



# Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510  
Richmond, VA 23219 | (804)-646-7550  
[www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review)



### Property (location of work)

Address: 3203 Monument Ave. Richmond, VA 23221

Historic District: Monument Ave.

### Applicant Information Billing Contact

Name: Warren Davies

Email: wdavies@vamasonryrestoration.com

Phone: 804-519-5171

Company: Virginia Masonry Restoration

Mailing Address: P.O. Box 6749

1800 Roseneath Rd., Richmond, VA 23230

Applicant Type:  Owner  Agent  Lessee

Architect  Contractor  Other (specify):  
\_\_\_\_\_

### Owner Information Billing Contact

Same as Applicant

Name: Samuel W. Daniel

Email: SWD@danielco.net

Phone: 804-840-1544

Company: n/a

Mailing Address: \_\_\_\_\_

3203 Monument Ave. Richmond, VA 23221

**\*\*Owner must sign at the bottom of this page\*\***

### Project Information

Project Type:  Alteration  Demolition  New Construction (Conceptual Review Required)

Description (attach additional sheets if needed):


Rebuilding failed front entrance masonry- See attached narrative, renderings, and architectural drawings.

### Acknowledgement of Responsibility

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner  Date 25 Feb 22



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** \_\_\_\_\_

### BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

### ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



## Virginia Masonry Restoration

# Masonry Assessment

Virginia Masonry Restoration  
P.O. Box 6749  
1800 Roseneath Rd.  
Richmond, VA 23230  
Contractor License #: 2705155443 Class A

February 24, 2022

Attn: Alex Dandridge, Secretary  
Commission of Architectural Review

Project: 3203 Monument Ave.  
Richmond, VA 23221  
Monument Ave. Old and Historic District

Owner: Samuel W. Daniel

Subject: Assessment of Existing Structure and Recommendations for Rehabilitation

Prepared by: Warren Davies

### **Introduction**

3203 Monument Ave. is a Georgian Revival style house built in 1910 with a front entrance that is elevated approx. 5' above the city sidewalk. This application is for design approval to replace the failed masonry structures that combine to contain the elevated landscape elements and provide access to the porch and main entrance to the house, specifically:

1. (2) Brick retaining walls adjacent to the city sidewalk.
2. Concrete steps between the city sidewalk and the porch.
3. Concrete porch deck.

These elements are not original to the house and are in fact inconsistent with the building style. Our intent is to remove these structures and replace them with material and design that is more appropriate to a Georgian Revival style house while maintaining their current footprint.

### **Existing Conditions**

#### Brick Retaining Walls

The existing brick retaining walls appear to have been built during the 1950s or 1960s. The brick are typical of brick of that time period and the mortar joints were tooled with a round jointer which was not used anywhere else on the house.

The walls have been painted white by previous owners. The paint has peeled regularly over the years which has created a maintenance problem and the paint is not allowing the masonry to breathe so the mortar between the layers of brick has started to deteriorate at an accelerating rate.

The walls have structural cracks caused by the hydrostatic pressure of water saturated within the retained soil. At some point attempts were made to salvage the wall with tension bars anchored into the yard behind the wall but the structure has continued to crack and is in fact leaning out into the city sidewalk.

### Concrete Steps

The concrete steps have significant structural cracks, but the larger objection is to the inconsistency of the tread depths and the riser heights. Some riser heights are close to 9” while others are closer to 6”. These steps are dangerous and do not meet code. The steps appear to have been rehabilitated in the past by adding thin layers of cement to hide the failed concrete below.

### Concrete Porch Deck

The porch deck is not original. The concrete has a large structural crack in the middle, and it has settled to create a “bowl” where water collects during driving rains. The porch has been patched in the past with concrete leveling cement, but the patching was poorly executed and doomed to fail due to the movement of the slab below.

## **Determination of Scope**

The project was originally intended to be performed in phases and started with a primary focus on the retaining walls because they are failing and so incongruent with the rest of the house, however, during the planning it became clear that it would be very difficult to rehabilitate the porch and steps once the new walls were built. It was also determined that leaving some inappropriate style elements in place might complicate the review process because it would be difficult to present a cohesive design.

## **Design Materials**

The design relies on the use of brick and granite. The brick will be unpainted handmade wood molds that match the common brick on the house and chimneys. The mortar will be a traditional lime mortar and the joints will also match the joints on the house and chimneys in both color and profile.

The granite is a light gray granite that matches granite walls and entrances throughout Monument Ave. and the Fan District.

## **Brick and Granite Wall Design**

The walls will be much lower than the existing walls so that they are less prominent. The yard grade will be adjusted to meet the height of the lower walls. The new walls will sit on new concrete footings as shown in the attached drawings and the back side of the wall will have a gravel drain field to control water that is carried from the yard. This drain field, combined with the lowering of the wall will prevent the wall from being pushed over by hydrostatic pressure in the future.

There are some small columns at the ends of each wall. These provide an ornate element common to Georgian Revival style, but they also serve to create more elegant transitions from the side walls to the front walls where higher retaining walls are needed adjacent to the existing steps. (See attached rendering SK-3).

The granite capstones are 4” thick material intended to tie into the quoins on the house façade and to maintain the style of many other entrances on homes along Monument Ave.

The walls on either side of the new steps will have a minimal projection above grade as needed to encapsulate the step treads.

## **Front Porch Design**

The brick walls supporting the existing porch concrete will remain in place with minor repairs as needed using lime mortar. The paint will be removed from the brick walls to expose the original brick surface. The intent is to tie the design of the new retaining walls into the original porch design. The new brick will be the same color as the existing porch brick.

The existing porch has a concrete “coping stone” appearance. The new porch will maintain that appearance with large units of granite coping. The new porch concrete will be covered with granite paving.

## **Summary**

The new structures will be built in the exact footprint of the existing elements with a design style more appropriate to the period and consistent with the material and design of many other houses on Monument Ave.

Thank you,

Warren Davies  
Virginia Masonry Restoration



Structural Cracks at Front Retaining Wall- Right Side



Structural Cracks and Separation of Masonry at Front Retaining Wall- Left Side



Concrete Steps Showing Previous Repair Attempts





Concrete Steps Showing Inconsistent Treads/Risers and Structural Cracks



Retaining Wall Leaning into City Sidewalk



Top of Porch Showing Structural Cracks and Sunken "Bowl"



# SAMUEL W. DANIEL RESIDENCE

## FRONT ENTRANCE STEPS AND RETAINING WALL

3203 MONUMENT AVE.  
RICHMOND, VIRGINIA 23221



FRONT ENTRANCE  
STEPS AND  
RETAINING WALL

DATE:  
24 FEBRUARY 2022

DRAWING TITLE:  
COVER SHEET

CS



Virginia Masonry



Restoration

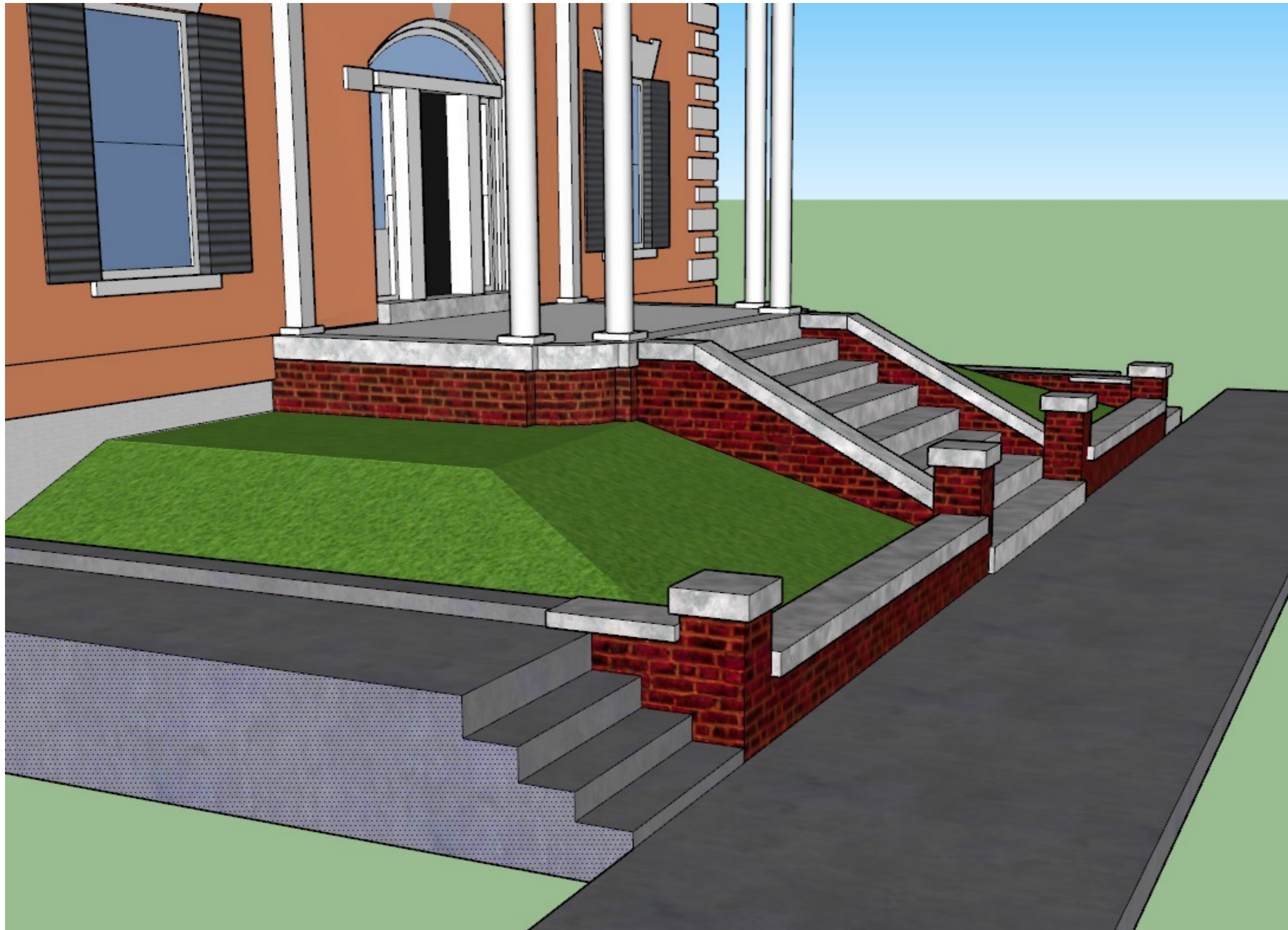
1800 ROSENEATH RD.  
RICHMOND, VA 23230  
P: 804-519-5171  
WWW.VAMASONRYRESTORATION.COM

**FRONT ENTRANCE  
STEPS AND  
RETAINING WALL**

DATE:  
24 FEBRUARY 2022

DRAWING TITLE:  
VIEW FROM  
CENTER  
LOOKING  
SOUTH

**SK-1**



Virginia Masonry



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FRONT ENTRANCE  
STEPS AND  
RETAINING WALL

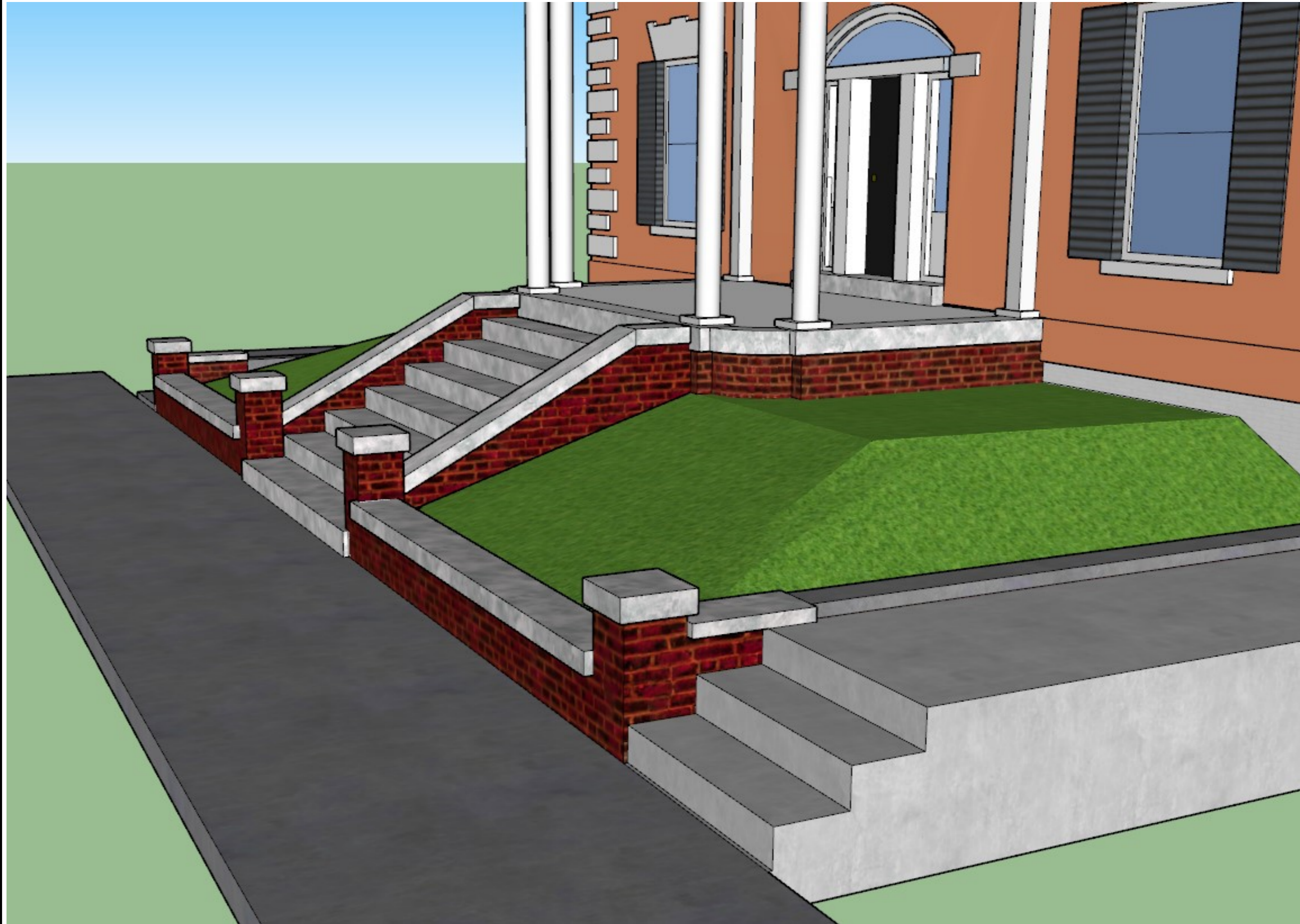
DATE:

24 FEBRUARY 2022

DRAWING TITLE:

VIEW FROM  
LEFT ANGLE  
LOOKING  
SOUTH WEST

SK-2



Virginia Masonry



Restoration

1800 ROSENEATH RD.  
RICHMOND, VA 23230  
P: 804-519-5171  
WWW.VAMASONRYRESTORATION.COM

FRONT ENTRANCE  
STEPS AND  
RETAINING WALL

DATE:  
24 FEBRUARY 2022

DRAWING TITLE:  
VIEW FROM  
RIGHT ANGLE  
LOOKING  
SOUTH EAST

SK-3



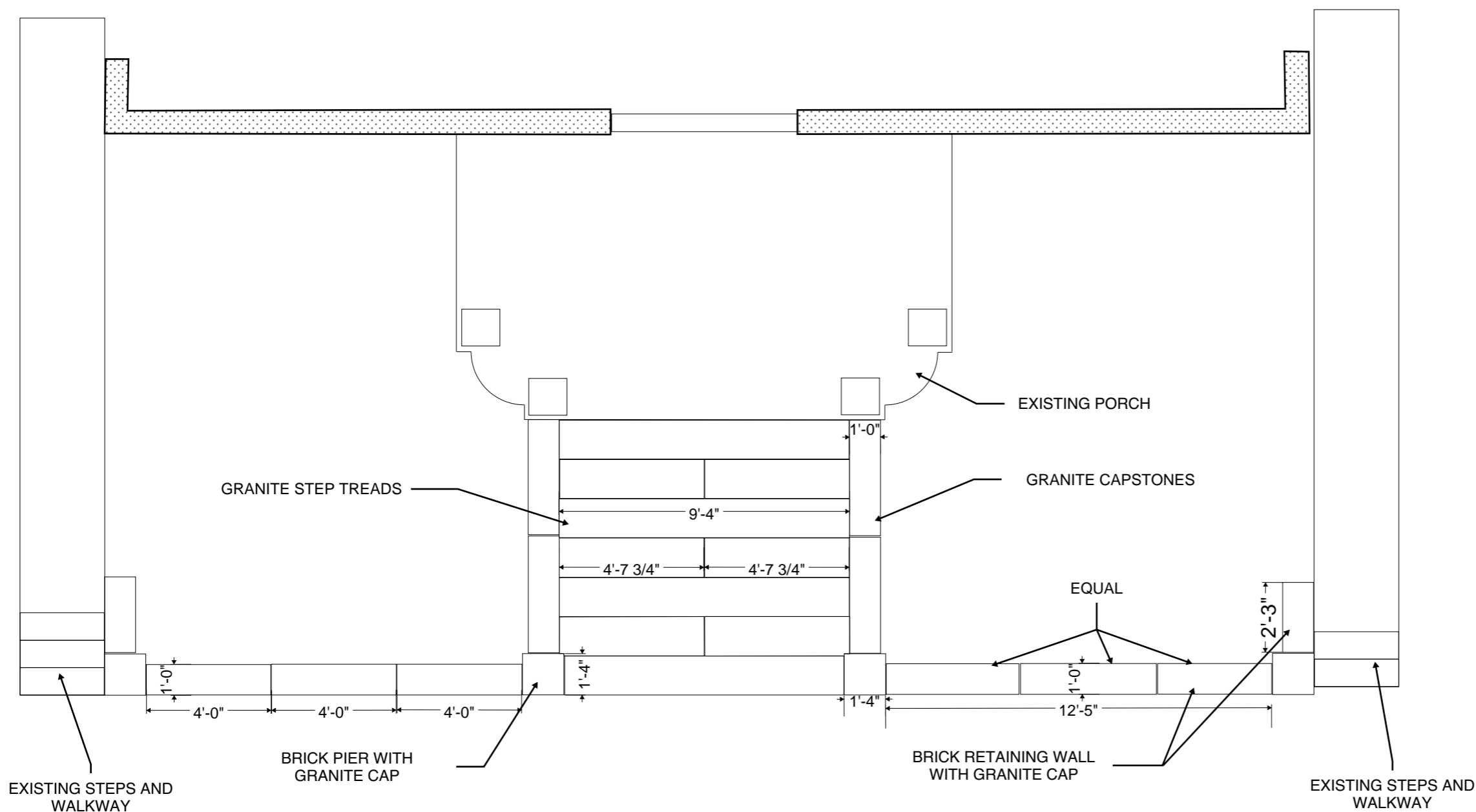
**FRONT ENTRANCE  
STEPS AND  
RETAINING WALL**

DATE:  
24 FEBRUARY 2022

DRAWING TITLE:

SITE PLAN

**A1.0**



**SITE PLAN**



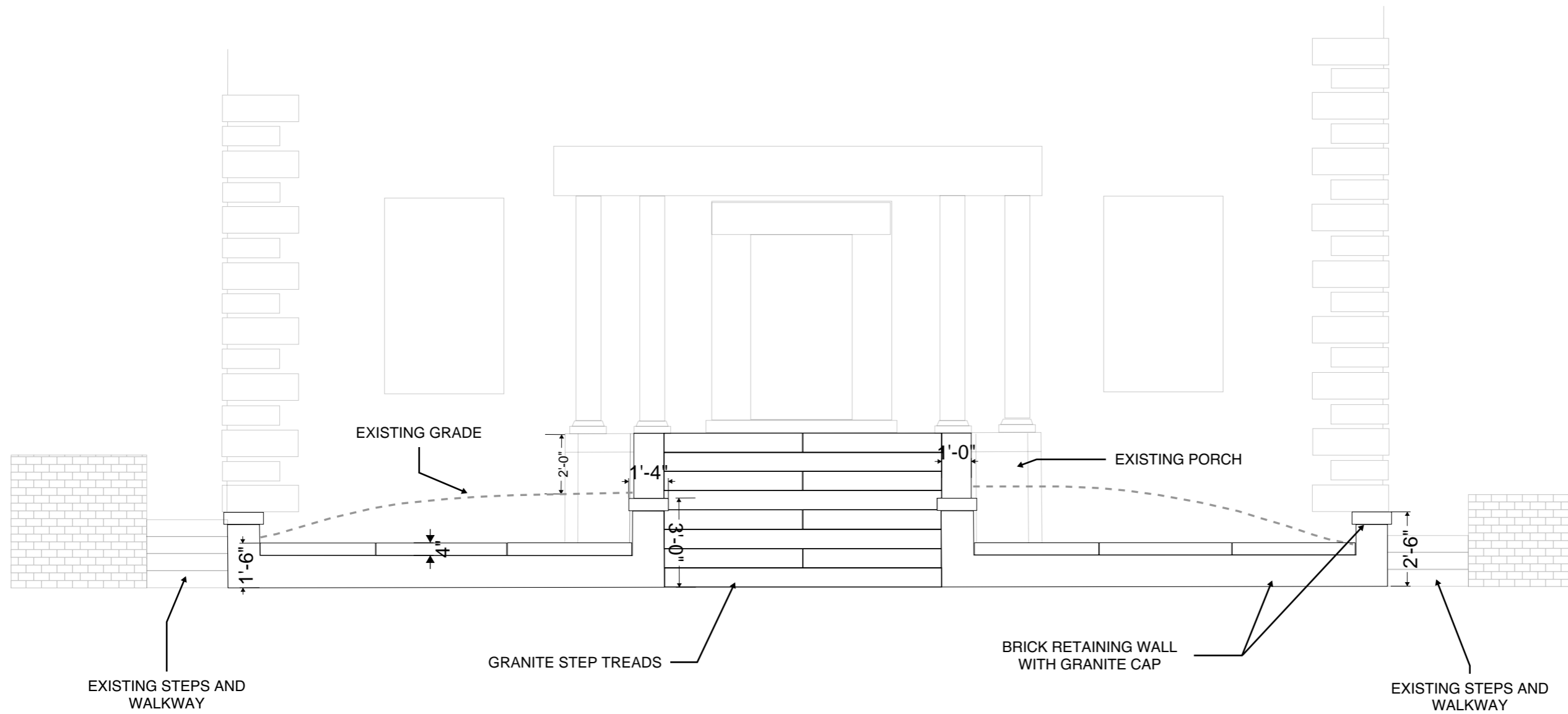


**FRONT ENTRANCE  
STEPS AND  
RETAINING WALL**

DATE:  
24 FEBRUARY 2022

DRAWING TITLE:  
  
NORTH  
ELEVATION

**A2.0**



EXISTING STEPS AND WALKWAY

EXISTING GRADE

EXISTING PORCH

GRANITE STEP TREADS

BRICK RETAINING WALL WITH GRANITE CAP

EXISTING STEPS AND WALKWAY

**NORTH ELEVATION**



**FRONT ENTRANCE  
STEPS AND  
RETAINING WALL**

DATE:  
24 FEBRUARY 2022

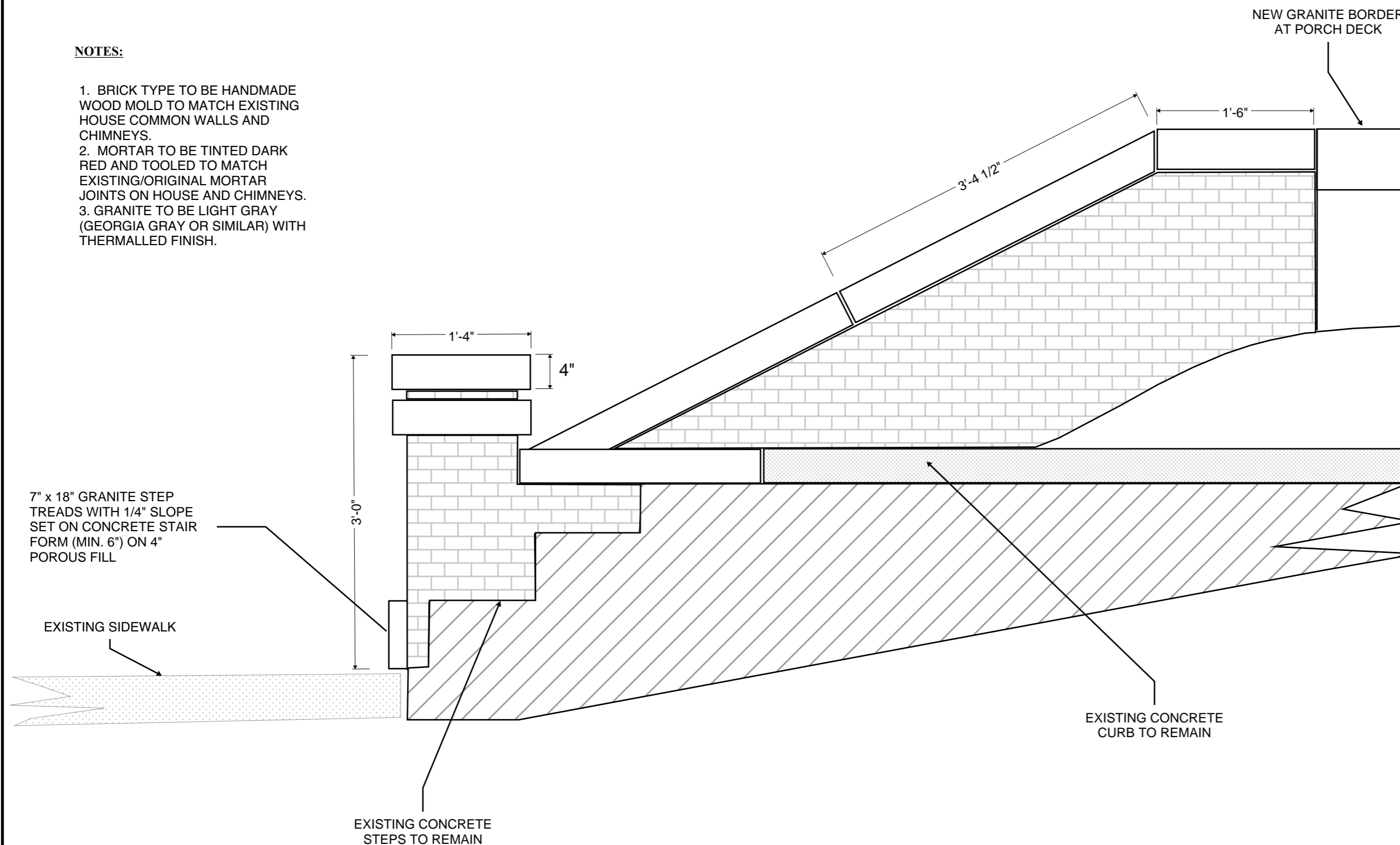
DRAWING TITLE:

**WEST  
ELEVATION**

**A2.1**

**NOTES:**

1. BRICK TYPE TO BE HANDMADE WOOD MOLD TO MATCH EXISTING HOUSE COMMON WALLS AND CHIMNEYS.
2. MORTAR TO BE TINTED DARK RED AND TOOLED TO MATCH EXISTING/ORIGINAL MORTAR JOINTS ON HOUSE AND CHIMNEYS.
3. GRANITE TO BE LIGHT GRAY (GEORGIA GRAY OR SIMILAR) WITH THERMALLED FINISH.



**WEST ELEVATION**



**FRONT ENTRANCE  
STEPS AND  
RETAINING WALL**

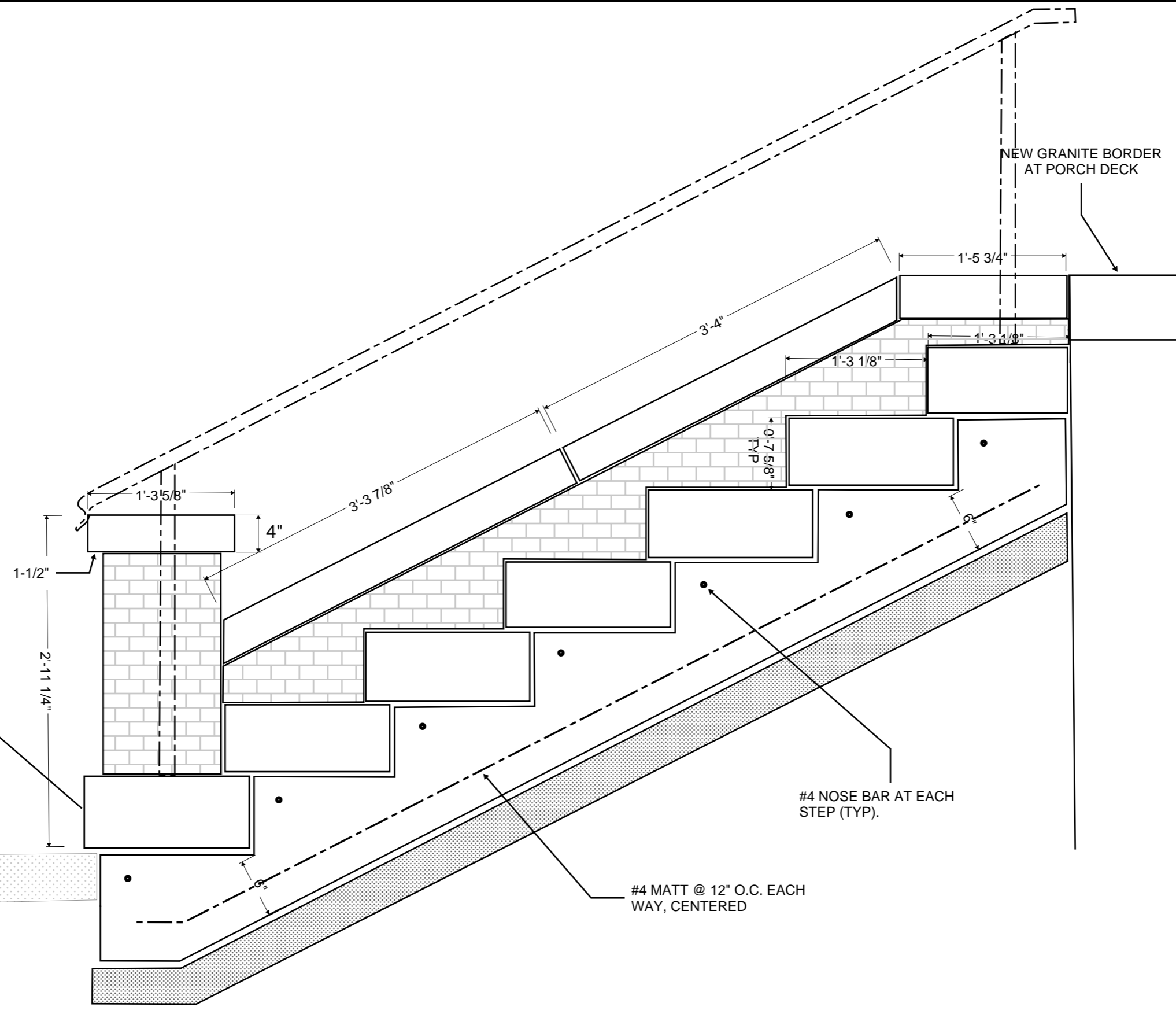
DATE:  
24 FEBRUARY 2022

DRAWING TITLE:  
  
STAIR SECTION

**A3.0**

**NOTES:**

1. BRICK TYPE TO BE HANDMADE WOOD MOLD TO MATCH EXISTING HOUSE COMMON WALLS AND CHIMNEYS.
2. MORTAR TO BE TINTED DARK RED AND TOOLED TO MATCH EXISTING/ORIGINAL MORTAR JOINTS ON HOUSE AND CHIMNEYS.
3. GRANITE TO BE LIGHT GRAY (GEORGIA GRAY OR SIMILAR) WITH THERMALLED FINISH.
4. RAILINGS ON BOTH SIDES OF STEPS. 1-1/2" POSTS WITH SADDLE RAIL, LAMBS TONGUE END W/ POWDER COATING. 36" HIGH ABOVE STEP TREADS.



7" x 18" GRANITE STEP TREADS WITH 1/4" SLOPE SET ON CONCRETE STAIR FORM (MIN. 6") ON 4" POROUS FILL

EXISTING SIDEWALK

#4 NOSE BAR AT EACH STEP (TYP).

#4 MATT @ 12" O.C. EACH WAY, CENTERED

NEW GRANITE BORDER AT PORCH DECK

**STAIR SECTION**

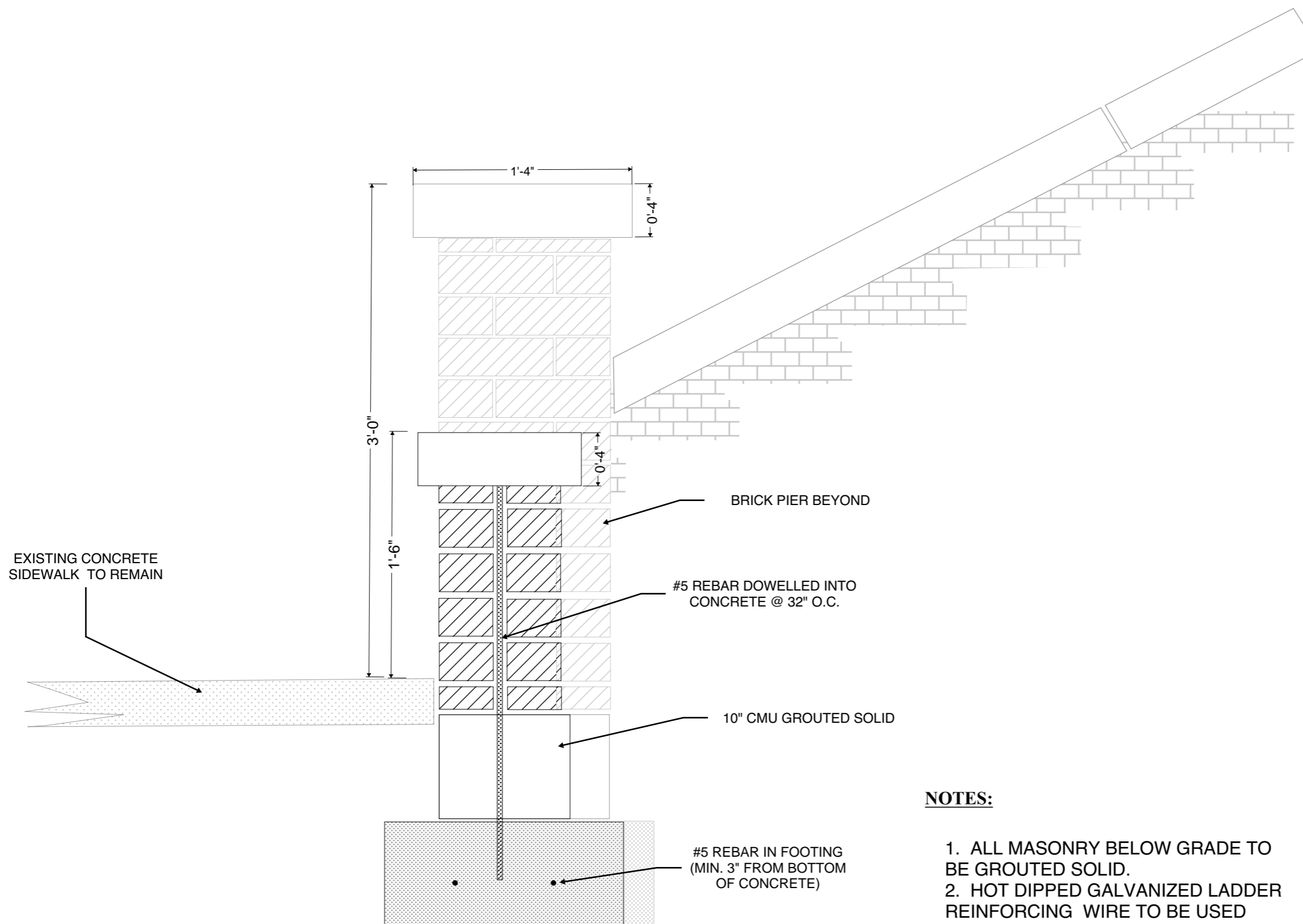


FRONT ENTRANCE  
STEPS AND  
RETAINING WALL

DATE:  
24 FEBRUARY 2022

DRAWING TITLE:  
WALL SECTION

A3.1



**WALL SECTION**

**NOTES:**

1. ALL MASONRY BELOW GRADE TO BE GROUDED SOLID.
2. HOT DIPPED GALVANIZED LADDER REINFORCING WIRE TO BE USED EVERY 16" O.C.
3. BACKFILL WALL WITH #57 GRAVEL, AND DRAIN TILE WRAPPED IN FILTER CLOTH.

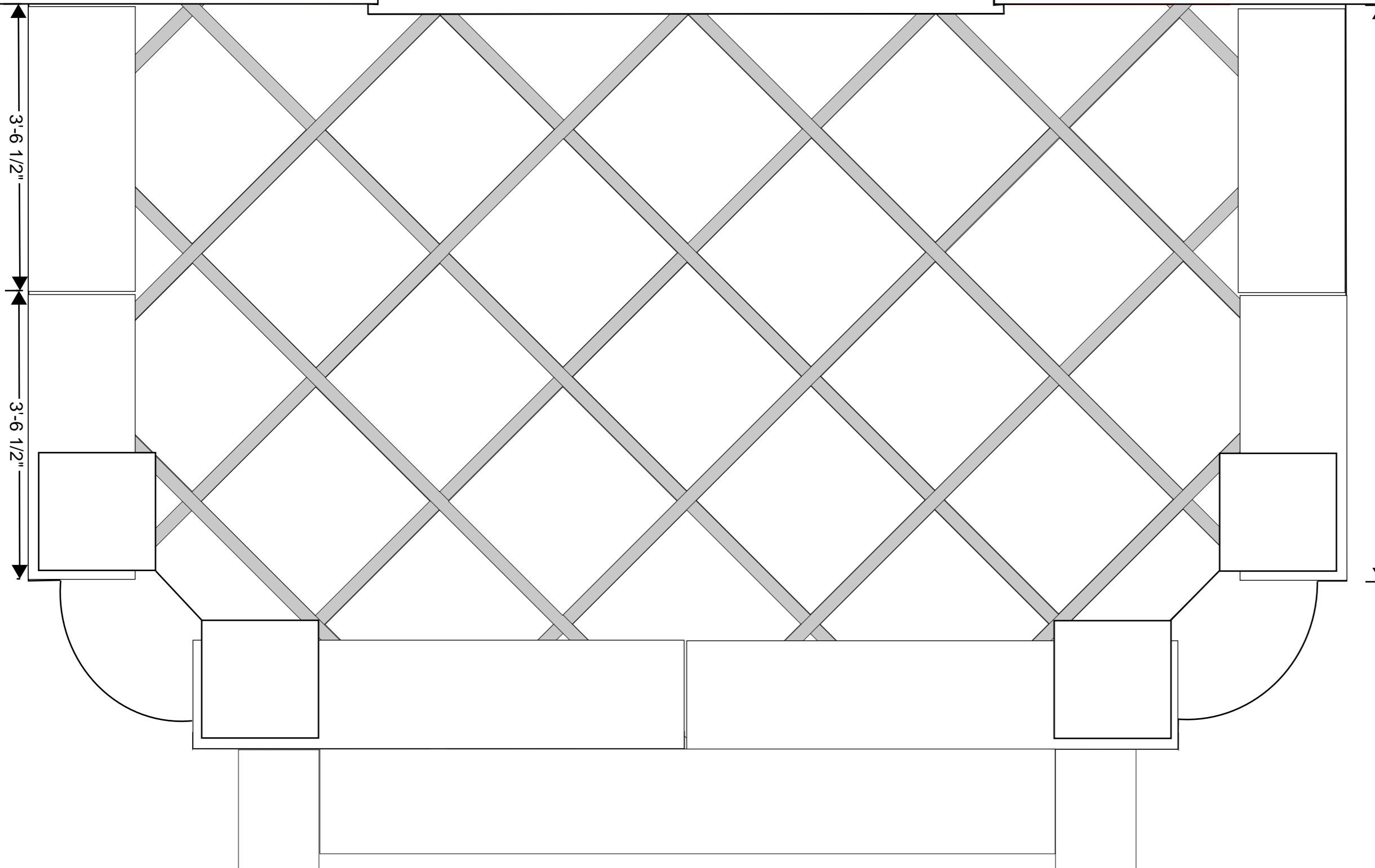


FRONT ENTRANCE  
STEPS AND RETAINING  
WALL

DATE:  
24 FEBRUARY 2022

DRAWING TITLE:  
PORCH  
GRANITE  
LAYOUT

A3.1



NOTES:

1. GRANITE PAVERS- GEORGIA GRAY OR SIMILAR 24" X 24" X 2"
2. GRANITE ACCENT RIBBON- VIRGINIA MIST OR SIMILAR (MEDIUM GRAY) 24" X 2" X 2"