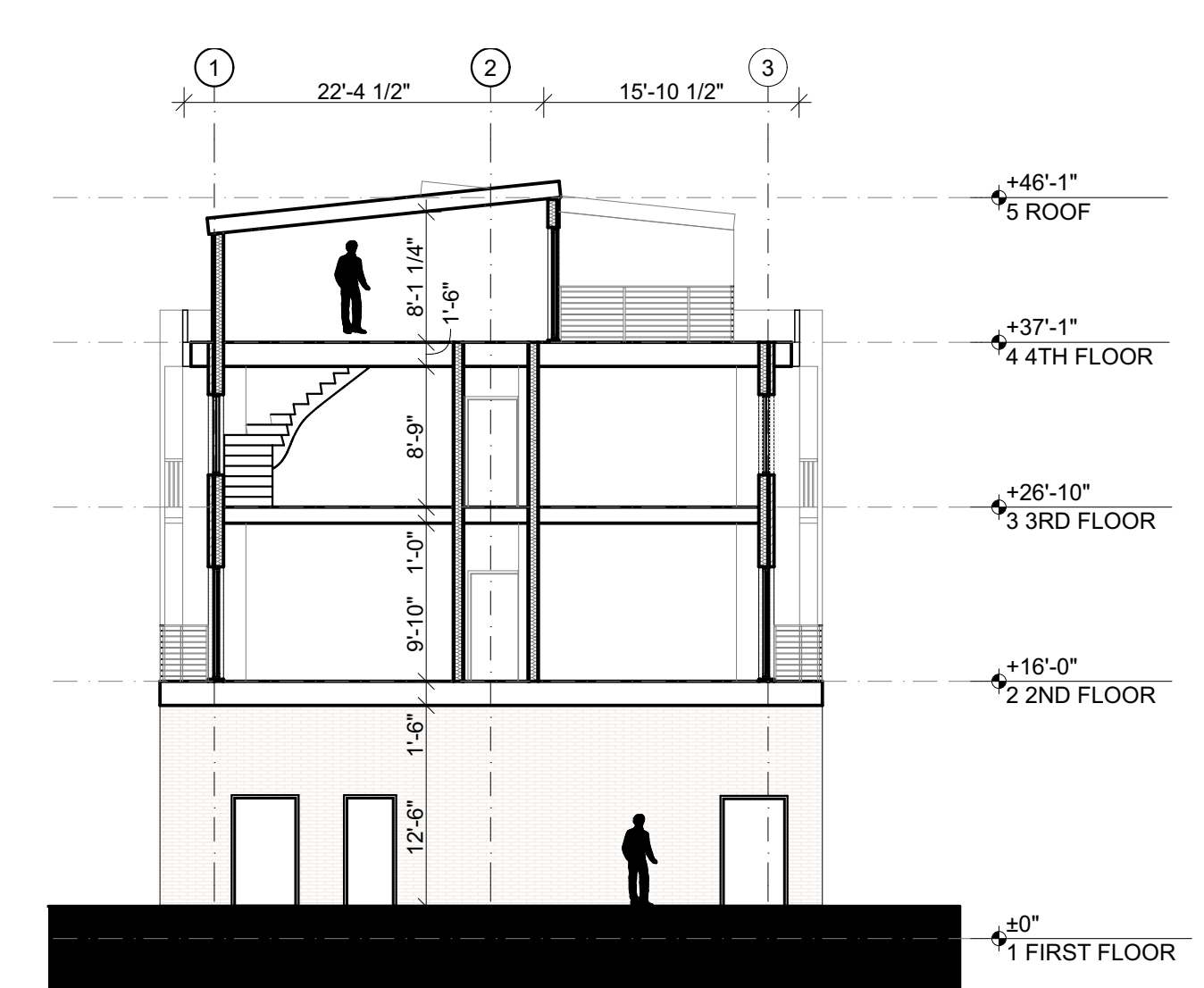
4 SECTION 4  
 A.401 SCALE: 3/32" = 1'-0"



3 SECTION 3  
 A.401 SCALE: 3/32" = 1'-0"



2 SECTION 2  
 A.401 SCALE: 3/32" = 1'-0"



1 SECTION 1  
 A.401 SCALE: 3/32" = 1'-0"

REVISIONS	
TAG	DATE

**walter PARKS**  
 ARCHITECT

313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
 DATE: 1/21/22

SECTIONS  
**A.401**

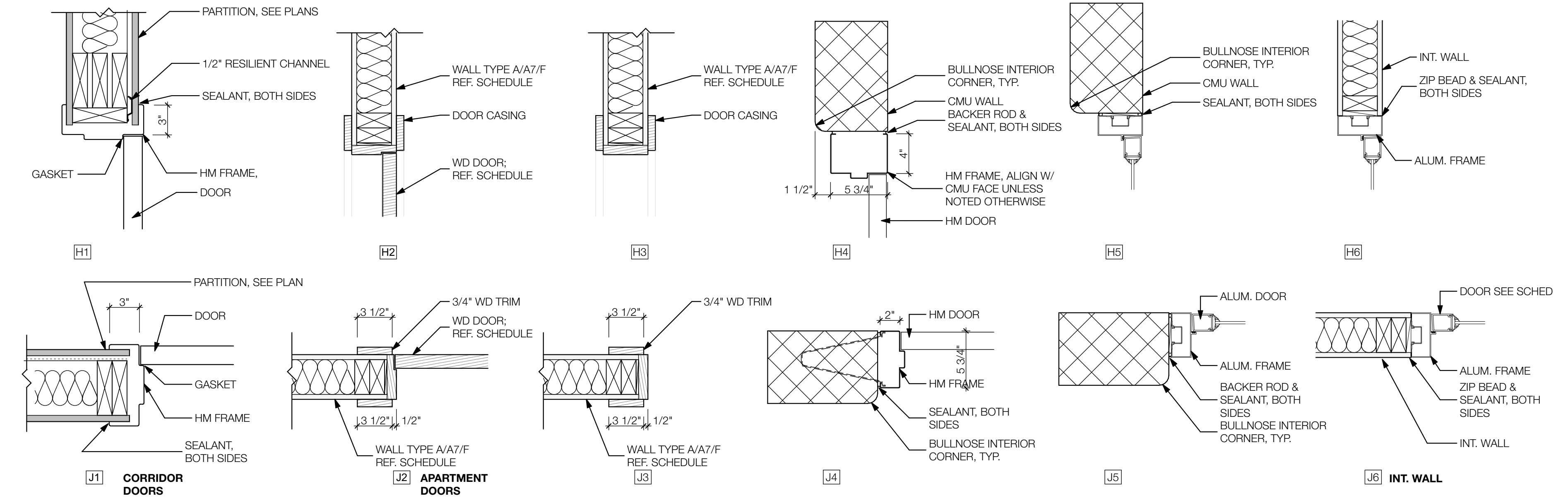




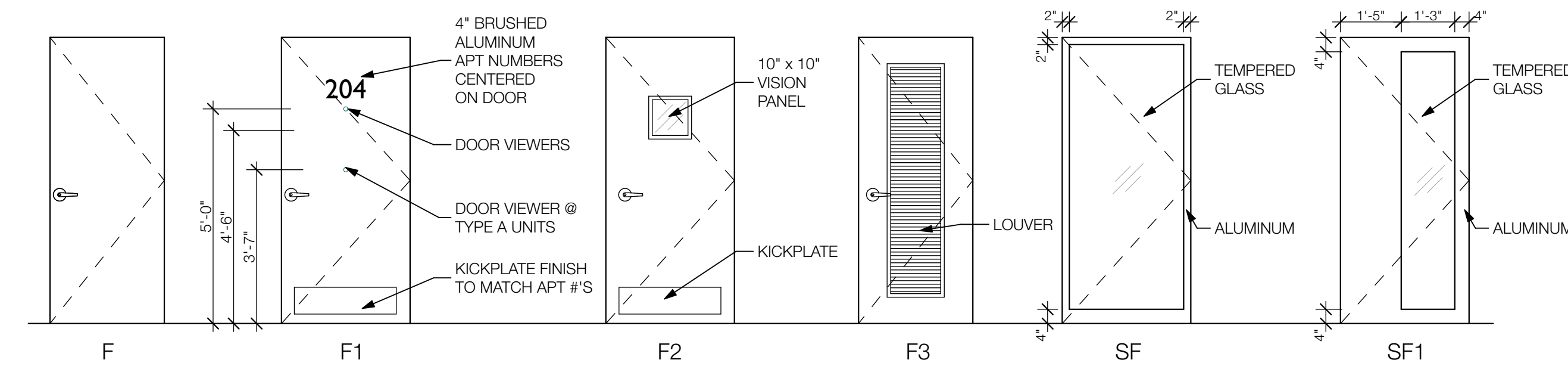
## DOOR SCHEDULE

DOOR NO	DOOR					FRAME		HARDWARE SET#	FIRE RATING	LOCATION	NOTES
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	MATERIAL	HEAD/JAMB#				
<b>UNITS</b>											
11	3'-0"	6'-8"	1 3/4"	SCW	F1	HM	1	1		UNIT ENTRY	
12	2'-10"	6'-8"	1 3/8"	SCW	F	WD	3	3		BEDROOM	
13	2'-10"	6'-8"	1 3/8"	SCW	F	WD	3	3		BATHROOM	
14	2'-10"	6'-8"	1 3/8"	HCW	F	WD	4	4		CLOSET	
15	5'-0"	6'-8"	1 3/8"	HCW	F3	WD	5	5		W/D CLOSET	
16	2'-10"	6'-8"	1 3/8"	HCW	F3	WD	4	4		W/D CLOSET	
17	2'-10"	6'-8"	1 3/8"	HCW	F	WD	4	4		WALK IN CLOSET	
<b>COMMON AREAS</b>											
101	4'-0"	6'-8"	1 3/8"							WATER HEATER CLOSET	
S1	3'-0"	7'-6"	1 3/4"	AL	SF1	AL		16		STAIR 1 EXIT	
S2	3'-0"	6'-8"	1 3/4"	AL	SF	AL		16		STAIR 2 EXIT	
S12	3'-0"	6'-8"	1 3/4"	SCW	F2	HM		14		STAIR 1	
S22	3'-0"	6'-8"	1 3/4"	SCW	F2	HM		14		STAIR 2	
ST1	3'-0"	7'-6"	1 3/4"	AL	SF1	AL		10		RESTAURANT	

## HJ DETAILS

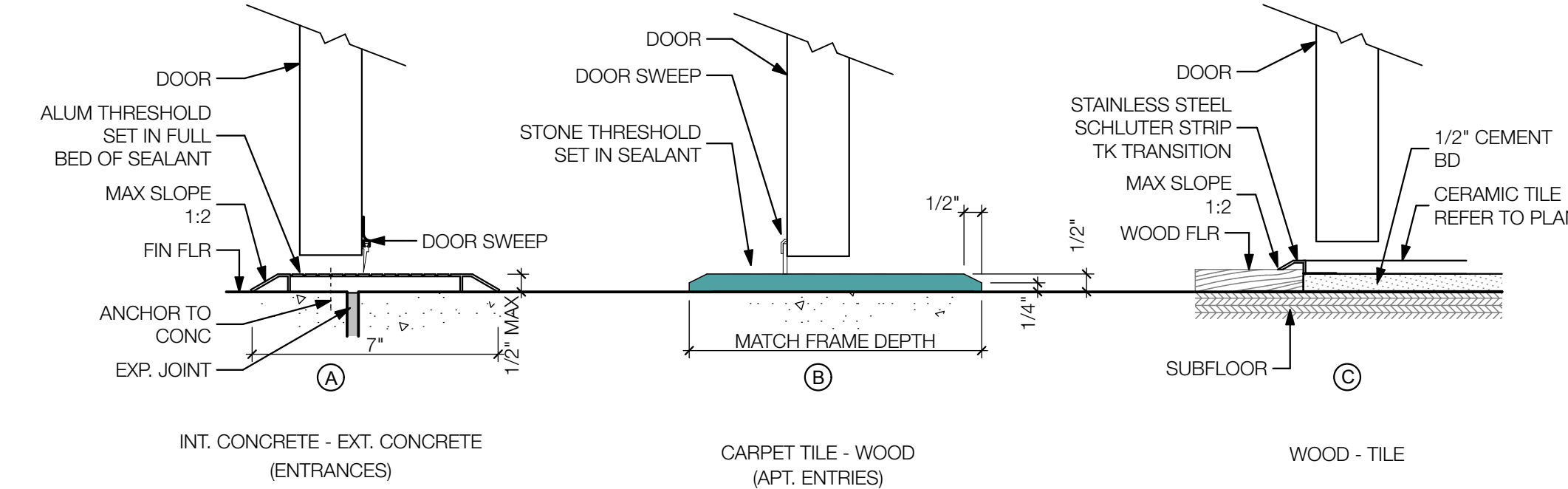


## DOOR TYPES



NOTE:  
SEE DOOR SCHEDULE FOR ALL HARDWARE

## THRESHOLDS

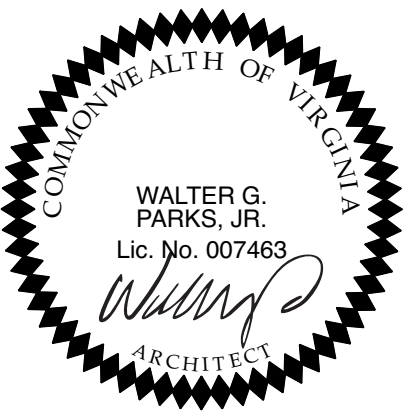


## HARDWARE SETS

### HARDWARE SETS:

ALL LOCKSETS, LATCHSETS: SCHLAGE LEVER RESIDENTIAL (EXCEPT AS NOTED), BRUSHED STAINLESS. PROVIDE MASTER AND GRANDMASTER KEYING SYSTEM

- APARTMENT ENTRY DOORS (INT):
  - PASSAGE LOCKSET
  - THUMBTURN DEADBOLT
  - EYE VIEWER
  - GASKET/ WEATHERSTRIPPING
  - 1 PR BB HINGES
  - 1 SPRING HINGE
  - DOOR SWEEP
  - DOOR STOP
- APARTMENT ENTRY DOORS (EXT):
  - PASSAGE LOCKSET
  - THUMBTURN DEADBOLT
  - EYE VIEWER
  - WEATHERSTRIPPING
  - 1 PR BB HINGES
  - 1 SPRING HINGE
  - DOOR SWEEP
  - DOOR STOP
- BEDROOM AND BATHROOM:
  - PRIVACY LOCKSET
  - 1 1/2 PR HINGES
  - DOOR STOP
- CLOSETS
  - LATCHSET
  - 1 1/2 PR HINGES
  - DOOR STOP
- CLOSET (DOUBLE DOORS)
  - 2 BALL CATCH (AT TOP OF DR)
  - 3 PR HINGES
  - 2 DUMMY PULLS
  - 2 DOOR STOPS
- BALCONY
  - 7. UTIL.
- TOILET, SINGLE OCCUPANT
  - PRIVACY LOCKSET
  - 1 1/2 PR HINGES
  - CLOSER
  - DOOR STOP
- ENTRY
  - PANIC EXIT
  - NO ENTRY
  - 1 1/2 PR BB HINGES
  - CLOSER
  - DOOR STOP
- GENERAL CARD ACCESS
  - PUSH/PULL
  - CARD READER
  - 1 1/2 PR BB HINGES
  - CLOSER
  - DOOR STOP
- EXIT
  - PANIC EXIT
  - NO ENTRY
  - 1 1/2 PR BB HINGES
  - CLOSER
- PASSAGE
  - PASSAGE SET
  - 1 1/2 PR BB HINGES
  - CLOSER
  - DOOR STOP



**931-933 W Grace St**  
RICHMOND VA 23220 USA

REVISIONS	TAG	DATE

**walter PARKS**  
ARCHITECT

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
DATE: 1/21/22

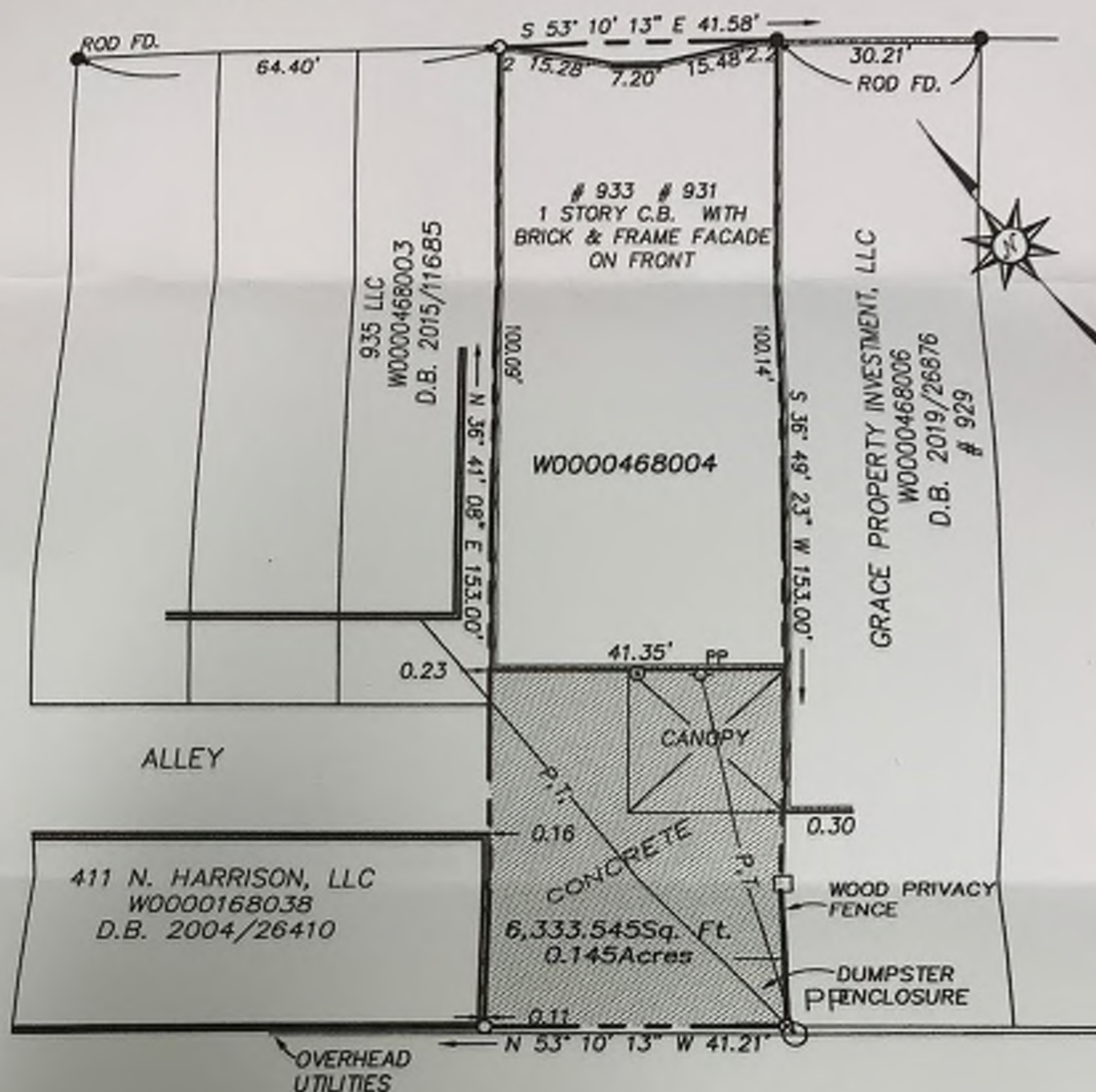
DOOR SCHEDULE  
**A.901**



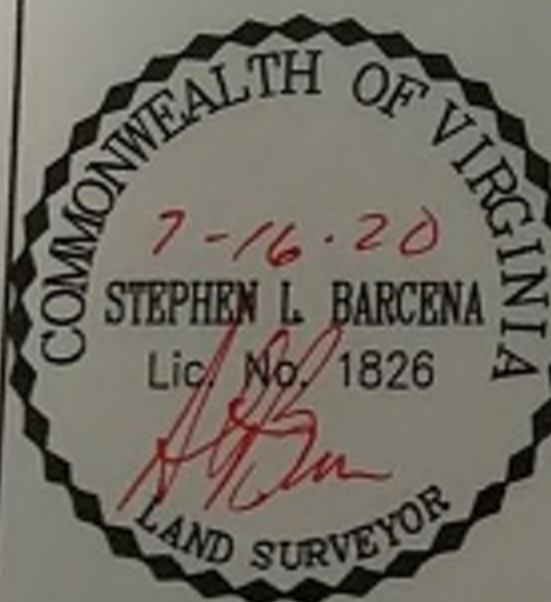


W. GRACE STREET

N. HARRISON STREET



PLAT SHOWING  
# 931 & # 933 W. GRACE STREET  
RICHMOND, VIRGINIA  
SURVEYED FOR  
SWITZERLAND TOWN, LLC



THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE BINDER AND IS SUBJECT TO ANY ENCUMBRANCES THAT ONE MAY REVEAL. THIS IS TO CERTIFY THAT ON 7/16/20 TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT ALL IMPROVEMENTS KNOWN OR VISIBLE ARE SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES OTHER THAN AS SHOWN HEREON. THIS PROPERTY IS IN ZONE "X" OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL # 5101290037D, DATED 4/02/09.

0 25 50

**BASELINE LAND SURVEYING**  
526 GROVE AVENUE  
PETERSBURG, VIRGINIA 23803  
BLS23803@MSN.COM  
PH.: 804.520.9180 / FX.: 804.722.9517

DATE: JULY 16, 2020 SCALE: 1" = 25'

DRAWN BY: SLB

CHECKED BY: CALC. CHK.: SLB

JOB NO.: 22434 F.B. 203/8

NOT VALID UNLESS SIGNED IN RED

PREVIOUS JOB NO.

REV.: