

INTRODUCED: December 13, 2021

AN ORDINANCE No. 2021-363

As Amended

To authorize the special use of the property known as 1626 North 27th Street for the purpose of a single-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JAN 10, 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 1626 North 27th Street, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of a single-family detached dwelling, which use, among other things, is not currently allowed by section 30-410.4, concerning lot area and width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: FEB 28 2022 REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1626 North 27th Street and identified as Tax Parcel No. E000-0948/030 in the 2021 records of the City Assessor, being more particularly shown on a survey entitled “Site Plan, 1626 N 27th Street, City of Richmond, Virginia,” prepared by Long Surveying, LLC, [~~and~~] dated January 9, 2021, and last revised January 7, 2022, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a single-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Site Plan, 1626 N 27th Street, City of Richmond, Virginia,” prepared by Long Surveying, LLC, [~~and~~] dated January 9, 2021, and last revised January 7, 2022, and “1626 North 27th Street,” prepared by David R. Winn, LLC, and dated August 15, 2019, and hereinafter referred to, together, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a single-family detached dwelling, substantially as shown on the Plans.

(b) No less than one off-street parking space shall be provided on the Property that shall be accessible only from the rear alley.

(c) Vinyl siding shall not be permitted as a building siding material.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or

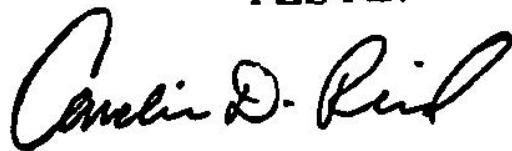
otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Amelia D. Reil". The signature is written in a cursive, flowing style.

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2021.886

O & R Request

DATE: November 15, 2021

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)



THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer



THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning



FROM: Kevin Vonck, Director, Department of Planning and Development Review



RE: To authorize the special use of the property known as 1626 North 27th Street for the purpose of allowing a single-family detached dwelling.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 1626 North 27th Street for the purpose of allowing a single-family detached dwelling.

REASON: The subject property is located in the R-5 Single-Family Residential zoning district. Single-family detached dwellings are permitted uses on lots that are at least 50 feet wide and 6,000 square feet in area. The Subject property is 3,629 square feet in area. Therefore a special use permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its January 3, 2022 meeting.

BACKGROUND: The subject property is located midblock on the western side of North 27th Street near the corner with X Street. The subject property is 50 feet wide, a depth of 72 feet for a total area of 3,629 square feet. There are 15 properties on the block on the western side of North 27th Street of which four meet the area requirement. There are also four properties that do not meet the area requirement and also are

improved with single-family dwellings. For the subject property, a single-family dwelling with approximately 915 square feet of living space is proposed.

The proposed project conforms to the recommendations of the Richmond 300 Master Plan which designates the subject property for Neighborhood Mixed-Uses.

All properties surrounding the subject property are located within the same R-5 Single-Family Residential Zoning District. Within the area of the subject property, most properties are vacant with some containing single-family dwellings.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: December 13, 2021

CITY COUNCIL PUBLIC HEARING DATE: January 10, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
January 3, 2022

AFFECTED AGENCIES: Office of Chief Administration Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304

<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 1626 N 27th Street Date: 5/17/2021

Tax Map #: E0000948030 Fee: _____

Total area of affected site in acres: 0.08

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-5

Existing Use: Single Family

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Construct new single family detached home

Existing Use: Vacant lot

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Joan Marshall

Company: project:HOMES

Mailing Address: 88 Carnation Street

City: Richmond State: VA Zip Code: 23225

Telephone: (804) 4954985 Fax: (804) 2300778

Email: joan.marshall@projecthomes.org

Property Owner: ElderHomes

If Business Entity, name and title of authorized signee: Lee Householder, CEO

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 88 Carnation Street

City: Richmond State: VA Zip Code: 23225

Telephone: (804) 2332827 Fax: (804) 2300778

Email: lee.householder@projecthomes.org

Property Owner Signature:

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Special Use Permit Applicant's Report: 1626 North 27th Street

With this application, Project:HOMES is requesting a Special Use Permit to build a detached single-family dwelling at 1626 North 27th street, which is in an R-5 zoning district. The total lot size of 1626 North 27th street is 3,629 square feet. The R-5 zoning district requires a lot to not be less than 6,000 square feet. The proposed structure would be a 915 Square foot single story modular home with three bedrooms and one bathroom. This home will be sold to a qualified low-to-moderate income buyer making less than 80% of the area median income. Project:HOMES is a Richmond-based non-profit, that provides neighborhood infill, affordable housing, repairs for low-income families, and weatherization across the region.

All of our new homes are designed with the character of the neighborhood in mind. The aesthetic look of the home is designed to match its neighbors. All aspects from the columns, to trim, to the type of windows used are selected based on what will best suit the neighborhood. This proposal has been submitted to and approved by the Section 106 historic review process. The home design we have chosen for this project (see attached elevations and floor plans) will feature neighborhood housing characteristics.

Furthermore, because this is single family home, there will be no adverse impact on traffic, congestion, or parking. The plans for the building reflect two parking spaces at the rear of the home for the tenants. The home will not have any negative environmental effects, create density problems, or create an additional hazard for fires and other dangers.

In summary, the proposed use of the property at 1627 N 27th Street will be an affordable, single family home. This house will match the historic character of the neighborhood, while providing opportunity for affordable housing, reduced vacancy, and neighborhood infill for North Church Hill. There will be no adverse impacts to community health, traffic congestion, or safety.

ADDRESS: 1626 N 27TH
 PARCEL: E0000948030
 ZONED R-5
 SETBACKS

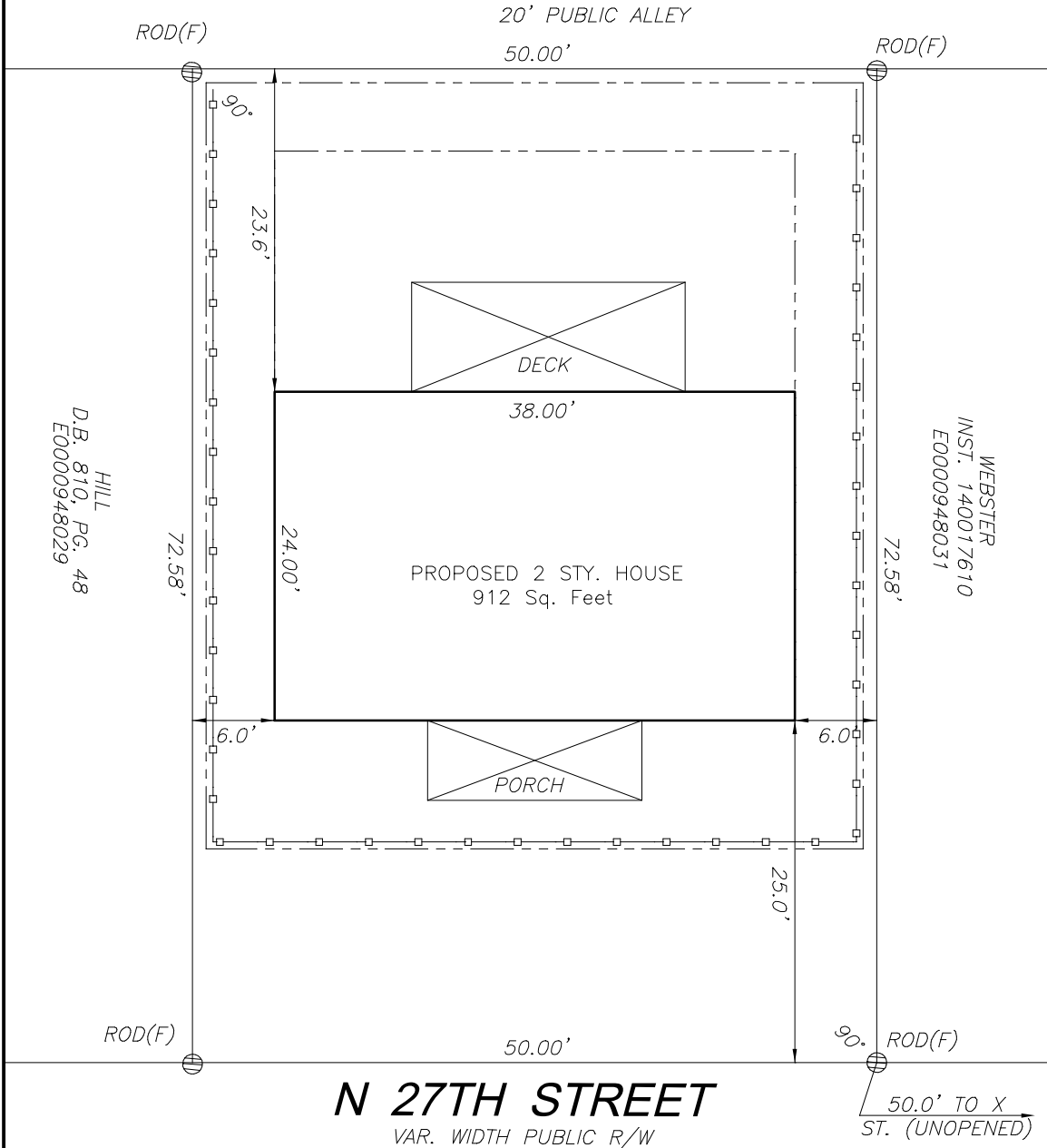
FRONT: 25'
 SIDE: 6'
 REAR: 6'

LOT SIZE: 3629 SQ. FT.

AREA OF DISTURBANCE: 2686 Sq. Feet
 ONCE CONSTRUCTION IS COMPLETE SITE
 IS TO BE PERMANENTLY SEEDED.



- SET BACKS
- SILT FENCE
- - - - LIMITS OF DISTURBANCE



N 27TH STREET
 VAR. WIDTH PUBLIC R/W

50.0' TO X
 ST. (UNOPENED)

SITE PLAN
 1626 N 27TH STREET

LONG SURVEYING, LLC
 4650 FACTORY MILL ROAD
 MAIDENS, VA 23012
 804-314-5620

CITY OF RICHMOND
 VIRGINIA

JAN. 9, 2021
 SCALE: 1"=10'

FOR: PROJECT HOMES



**City of Richmond
Department of Planning
& Development Review**

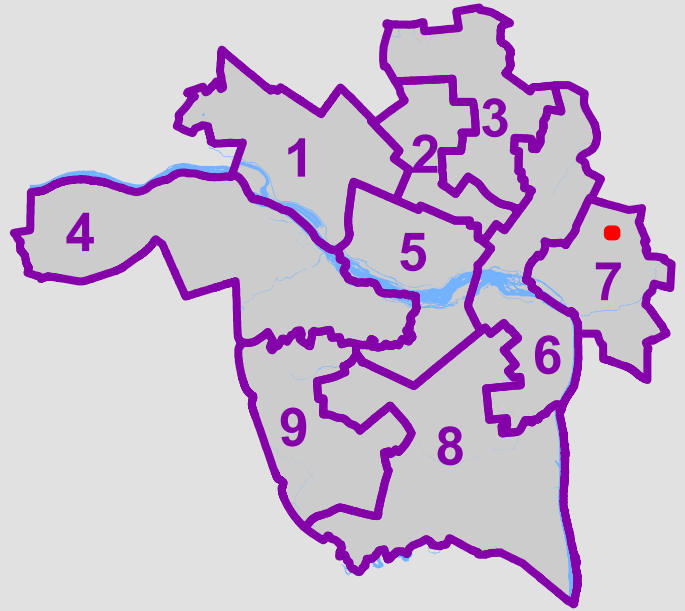
Special Use Permit

LOCATION: 1626 North 27th Street

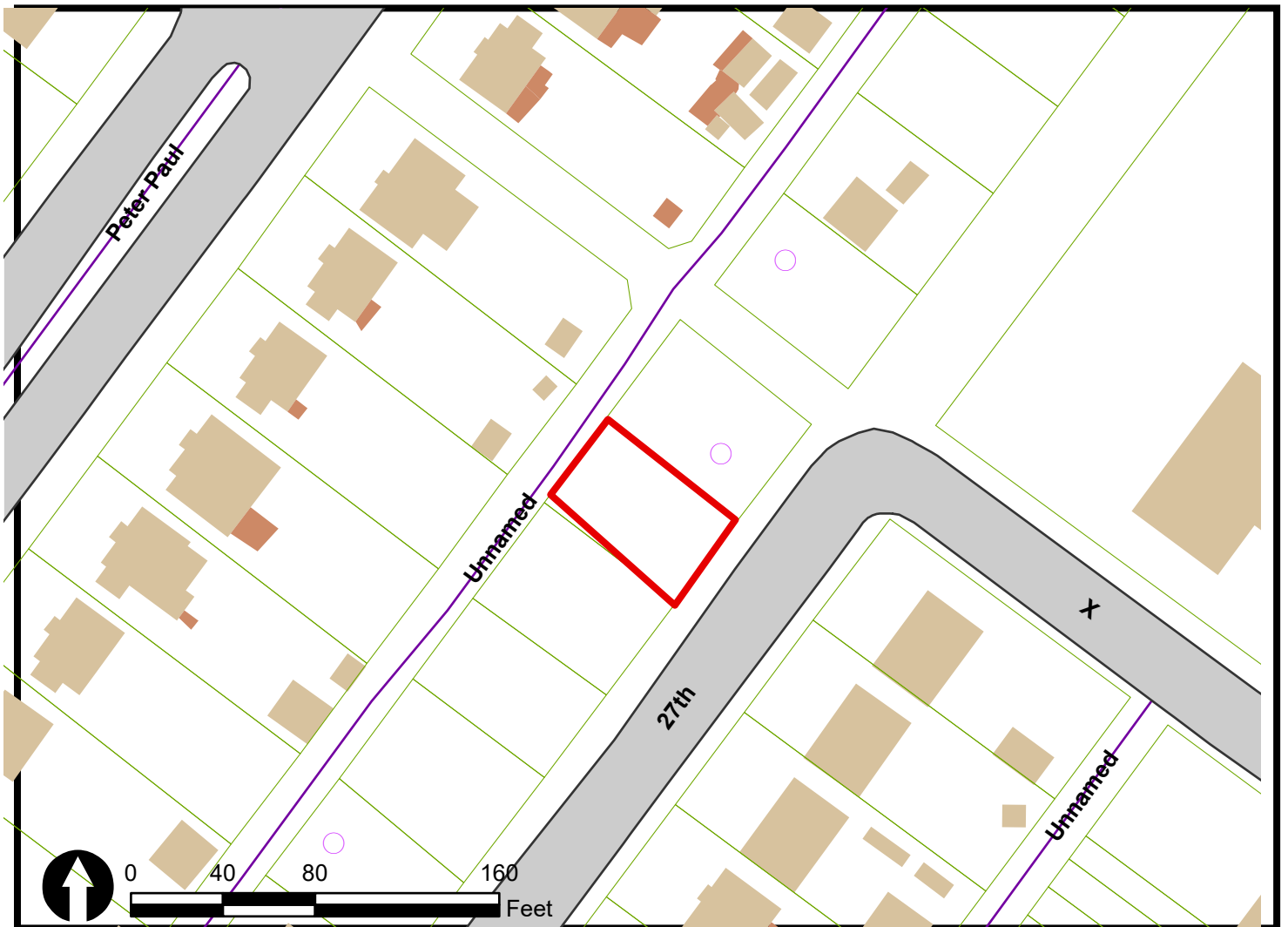
APPLICANT: Project Homes

COUNCIL DISTRICT: 7

PROPOSAL: To authorize the special use of the property known as 1626 North 27th Street for the purpose of allowing a single-family detached dwelling.



For questions, please contact David Watson at 804-646-1036 or David.Watson@rva.gov



1626 North 27th Street

LIST OF DRAWINGS

NO.	TITLE
A-001	COVER SHEET / CODE DATA / GENERAL NOTES
A-101	FOUNDATION / FIRST FLOOR FRAMING PLANS / SCHEDULES AND WALL SECTION
A-102	ROOF FRAMING PLAN / BRACED WALL PANEL DIAGRAM
A-201	BUILDING ELEVATIONS

GENERAL NOTES:

- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE SITE AND SHOULD VERIFY THE LOCATIONS OF CONCEALED ITEMS WHICH MAY AFFECT THE NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS OF THE NEW WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPLICATION FOR AND OBTAINING OF ALL REQUIRED PERMITS FOR WORK REQUIRED BY THE PROJECT INCLUDING PAYMENT OF ALL ASSOCIATED PERMIT FEES TO THE COUNTY OF HENRICO.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING OF ALL WORK SO AS TO MEET THE TIELINE OF THE OWNER AS POSSIBLE OR AS AGREED BETWEEN THE OWNER AND GENERAL CONTRACTOR. THE OWNER IS TO BE RESPONSIBLE FOR ALL CHANGES OF THE PROPOSED CONTRACTED SCHEDULE.
- THE SITE IS TO BE KEPT CLEAN AT ALL TIMES. NO DEBRIS OR RUNOFF IS TO BE ALLOWED IN NEIGHBORING YARDS, FRONT YARD OR STREETS.
- FIELD VERIFY LOCATION OF ALL EXISTING WATER AND SEWER LINES. VERIFY CONNECTION POINTS REQUIRED PER THE PLUMBING DRAWINGS.
- FIELD VERIFY AND IDENTIFY LOCATION OF ALL ELECTRICAL POWER LINES, TELEPHONE LINES, CABLE LINES, LIGHTER COVER-HEAD OR BELOW GRADE. VERIFY CONNECTION POINTS REQUIRED AS INDICATED ON THE ELECTRICAL DRAWINGS.
- COORDINATE ALL WORK WITH OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FIXTURES, IF ANY.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGNED, THE ME & P SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN AND PERMITTING OF THEIR SPECIFIC PORTIONS OF THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE BEGINNING ANY WORK. THIS SHALL INCLUDE SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINES, TELEPHONE LINES AND CABLE LINES. THE GENERAL CONTRACTOR SHALL CONTACT THESE UTILITIES BY DIALING 811 OR OTHER AGENCIES AS APPROPRIATE.

GENERAL NOTES

- CONTRACTOR SHALL CONFORM TO THE 2012 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE VIRUSG AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL CALL, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.
- CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
- ALL WOOD SILLS THAT ARE WITHIN 8" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESSURE PRESERVATIVE TREATED.
- ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.
- RUN ALL TOILET FANS AND EXHAUST VENTS TO AN APPROVED EXTERIOR DISCHARGE.
- 8" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF FRAMING AND INSTALLATION OF ANY ATTIC ACCESS HATCHES AND SFTLIGHTS.
- ALL FIXED GLAZING IN WINDOWS AND DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED PER THE REQUIREMENTS OF VBC CHAPTER R308 WHERE OCCURRING IN THE HAZARDOUS LOCATIONS IDENTIFIED THEREIN.
- SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDS AND BEAMS, IF ANY.
- HMC CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS TO AN APPROVED LOCATION.
- ALL EXPOSED GUTTERS, DOWNSPOUTS AND FLASHING TO BE PRE-FINISHED.
- INSULATE ALL WALL AROUND BATHROOMS/TOILETS WITH 3 1/2" UNFACED BATT OR CELLULOSE INSULATION.
- SHIELDING AND SHELF AND ROOS TO BE BRACED AT 4'-0" O.C. MAX.
- VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS, TUBS, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT.
- SILL PLATE ANCHORAGE - 1/2" DIAMETER X 18" LONG ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND 12" MAXIMUM FROM CORNERS. ANCHOR BOLTS SHALL BE GROUNDED SOLID IN MASONRY CORNERS, NOT WORMER JOINTS.
- INSULATE ALL PIPING AT EXTERIOR WALLS.
- PROVIDE RECESSED BOX WITH VALVE TO AREA BEHIND REFRIGERATOR FOR ICE MAKER.
- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO CONTROL EXISTING GROUND FAULT CURRENT AT THE SITE.
- ALL WASHING MACHINES AND WATER HEATERS TO BE SET IN A PLASTIC OVERFLOW PAN WITH A DRAIN TO AN EXTERIOR OR APPROVED DISCHARGE.
- GENERAL CONTRACTOR IS REQUIRED TO COORDINATE UNDER CUTTING OF DOOR WITH THE HVAC CONTRACTOR FOR ADEQUATE RETURN AIR FLOW.
- ONLY GALVANIZED STEEL AND OTHER CONNECTORS TO BE USED IN EXTERIOR WOOD FENCES, FENCE STAYS, ETC.
- CLOTHES DRYER EXHAUST SHALL COMPLY WITH THE 2012 VA RESIDENTIAL CODE.
- ALL DIMENSIONS SHOWN ARE ACTUAL AND ARE TO THE FACE OF STUD OR TO FACE OF MASONRY OR CONCRETE. CONTRACTOR TO COORDINATE ACTUAL UN-OUT IN FIELD.
- AT WOOD STUD EXTERIOR CORNERS (WHERE TWO INSULATED WALLS INTERSECT) - REFER TO DETAIL 05 ON SHEET A301.
- WHERE INTERIOR PARTITIONS INTERSECT AN EXTERIOR INSULATED WALL, A LADDER T-WALL FRAMED CORNER SHALL BE CONSTRUCTED. REFER TO DETAIL 04 ON SHEET A301.
- ALL HEADERS SHALL BE INSULATED WITH 1/2" FOAM BETWEEN.

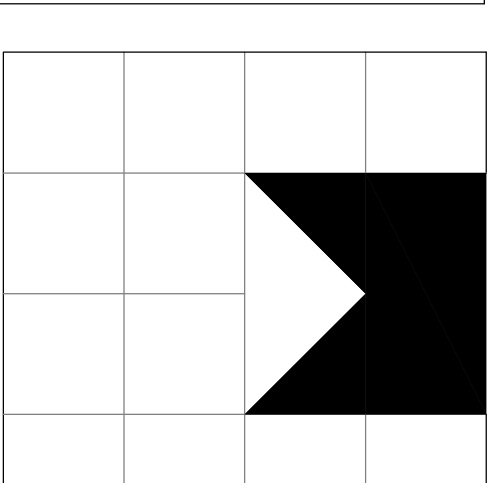
LEGEND

	DOOR NUMBER		LUMBER (IN SECTION)
	WINDOW TYPE		NEW WOOD STUD WALL (PLAN)
	SECTION		EXISTING WOOD STUD WALL (PLAN)
	BATT INSULATION		PLYWOOD
	BRICK (IN SECTION)		CONCRETE (IN SECTION)
	C. M. U. (PLAN/SECTION)		NOT IN CONTRACT
			UNLESS NOTED OTHERWISE
			OUT TO OUT

new single family residence

PREPARED FOR PROJECT:HOMES

DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948



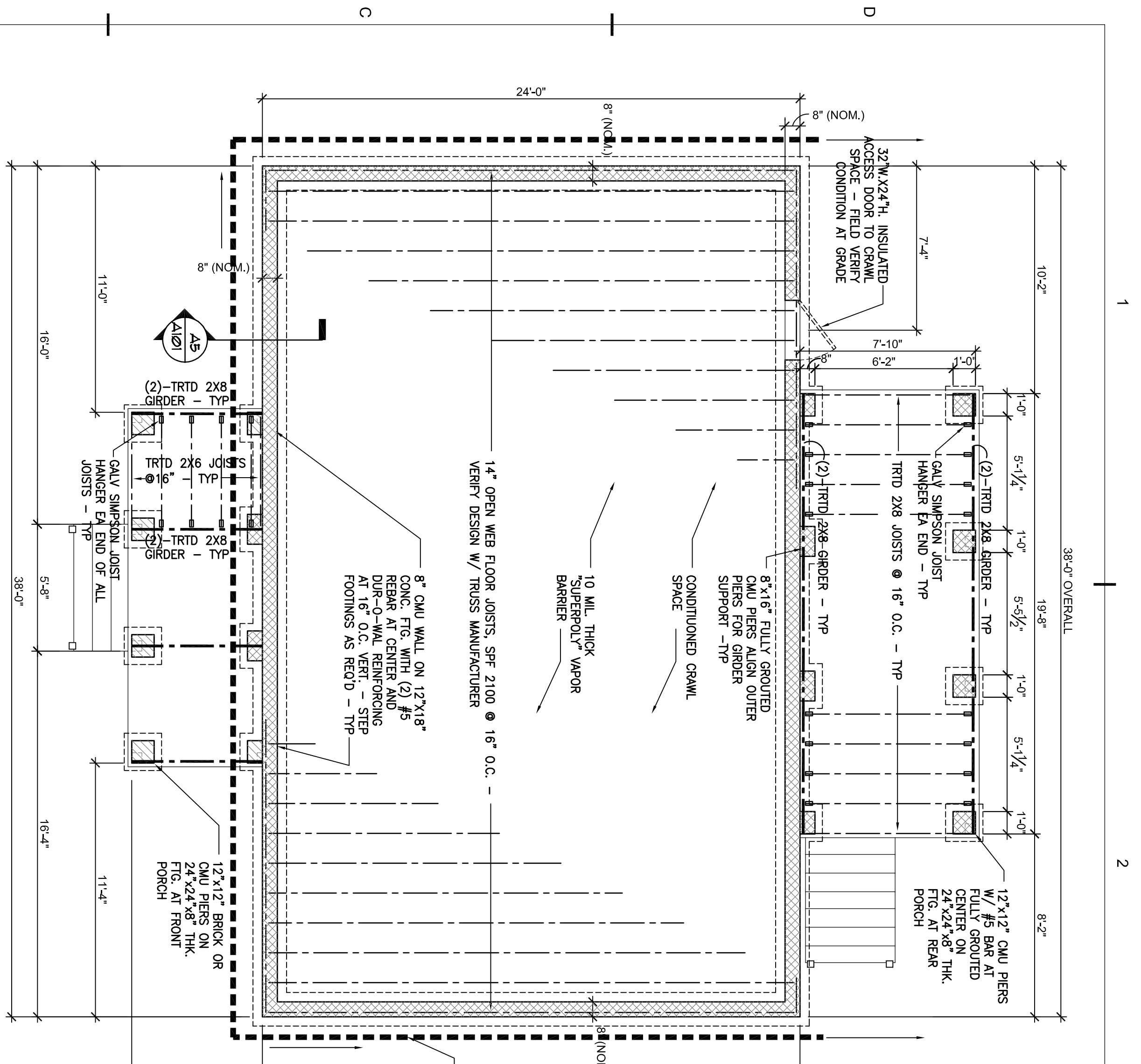
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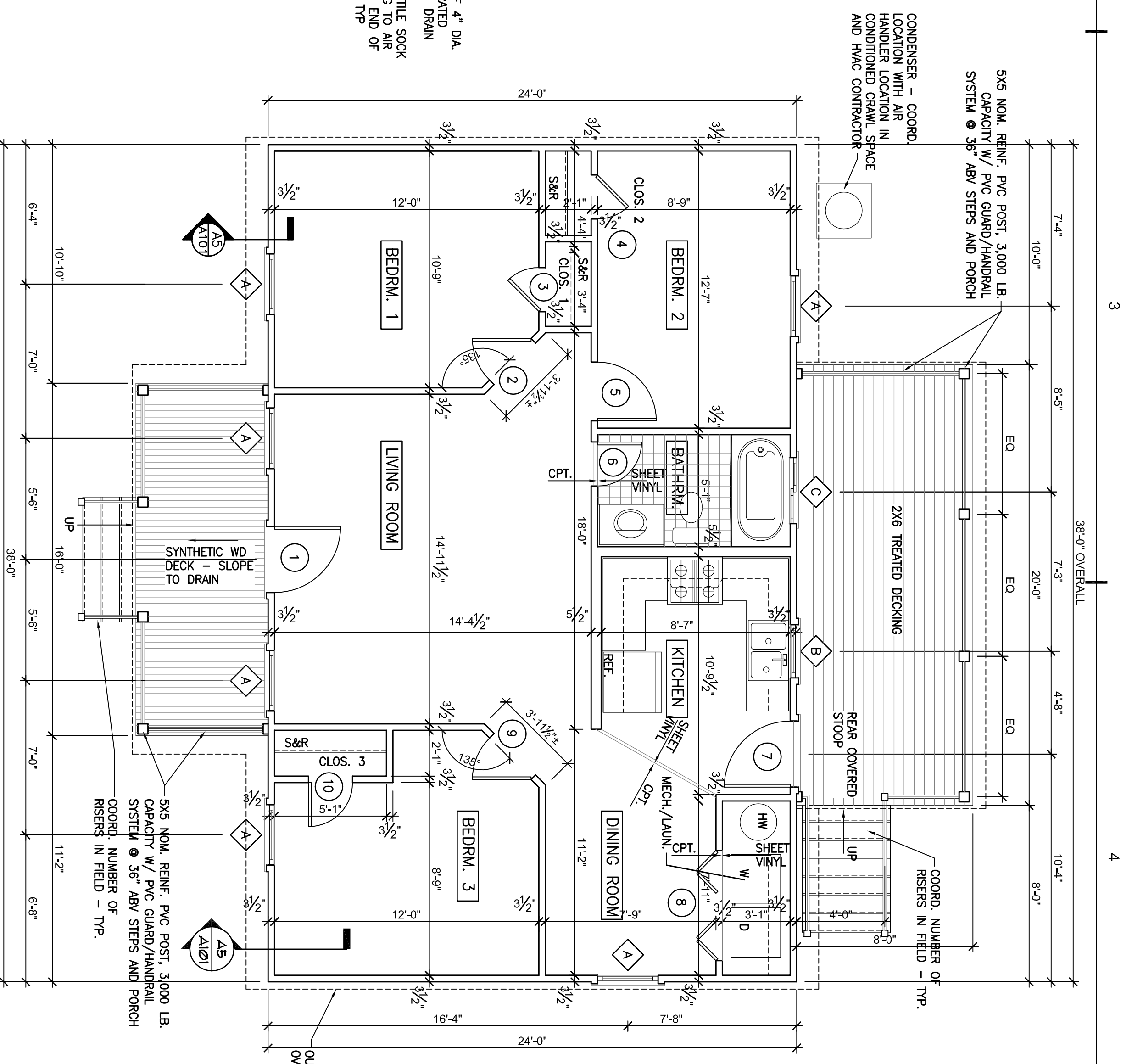
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Sheet	1 of 4
A-001	
© COPYRIGHT 2019	



B1 FOUNDATION/FRAMING PLAN
1/4" = 1'-0"

B3 FIRST FLOOR PLAN
1/4" = 1'-0"



MARK	DOOR			FRAME			DETAIL			HARDWARE	NOTES			
	SIZE	MATL	TYPE	MATL	TYPE	DEPTH	HEAD	JAMB	THRS			RATING LABEL	SET NO	KEY/SIDE
1	3'-0"	6'-8"	1.5B*	STL	6 PANKL	WD	4 1/2"						EXT	INSULATED
2	2'-8"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								
3	2'-4"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								
4	2'-4"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								
5	2'-8"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								
6	2'-4"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								
7	3'-0"	6'-8"	1.5B*	STL	6 PANKL	WD	4 1/2"							EXT
8	PR-2/6"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								
9	2'-8"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								
10	2'-4"	6'-8"	1-3/8"	MLDDED 6 PANKL	WD	4 1/2"								

WINDOW SCHEDULE

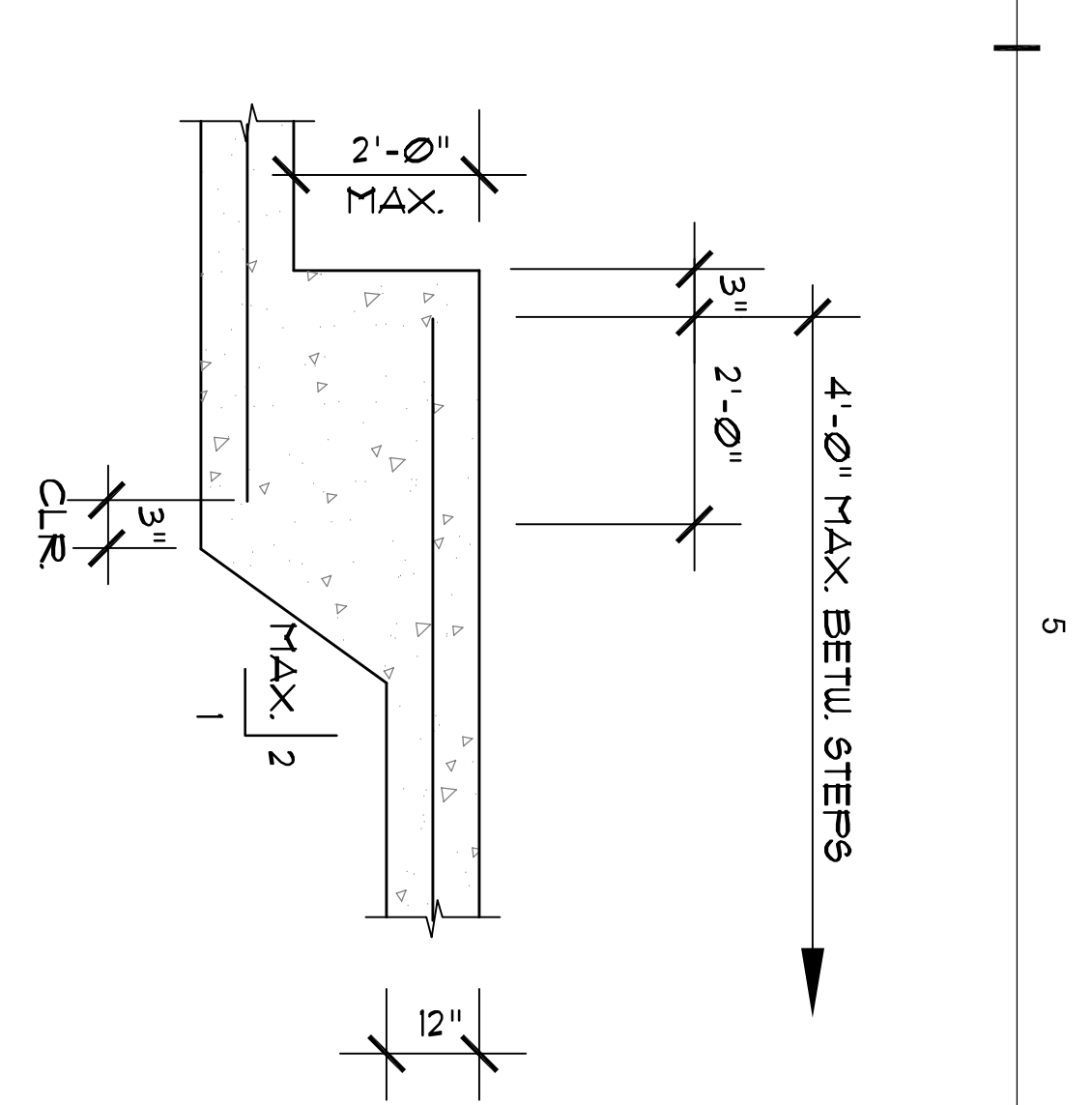
MARK	WINDOW			FRAME			DETAIL			HARDWARE	NOTES		
	SIZE (R/OUGH OPENING)	CONTRACTOR TO VERIFY	MATL	TYPE	DEPTH	HEAD	JAMB	SILL	RATING LABEL			SET NO	KEY/SIDE
A	2'-8" x 5'-2"	3'-4"	65-25*	4 1/2"	PVC								INSULATED - LOW E ARGON FILLED
B	2'-4" x 3'-2"	3'-0"	41-25*	4 1/2"	PVC								INSULATED - LOW E ARGON FILLED
C	3'-0" x 1'-4"	VERIFY	4 1/2"	PVC									TEMPERINSUL - VERIFY SILL CLEANS

- WINDOW NOTES:**
- ALL WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS
 - ALL WINDOWS WILL BE PROVIDED WITH AND HAVE INSTALLED INTEGRAL 1x4 PVC OR HARDI TRIM AT EXTERIOR JAMBS AND HEAD.
 - PROVIDE SAFETY GLAZING IN ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER IRC 2012, SECTION 308.4.
 - WINDOWS SHALL BE BY 1 LEGACY™ WHITE, EXTENDED PVC DOUBLE HUNG, TILT & SLASH, LOW E GLAZING, OR EQUIVALENT.
 - VERIFY THAT WINDOWS INDICATED AT BEDROOMS MEET EMERGENCY EGRESS REQUIREMENTS

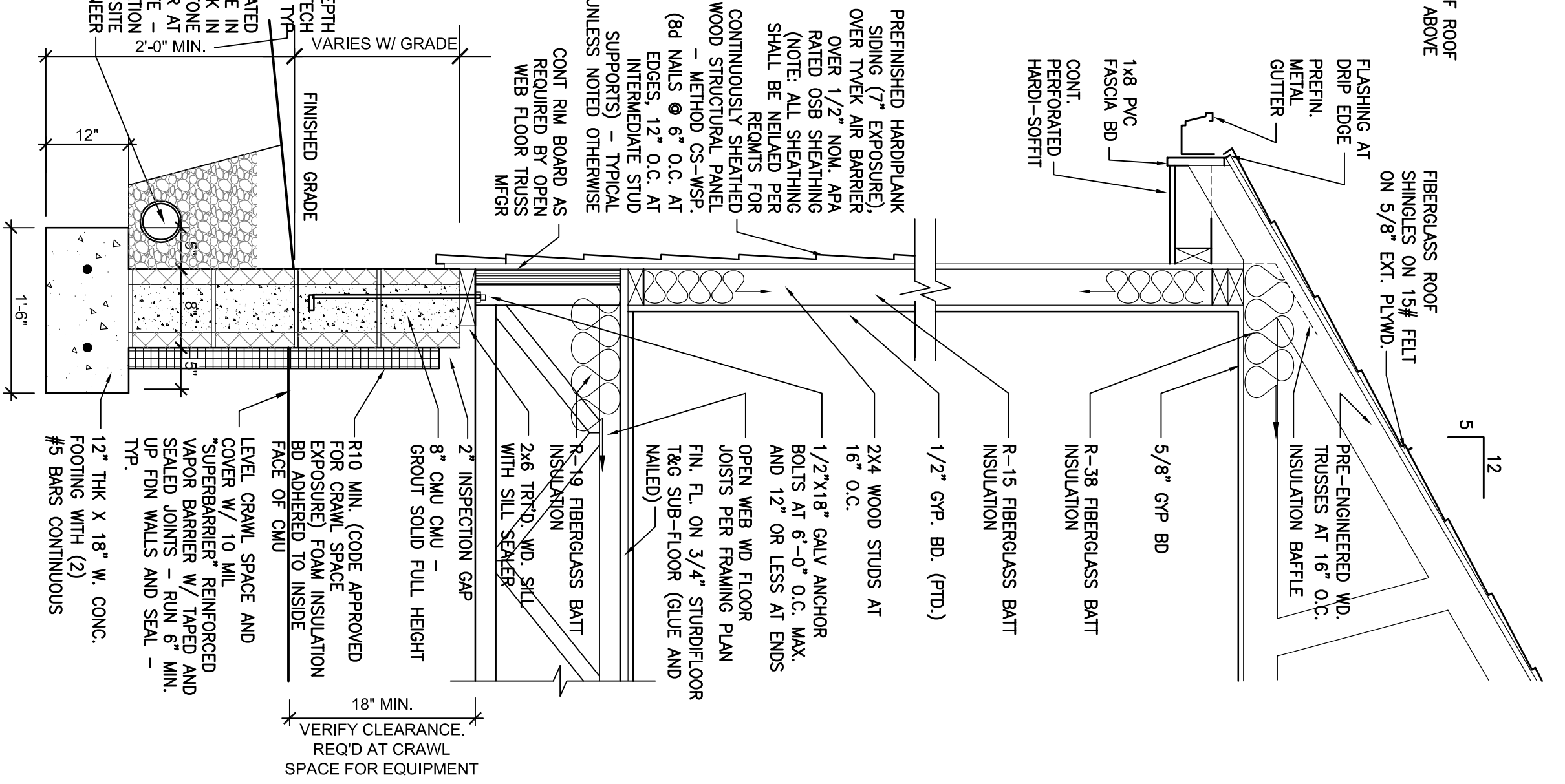
ROOM NO.	ROOM NAME	FLOOR			WALLS			CEILING			NOTES
		BASE	FLOOR	N	S	E	W	MATL	HEIGHT		
	LIVING ROOM	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	BEDRM 1	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	BEDRM 2	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	BEDRM 3	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	BATHROOM	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	KITCHEN	WD	SH. VINYL	PT	PT	PT	PT	GWB	8'-0"		
	DINING ROOM	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	CLOSET 1	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	CLOSET 2	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		
	CLOSET 3	WD	CPT	PT	PT	PT	PT	GWB	8'-0"		

FINISH SCHEDULE LEGEND

- CPT: CARPET AS SPECIFIED
- GWB: GYPSUM WALL BOARD AS SPECIFIED
- PT: PAINT AS SPECIFIED
- WD: WOOD



D5 STEPPED FOOTING DETAIL
NOT TO SCALE



A5 TYPICAL SECTION
1" = 1'-0"

DAVID R. WINN, LLC
residential design
10133 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

new single family residence

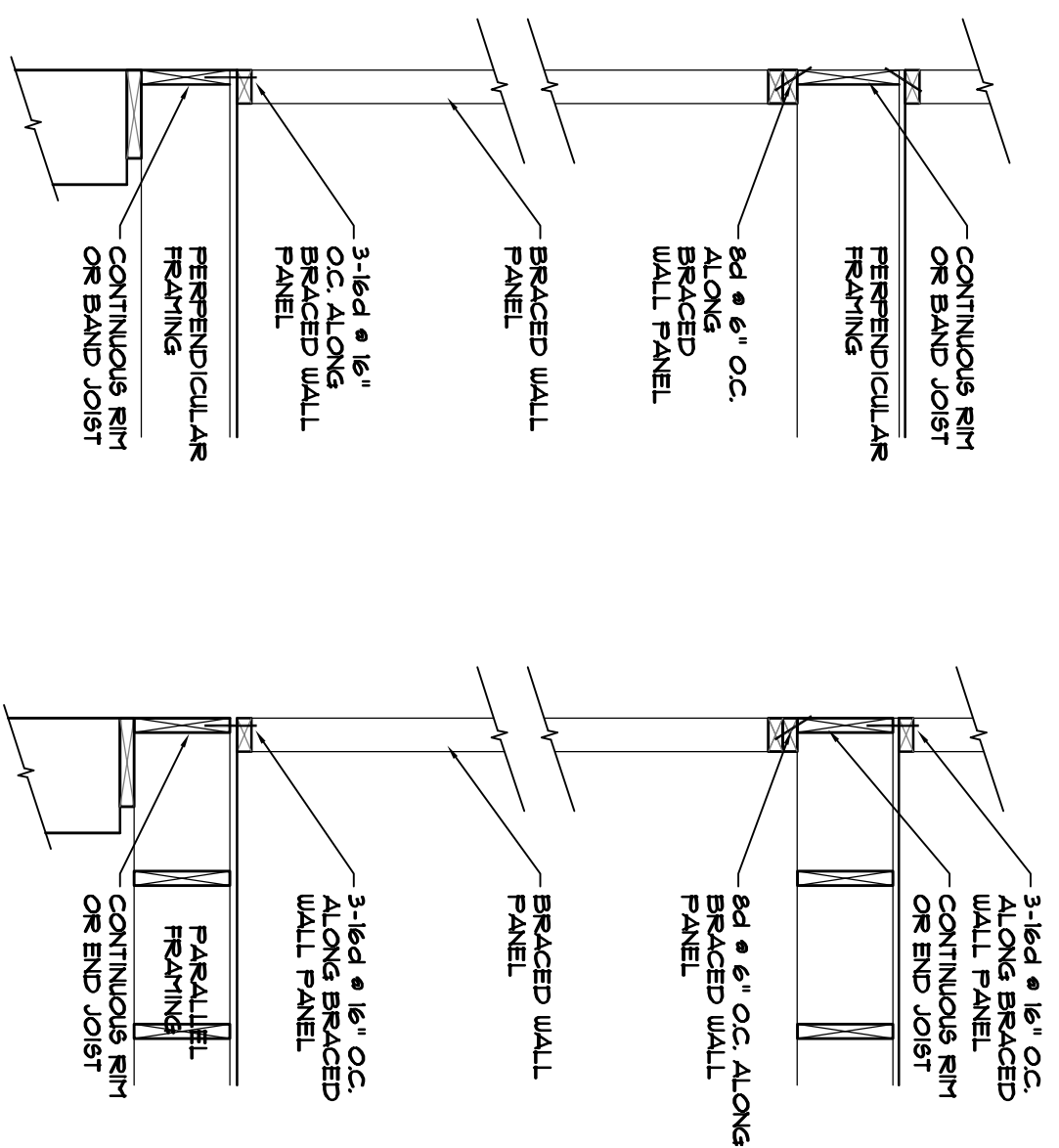
PREPARED FOR PROJECT: HOMES

Job #:	2019-0014
date:	08.15.19
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Mark:	
date:	
description:	

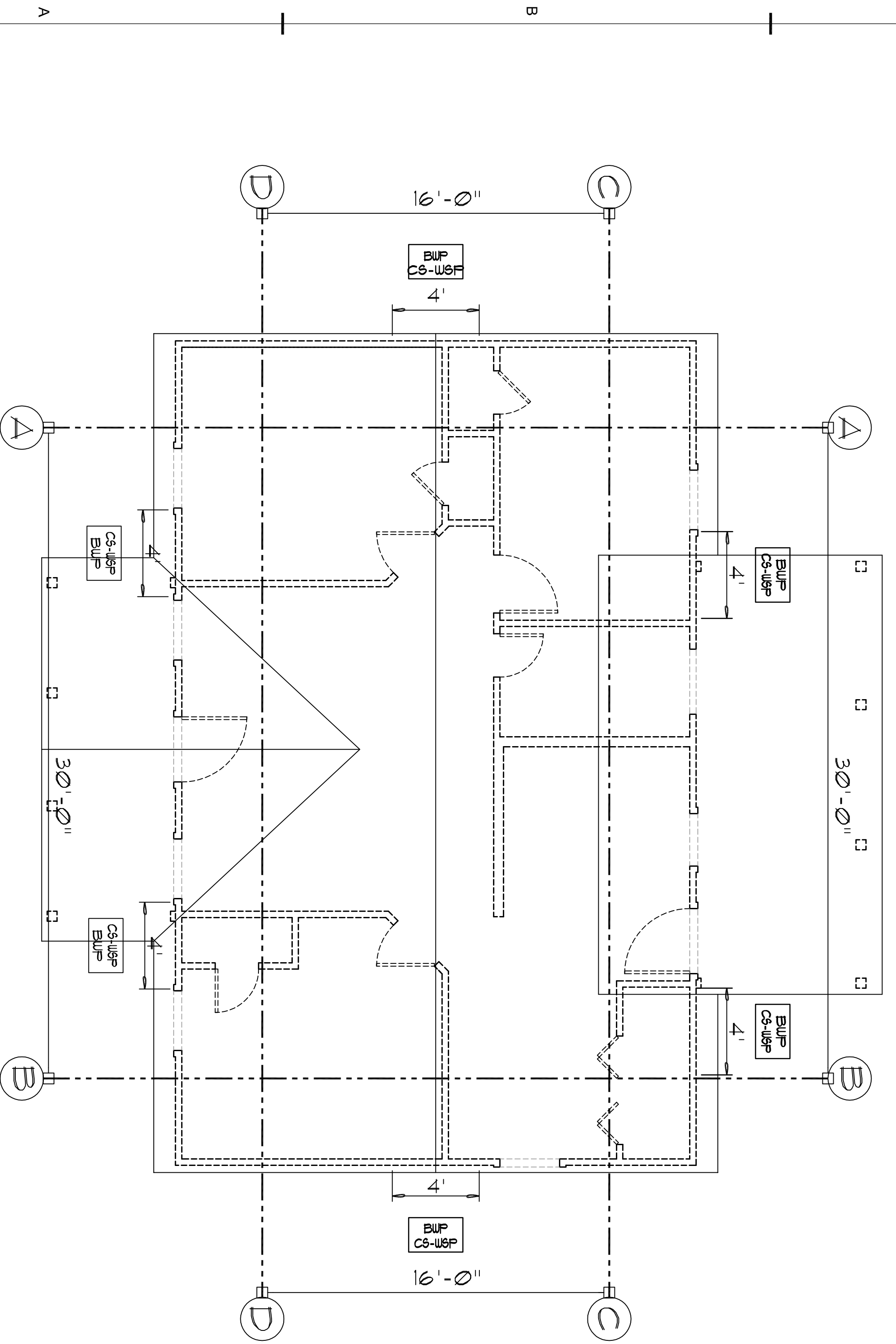
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**FIRST FLOOR/
FDN PLAN
SCHEDULES
AND SECTION**

A101

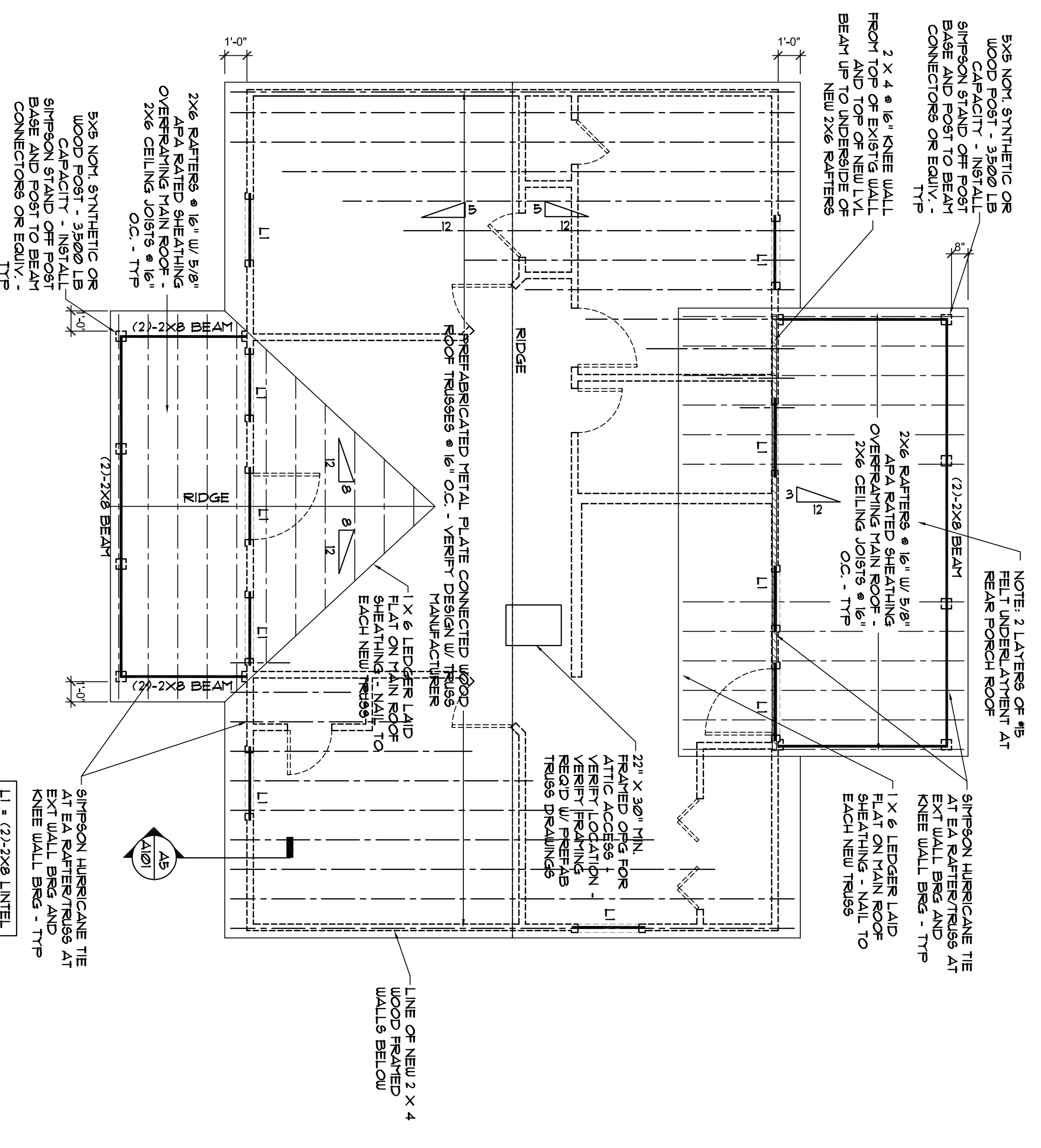
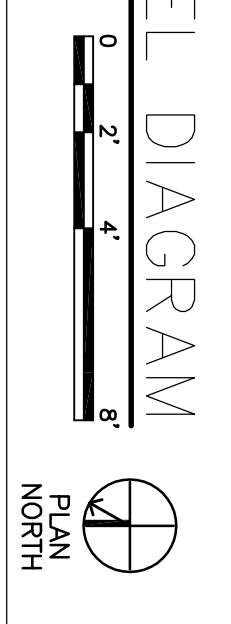
Sheet 2 of 4
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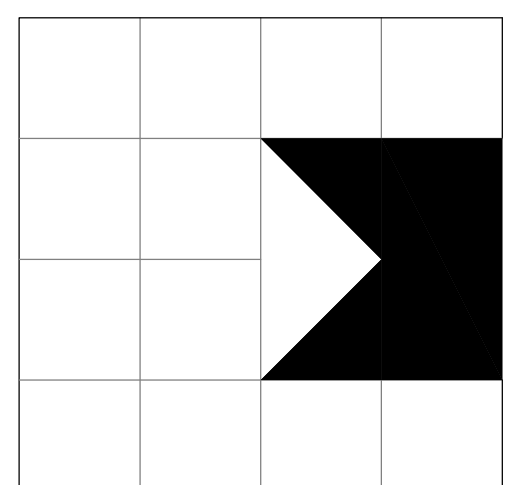
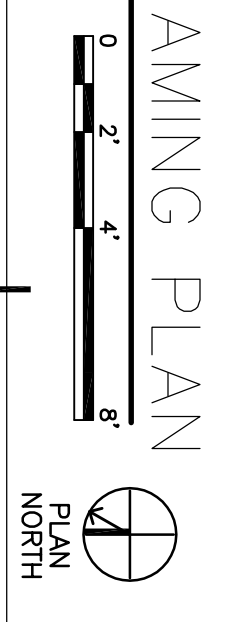
D1 BRACED WALL
PANEL CONNECTIONS
NOT TO SCALE



A1 BRACED WALL PANEL DIAGRAM
1/4" = 1'-0"



A4 ROOF FRAMING PLAN
1/4" = 1'-0"



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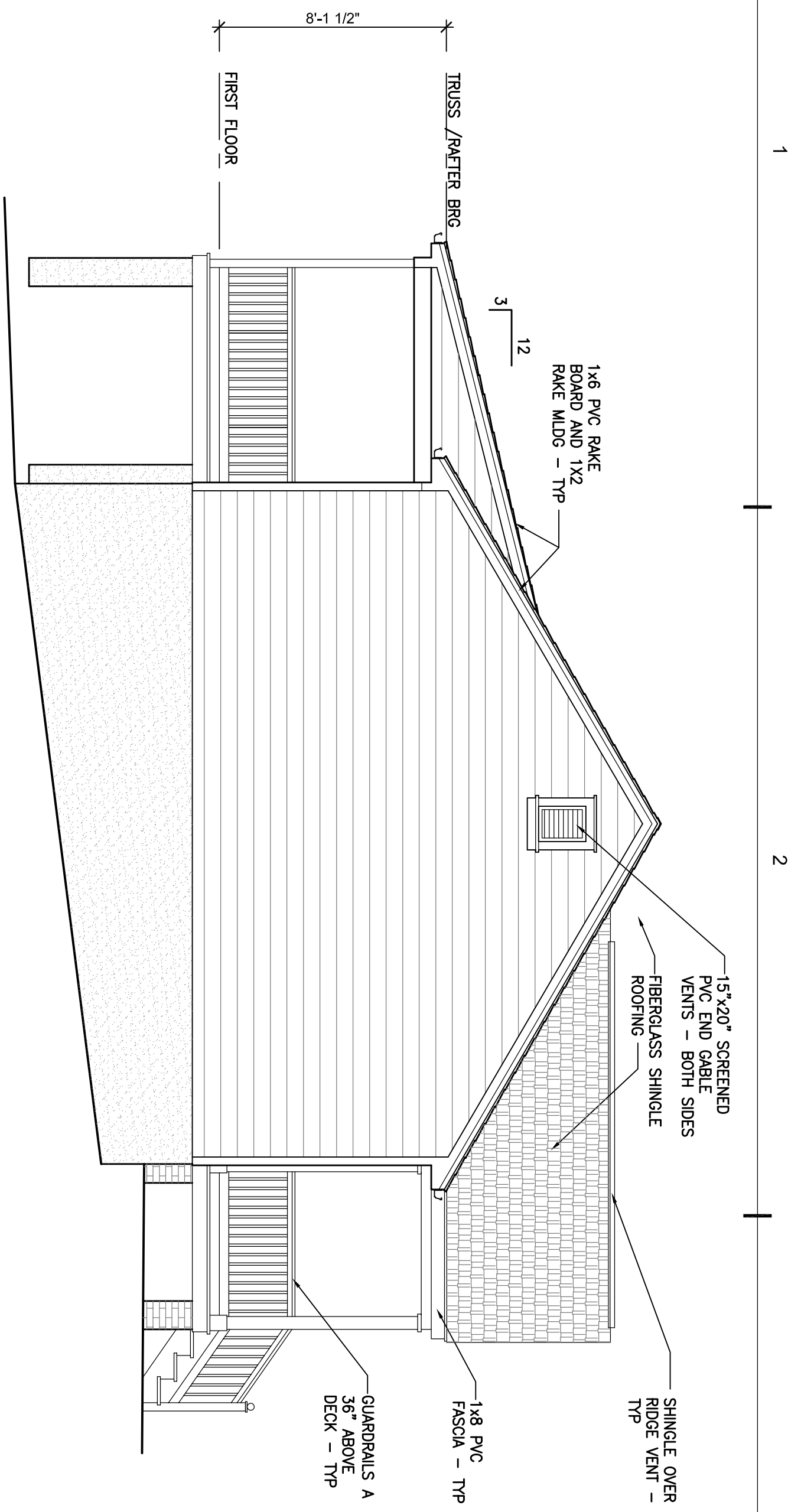
new single family residence

PREPARED FOR PROJECT: HOMES

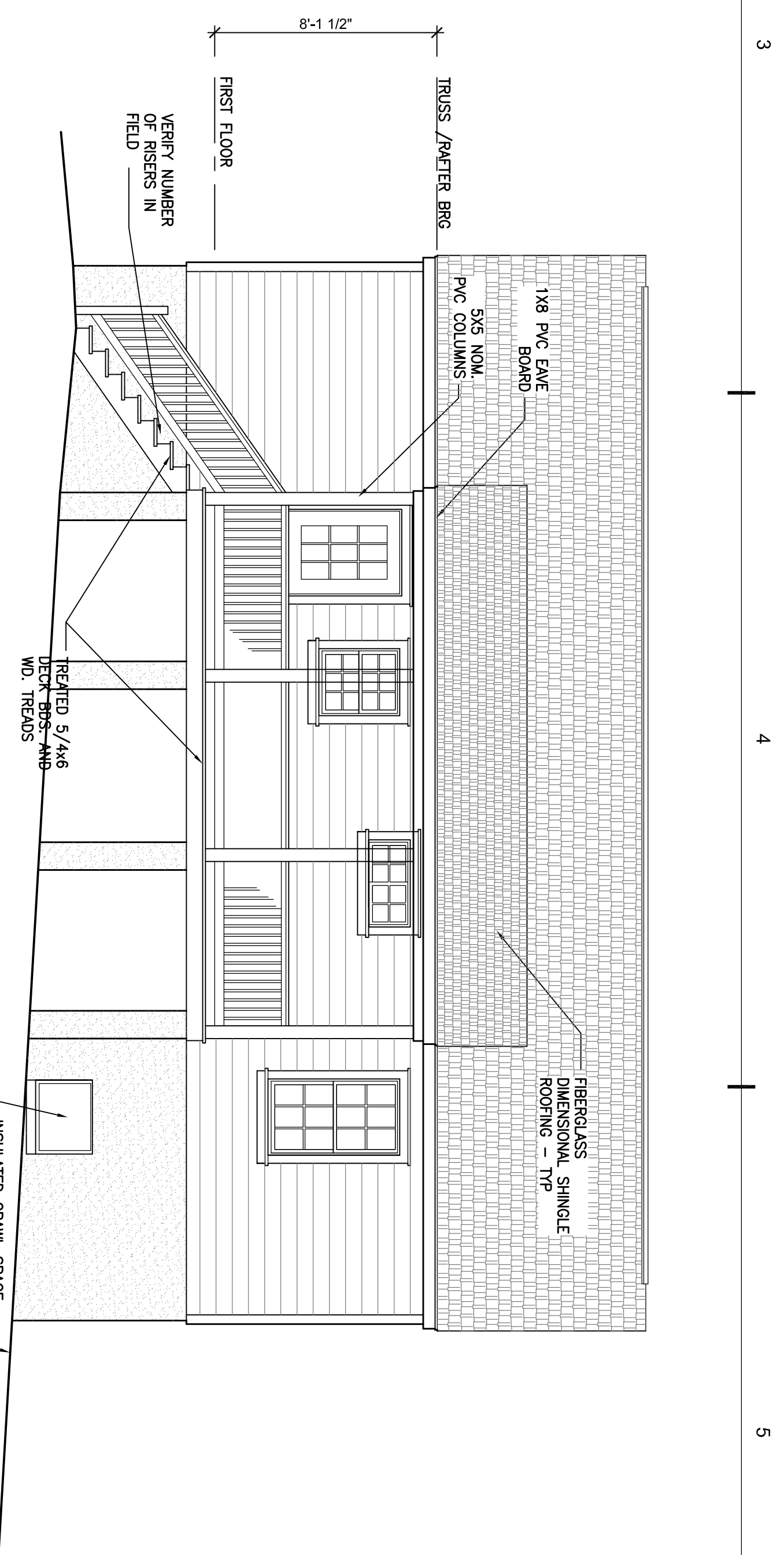
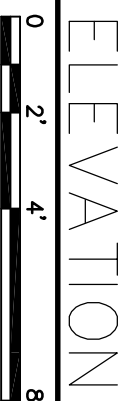
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Job #: 2019-90114
 Date: 08/15/19
 ch: Kcd
 dwg: A102.DWG
 cad #: 102

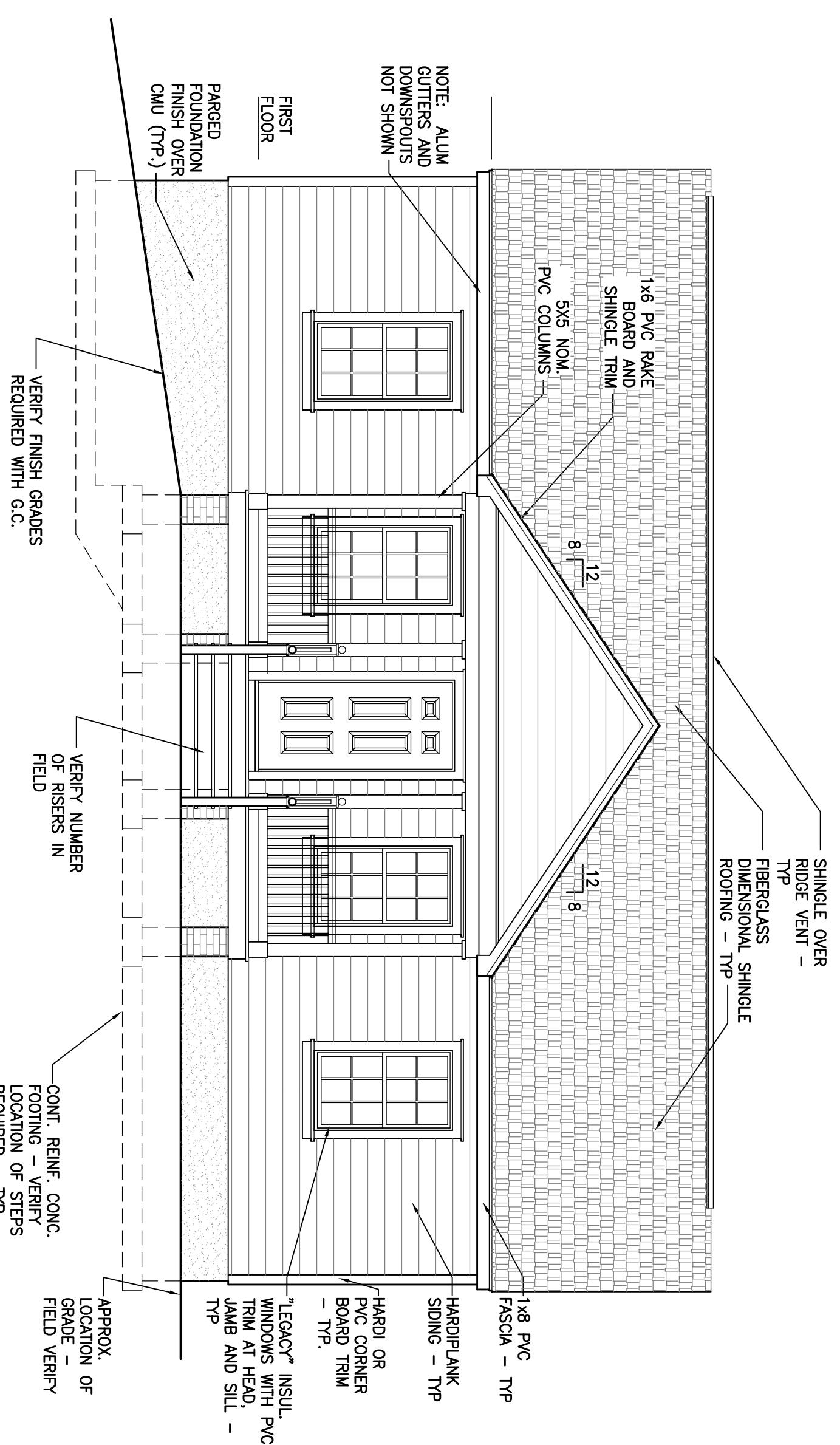
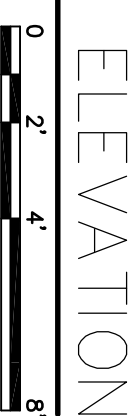
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**ROOF FRAMING
 PLAN / BRACED
 WALL PANEL
 DIAGRAM**



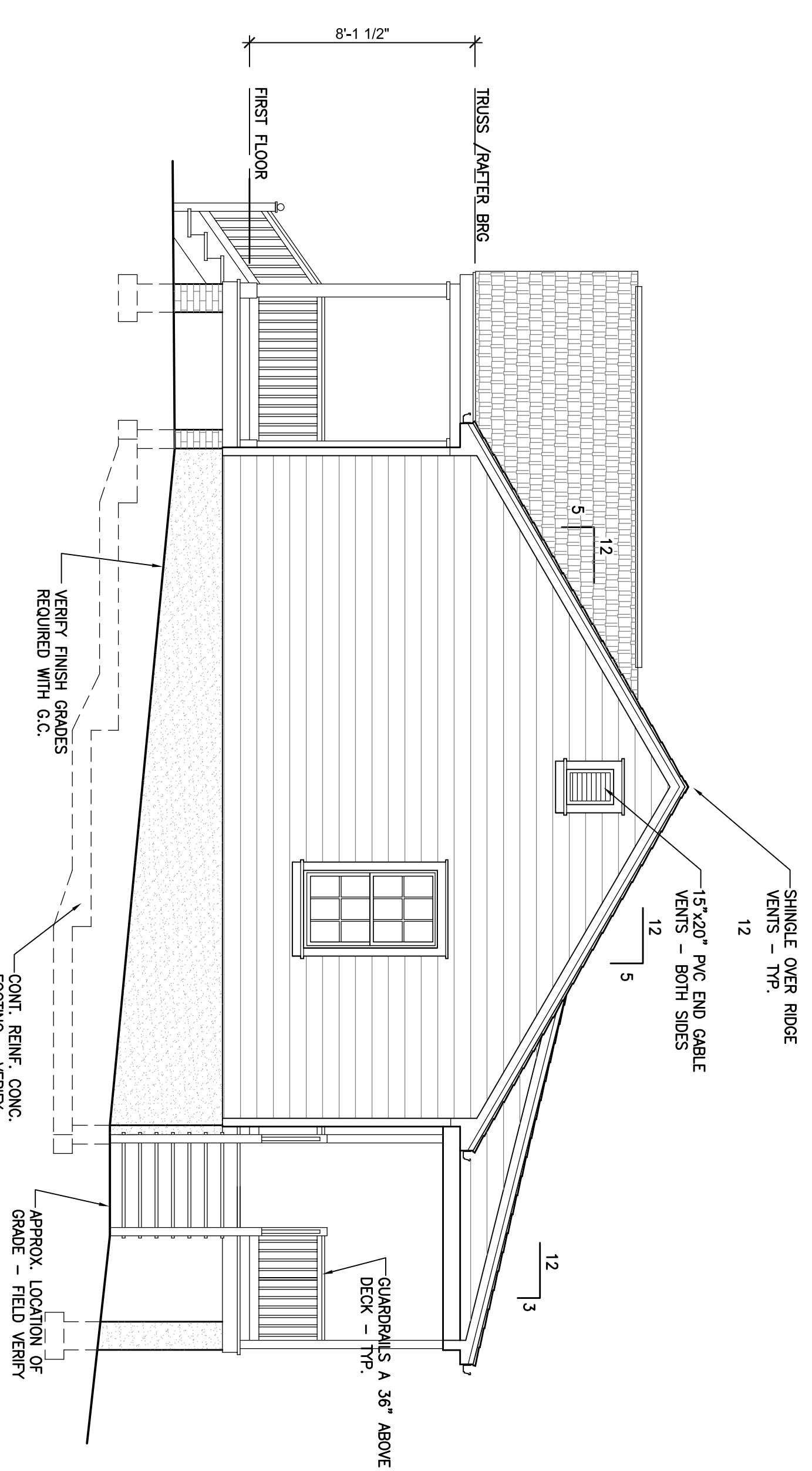
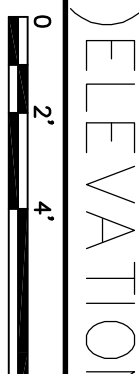
C1 LEFT SIDE ELEVATION
1/4" = 1'-0"



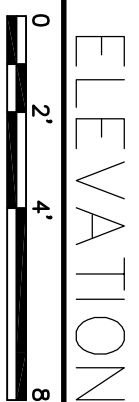
C4 REAR (SOUTH) ELEVATION
1/4" = 1'-0"



B1 FRONT (NORTH) ELEVATION
1/4" = 1'-0"



B4 RIGHT SIDE ELEVATION
1/4" = 1'-0"



STRUCTURAL NOTES

1. THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE FOUNDED ON NATURAL UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING A SAFE ALLOWABLE BEARING CAPACITY OF 2000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL. DESIGN CODES: 2012 VIRGINIA RESIDENTIAL CODE

ALL FOUNDATION AND FOOTING WORK SHALL BE PERFORMED TO CONFORM WITH CHAPTER 4 OF 2012 VIRGINIA RESIDENTIAL CODE.

NEW FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. 107" ALL BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN.

BEFORE PLACING GROUT/CORRELL.

ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU. NOT THE COLLAR JOINT.

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORING ALL NEW FOUNDATION WALLS AND STRUCTURES UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.

3. MATERIALS:

- CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH = 3000 PSI
- GROUT/CORRELL: ASTM C416, 9" - 11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH.
- REINFORCING STEEL: BARS - ASTM A615, GRADE 60
- WUF - ASTM A955

4. TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE WITH A LIQUOR AND PESTICIDE CONTROL COMPANY USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.

5. PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACO). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.

6. APPROX. LOCATION OF GRADE - FIELD VERIFY

7. APPROX. LOCATION OF GRADE - FIELD VERIFY

8. APPROX. LOCATION OF GRADE - FIELD VERIFY

9. APPROX. LOCATION OF GRADE - FIELD VERIFY

10. APPROX. LOCATION OF GRADE - FIELD VERIFY

1. FOR ALL CONCRETE WORK CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 302 CODE-CURRENT EDITIONS

2. FOR ALL STRUCTURAL MASONRY CONSTRUCTION, CONFORM TO ALL APPLICABLE SECTIONS OF ACI 530J CODE-CURRENT EDITION.

3. DESIGN LOADS:

- GROUND SNOW LOAD: 20 PSF
- MIN. ROOF LIVE LOAD: 20 PSF
- WIND SPEED / EXPOSURE: VUL = 115 MPH, VARD = 89 MPH / EXPOSURE B
- FLOOR SYSTEM DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF
- LOADING CONDITION MINIMUM WITH LL DEFLECTION = L/360 MAXIMUM

4. PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS. DOUBLE STUDS AT ALL WINDOW AND DOOR LINTELS.

5. VERIFY ALL FLOOR JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE FIELD.

6. PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY SIMPSON STRONG TIE AT ROOF RAFTER BEARINGS.

7. PROVIDE WOOD LINTEL & AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.

new single family residence

PREPARED FOR PROJECT: HOMES

DAVID R. WINN, LLC
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Sheet title
BUILDING ELEVATIONS / STRUCTURAL NOTES

mark	date	description
	08.15.19	PERMIT SET

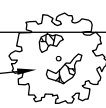
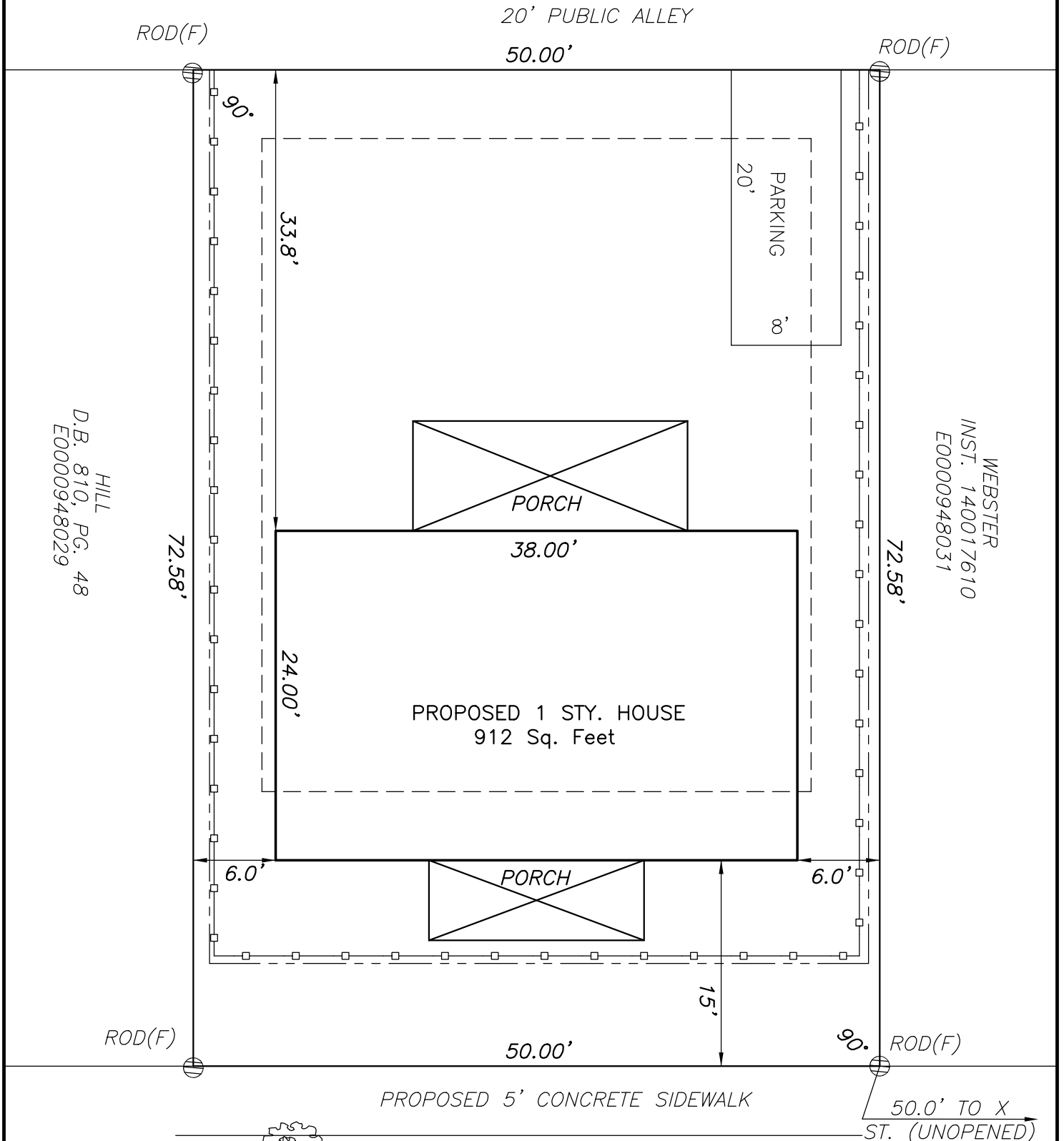
job # 2019-0014
dwg 4201.0WG
date 08/15/19

ADDRESS: 1626 N 27TH
 PARCEL: E0000948030
 ZONED R-5
 SETBACKS
 FRONT: 25'
 SIDE: 5'
 REAR: 5'
 LOT SIZE: 3629 SQ. FT.

AREA OF DISTURBANCE: 3125 Sq. Feet
 ONCE CONSTRUCTION IS COMPLETE SITE
 IS TO BE PERMANENTLY SEEDED.



- SET BACKS
- SILT FENCE
- LIMITS OF DISTURBANCE



PROPOSED TREE TO BE DETERMINED PER URBAN FORESTRY GUIDE

N 27TH STREET
 VAR. WIDTH PUBLIC R/W
SITE PLAN
1626 N 27TH STREET
 CITY OF RICHMOND
 VIRGINIA

LONG SURVEYING, LLC
 4650 FACTORY MILL ROAD
 MAIDENS, VA 23012
 804-314-5620

JAN. 9, 2021
 SCALE: 1"=10'

Last Revised: January 7, 2022
 FOR: PROJECT HOMES