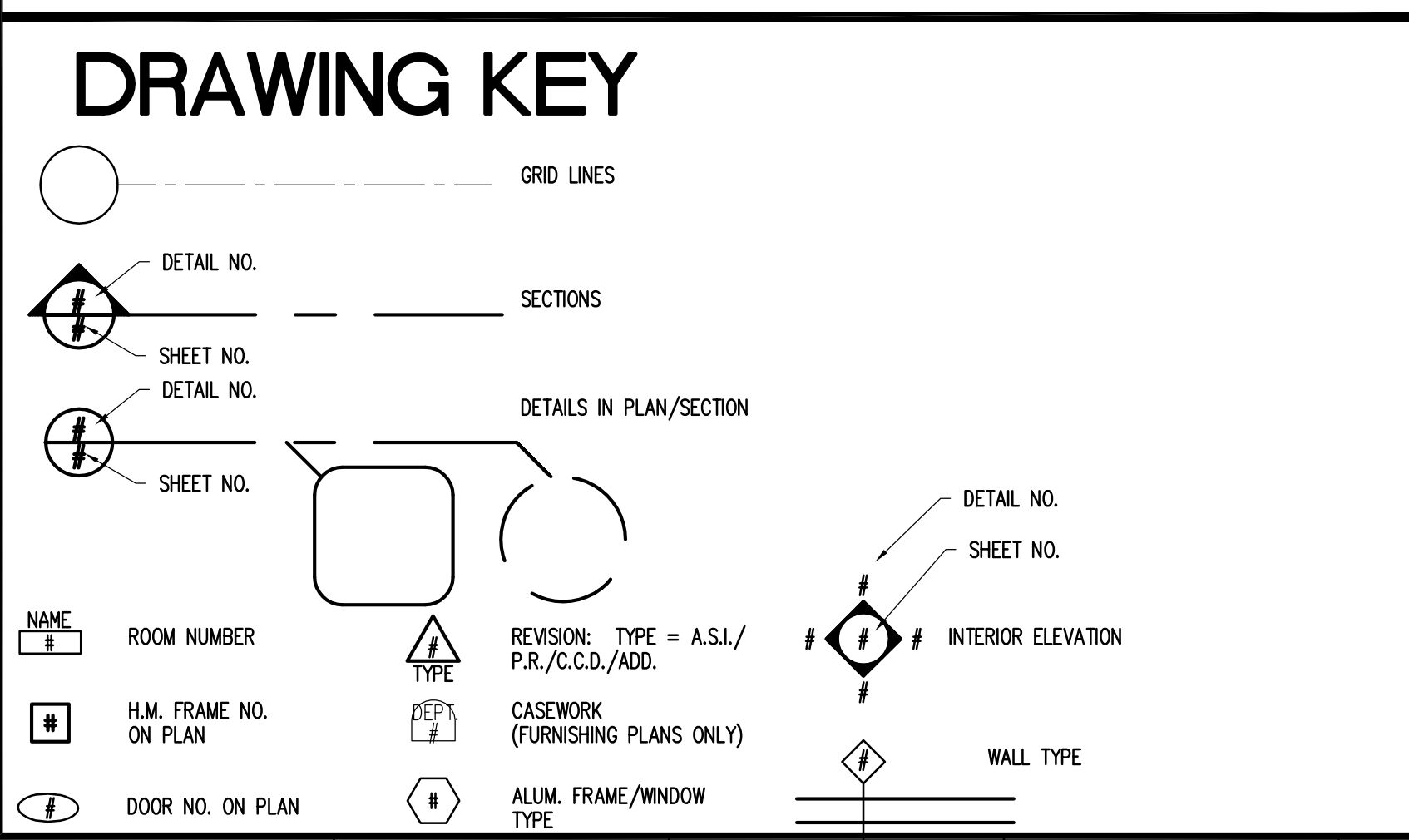


### ABBREVIATIONS

<p>Above finished floor AFF</p> <p>Acoustic ACO</p> <p>Addendum ADD</p> <p>Alternate ALT</p> <p>Aluminum ALUM</p> <p>APPROX APPROX</p> <p>Architecture, architectural ARCH</p> <p>Asbestos ASB</p> <p>Asphalt ASPH</p> <p>Assisted ASSN</p> <p>Association ASSOC</p> <p>Automatic AUTO</p> <p>Average AVG</p> <p>Base plate BLP</p> <p>Basement BSM</p> <p>Beam BEAM</p> <p>Bedroom BRG</p> <p>Benchmark BEM</p> <p>Board BOA</p> <p>Boiler BLR</p> <p>Booth BOT</p> <p>Brick BRK</p> <p>Building line BLDG</p> <p>Building BUR</p> <p>Built-up roof BUR</p> <p>Cable CAB</p> <p>Carpet CRT</p> <p>Casting CAT</p> <p>Ceiling height CH</p> <p>Ceiling CLG</p> <p>Center CLC</p> <p>Ceramic CER</p> <p>Ceramic tile CER</p> <p>Chubbard CLR</p> <p>Clear CLD</p> <p>Coat COA</p> <p>Cold rolled CLR</p> <p>Colander COL</p> <p>Company COY</p> <p>Composition COM</p> <p>Concrete Masonry Unit CMU</p> <p>Concrete CONC</p> <p>Construction CONSTR</p> <p>Continuous CON</p> <p>Corner COR</p> <p>Countersink CSK</p> <p>Cubic CU</p> <p>Curve CUR</p> <p>Damproofing DAM</p> <p>Degrees DEG</p> <p>Department DET</p> <p>Detail DET</p> <p>Diameter DIA</p> <p>Dimension DIM</p> <p>Dishwasher DSW</p> <p>Dispenser DSP</p> <p>Double DBL</p> <p>Double-hung DHG</p> <p>Down DN</p> <p>Downspout DS</p> <p>Drip DRP</p> <p>Drawing DRG</p> <p>East E</p> <p>Electric Water Cooler EWC</p> <p>Electric ELEC</p> <p>Elevation ELEV</p> <p>On center OC</p> <p>Elevator Machine Room EMR</p> <p>Engine ENGR</p> <p>Entrance ENTR</p> <p>Equipment EQP</p> <p>Existing EXST</p> <p>Existing EXST</p> <p>Expansion joint EXP JT</p> <p>Exposed EXP</p> <p>Exterior EXT</p> <p>Fabricate FAB</p> <p>Face of Stud F. OF S.</p> <p>Fan Coil Unit FCU</p> <p>Fiberglass-reinforced plastics FRP</p> <p>Finish FIN</p> <p>Fire Extinguisher &amp; Cabinet FEC</p> <p>Fixture FIX</p> <p>Flange FLG</p> <p>Flashing FLA</p> <p>Floor FLR</p> <p>Floor drain FLD</p> <p>Flooring FLO</p> <p>Fluorescent FLUOR</p>	<p>Footing FOTG</p> <p>Foundation FOUN</p> <p>Furnish(ed), furniture FURN</p> <p>Furring FURR</p> <p>Galvanized GALV</p> <p>Galvanized iron GALV</p> <p>Gazebos GAZ</p> <p>Grid GRD</p> <p>Grade GRD</p> <p>Gravel GRL</p> <p>Gypsum Wallboard GWB</p> <p>Gypsum GYP</p> <p>Handicapped HND</p> <p>Hardboard HDB</p> <p>Hardware HW</p> <p>Heating ventilating and air conditioning HVAC</p> <p>Height HGT</p> <p>High HPT</p> <p>High Performance HP</p> <p>Hollow Metal HM</p> <p>Horizontal HORIZ</p> <p>Include( ), inclusive INCL</p> <p>Incorporated INC</p> <p>Inside diameter ID</p> <p>Insulation( ), installation INSUL</p> <p>Interior INT</p> <p>Janitor JAN</p> <p>Joint JT</p> <p>Joint JST</p> <p>Junction box JB</p> <p>Knock down KD</p> <p>Laboratory LAB</p> <p>Lead LAD</p> <p>Left Hand LH</p> <p>Left LFT</p> <p>Length LG</p> <p>Level LVL</p> <p>Light LIT</p> <p>Machine MACH</p> <p>Maintenance MAINT</p> <p>Manager MGR</p> <p>Manual MAN</p> <p>Masonry opening MOP</p> <p>Masonry MSHRY</p> <p>Master bedroom MBR</p> <p>Material MATL</p> <p>Maximum MAX</p> <p>Mechanical MECH</p> <p>Membrane MEMB</p> <p>Member MEM</p> <p>Metal MET</p> <p>Mezzanine MZZ</p> <p>Minimum MIN</p> <p>Mirror MIR</p> <p>Miscellaneous MIS</p> <p>Moderately Priced Dwelling Unit MPDU</p> <p>Mount MNT</p> <p>Mounting MTC</p> <p>Necessary NEC</p> <p>Noise-reduction coefficient NRC</p> <p>Nominal NOM</p> <p>Non Combustible NC</p> <p>North N</p> <p>Not in Contract NIC</p> <p>Not to scale NTS</p> <p>Not available NA</p> <p>Number NUM</p> <p>Office OFF</p> <p>On center OC</p> <p>Opening OPNG</p> <p>Operator OPR</p> <p>Overlap OVL</p> <p>Outside diameter OD</p> <p>Overall OVR</p> <p>Overhead OHD</p> <p>Page PAG</p> <p>Painted PNT</p> <p>Panel PAN</p> <p>Pair PAI</p> <p>Unit Ventilator UV</p> <p>Unless Otherwise Noted UON</p> <p>Urinal UR</p> <p>US Gypsum Company USC</p> <p>Vertical VERT</p> <p>Vestibule VEST</p> <p>Vinyl Reducing Strip VRS</p> <p>Vinyl Composite Tile VCT</p> <p>Vinyl asbestos tile VAT</p> <p>Wardrobe WDR</p> <p>Water closet WC</p> <p>Waterproof WTR</p> <p>Weight WGT</p> <p>Welded WLD</p> <p>Welded Wire Mesh WWM</p> <p>With WTH</p> <p>Without W/O</p> <p>Woman WOM</p> <p>Wood WOD</p> <p>Wrought Iron WI</p>
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### SYMBOLS OF MATERIALS

<p>EARTH</p> <p>GRAVEL</p> <p>CONCRETE</p> <p>CONCRETE MASONRY UNITS</p> <p>SOLID CONCRETE MASONRY UNITS</p> <p>BRICK</p> <p>WOOD-FINISHED</p> <p>WOOD ROUGH</p> <p>PLYWOOD</p> <p>GIPSUM BOARD</p> <p>ACUSTIC TILE</p>	<p>STEEL-LARGE SCALE</p> <p>ALL METALS-SMALL SCALE</p> <p>CAST STONE</p> <p>GLASS-LARGE SCALE</p> <p>BATT INSULATION</p> <p>RIGID INSULATION</p> <p>CERAMIC TILE</p> <p>PLASTER OR STUCCO ON METAL</p> <p>PARTICLE BOARD</p> <p>CARPET</p>
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# JACKSON WARD

## RICHMOND, VA

## OCTOBER 2016



### BUILDING AREA DATA

JACKSON WARD															
Updated: 10.07.2016															
UNIT TYPES	STUDIOS / JR. 1 BR						2 BR				CONVENT UNITS		MULTI-FAMILY TOTALS		
	STUDIO*	JR. 1*	1A*	2A*	2B*	2C*	2D*	SUB TOTAL	GROSS	STUDIO*	JR. 1*	SUB TOTAL	GROSS	TOTAL	FLOOR GROSS
GROSS UNIT SQUARE FOOTAGE	450	550	971	1,063	985	959	1,063			530	940				
RESIDENTIAL LEVELS															
GARAGE PLAN	0	0	4	0	0	0	1	5	41,770	1	3	4	3,834	9	53,604
SECOND FLOOR	5	4	14	9	1	3	1	37	36,848	1	3	4	3,834	41	36,639
THIRD FLOOR	6	5	13	11	1	4	1	41	36,639	0	0	0	0	41	36,639
FOURTH FLOOR	6	4	6	9	1	4	1	31	30,989	0	0	0	0	31	30,989
TOTAL UNITS	17	13	37	29	3	11	4	114	153,443	2	6	8	7,388	122	160,831
TOTAL UNIT GSF	7,850	7,150	35,927	30,827	2,895	10,549	4,252	89,450		1,060	5,640	6,700			
PERCENTAGE OF TOTAL UNITS	13.93%	10.66%	30.33%	23.77%	2.46%	9.02%	3.28%	93.44%		1.64%	4.92%	6.56%			
TOTAL UNITS BY TYPE	30	37	37	29	47	47	47	83.44%		2	6	8			
PERCENTAGE OF TOTAL BY TYPE	25%	30%	30%	23%	39%	47%	47%	83.44%		2%	5%	7%			
*The unit type may be revised prior to building permit.															
MULTI-FAMILY COURTYARD SQF															
RETAIL SQF															
TOTAL PARKING SPACES															
SENIOR															
UNIT TYPES	1 BR						SENIOR TOTALS								
GROSS UNIT SQUARE FOOTAGE	1B	1C	1C-1	1C-2	1D	1E	1F	SUB TOTAL	FLOOR GROSS						
RESIDENTIAL LEVELS															
GARAGE PLAN	0	0	7	0	0	0	0	7	22,703						
SECOND FLOOR	0	15	0	1	1	1	1	19	17,758						
THIRD FLOOR	1	18	0	1	1	1	1	23	17,404						
FOURTH FLOOR	1	18	0	1	1	1	1	23	17,404						
TOTAL UNITS	2	51	7	3	3	3	3	72	75,267						
TOTAL UNIT GSF	1,840	30,396	4,172	2,304	1,833	1,794	2,052	44,191							
PERCENTAGE OF TOTAL UNITS	2.78%	70.83%	9.72%	4.17%	4.17%	4.17%	4.17%	100.00%							
TOTAL UNITS BY TYPE								72							
PERCENTAGE OF TOTAL BY TYPE								100%							

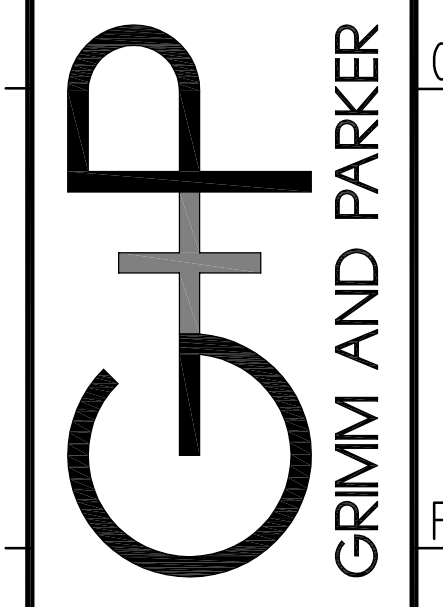
### DESIGN TEAM

RICHMOND REDEVELOPMENT + HOUSING AUTHORITY	LAND OWNER	901 CHAMBERLAYNE PARKWAY RICHMOND, VA 23220	(804) 780-4023
CPDC	DEVELOPER	413 STUART CIRCLE, SUITE 323 RICHMOND, VA 23220	(804) 814-5215
ROTH DONER JACKSON GIBBONS CONDLIN, PLC	ZONING ATTORNEY	919 E. MAIN STREET, SUITE 2110 RICHMOND, VA 23219	(804) 977-3374
GRIMM + PARKER, PC	ARCHITECT	11720 BELTSVILLE DRIVE, SUITE 600 CALVERTON, MD 20705	(301) 595-1000
TIMMONS GROUP	CIVIL ENGINEER	1001 BOULDERS PARKWAY, SUITE 300 RICHMOND, VA 23225	(804) 200-6500

### LIST OF DRAWINGS

TS	TITLESHEET
CIVIL	
C0.0	SURVEY PLAT & EXISTING CONDITIONS
C1.0	SITE LAYOUT PLAN
C1.1	SITE DETAILS
ARCHITECTURAL	
A-1.1	FIRST FLOOR/PARKING
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.0	ELEVATIONS
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ENLARGED ELEVATIONS
A-2.4	PERSPECTIVES
A-2.5	CANOPY & BLADE SIGN DETAILS
A-3.0	BUILDING SECTION
A-5.0	UNIT PLANS
A-5.1	UNIT PLANS

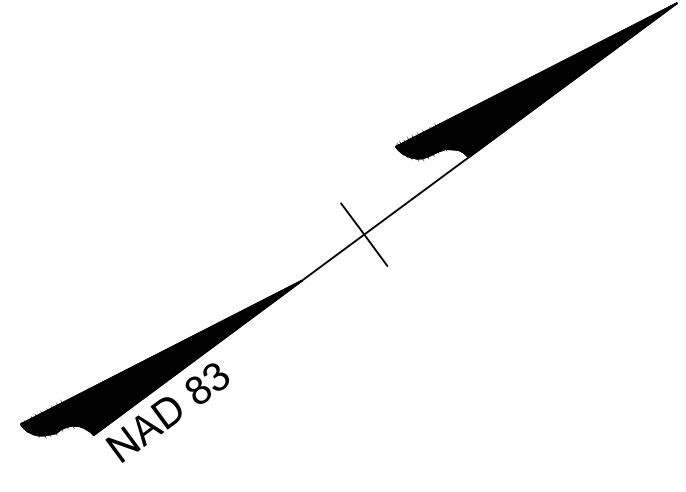
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Suite 600  
Calverton, MD 20705  
Tel: 301.595.1000  
www.grimmandparker.com



GP# 21524

TITLE SHEET  
JACKSON WARD  
RICHMOND, VA

A-TS  
2016.10.11  
SUBMISSION  
GRIMM AND PARKER, P.C. 2016



THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF DWAYNE DUNEVANT, L.S. FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION. THAT THE ORIGINAL DATA WAS OBTAINED ON THE FOLLOWING DATES: AUGUST 12-13, 17 AND NOVEMBER 12, 18, AND 19, 2015. THIS PLAT, MAP AND DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD83  
DATUM ESTABLISHED BY RTK AUGUST 12, 2015, (CORRECTIONS FROM RTCM-REF-0577)  
FIELDWORK COMPLETED NOVEMBER 19, 2015.

S.U.E. NOTES  
1) FIELD WORK COMPLETED ON 11-23-2015.  
2) ABANDONED U/G UTILITIES ARE ON PROJECT LIMITS (MOSTLY WATER, SEWER, AND NATURAL GAS SERVICE LINES)  
3) EOI = DENOTES END OF INFORMATION FOR A U/G UTILITY LINE OR SIGNAL.

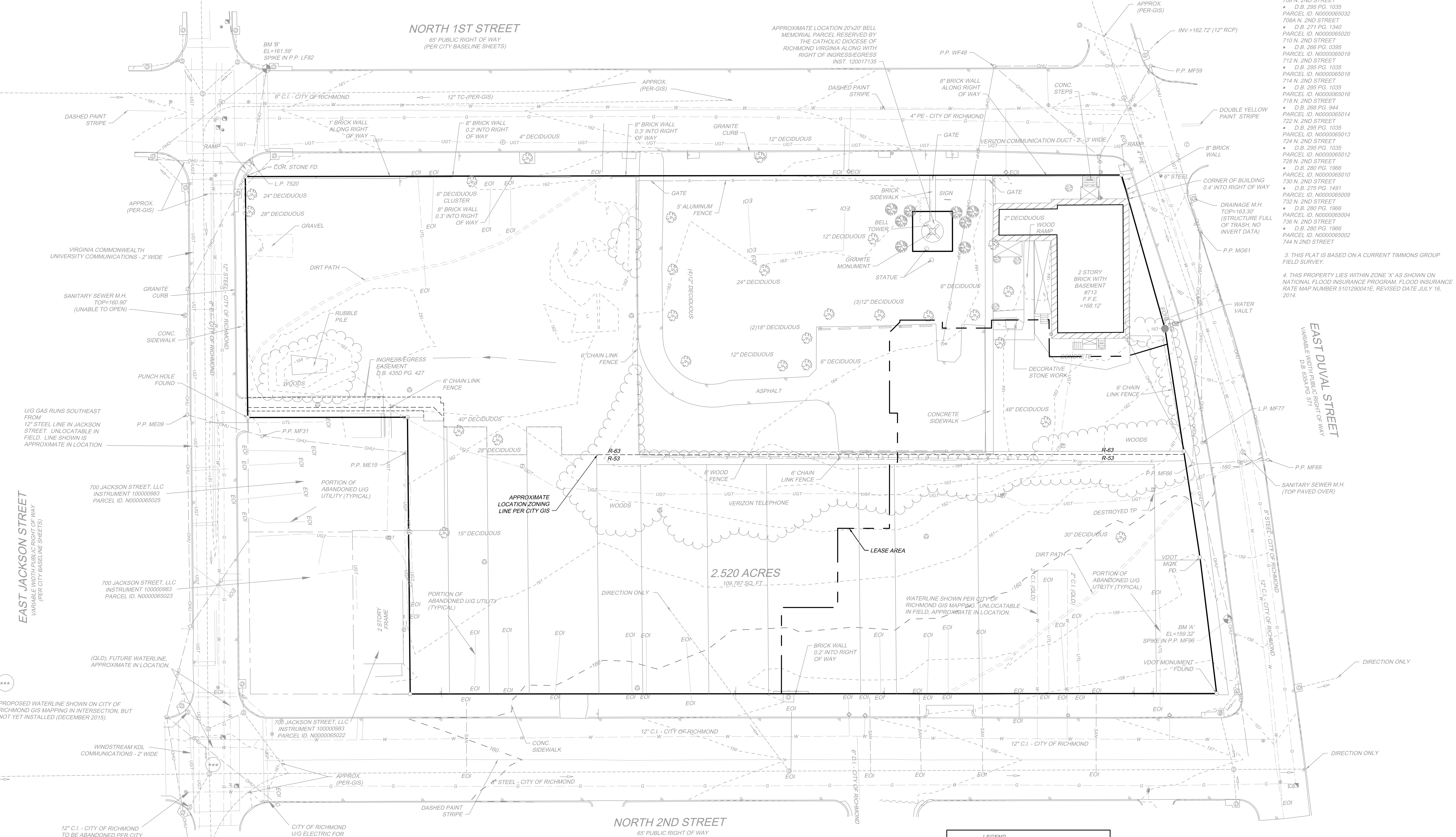
UTILITY OWNERS:  
NATURAL GAS = CITY OF RICHMOND  
WATERLINE = CITY OF RICHMOND  
POWER = CITY OF RICHMOND  
DOMINION POWER  
COMMUNICATIONS = VERIZON  
VIRGINIA COMMONWEALTH UNIVERSITY  
WINDSTREAM KDL COMMUNICATIONS

NOTES:  
1. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE BINDER, THEREFORE ALL EXISTING EASEMENTS MAY NOT BE SHOWN.  
2. INTERIOR PARCEL LINES ARE NOT SHOWN. THE TITLE TO ALL OF THE INTERIOR PARCELS IS UNCLEAR AND WILL BE RESOLVED ONCE A COMPLETE TITLE BINDER IS PROVIDED FOR EACH PARCEL. THE OWNERSHIP INFORMATION LISTED BELOW IS PER CITY GIS AND MAY NOT INCLUDE ALL THE PARCELS.  
RICHMOND REDEVELOPMENT AND HOUSING AUTHORITY:  
INST. 12001135  
PARCEL ID. N0000065030  
105 E. DUVAL STREET  
INST. 980017840  
PARCEL ID. N0000065033  
701 N. 1ST STREET  
D.B. 264 PG. 360  
PARCEL ID. N0000065021  
708 N. 2ND STREET  
D.B. 285 PG. 1035  
PARCEL ID. N0000065032  
708A N. 2ND STREET  
D.B. 271 PG. 1340  
PARCEL ID. N0000065020  
710 N. 2ND STREET  
D.B. 285 PG. 1035  
PARCEL ID. N0000065018  
714 N. 2ND STREET  
D.B. 285 PG. 1035  
PARCEL ID. N0000065016  
718 N. 2ND STREET  
D.B. 288 PG. 944  
PARCEL ID. N0000065014  
722 N. 2ND STREET  
D.B. 285 PG. 1035  
PARCEL ID. N0000065013  
724 N. 2ND STREET  
D.B. 285 PG. 1035  
PARCEL ID. N0000065012  
728 N. 2ND STREET  
D.B. 280 PG. 1966  
PARCEL ID. N0000065010  
730 N. 2ND STREET  
D.B. 275 PG. 1491  
PARCEL ID. N0000065009  
732 N. 2ND STREET  
D.B. 280 PG. 1966  
PARCEL ID. N0000065004  
736 N. 2ND STREET  
D.B. 280 PG. 1966  
PARCEL ID. N0000065002  
744 N. 2ND STREET

3. THIS PLAT IS BASED ON A CURRENT TIMMONS GROUP FIELD SURVEY.  
4. THIS PROPERTY LIES WITHIN ZONE 'X' AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NUMBER 510120041E, REVISED DATE JULY 16, 2014.

**NORTH 1ST STREET**  
65' PUBLIC RIGHT OF WAY  
(PER CITY BASELINE SHEETS)

APPROXIMATE LOCATION 20'x20' BELL MEMORIAL PARCEL RESERVED BY THE CATHOLIC DIOCESE OF RICHMOND VIRGINIA ALONG WITH RIGHT OF INGRESS/EGRESS  
INST. 12001135



**INTERIOR PARCEL LINES ARE APPROXIMATE LOCATION AND HAVE NOT BEEN CERTIFIED**

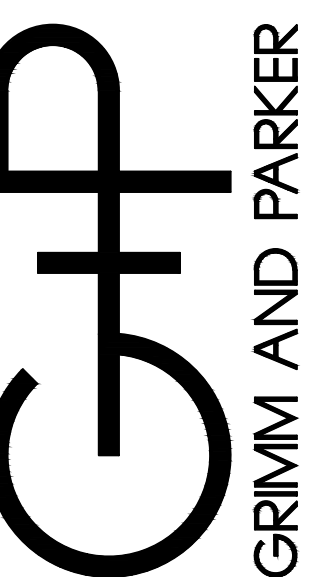
**PLAT SHOWING 2.520 ACRES OF LAND LYING NORTH OF EAST JACKSON STREET**

City of Richmond, VA	Scale: 1" = 20'
Date: August 17, 2015	Sheet 1 of 1
Drawn by: M. Snider	Checked by: M. Snider
Revised: 11-5-15	



Site Development | Residential | Infrastructure | Technology  
VIRGINIA | NORTH CAROLINA  
THIS DRAWING PREPARED AT THE  
**CORPORATE OFFICE**  
1001 Builders Parkway, Suite 300 | Richmond, VA 23225  
TEL 804.209.6500 FAX 804.560.1016 www.timmons.com

11720 Ballsville Drive  
Suite 600  
Calverton, MD 20705  
Tel 301.595.1000  
www.grimmandparker.com



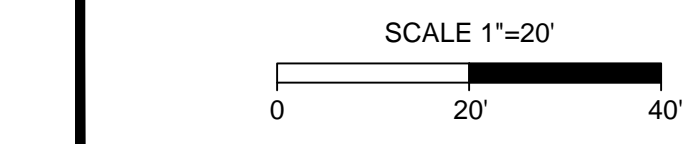
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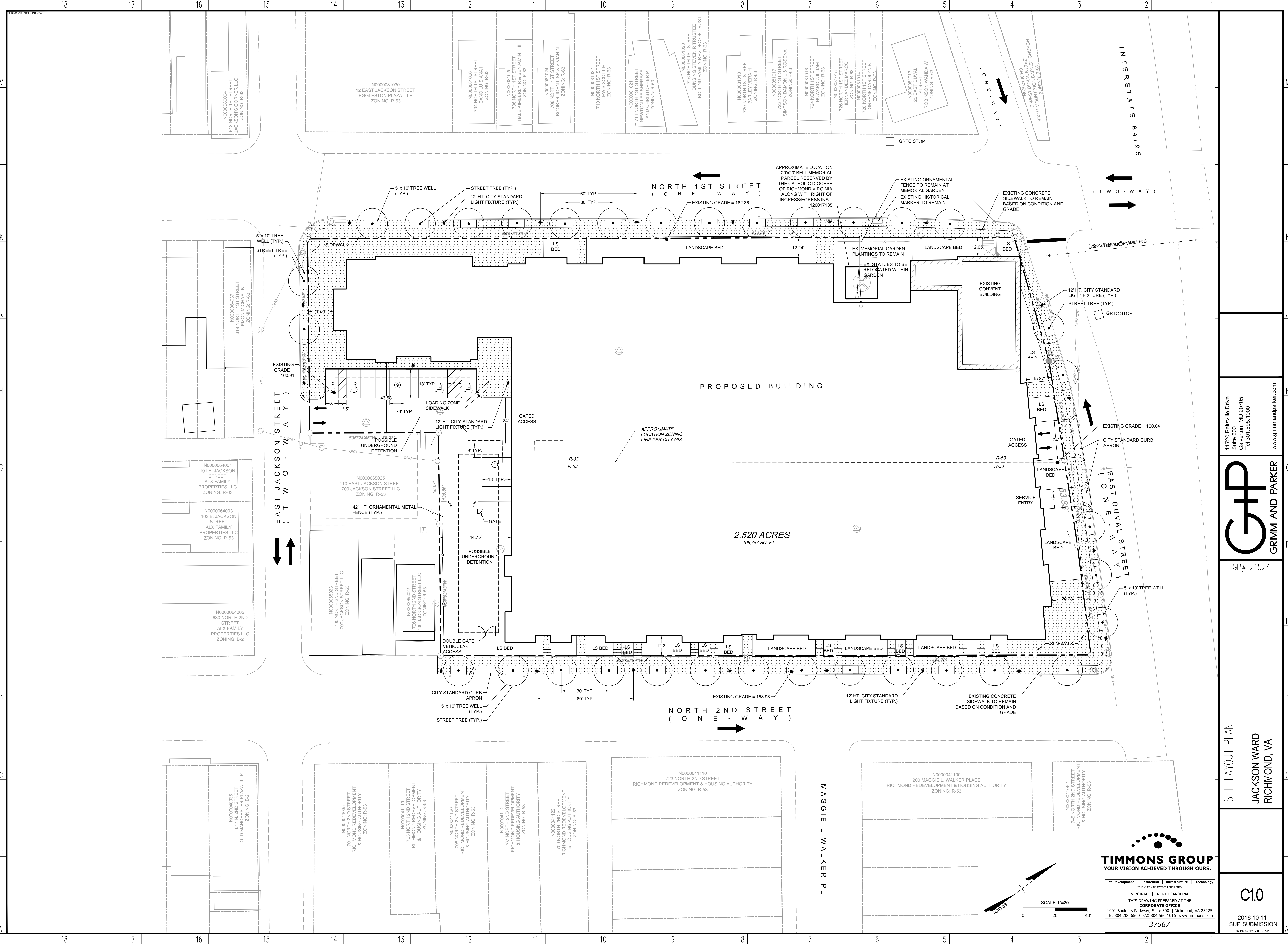
SURVEY PLAT & EXISTING CONDITIONS

JACKSON WARD  
RICHMOND, VA

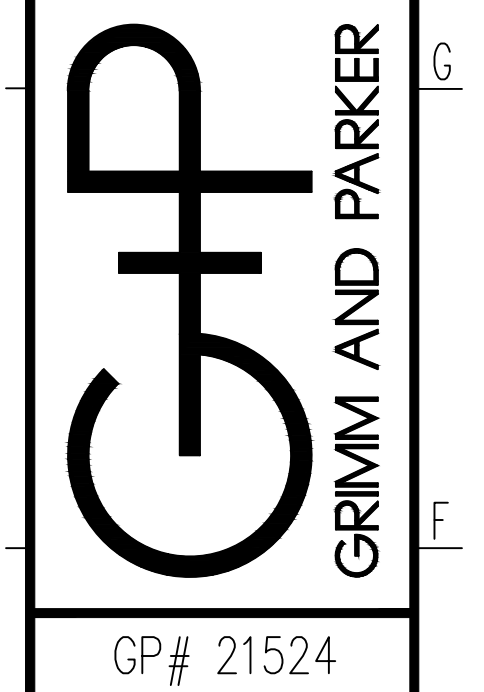
**C0.0**

2016 10 11  
SUP SUBMISSION





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SITE LAYOUT PLAN  
 JACKSON WARD  
 RICHMOND, VA

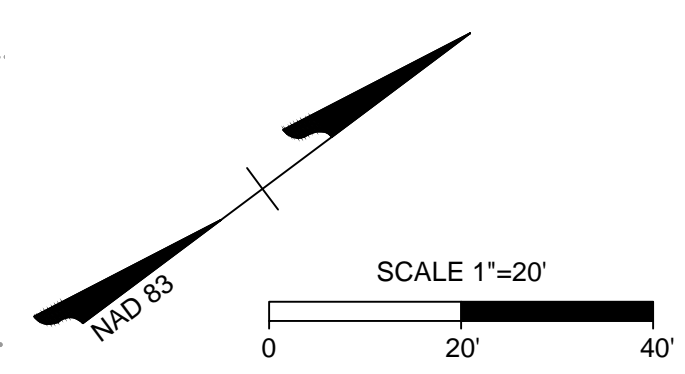
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 SUP SUBMISSION  
COURTESY OF THE RICHMOND REDEVELOPMENT & HOUSING AUTHORITY

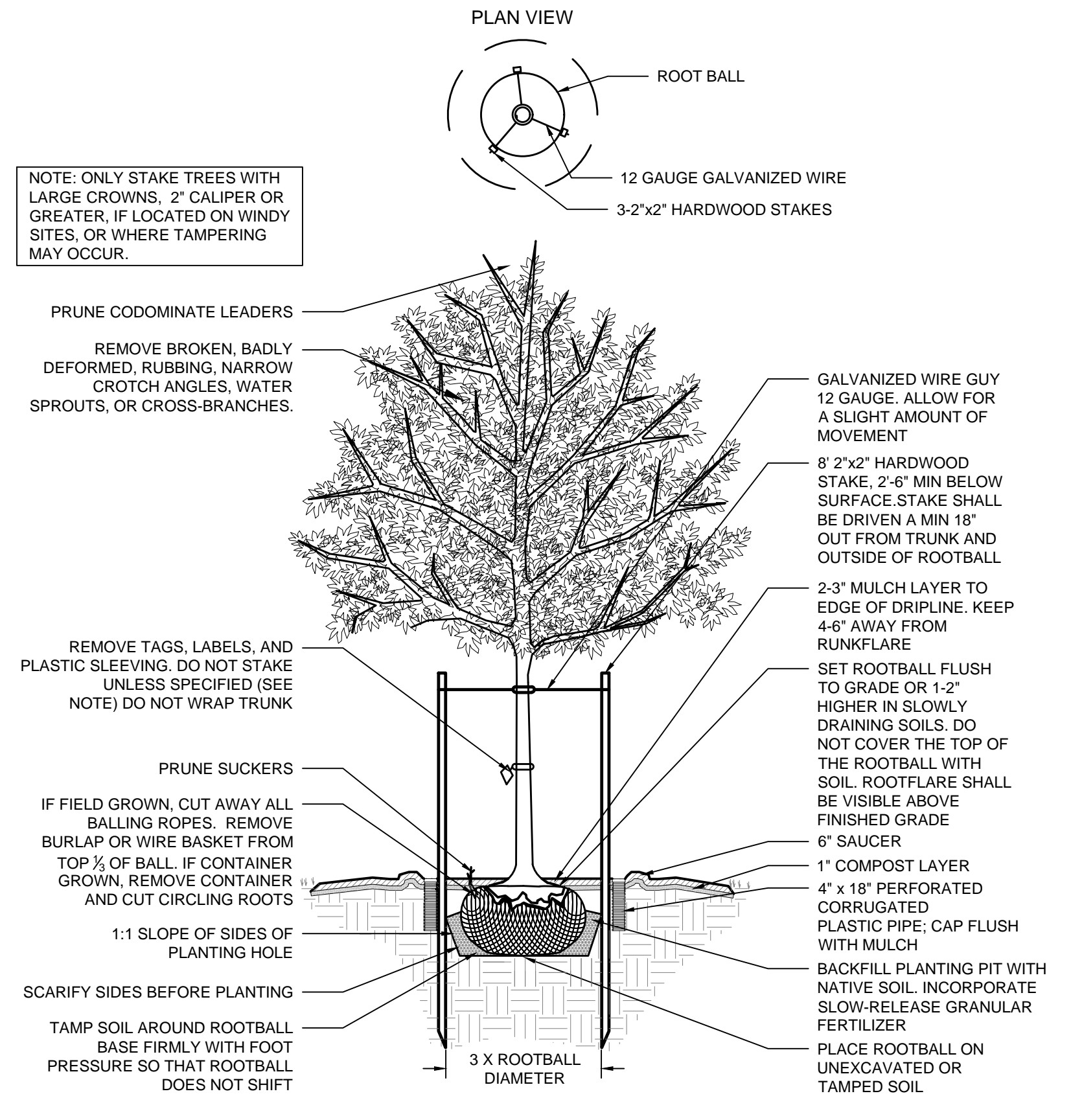
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THE TIMMONS GROUP INC.

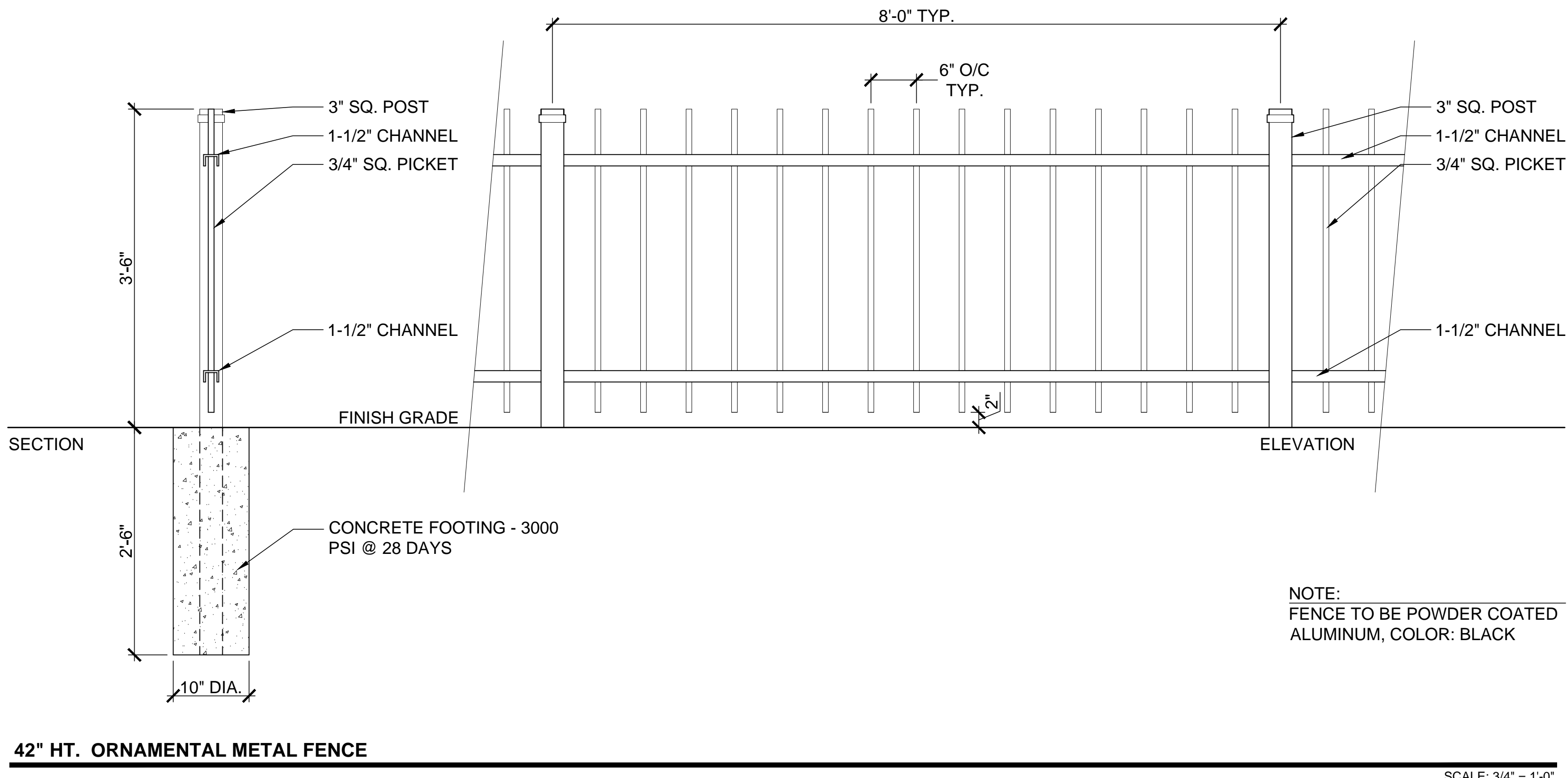
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37567





**STREET TREE PLANTING DETAIL** NTS



**42\"/>**

**BEACON** BOS40 (LED)  
www.beaconproducts.com

Ordering	A	B	C	D	E	F	G	H	I	J	K
<b>A. MODEL</b>	<b>BOS40</b> Beacon 40"										
<b>B. ELECTRICAL OPTIONS</b>	<b>PEC</b> photocell, button										
<b>C. ENGINE OPTIONS</b>	<b>AC</b> AC/DC, 120V										
<b>D. LENS OPTIONS</b>	<b>AC</b> AC/DC, 120V										
<b>E. MOUNTING OPTIONS</b>	<b>AC</b> AC/DC, 120V										
<b>F. VOLTAGE</b>	<b>120V</b> 120-277V										
<b>G. COLOR TEMP</b>	<b>3000K</b> warm white										
<b>H. DIMENSIONS</b>	<b>40\"/&gt; </b>										

**12' HEIGHT CITY STANDARD LIGHT FIXTURE - CUT SHEET**

**HOLL** Posts & Arms | Holland Post

SECTION: 3\"/>

1-1/2\"/>

3/4\"/>

1-1/2\"/>

FINISH GRADE

CONCRETE FOOTING - 3000 PSI @ 28 DAYS

10\"/>

ELEVATION: 8-0\"/>

6\"/>

3\"/>

1-1/2\"/>

3/4\"/>

1-1/2\"/>

NOTE: FENCE TO BE POWDER COATED ALUMINUM, COLOR: BLACK

SCALE: 3/4\"/>

**12' HEIGHT CITY STANDARD POLE - CUT SHEET**



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Site Development | Residential | Infrastructure | Technology

VIRGINIA | NORTH CAROLINA

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**37567**

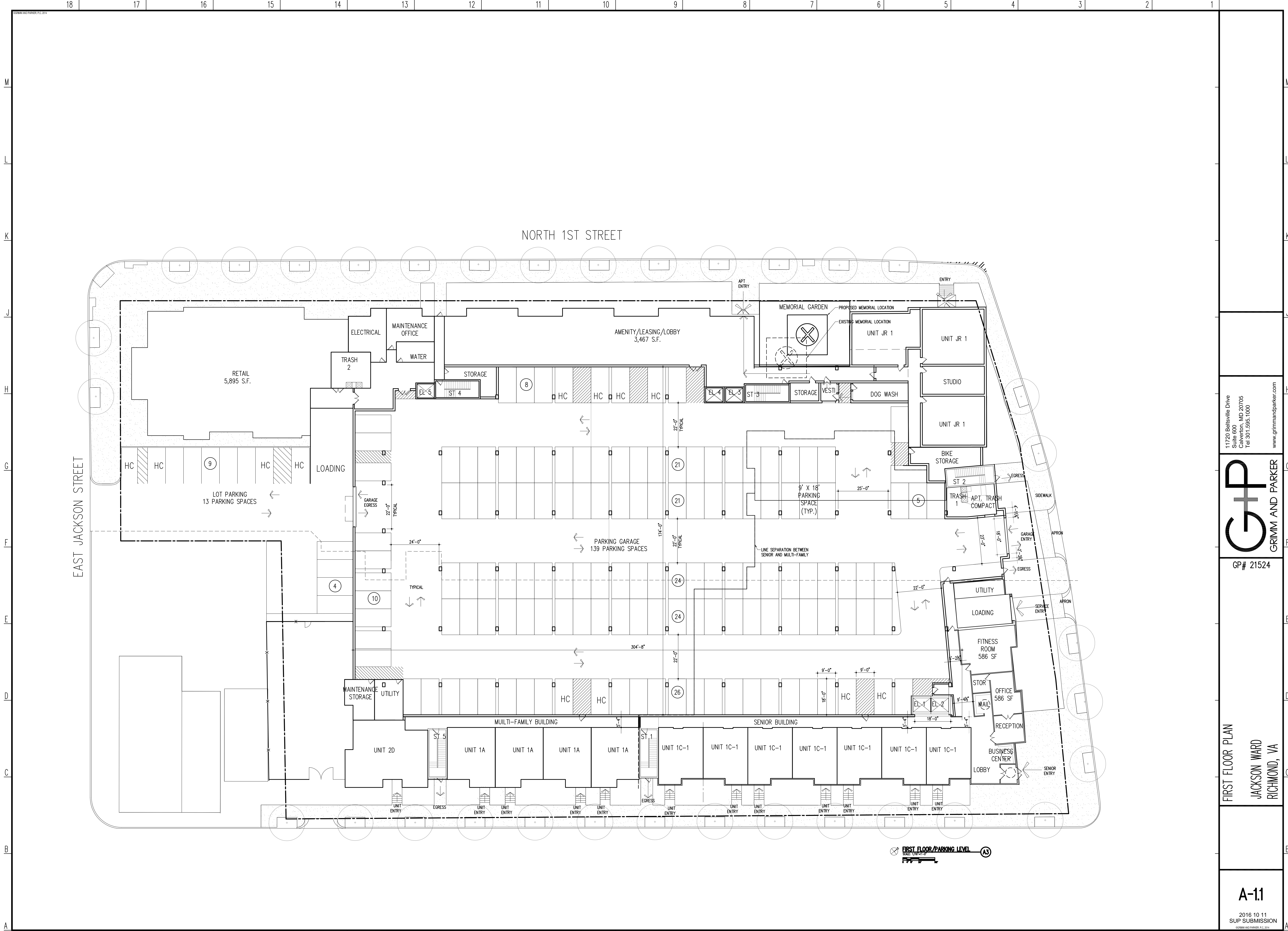
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Calverton, MD 20705  
Tel: 301.595.1000  
www.grimmparker.com



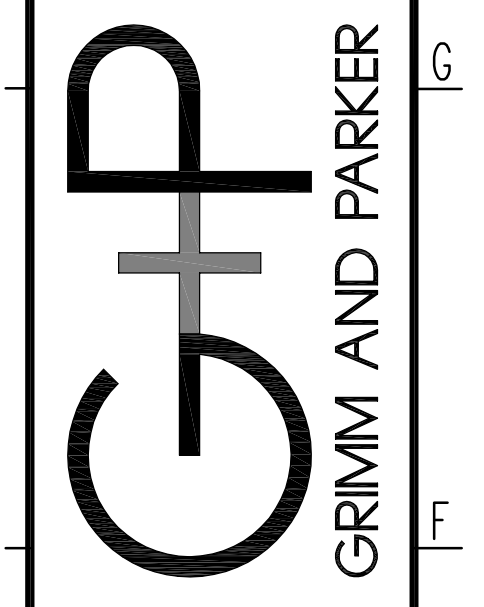
GP# 21524

SITE DETAILS  
JACKSON WARD  
RICHMOND, VA

**C11**  
2016 10 11  
SUP SUBMISSION  
COURTESY OF GRIMM AND PARKER



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 www.grimmandparker.com



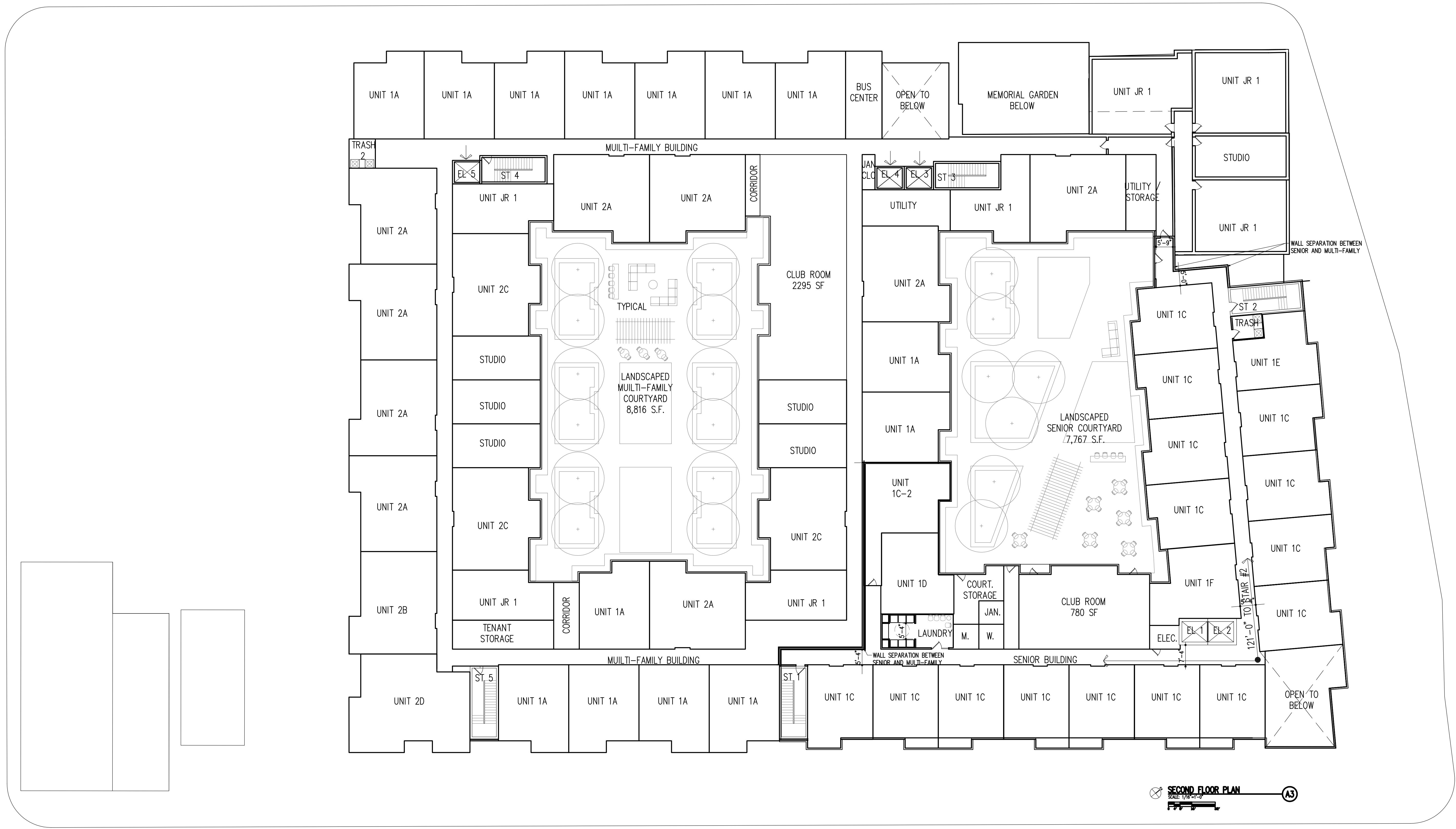
GP# 21524

FIRST FLOOR PLAN  
 JACKSON WARD  
 RICHMOND, VA

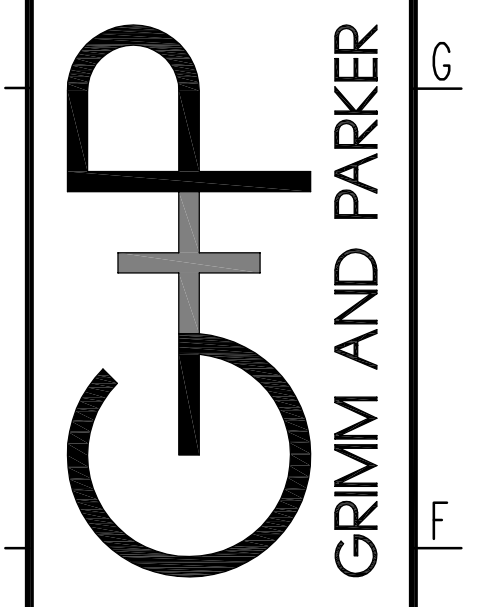
A-11  
 2016.10.11  
 SUP SUBMISSION  
 GRIMM AND PARKER, P.C., DPA

18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

M | L | K | J | H | G | F | E | D | C | B | A



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 Tel 301.595.1000  
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GP# 21524

SECOND FLOOR PLAN  
 JACKSON WARD  
 RICHMOND, VA

A-12  
 2016 10 11  
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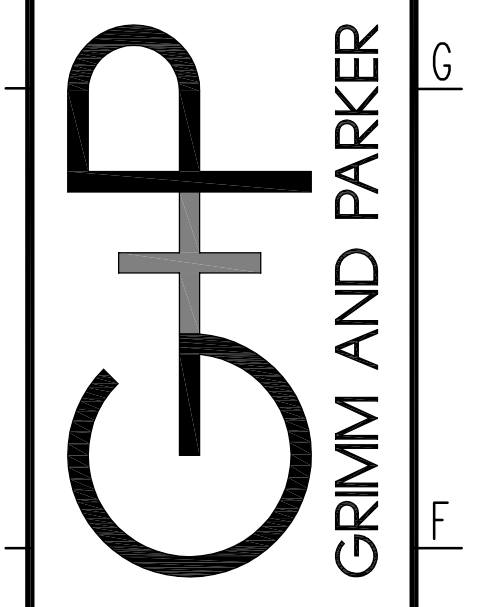
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18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

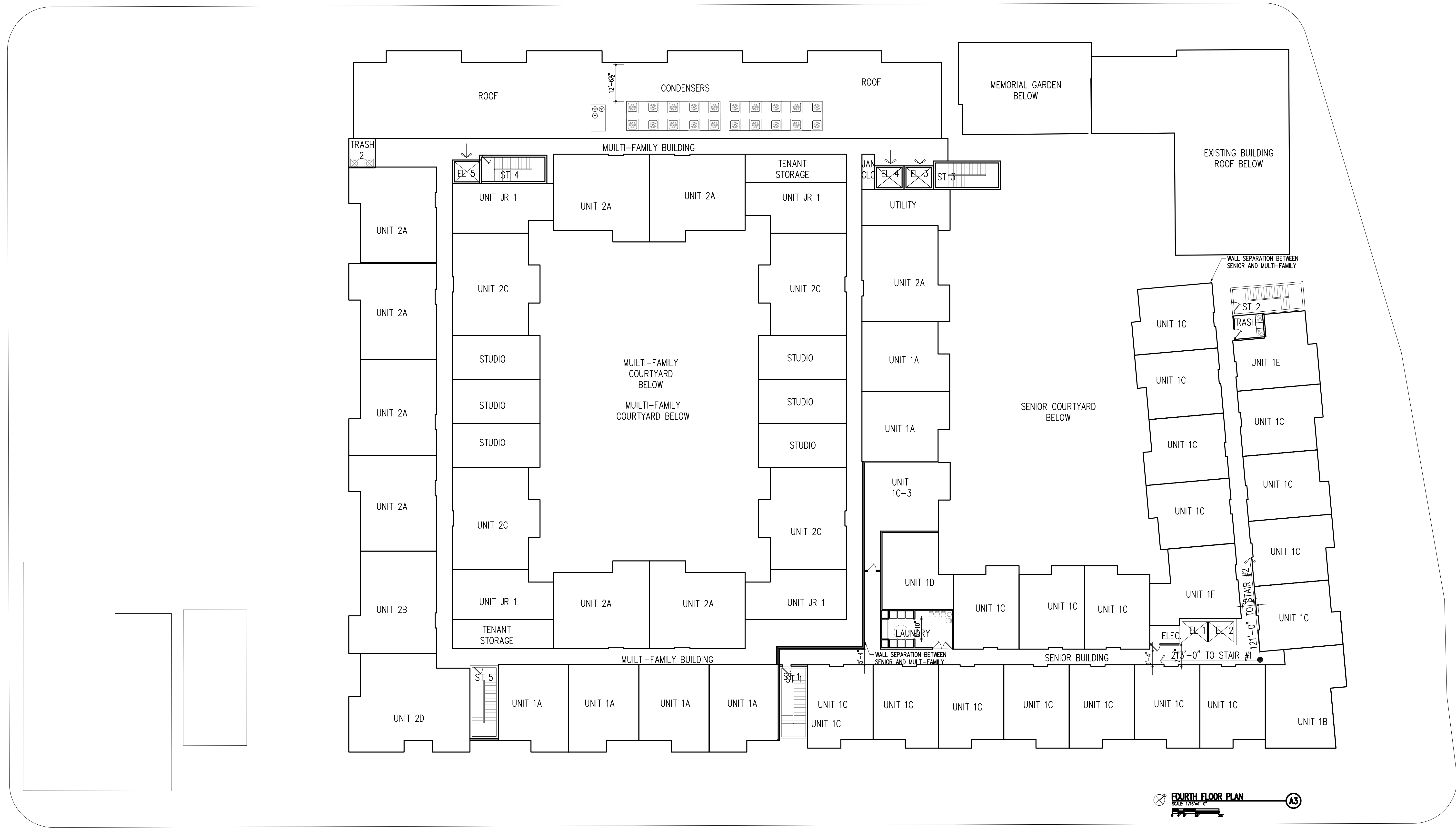
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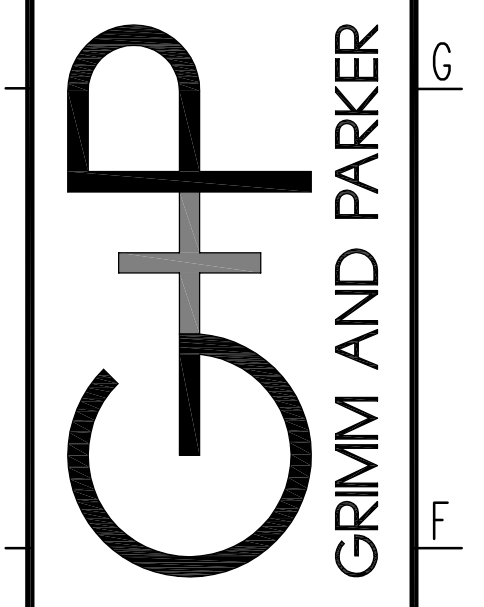
THIRD FLOOR PLAN  
JACKSON WARD  
RICHMOND, VA

A-13  
2016.10.11  
SUP SUBMISSION  
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FOURTH FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

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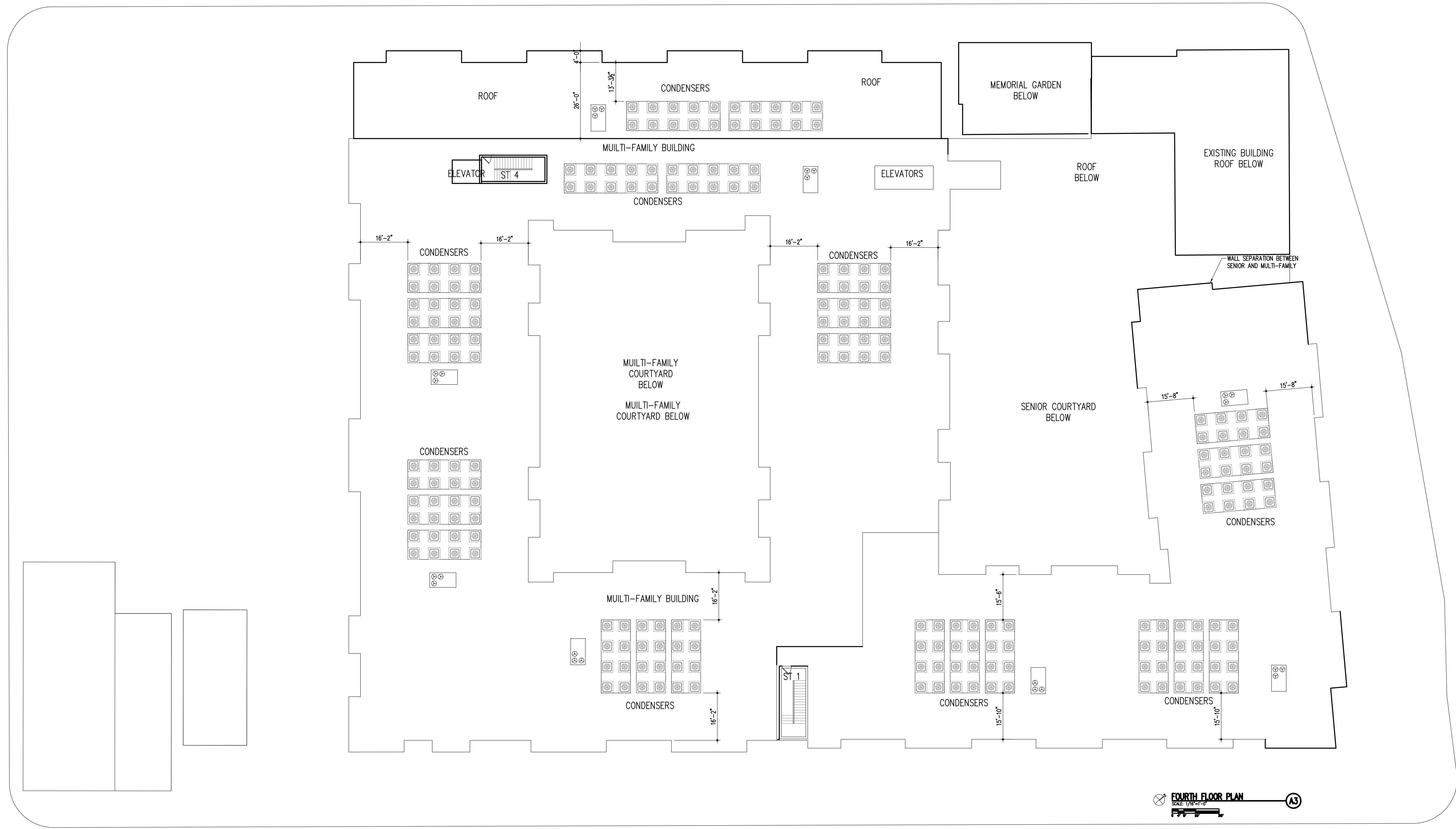
GP# 21524

FOURTH FLOOR PLAN  
 JACKSON WARD  
 RICHMOND, VA



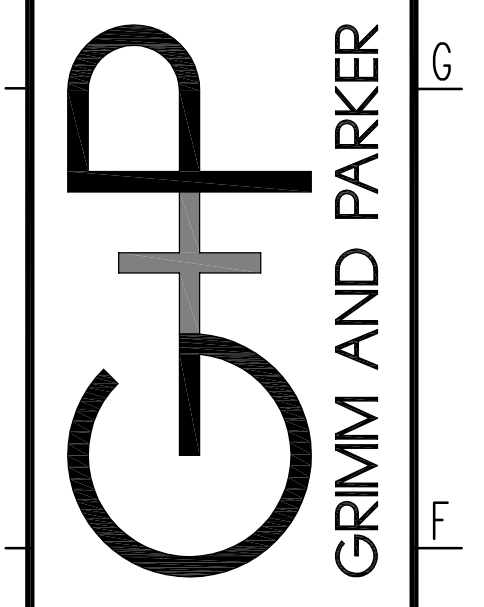
18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

M  
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A



FOURTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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GP # 21524

ROOF PLAN  
JACKSON WARD  
RICHMOND, VA

A-15  
2016.10.11  
SUP SUBMISSION  
GRIMM AND PARKER, P.C. 2014

18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



PARTIAL NORTH 2ND STREET ELEVATION **J2**

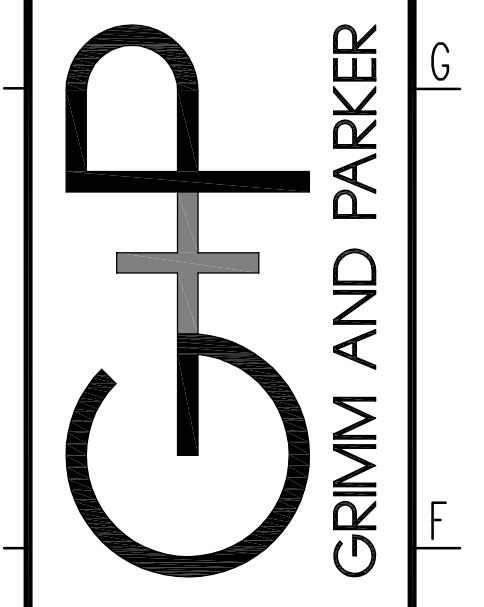


PARTIAL NORTH 2ND STREET ELEVATION **D2**

KEY ELEVATION

- |                  |                                |                                |  |                                    |           |
|------------------|--------------------------------|--------------------------------|--|------------------------------------|-----------|
| 1 BRICK COLOR #1 | 6 FIBER CEMENT PANEL COLOR #1  | 11 FIBER CEMENT PANEL COLOR #6 | 16 FIBER CEMENT TRIM COLOR #3          | 21 ENERGY STAR VINYL WINDOW SYSTEM | 26 LOUVER |
| 2 BRICK COLOR #2 | 7 FIBER CEMENT PANEL COLOR #2  | 12 FIBER CEMENT PANEL COLOR #7 | 17 ALUMINUM STOREFRONT SYSTEM          | 22 EXTERIOR SCONCE LIGHTING        |           |
| 3 BRICK COLOR #3 | 8 FIBER CEMENT PANEL COLOR #3  | 13 NOT USED                    | 18 PREFINISHED ALUMINUM RAILING SYSTEM | 23 PAINTED METAL DOOR              |           |
| 4 BRICK COLOR #4 | 9 FIBER CEMENT PANEL COLOR #4  | 14 MASONRY PANEL COLOR #1      | 19 FABRIC AWNING                       | 24 BUILDING SIGNAGE                |           |
| 5 NOT USED       | 10 FIBER CEMENT PANEL COLOR #5 | 15 FIBER CEMENT TRIM COLOR #8  | 20 PREFINISHED ALUMINUM CANOPY         | 25 OVERHEAD ROLLING DOOR           |           |

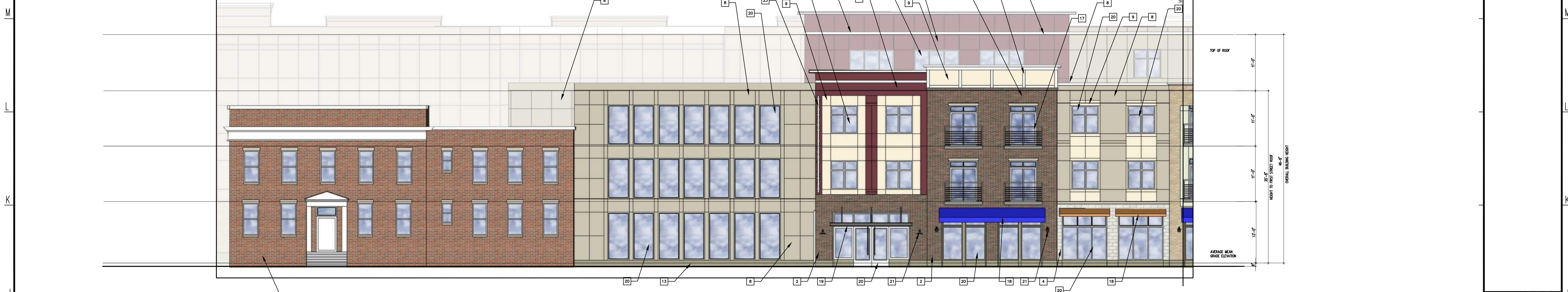
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GP# 21524

ELEVATIONS  
 JACKSON WARD  
 RICHMOND, VA

**A-20**  
 2018.10.11  
 VHDA SUBMISSION  
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PARTIAL NORTH 1ST STREET ELEVATION (J2)



PARTIAL NORTH 1ST STREET ELEVATION (D2)

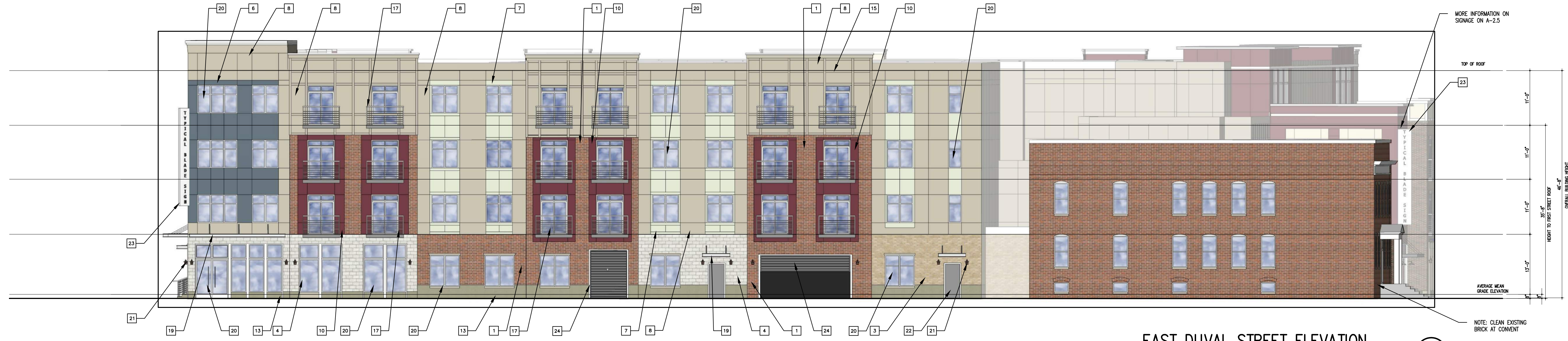
KEY ELEVATION

1 BRICK COLOR #1	10 FIBER CEMENT PANEL COLOR #1	19 FIBER CEMENT PANEL COLOR #6	28 FIBER CEMENT TRIM COLOR #3	37 ENERGY STAR VINYL WINDOW SYSTEM	46 LOUVER
2 BRICK COLOR #2	11 FIBER CEMENT PANEL COLOR #2	20 FIBER CEMENT PANEL COLOR #7	29 ALUMINUM STOREFRONT SYSTEM	38 EXTERIOR SCONCE LIGHTING	
3 BRICK COLOR #3	12 FIBER CEMENT PANEL COLOR #3	21 NOT USED	30 PREFINISHED ALUMINUM RAILING SYSTEM	39 PAINTED METAL DOOR	
4 BRICK COLOR #4	13 FIBER CEMENT PANEL COLOR #4	22 MASONRY PANEL COLOR #1	31 FABRIC AWNING	40 BUILDING SIGNAGE	
5 NOT USED	14 FIBER CEMENT PANEL COLOR #5	23 FIBER CEMENT TRIM COLOR #8	32 PREFINISHED ALUMINUM CANOPY	41 OVERHEAD ROLLING DOOR	

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EAST DUVAL STREET ELEVATION

J2



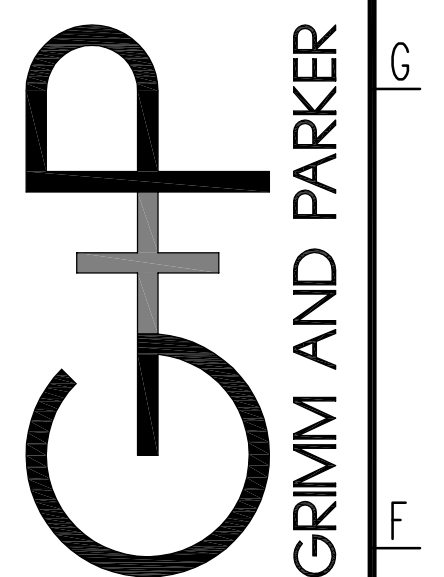
EAST JACKSON STREET ELEVATION

D2

KEY ELEVATION

- |                  |                                |                                |  |                                    |           |
|------------------|--------------------------------|--------------------------------|--|------------------------------------|-----------|
| 1 BRICK COLOR #1 | 13 FIBER CEMENT PANEL COLOR #1 | 16 FIBER CEMENT PANEL COLOR #6 | 19 FIBER CEMENT TRIM COLOR #3          | 22 ENERGY STAR VINYL WINDOW SYSTEM | 25 LOUVER |
| 2 BRICK COLOR #2 | 14 FIBER CEMENT PANEL COLOR #2 | 17 FIBER CEMENT PANEL COLOR #7 | 20 ALUMINUM STOREFRONT SYSTEM          | 23 EXTERIOR SCONCE LIGHTING        |           |
| 3 BRICK COLOR #3 | 15 FIBER CEMENT PANEL COLOR #3 | 18 NOT USED                    | 21 PREFINISHED ALUMINUM RAILING SYSTEM | 24 PAINTED METAL DOOR              |           |
| 4 BRICK COLOR #4 | 16 FIBER CEMENT PANEL COLOR #4 | 19 MASONRY PANEL COLOR #1      | 22 FABRIC AWNING                       | 25 BUILDING SIGNAGE                |           |
| 5 NOT USED       | 17 FIBER CEMENT PANEL COLOR #5 | 20 FIBER CEMENT TRIM COLOR #6  | 23 PREFINISHED ALUMINUM CANOPY         | 26 OVERHEAD ROLLING DOOR           |           |

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ELEVATIONS  
 JACKSON WARD  
 RICHMOND, VA

A-22

2018.10.11  
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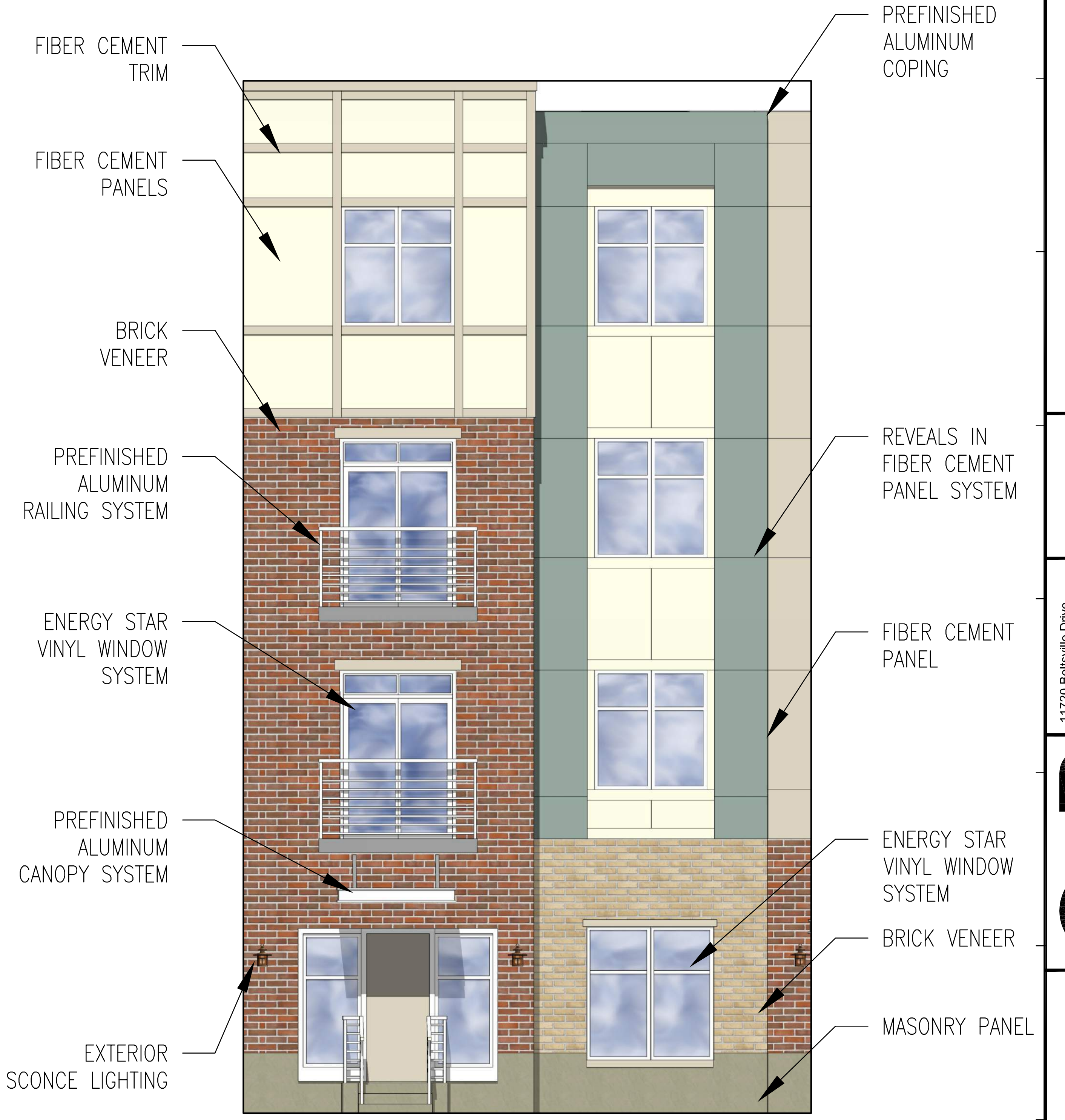
18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

M | L | K | J | H | G | F | E | D | C | B | A



- FABRIC AWNING
- ALUMINUM STOREFRONT SYSTEM
- BRICK VENEER
- ALUMINUM SIGNAGE
- METAL CANOPY
- FIBER CEMENT PANEL
- EXTERIOR SCONCE LIGHTING
- BOUQUET

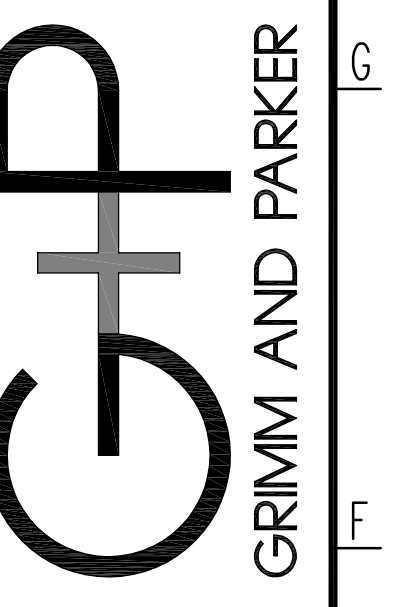
**ELEVATION DETAIL** D12  
 NTS



- FIBER CEMENT TRIM
- FIBER CEMENT PANELS
- BRICK VENEER
- PREFINISHED ALUMINUM RAILING SYSTEM
- ENERGY STAR VINYL WINDOW SYSTEM
- PREFINISHED ALUMINUM CANOPY SYSTEM
- EXTERIOR SCONCE LIGHTING
- PREFINISHED ALUMINUM COPING
- REVEALS IN FIBER CEMENT PANEL SYSTEM
- FIBER CEMENT PANEL
- ENERGY STAR VINYL WINDOW SYSTEM
- BRICK VENEER
- MASONRY PANEL

**ELEVATION DETAIL** D3  
 NTS

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ENLARGED ELEVATIONS  
 JACKSON WARD  
 RICHMOND, VA



CONVENT

SCALE: NTS

G10



DETAIL AT SENIOR BUILDING

SCALE: NTS

G1



MEMORIAL GARDENS

SCALE: NTS

A10

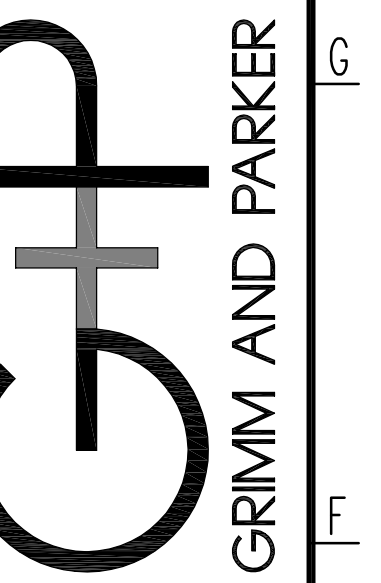


COMMERCIAL

SCALE: NTS

A1

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PERSPECTIVES  
 JACKSON WARD  
 RICHMOND, VA

A-24

2016.10.11  
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**BLADE SIGN**

(J16)

SCALE: NTS



**BLADE SIGN**

(J11)

SCALE: NTS

FABRICATED BLADE SIGN STRUCTURE ATTACHED TO BUILDING EXTERIOR FACADE. METALLIC LETTERS W/ LED BACK LIGHT. BLADE SIGN STRUCTURE TO BE MAX. 20'-0" X 3'-0". BLADE SIGNAGE LETTERS TO BE MAX. 2'-0" TALL. TYPICAL.

PRE-FABRICATED CANOPY OVER ENTRANCES SUPPORTED W/ PRE-FINISHED TURN BUCKLES & THE RODS SECURED TO BUILDING STRUCTURE. CANOPY SURFACE TO BE SOLID OR GLASS - BASED UPON LOCATION. TYPICAL.



**COMMERCIAL SIGNAGE**

(E14)

SCALE: NTS

SIGNAGE TO BE BACKLIT. NO NEON SHALL BE USED FOR COMMERCIAL SIGNAGE OR SIMILAR CANOPY SIGNAGE. MAX SIZE OF SIGNAGE SHALL BE 12'-0" X 1'-6" TYPICAL AT LOCATIONS SHOWN.

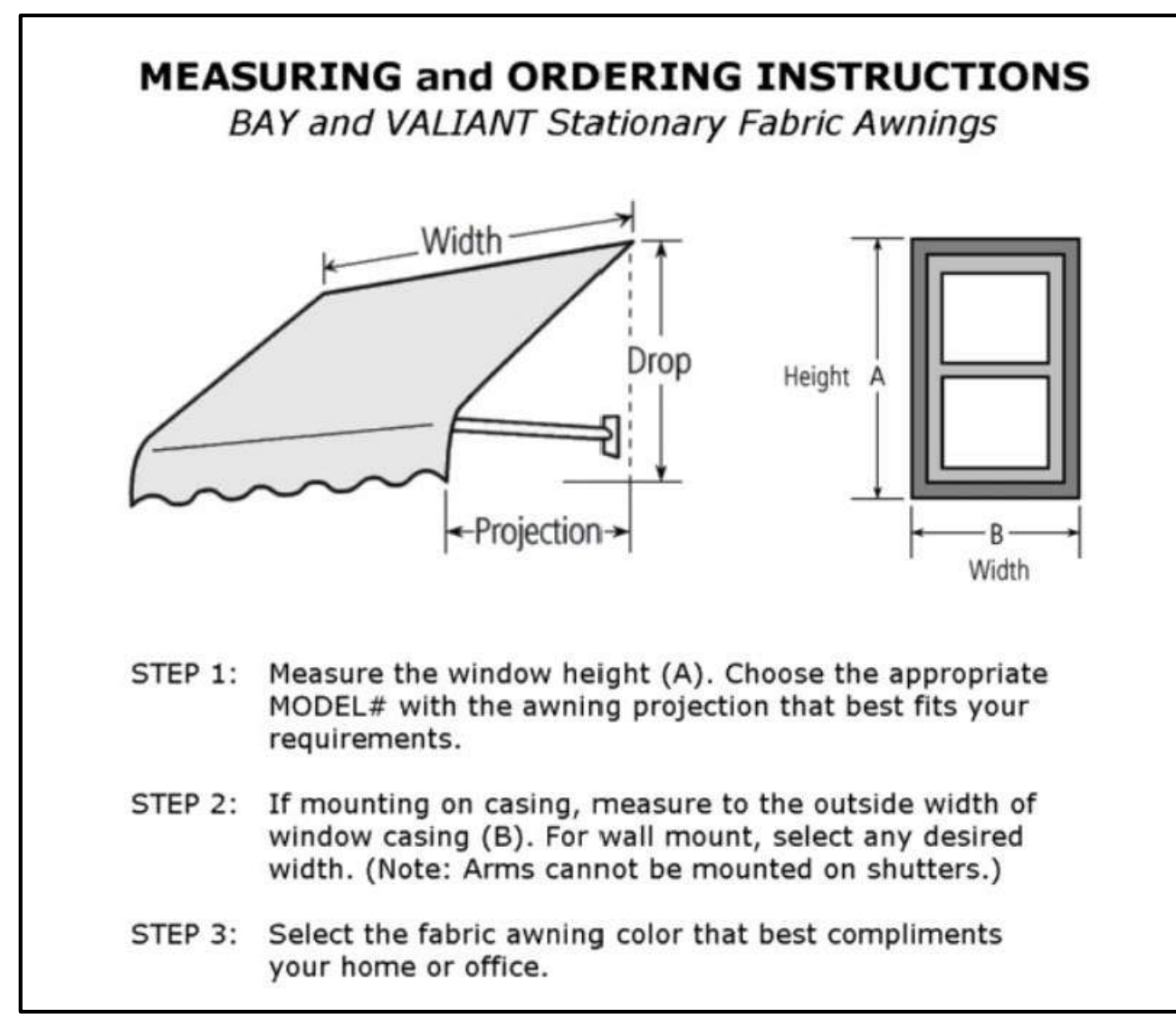
PRE-FABRICATED CANOPY OVER ENTRANCES SUPPORTED W/ PRE-FINISHED TURN BUCKLES & THE RODS SECURED TO BUILDING STRUCTURE. CANOPY SURFACE TO BE SOLID OR GLASS - BASED UPON LOCATION. TYPICAL.



**EXT. WALL SCONCE**

(A15)

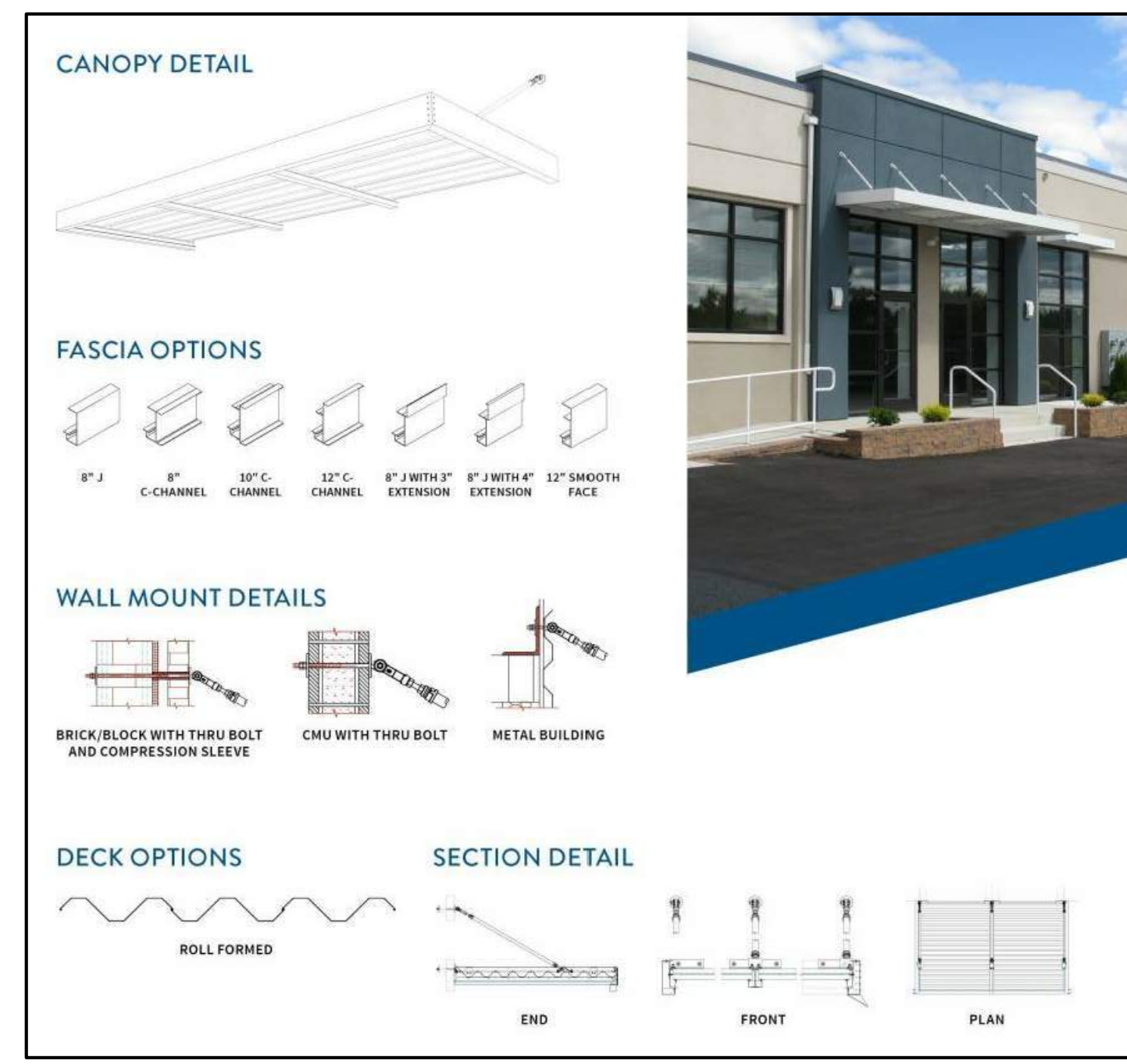
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**AWNING DETAIL**

(A11)

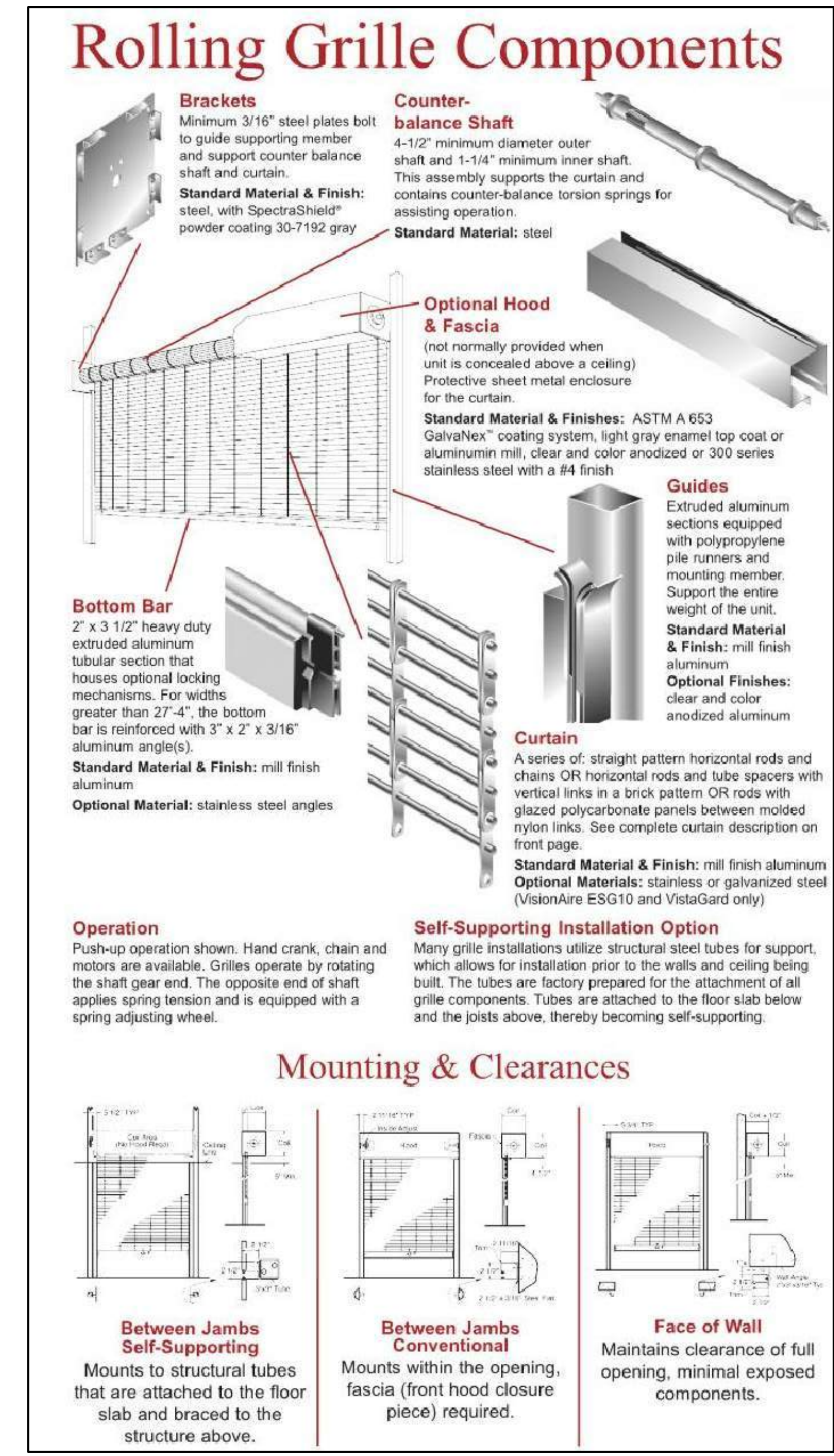
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**CANOPY DETAIL**

(A6)

SCALE: NTS

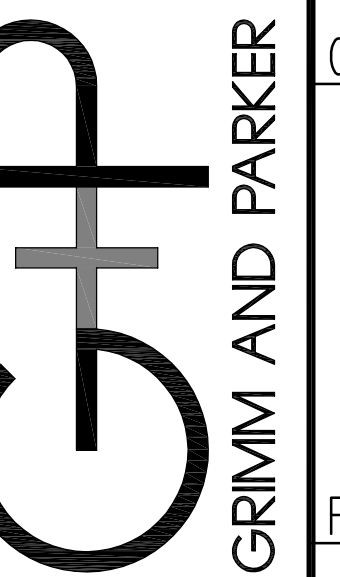


**O.H. DOOR DETAIL**

(A1)

SCALE: NTS

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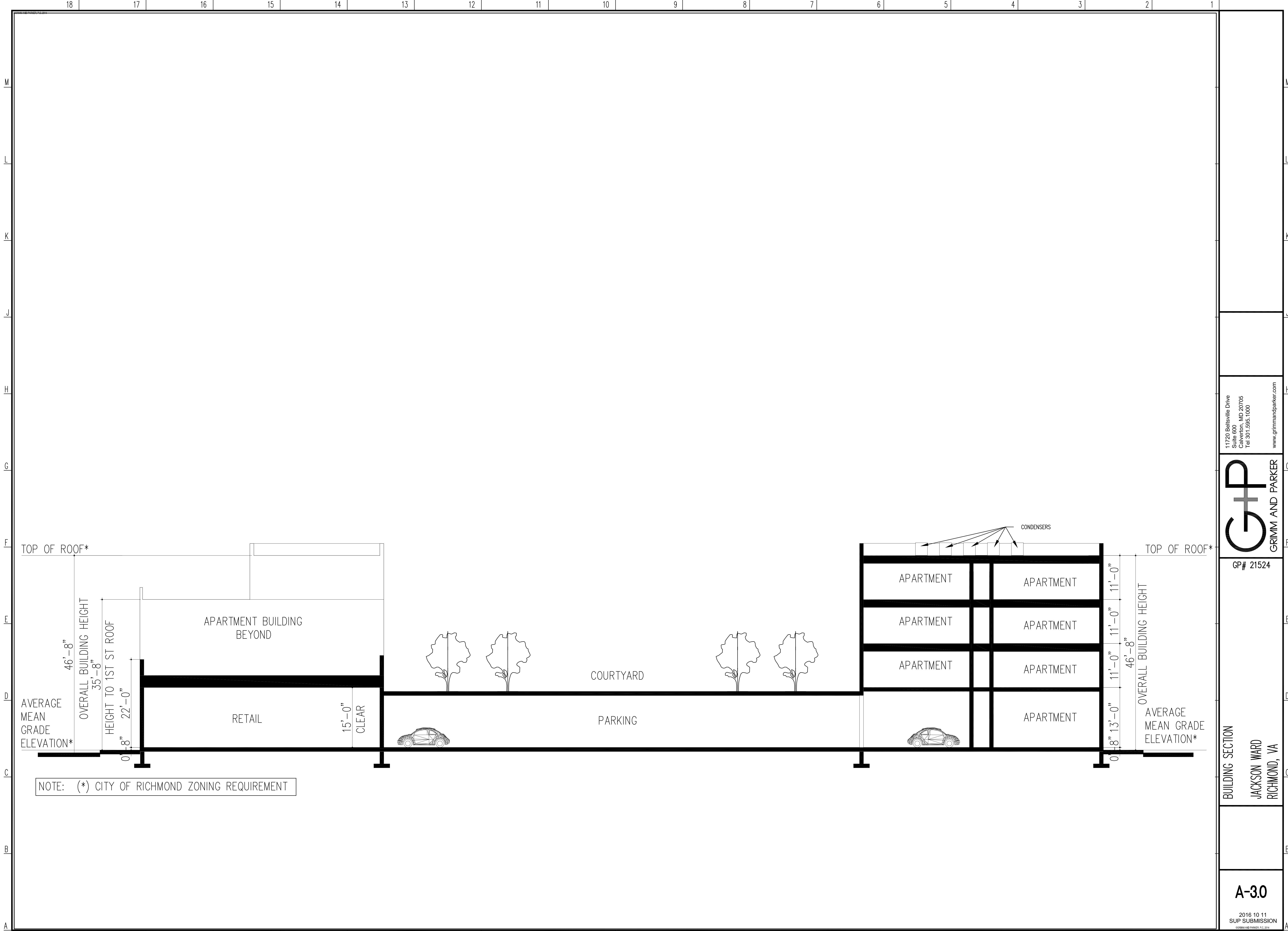


GP# 21524

CANOPY & BLADE SIGN DETAILS  
JACKSON WARD  
RICHMOND, VA

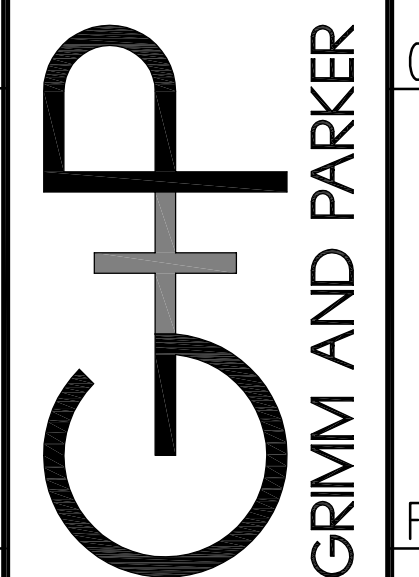
A-25

2016.10.11  
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NOTE: (\*) CITY OF RICHMOND ZONING REQUIREMENT

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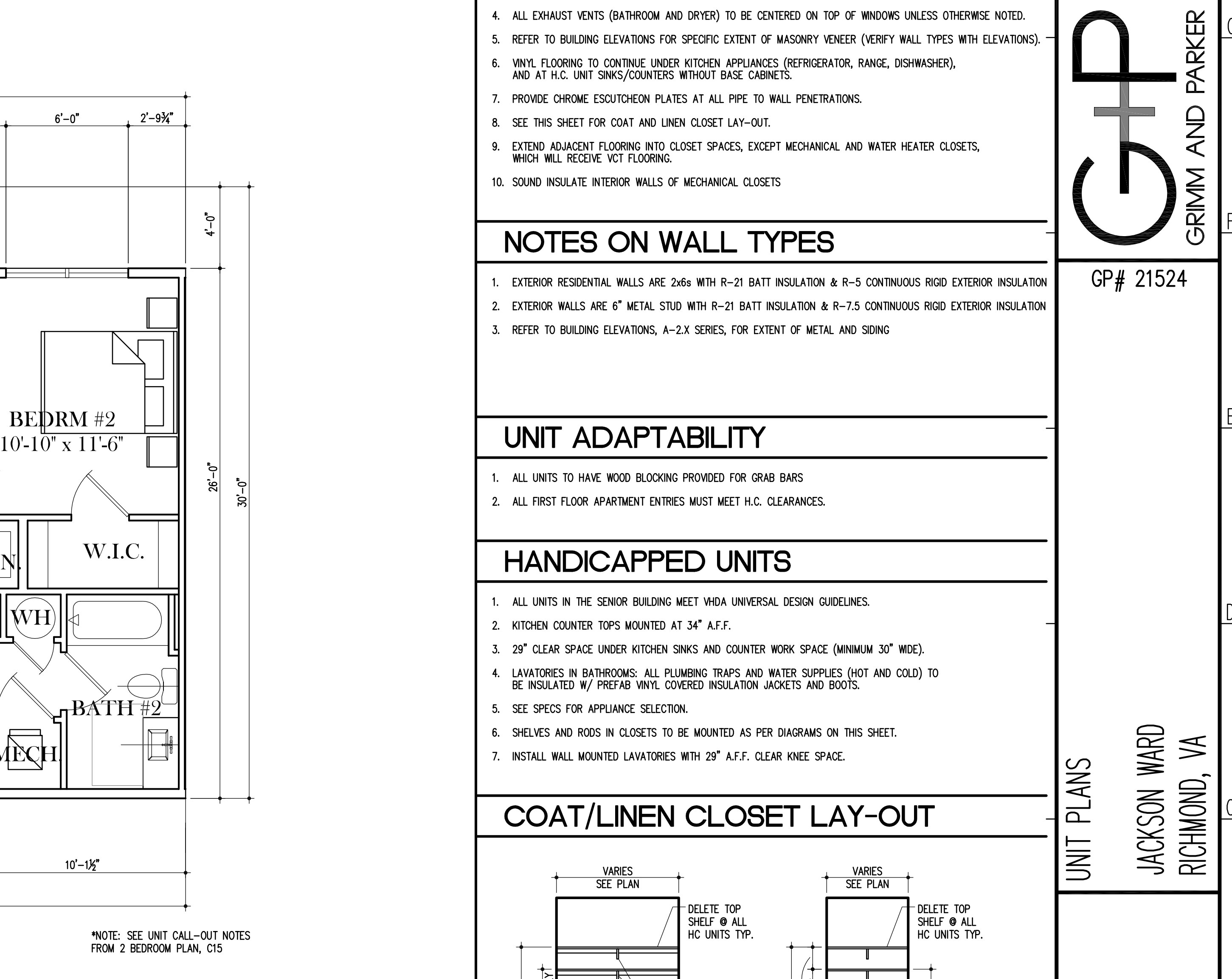
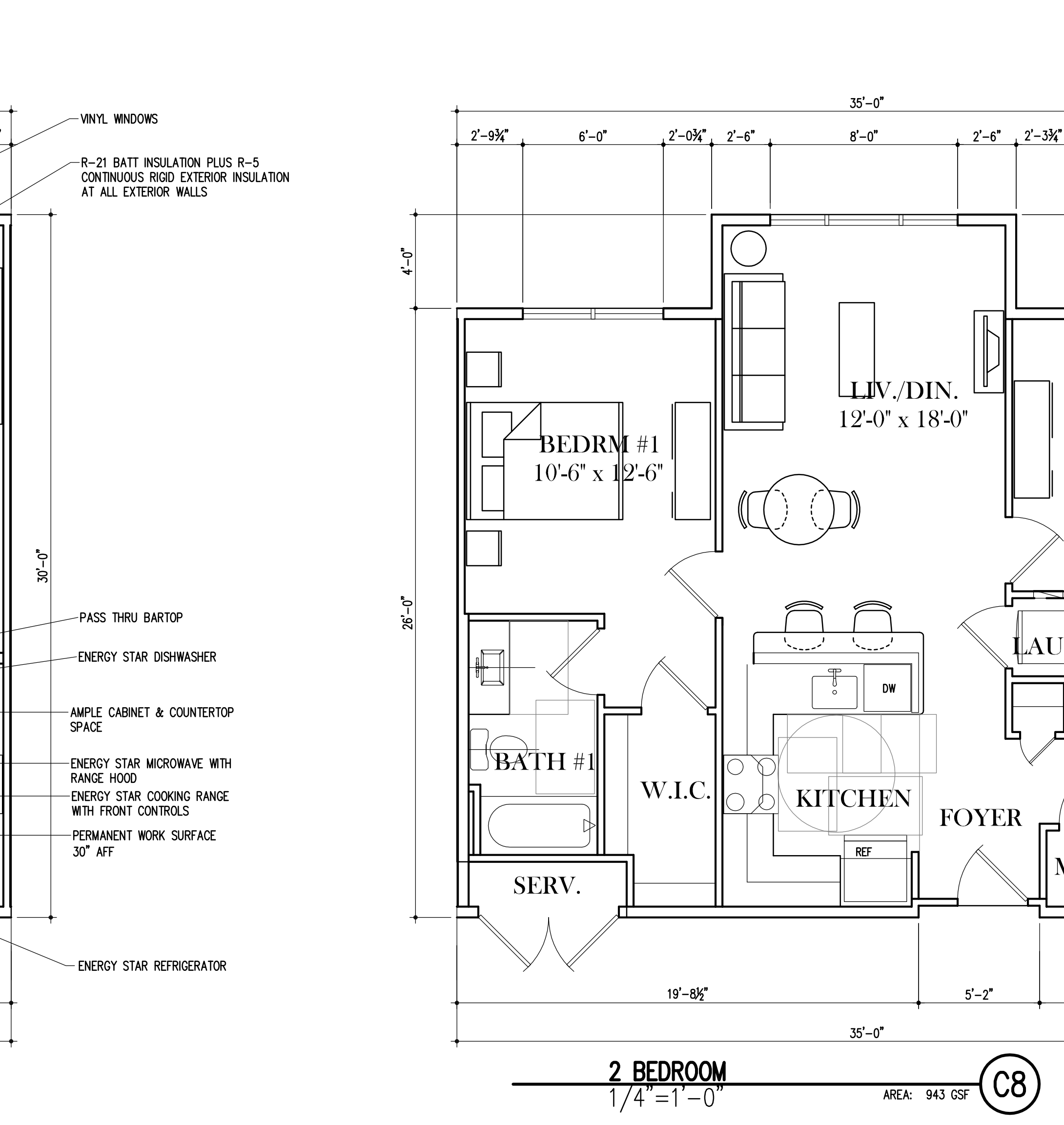
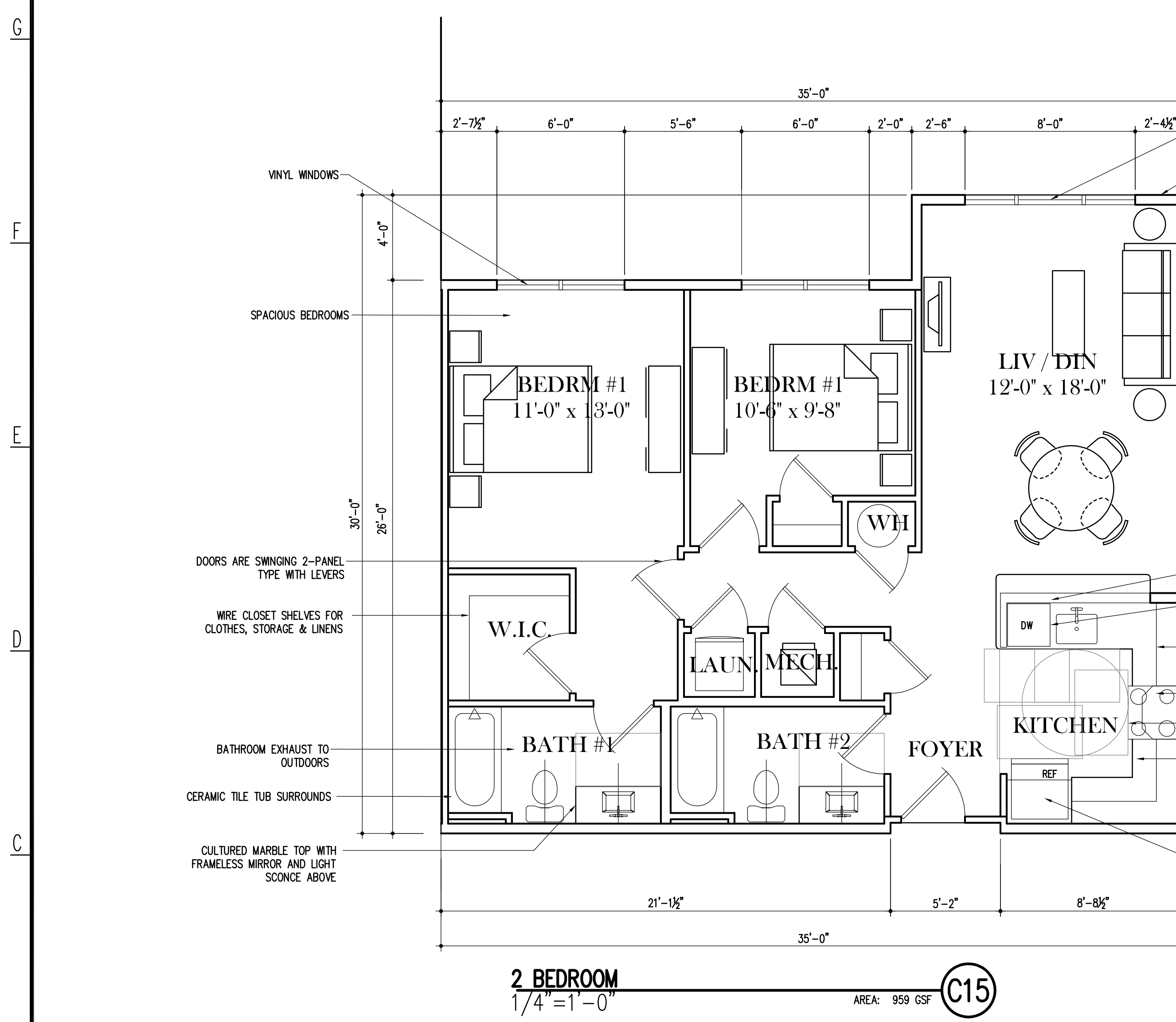
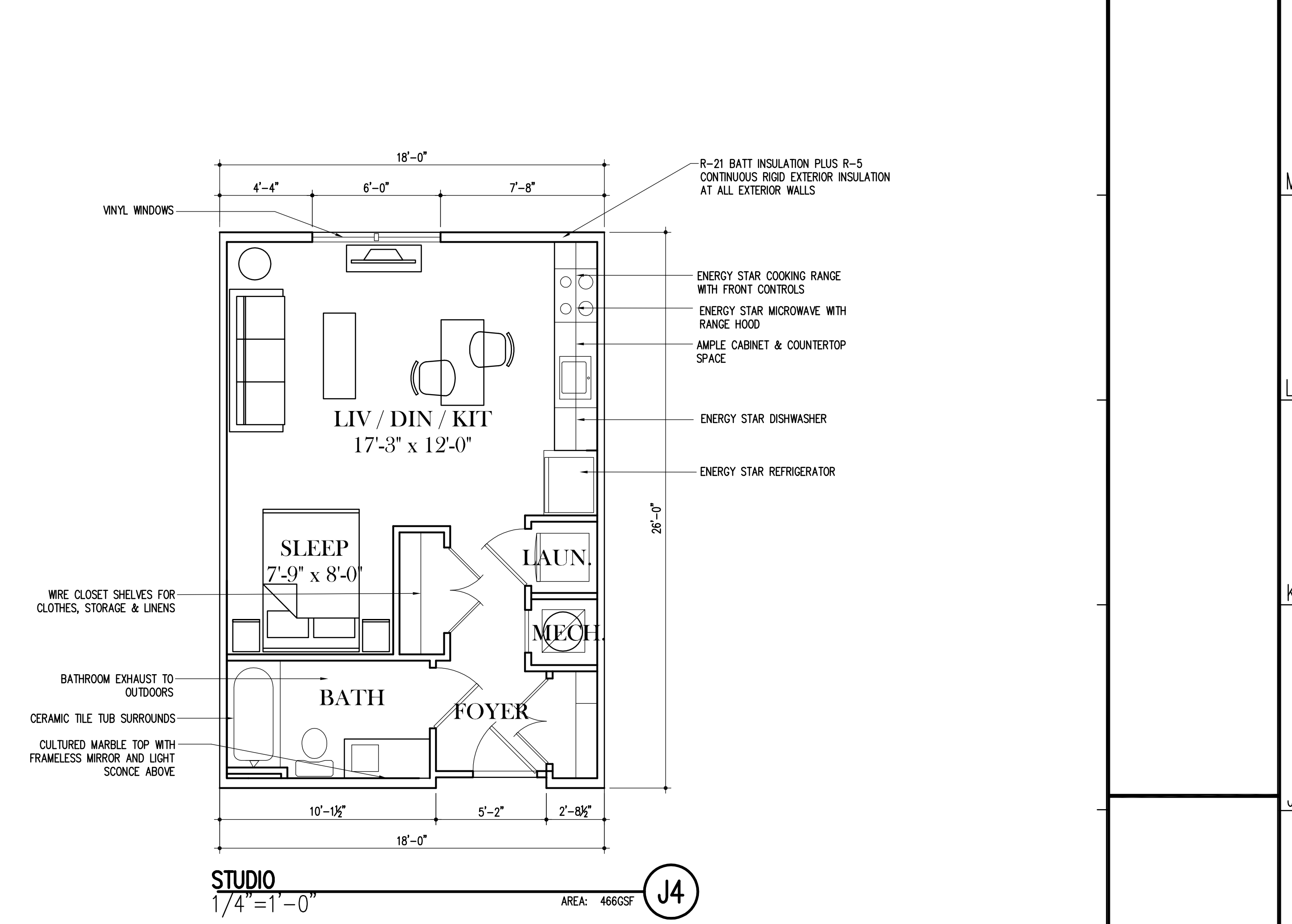
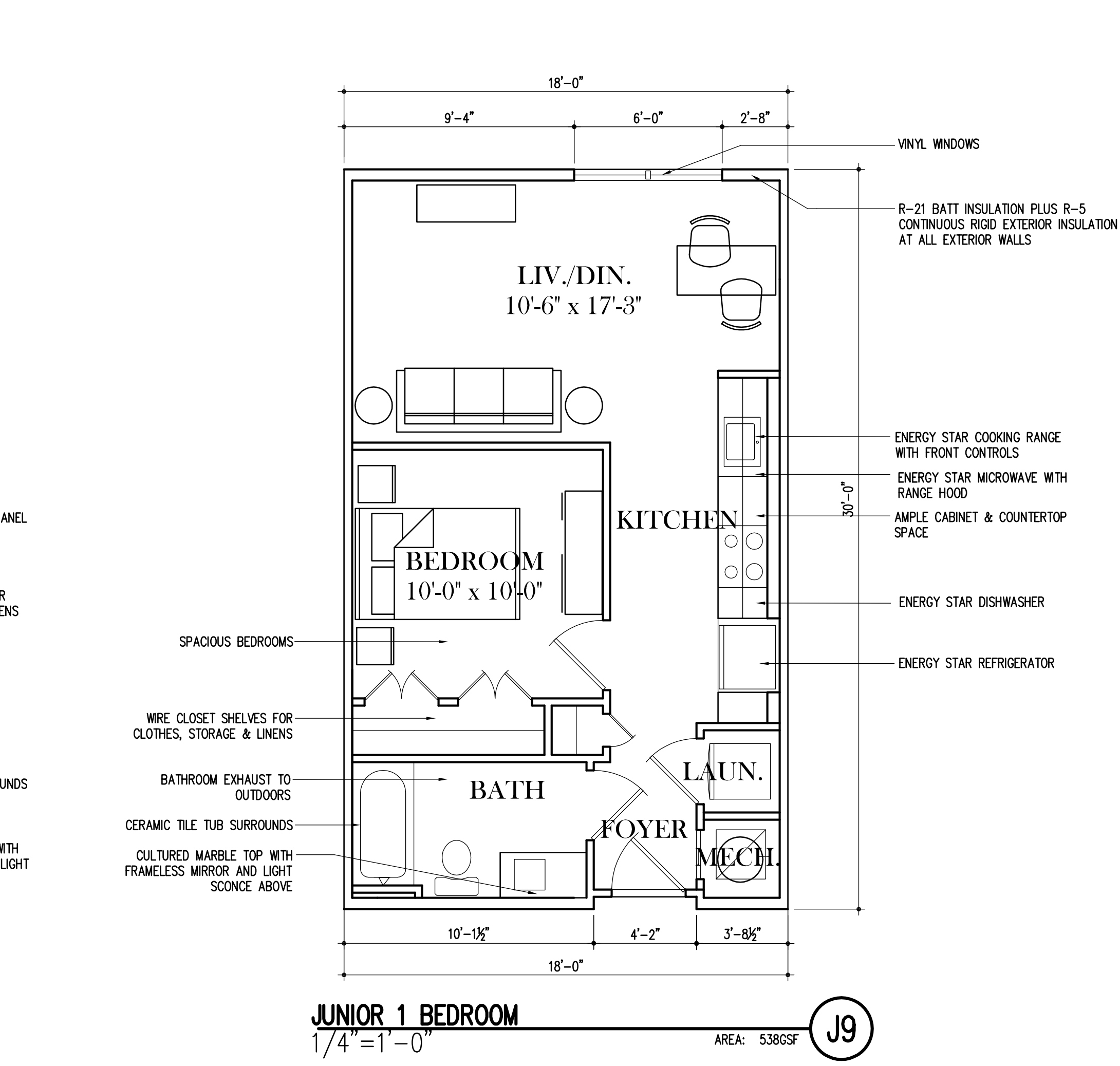
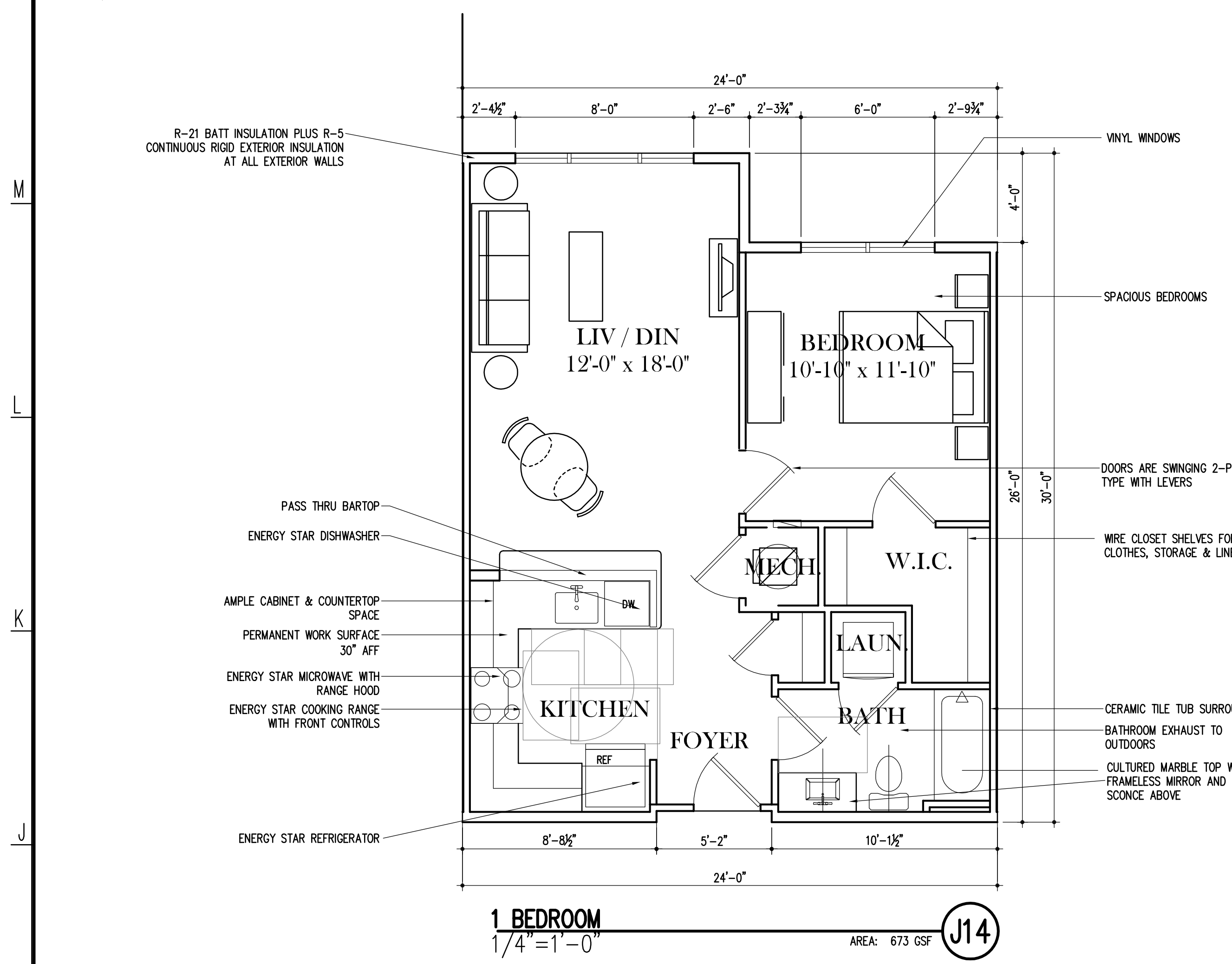
GP# 21524

BUILDING SECTION  
 JACKSON WARD  
 RICHMOND, VA

**A-30**

2016.10.11  
 SUP SUBMISSION  
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**GENERAL NOTES**

1. ALL PARTY WALLS ARE DOUBLE STUD WALLS.
2. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
3. PROVIDE FIBERGLASS MATT FACED MOLD RESISTANT GYPSUM BOARD FOR ALL BATHROOM WALLS.
4. ALL EXHAUST VENTS (BATHROOM AND DRYER) TO BE CENTERED ON TOP OF WINDOWS UNLESS OTHERWISE NOTED.
5. REFER TO BUILDING ELEVATIONS FOR SPECIFIC EXTENT OF MASONRY VENEER (VERIFY WALL TYPES WITH ELEVATIONS).
6. VINYL FLOORING TO CONTINUE UNDER KITCHEN APPLIANCES (REFRIGERATOR, RANGE, DISHWASHER), AND AT H.C. UNIT SINKS/COUNTERS WITHOUT BASE CABINETS.
7. PROVIDE CHROME ESCUTCHEON PLATES AT ALL PIPE TO WALL PENETRATIONS.
8. SEE THIS SHEET FOR COAT AND LINEN CLOSET LAY-OUT.
9. EXTEND ADJACENT FLOORING INTO CLOSET SPACES, EXCEPT MECHANICAL AND WATER HEATER CLOSETS, WHICH WILL RECEIVE VCT FLOORING.
10. SOUND INSULATE INTERIOR WALLS OF MECHANICAL CLOSETS

**NOTES ON WALL TYPES**

1. EXTERIOR RESIDENTIAL WALLS ARE 2x6s WITH R-21 BATT INSULATION & R-5 CONTINUOUS RIGID EXTERIOR INSULATION
2. EXTERIOR WALLS ARE 6" METAL STUD WITH R-21 BATT INSULATION & R-7.5 CONTINUOUS RIGID EXTERIOR INSULATION
3. REFER TO BUILDING ELEVATIONS, A-2.X SERIES, FOR EXTENT OF METAL AND SIDING

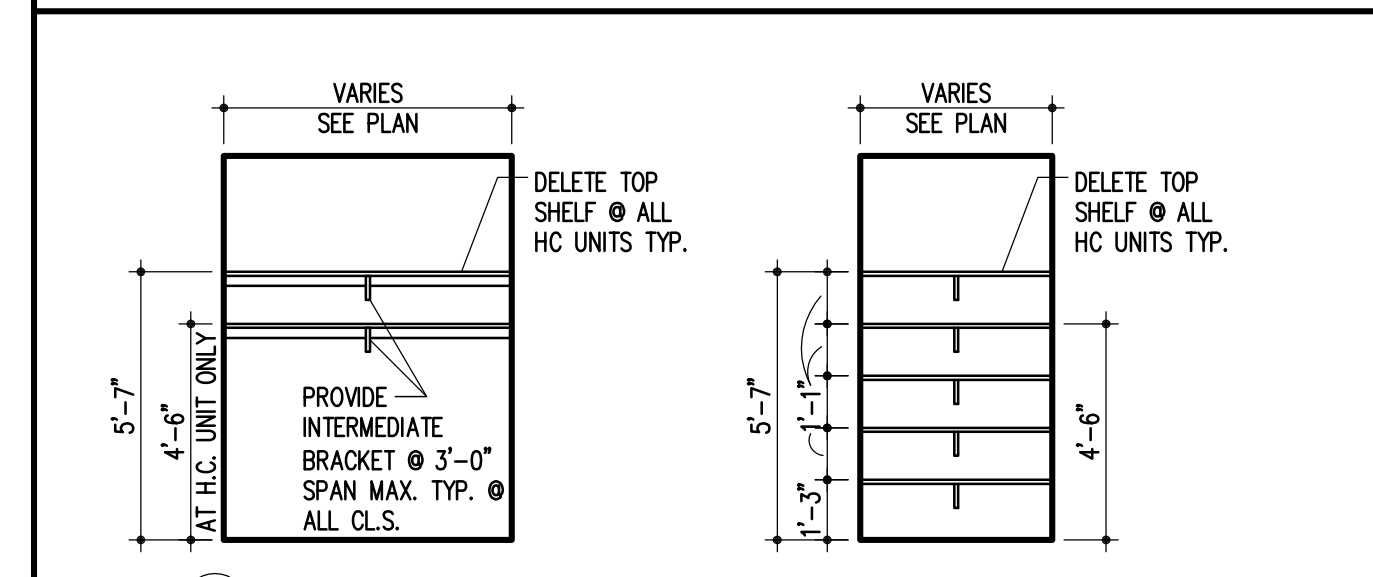
**UNIT ADAPTABILITY**

1. ALL UNITS TO HAVE WOOD BLOCKING PROVIDED FOR GRAB BARS
2. ALL FIRST FLOOR APARTMENT ENTRIES MUST MEET H.C. CLEARANCES.

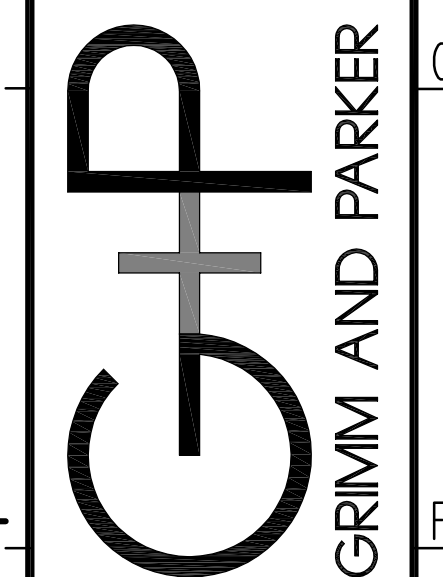
**HANDICAPPED UNITS**

1. ALL UNITS IN THE SENIOR BUILDING MEET WDA UNIVERSAL DESIGN GUIDELINES.
2. KITCHEN COUNTER TOPS MOUNTED AT 34" A.F.F.
3. 29" CLEAR SPACE UNDER KITCHEN SINKS AND COUNTER WORK SPACE (MINIMUM 30" WIDE).
4. LAVATORIES IN BATHROOMS: ALL PLUMBING TRAPS AND WATER SUPPLIES (HOT AND COLD) TO BE INSULATED W/ PREFAB VINYL COVERED INSULATION JACKETS AND BOOTS.
5. SEE SPECS FOR APPLIANCE SELECTION.
6. SHELVES AND RODS IN CLOSETS TO BE MOUNTED AS PER DIAGRAMS ON THIS SHEET.
7. INSTALL WALL MOUNTED LAVATORIES WITH 29" A.F.F. CLEAR KNEE SPACE.

**COAT/LINEN CLOSET LAY-OUT**



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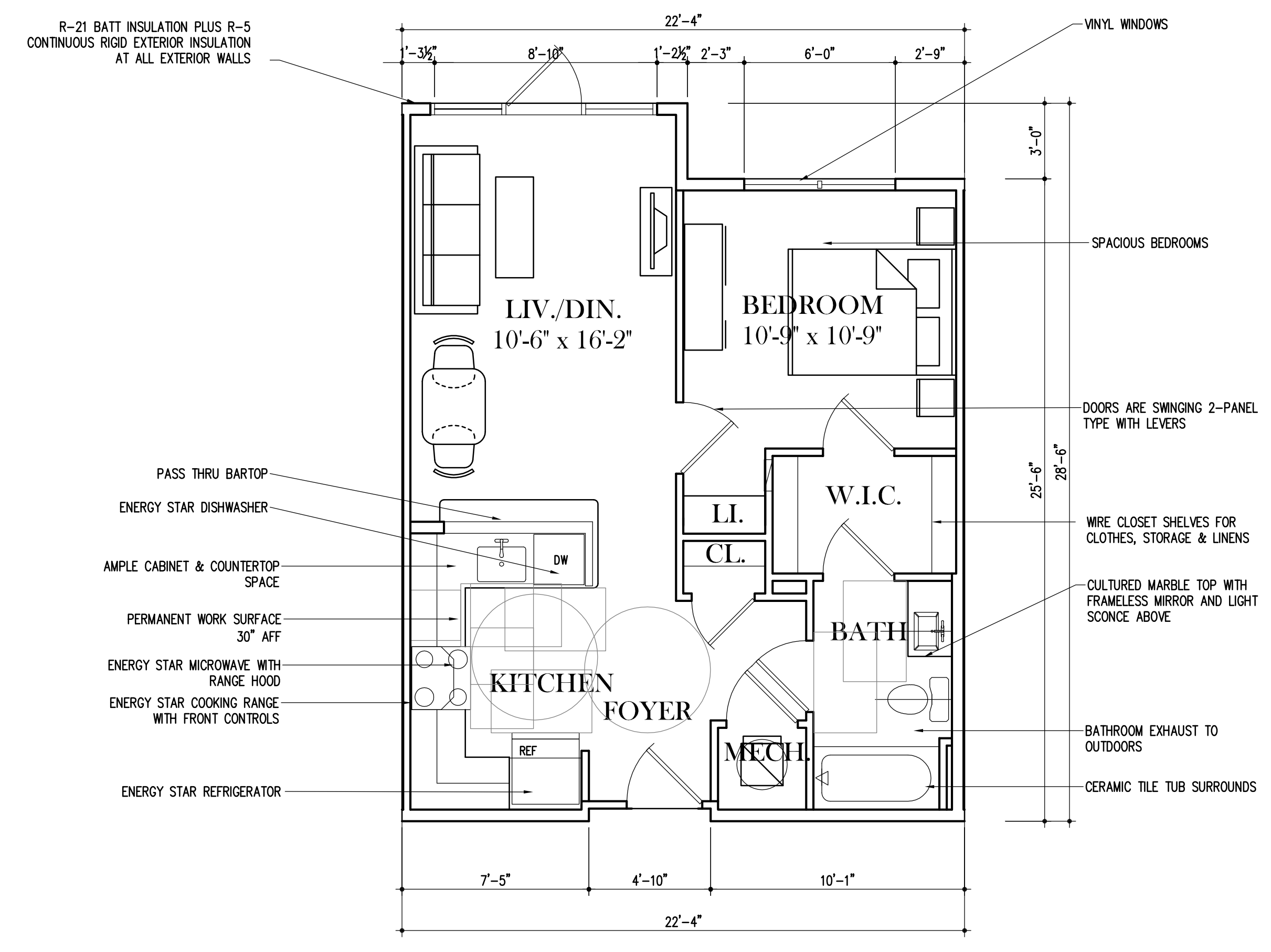


GP# 21524

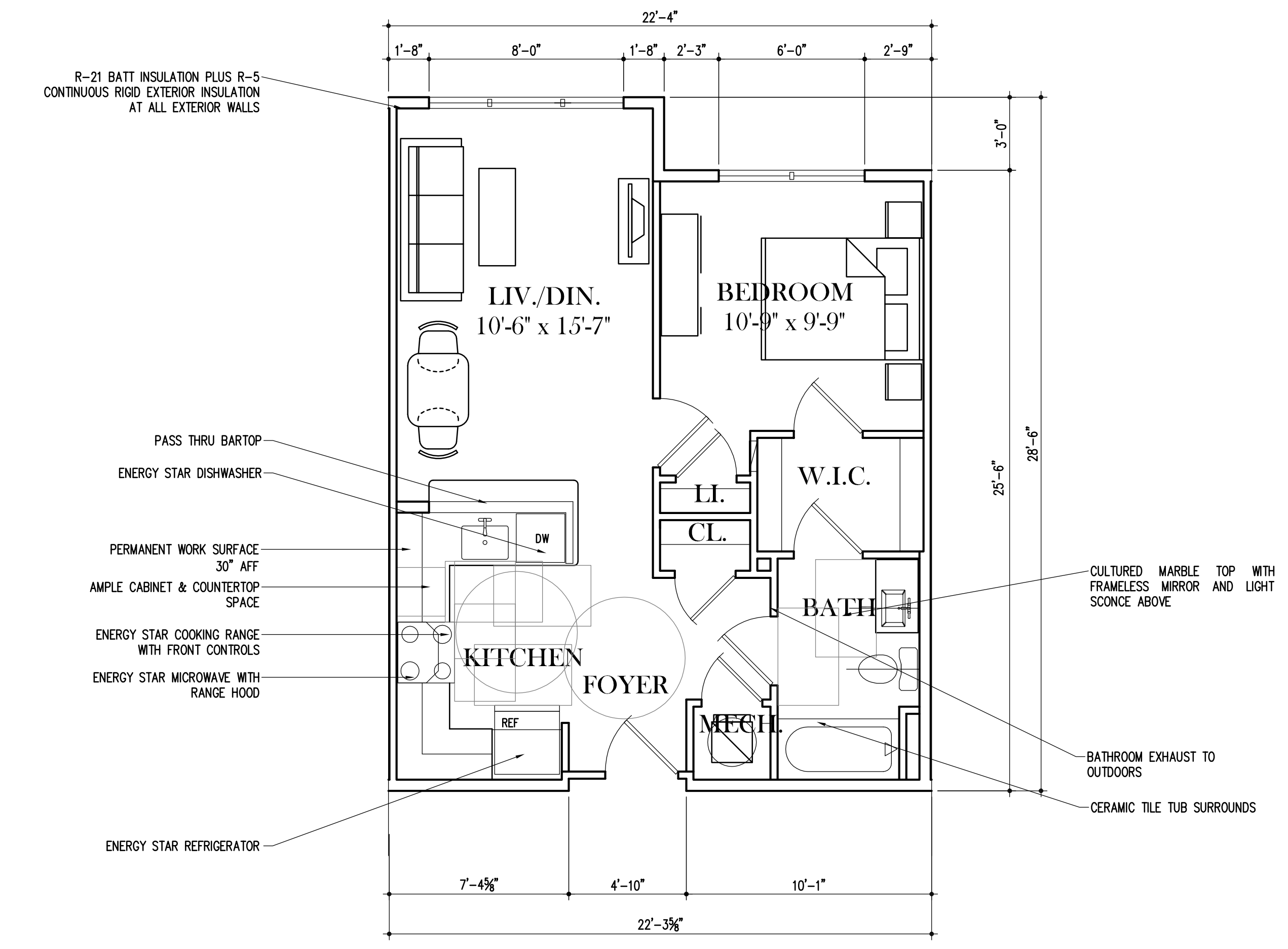
UNIT PLANS  
JACKSON WARD  
RICHMOND, VA

**A-50**

2018 0 11  
SUBMISSION  
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**1 BEDROOM (SENIOR)**  
 1/4" = 1'-0" AREA: 601 GSF **A14**



**1 BEDROOM HANDICAP (SENIOR)**  
 1/4" = 1'-0" AREA: 672 GSF **A7**

**GENERAL NOTES**

1. ALL PARTY WALLS ARE DOUBLE STUD WALLS.
2. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
3. PROVIDE FIBERGLASS MATT FACED MOLD RESISTANT GYPSUM BOARD FOR ALL BATHROOM WALLS.
4. ALL EXHAUST VENTS (BATHROOM AND DRYER) TO BE CENTERED ON TOP OF WINDOWS UNLESS OTHERWISE NOTE
5. REFER TO BUILDING ELEVATIONS FOR SPECIFIC EXTENT OF MASONRY VENEER (VERIFY WALL TYPES WITH ELEVATIONS)
6. VINYL FLOORING TO CONTINUE UNDER KITCHEN APPLIANCES (REFRIGERATOR, RANGE, DISHWASHER), AND AT H.C. UNIT SINKS/COUNTERS WITHOUT BASE CABINETS.
7. PROVIDE CHROME ESCUTCHEON PLATES AT ALL PIPE TO WALL PENETRATIONS.
8. SEE THIS SHEET FOR COAT AND LINEN CLOSET LAY-OUT.
9. EXTEND ADJACENT FLOORING INTO CLOSET SPACES, EXCEPT MECHANICAL AND WATER HEATER CLOSETS, WHICH WILL RECEIVE VCT FLOORING.
10. SOUND INSULATE INTERIOR WALLS OF MECHANICAL CLOSETS

**NOTES ON WALL TYPES**

1. EXTERIOR RESIDENTIAL WALLS ARE 2x6s WITH R-21 BATT INSULATION & R-5 CONTINUOUS RIGID EXTERIOR INSULATION
2. EXTERIOR WALLS ARE 6" METAL STUD WITH R-21 BATT INSULATION & R-7.5 CONTINUOUS RIGID EXTERIOR INSULATION
3. REFER TO BUILDING ELEVATIONS, A-2.X SERIES, FOR EXTENT OF METAL AND SIDING

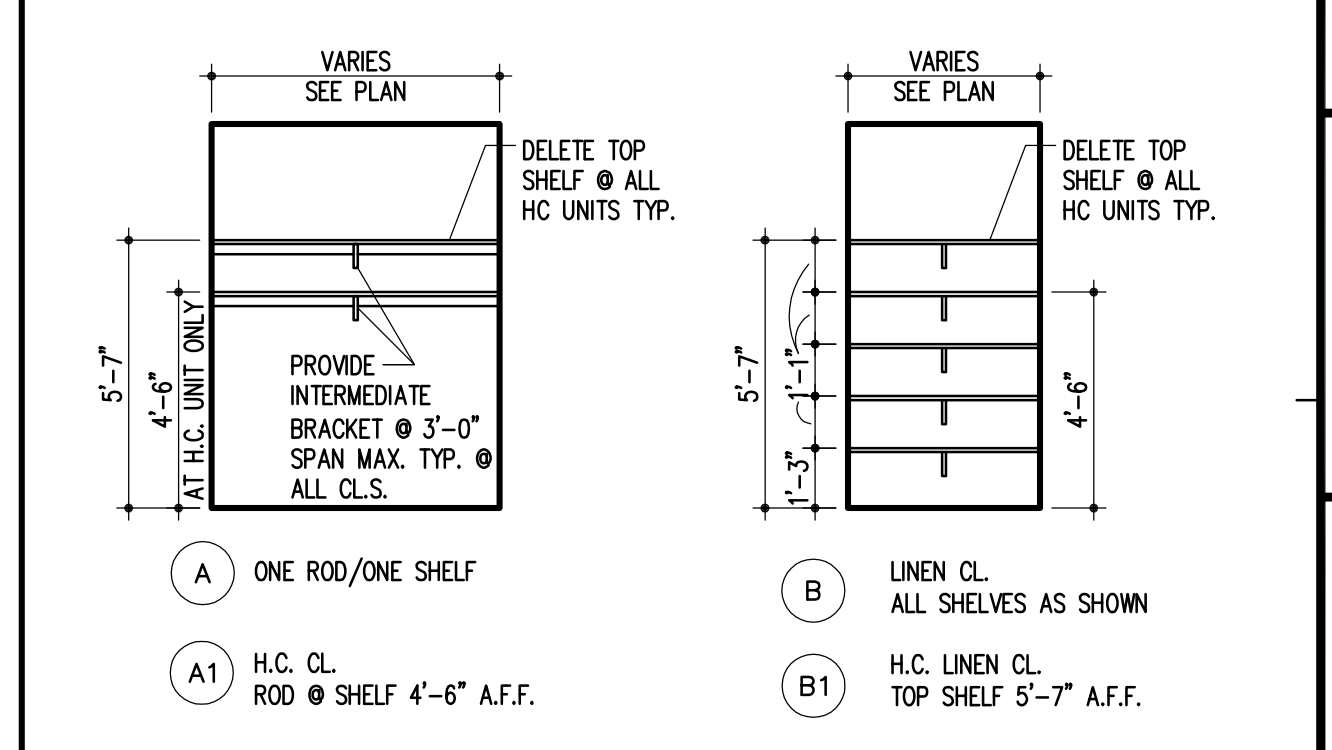
**UNIT ADAPTABILITY**

1. ALL UNITS TO HAVE WOOD BLOCKING PROVIDED FOR GRAB BARS
2. ALL FIRST FLOOR APARTMENT ENTRIES MUST MEET H.C. CLEARANCES.

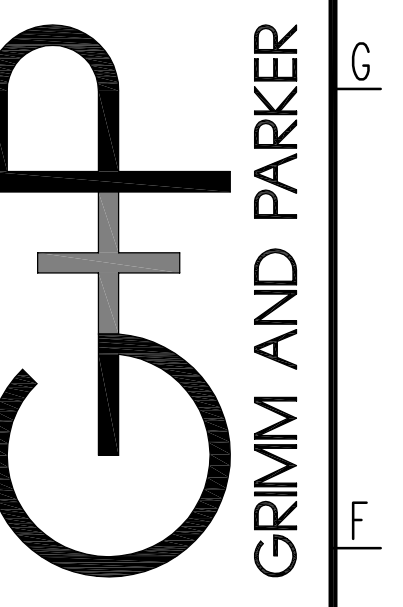
**HANDICAPPED UNITS**

1. ALL UNITS IN THE SENIOR BUILDING MEET VEDA UNIVERSAL DESIGN GUIDELINES.
2. KITCHEN COUNTER TOPS MOUNTED AT 34" A.F.F.
3. 29" CLEAR SPACE UNDER KITCHEN SINKS AND COUNTER WORK SPACE (MINIMUM 30" WIDE).
4. LAVATORIES IN BATHROOMS: ALL PLUMBING TRAPS AND WATER SUPPLIES (HOT AND COLD) TO BE INSULATED W/ PREFAB VINYL COVERED INSULATION JACKETS AND BOOTS.
5. SEE SPECS FOR APPLIANCE SELECTION.
6. SHELVES AND RODS IN CLOSETS TO BE MOUNTED AS PER DIAGRAMS ON THIS SHEET.
7. INSTALL WALL MOUNTED LAVATORIES WITH 29" A.F.F. CLEAR KNEE SPACE.

**COAT/LINEN CLOSET LAY-OUT**



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UNITS PLANS  
 JACKSON WARD  
 RICHMOND, VA

**A-51**