

INTRODUCED: January 14, 2019

AN ORDINANCE No. 2019-013

As Amended

To authorize the special use of the property known as 1802 Semmes Avenue for the purpose of up to 111 single-family attached dwellings as well as the principal and accessory uses permitted in the B-6 Mixed-Use Business District, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 11 2019 AT 6 P.M.

WHEREAS, the owner of the property known as 1802 Semmes Avenue which is situated in a M-1 Light Industrial District, desires to use such property for the purpose of up to 111 single-family attached dwellings and the principal and accessory uses permitted in the B-6 Mixed-Use Business District, which use, among other things, is not currently allowed by section 30-452.1 of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2018), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN:

ADOPTED: FEB 25 2019 REJECTED: STRICKEN:

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1802 Semmes Avenue and identified as Tax Parcel No. S000-0420/001 in the 2019 records of the City Assessor, being more particularly shown on a survey entitled “ALTA/ACSM Land Title Survey Showing 12.990 Acres of Land Lying on the South Line of Semmes Avenue,” prepared by Timmons Group, and dated August 27, 2009, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to 111 single-family attached dwellings and the principal and accessory uses permitted in the B-6 Mixed-Use Business District, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Conceptual Site Plan, Semmes Avenue Site, City of Richmond, Virginia” prepared by HG Design Studio, dated July 2, 2018, and last revised November 26, 2018, and on the untitled plans prepared by NVR, Inc., dated November 12, 2015, hereinafter referred to collectively as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to 111 single-family attached dwellings as well as the principal and accessory uses permitted in the B-6 Mixed-Use Business District substantially as shown on the Plans. No more than seven single-family attached dwelling units shall be attached in a series.

(b) The lot width and lot depth of the single-family attached dwelling lots shall meet or exceed the lot widths and depths shown on the Plans.

(c) Building height of the single-family attached dwellings shall not exceed the height shown on the Plans.

(d) Front, rear and side yards shall meet or exceed the front, rear and side yards shown on the Plans.

(e) Each dwelling unit shall have a one-car garage and a driveway sufficient for the parking of one vehicle within the residential lot on which the dwelling is located. Additional site parking shall be provided, substantially as shown on the Plans.

(f) Street trees shall be provided in the locations, substantially as shown on the Plans.

(g) Sidewalks shall be installed, substantially as shown on the Plans

(h) Bike racks shall be installed with a minimum total capacity of 30 bicycles.

(i) Decorative pedestrian lighting shall be installed, substantially as shown on the Plans.

(j) Signage pertaining to the residential portion of the development shall be limited to (i) signage permitted in all districts pursuant to section 30-505 of the Code of the City of Richmond (2015), as amended, and (ii) one freestanding sign not exceeding 16 square feet in area or six feet in height.

(k) Prior to approval of a subdivision plat for the residential portion of the Property, the Applicant shall submit a landscape plan, including planting plan and species list, for the portion of the Property shown on such subdivision plat. The landscape plan shall be subject to review and approval by the Director in accordance with applicable laws and regulations.

(l) Development of the portion of the Property designated on the Plans as “Future B-6 Uses” shall be governed by the zoning regulations prescribed for the B-6 Mixed-Use Business District.

(m) Prior to issuance of any building permit for any use within the area designated on the Plans as “Future B-6 Uses,” the applicant shall obtain approval for a plan of development in accordance with Chapter 30, Article X, Division 4 of the Code of the City of Richmond (2015), as amended. Notwithstanding the preceding requirements of this subsection or any provision of Chapter 30, Article X, Division 4 of the Code of the City of Richmond (2015), as amended, to the contrary, no plan of development shall be required for any building permit issued for the renovation of any existing warehouse structure located within the area designated on the Plans as “Future B-6 Uses” or for any improvements related thereto for parking, the installation of curbs, or the installation of gutters.

(n) If the Special Use of the Property according to the plan entitled “Conceptual Site Plan, Semmes Avenue Site, City of Richmond, Virginia,” prepared by HG Design Studio, dated July 2, 2018, and last revised November 26, 2018, is not feasible due to the topography of the Property, the Special Use of the Property, as it relates to the location of dwelling units on the Property, may be governed by the plan entitled “Conceptual Site Plan, Semmes Avenue Site, City of Richmond, Virginia,” prepared by HG Design Studio, dated July 2, 2018, and last revised January 21, 2019, a copy of which is attached to and made a part of this ordinance, provided that

the Owner shall otherwise continue to be bound by, shall observe, and shall comply with all other requirements and conditions of this ordinance, and (ii) the Special Use of the Property shall be in accordance with the Plans, except as provided in this subsection.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the public right-of-way, including installation of a sidewalk along Semmes Avenue, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only

upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building

Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request

O & R REQUEST

File Number: PRE.2018-509

RECEIVED

JAN 08 2019

DEC 19 2018

4-8460

Office of the

Chief Administrative Officer

OFFICE OF CITY ATTORNEY

O & R Request

DATE: December 19, 2018

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (By request)
(This is no way reflects a recommendation on behalf of the Mayor.)

JS 1/7/19

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer

SCG

THROUGH: Douglas C. Dunlap, Interim Deputy Chief Administrative Officer for Economic Development and Planning

fa

FROM: Mark A. Olinger, Director, Department of Planning and Development Review

MAO

RE: To authorize the special use of the property known as 1802 Semmes Avenue to authorize up to 106 single-family attached dwellings as well as those principal and accessory uses permitted in the B-6 Mixed-Use Business District upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 1802 Semmes Avenue to authorize up to 106 single-family attached dwellings as well as those principal and accessory uses permitted in the B-6 Mixed-Use Business District upon certain terms and conditions.

REASON: The subject property is zoned M-1 Light Industrial. Improvements on the property consist of a number of vacant warehouses originally designed and used for the storage and curing of tobacco. When this use ceased, the configuration of the structures on the property was found unsuitable for other uses allowed in the M-1 Light Industrial District. As such, the property owner proposes demolition of the existing structures in order to redevelop the property with residential uses in one section and mixed uses in another section. A special use permit is needed to accomplish this.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item

will be scheduled for consideration by the Commission at its February 4, 2019, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The property is located in the Swansboro neighborhood of the Old South District. The City of Richmond's Master Plan designates the subject property for industrial land use. Primary uses in this category are "manufacturing, processing, research and development, warehousing, distribution, office warehouse and service uses." (See page 135, Richmond Master Plan.)

Specifically for the Old South District, the Master Plan states that "there are a number of vacant and obsolete industrial facilities, most with limited reuse potential" in the area. It also notes that there is generally inadequate buffering of residential uses from commercial and industrial uses. The subject property is an abandoned industrial warehouse site.

The 12.83 acre subject property is zoned M-1 Light Industrial and contains improvements in the form of six large warehouses and a wireless communications tower. The site was originally developed in 1940, with the last warehouse structure completed in 1975. Since this time the surrounding area has become more residential. There are several nearby established residential neighborhoods including Swansboro, Spring Hill, Woodland Heights, and Manchester. On Semmes Avenue there are a number of single-family homes as well as multi-family structures, some of which are adaptive reuses of commercial structures.

The proposed project will redevelop the property in two components. The larger portion of the site will contain up to 106 single-family attached structures and the second component will contain those principal and accessory uses permitted in the B-6 Mixed-Use Business District.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400 application fee.

DESIRED EFFECTIVE DATE: Upon Adoption.

REQUESTED INTRODUCTION DATE: January 14, 2019

CITY COUNCIL PUBLIC HEARING DATE: February 11, 2019

REQUESTED AGENDA: Consent.

RECOMMENDED COUNCIL COMMITTEE: None.

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission, February 4, 2019.

AFFECTED AGENCIES: Office of Chief Administrator Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None.

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application Form and Applicant's Report, Plans, Draft Ordinance, Survey, Map

STAFF: David F. Watson, Senior Planner
Land Use Administration (Room 511) 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond Virginia 23219
(804) 646-6304
<http://www.richmond.gov>

SUP-035595-2018

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 1802 Semmes Avenue Date: 05/16/2018
 Tax Map #: 50000420001 Fee: \$2400
 Total area of affected site in acres: 12.83

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: M-1

Existing Use: Industrial

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)
Up to 108 single-family attached residential dwellings (portion) and B-6 uses (portion)

Existing Use: Industrial

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: T. Preston Lloyd, Jr., Esq.

Company: Williams Mullen
 Mailing Address: 200 S. 10th Street, Suite 1600, Richmond, VA 23219
 City: Richmond State: VA Zip Code: 23219
 Telephone: () Fax: ()
 Email: plloyd@williamsullen.com

Property Owner: Manchester Town Center, LLC

If Business Entity, name and title of authorized signee: T. Preston Lloyd, Jr., Attorney-in-Fact

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 7113 Three Chopt Road, Suite 210
 City: Richmond State: VA Zip Code: 23226
 Telephone: () Fax: ()
 Email: wallen@hdcva.com

Property Owner Signature: T. Preston Lloyd, Jr., Attorney-in-Fact

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

WILLIAMS MULLEN

Direct Dial: 804.420.6615
plloyd@williamsmullen.com

May 16, 2018

VIA EMAIL AND HAND DELIVERY

City of Richmond Department of Planning and Development Review
City Hall, 900 East Broad Street, Room 511
Richmond, Virginia 23219
Attn: Mr. Matthew Ebinger

Re: Special Use Permit Application, 1802 Semmes Ave, City Parcel Id. no. S0000420001

Ladies and Gentlemen:

On behalf of the Applicant, Manchester Town Center, LLC, we enclose an application for a new Special Use Permit for the captioned property, which is comprised of approximately 12.83 acres located in the City of Richmond, Virginia (the "Property"), including the below-listed materials. This letter will also serve as the Applicant's Report.

The application proposes the special use of the Property in two components: (1) up to one hundred six (106) single-family attached dwellings on lots and in a configuration substantially as shown on the enclosed Conceptual Plan (as hereinafter defined), and (2) those principal and accessory uses permitted in the B-6 mixed-use district, which shall be confined to the portion of the Property shown and labeled as "Future B-6 Uses" on the Conceptual Plan. The Property currently is zoned M-1.

For the reasons summarized below, the proposal meets the requirements of special use permit approval and will not be detrimental to public safety, create congestion in the public streets, create public hazards, cause overcrowding of land, adversely affect public services, or interfere with adequate light and air.

The subject Property, presently comprised of vacant metal-clad warehouses, is an island of anachronistic industrial use at the convergence of several established residential neighborhoods, including Swansboro, Spring Hill, Woodland Heights and Manchester. Moving west to east along Semmes Avenue, single-family detached residences transition to multifamily structures (many adaptive reuses of former commercial structures) upon crossing Cowardin Avenue, while periodically interspersed with commercial uses. The proposed application presents an infill development opportunity, interspersing for-sale, attached townhome dwellings that complement these abutting neighborhoods, while reserving a portion of the Property for future commercial uses along Semmes, such as a grocery or community-oriented retail with the potential for multifamily dwellings above and shared parking.

The proposed project is consistent with the City's Master Plan, which states the following in describing future uses within the "Old South Planning District":

"The Old South Planning District is expected to undergo significant and important land use changes in the next twenty years. As one of only three Districts citywide that offer

relatively large tracts of vacant land, Old South is expected to be targeted for the creation of new single family residential development, limited multi-family development and redevelopment along portions of the Jefferson Davis Highway Corridor. ... Transition of the Old Manchester industrial area into a mixed-use area suitable for commercial, retail, office and residential uses is also expected.” (p. 272)

Notwithstanding the industrial designation on the future land use map, this language supports the proposed conversion of this incongruous industrial parcel into a more compatible single-family residential neighborhood with future potential for supporting retail and other B-6 uses.

The proposed street layout shown on the Conceptual Plan seeks to reestablish the grid pattern seen in adjacent neighborhoods, with primary access to Semmes Avenue through new connections at the existing intersection of W. 21st Street (full movement at existing median break) and W. 20th St. (right-in, right-out only). This design allows for a future connection to Cowardin via Perry Street in the event of access over the present CSX Transportation right-of-way located immediately to the north. The use of this portion of the Property as single-family residential represents a net decrease in the maximum potential peak hour traffic generated when compared to other M-1 uses permitted by-right, such as office. The Property is located immediately adjacent to bicycle lane improvements currently pending construction along Semmes Avenue and GRTC transit service, offering additional means of transportation connectivity. Off-street parking on the residential portion of the Property will be offered through front- or rear-loaded garages with driveways for additional capacity, and designated off-street guest parking, as shown on the Concept Plan.

The proposed lot layout shown on the Conceptual Plan incorporates a mix of rear-loaded attached dwellings with alley access, including the reestablishment of residential street frontage along Semmes Avenue, and front-loaded attached dwellings with rear yards. The proposed configuration includes abundant common area and a central open space for passive recreation, which would be managed by a owner-controlled community association. Canoe Run Park and the James River Park System (Buttermilk Trail) are located immediately across Semmes Avenue from the Property, affording ample connectivity to open space and recreational opportunities. Residential portions of the Property will include street trees and sidewalks to promote pedestrian connectivity, in furtherance of Master Plan objectives. Future commercial uses on the non-residential portion of the Property will be subject to the B-6 district regulations, including plan of development review where applicable and off-street parking standards.

The proposed development will utilize public water and sewer, both of which presently serve the Property. Substantial portions of the Property are presently comprised of impervious surfaces, much of which will be converted to green space following the grading and construction of the residential portions of the site, thereby improving the stormwater impacts. Future stormwater runoff will be detained and mitigated in conformance with applicable federal, state and local laws and regulation.

Based on the foregoing, the proposed use on the Property meets the criteria set forth in the Charter of the City of Richmond that the Application is not (i) detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in streets, roads, alleys and

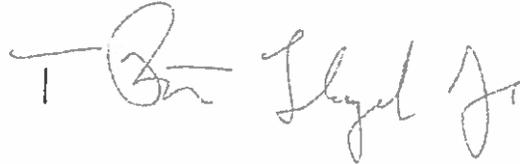
other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to cause overcrowding of land and an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air.

The following application materials are enclosed:

1. Special Use Permit Application form;
2. Plat entitled "ALTA/ACSM LAND TITLE SURVEY SHOWING 12.990 ACRES OF LAND LYING ON THE SOUTH LINE OF SEMMES AVENUE" dated August 27, 2009, prepared by Timmons Group (the "Survey");
3. Plat entitled "conceptual site plan SEMMES AVENUE SITE" dated May 10, 2018, prepared by HG Design Studio (the "Conceptual Plan"); and
4. Check made payable to City of Richmond in the amount of \$2,400.00.

Thank you for your consideration of this matter. Please feel free to contact the undersigned at 804.420.6615 or plloyd@williamsmullen.com, at any time if you have any questions or require additional materials.

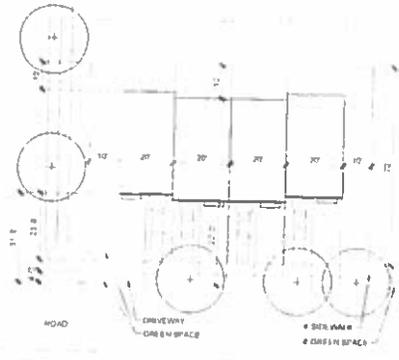
Sincerely,

A handwritten signature in black ink, appearing to read "T. Preston Lloyd, Jr.", written in a cursive style.

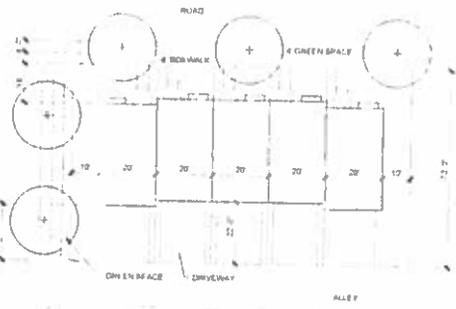
T. Preston Lloyd, Jr.

Enclosures

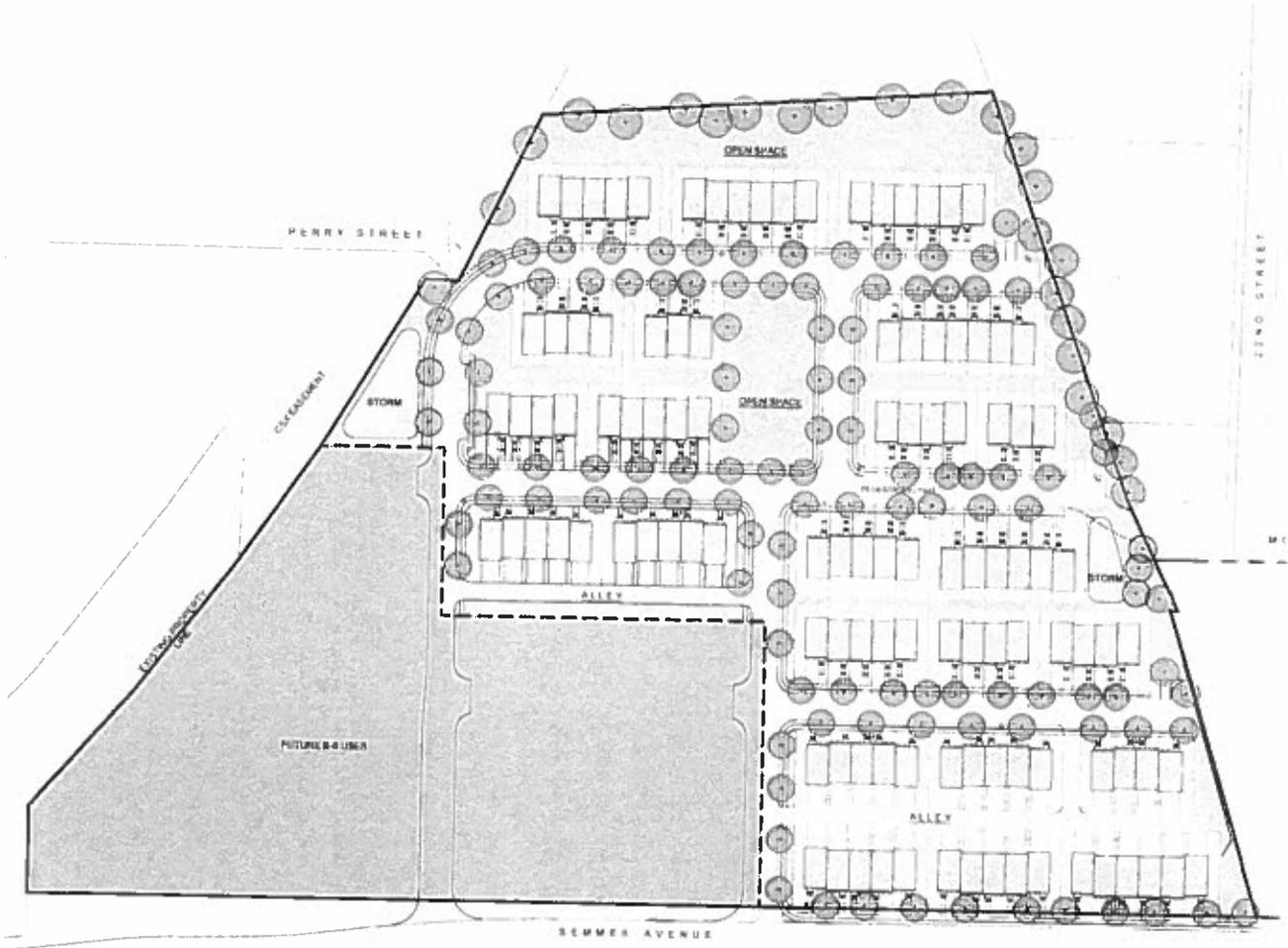
Cc: Mr. Will Allen, Harper Associates (via email w/ encl.)
The Hon. Parker Agelasto, 5th District, Richmond City Council (via email w/ encl.)

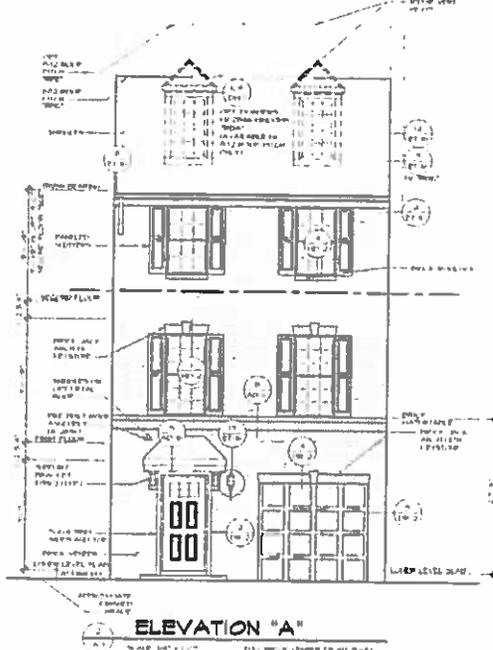
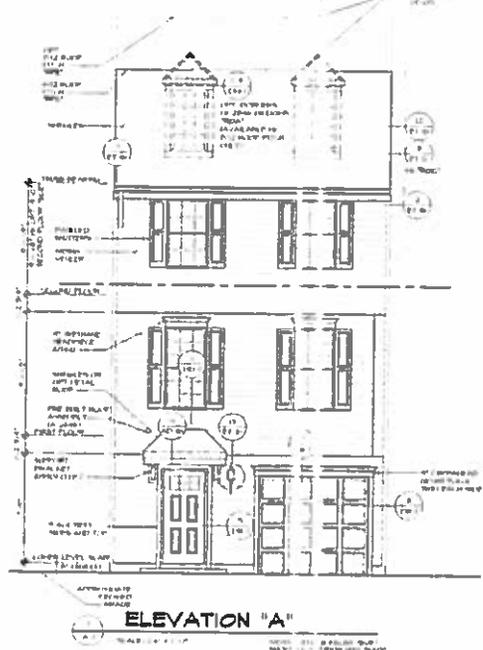
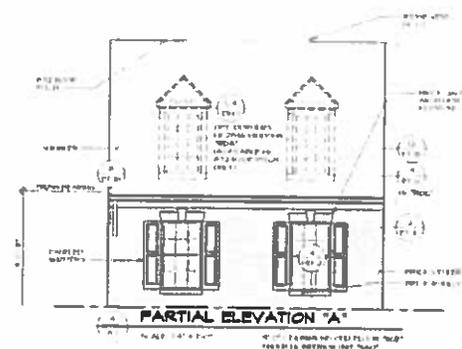
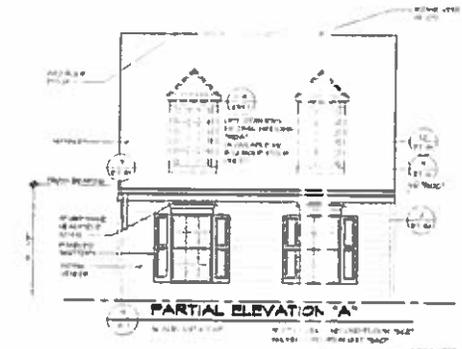


1 FRONT ENTRANCE TOWNHOME



2 REAR ENTRANCE TOWNHOME

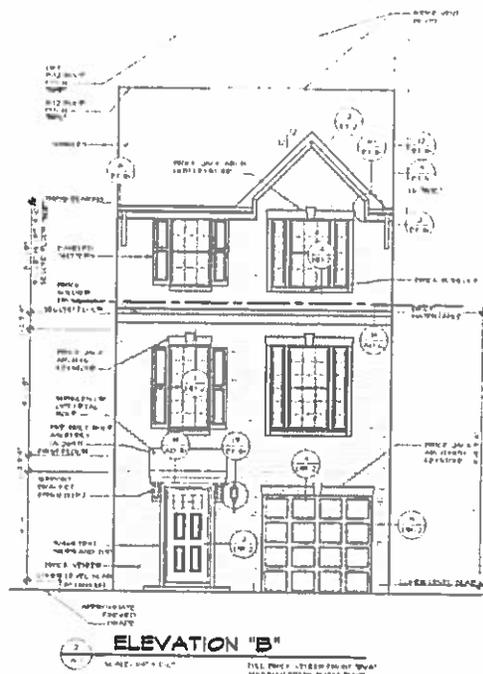
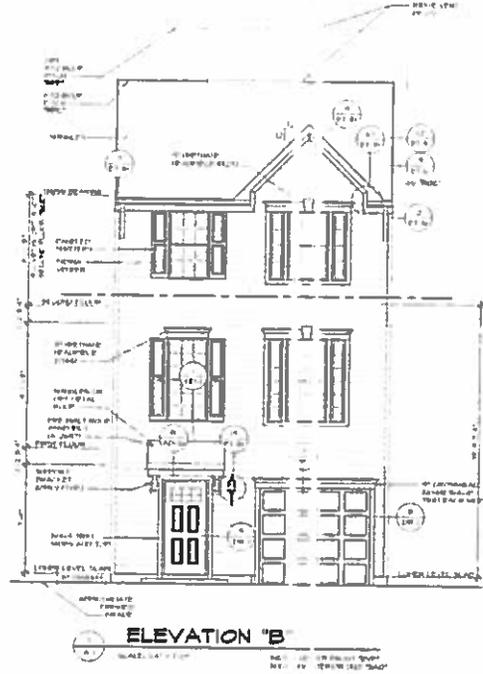
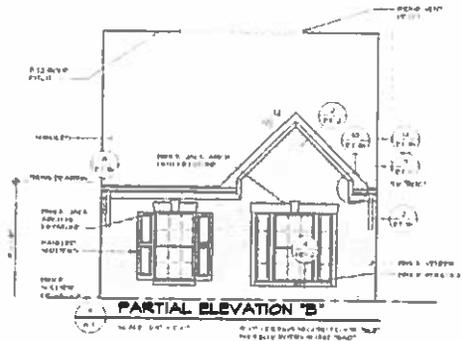
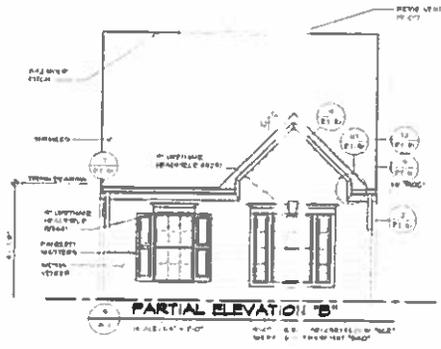




MOZART D
PROJECT # 1001
DATE: 12/25
ELEVATION A

MOZART D
PROJECT # 1001
DATE: 12/25
ELEVATION A

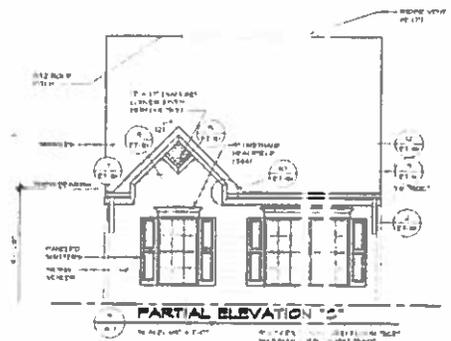
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PROJECT # 1001
DATE: 12/25
ELEVATION A



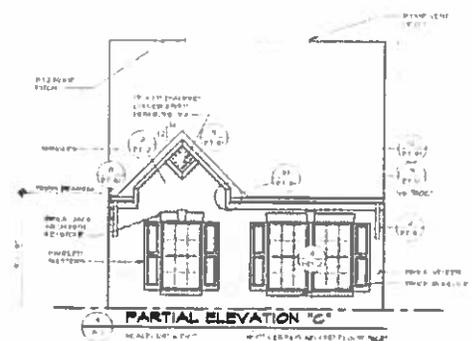
DATE: 08/11/2010
 PROJECT: JAMES H.C.
 SHEET: 02 OF 02
 ELEVATION "B"

PROJECT: MOZART D
 SHEET: A-1
 ELEVATION "B"

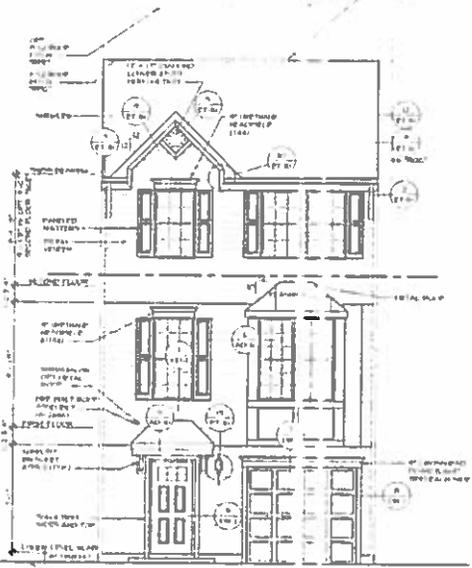
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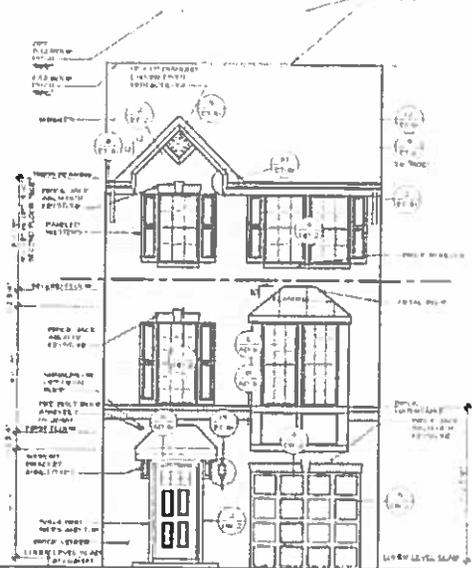
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PARTIAL ELEVATION "C"



ELEVATION "C"

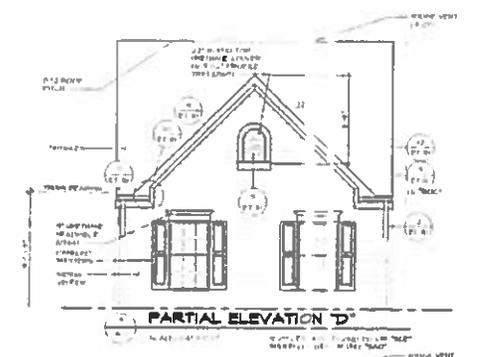


ELEVATION "C"



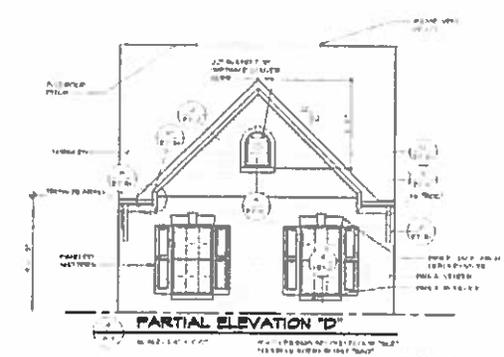
MOZART D

A-1



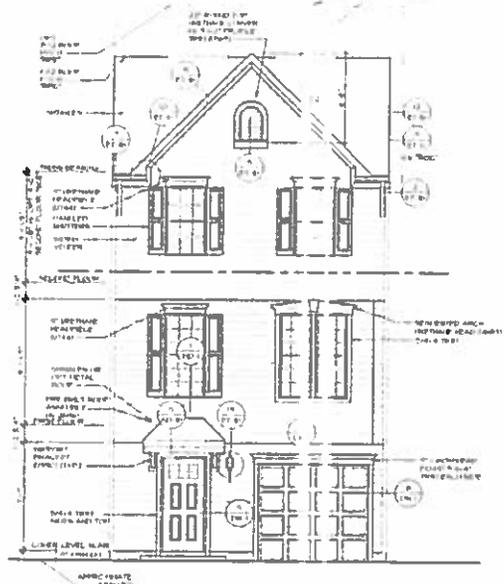
PARTIAL ELEVATION "D"

NAME: [blank] DATE: [blank] SCALE: [blank] SHEET NO: [blank] OF [blank] TOTAL SHEETS



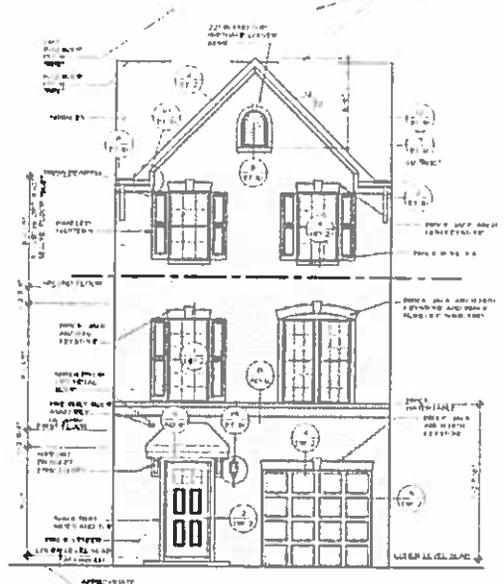
PARTIAL ELEVATION "D"

NAME: [blank] DATE: [blank] SCALE: [blank] SHEET NO: [blank] OF [blank] TOTAL SHEETS



ELEVATION "D"

NAME: [blank] DATE: [blank] SCALE: [blank] SHEET NO: [blank] OF [blank] TOTAL SHEETS



ELEVATION "D"

NAME: [blank] DATE: [blank] SCALE: [blank] SHEET NO: [blank] OF [blank] TOTAL SHEETS



MOZART D
ARCHITECTURE
1234 56789
ELEVATION "D"

DATE: [blank]
SCALE: [blank]
SHEET NO: [blank] OF [blank] TOTAL SHEETS

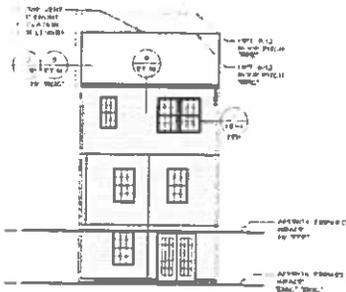
MOZART D
ARCHITECTURE
1234 56789
ELEVATION "D"

ELEVATION "A", "B", "C", "D"



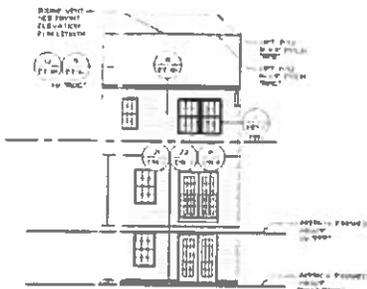
PARTIAL REAR ELEVATION

1. 1/2" = 1'-0" (SEE PLAN)
 2. 1/4" = 1'-0" (SEE PLAN)
 3. 1/8" = 1'-0" (SEE PLAN)
 4. 1/16" = 1'-0" (SEE PLAN)



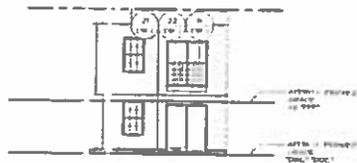
REAR ELEVATION

1. 1/2" = 1'-0" (SEE PLAN)
 2. 1/4" = 1'-0" (SEE PLAN)
 3. 1/8" = 1'-0" (SEE PLAN)
 4. 1/16" = 1'-0" (SEE PLAN)



REAR ELEVATION

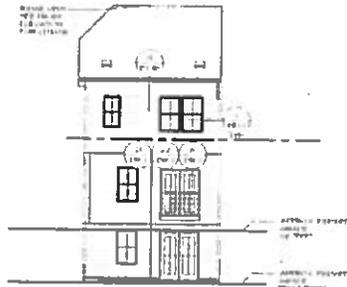
1. 1/2" = 1'-0" (SEE PLAN)
 2. 1/4" = 1'-0" (SEE PLAN)
 3. 1/8" = 1'-0" (SEE PLAN)
 4. 1/16" = 1'-0" (SEE PLAN)



PARTIAL REAR ELEVATION

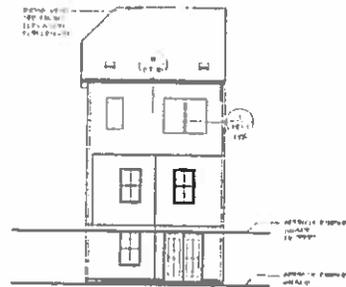
1. 1/2" = 1'-0" (SEE PLAN)
 2. 1/4" = 1'-0" (SEE PLAN)
 3. 1/8" = 1'-0" (SEE PLAN)
 4. 1/16" = 1'-0" (SEE PLAN)

ELEVATION "K", "L", "M", "N"



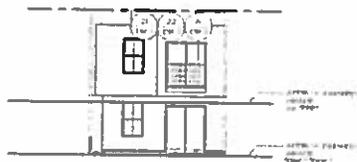
REAR ELEVATION

1. 1/2" = 1'-0" (SEE PLAN)
 2. 1/4" = 1'-0" (SEE PLAN)
 3. 1/8" = 1'-0" (SEE PLAN)
 4. 1/16" = 1'-0" (SEE PLAN)



REAR ELEVATION

1. 1/2" = 1'-0" (SEE PLAN)
 2. 1/4" = 1'-0" (SEE PLAN)
 3. 1/8" = 1'-0" (SEE PLAN)
 4. 1/16" = 1'-0" (SEE PLAN)



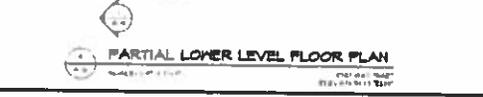
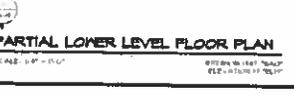
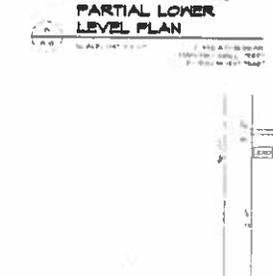
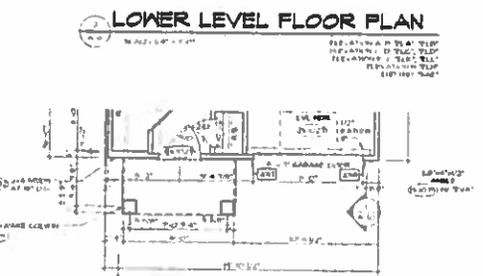
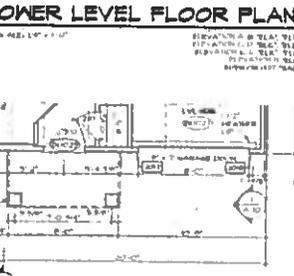
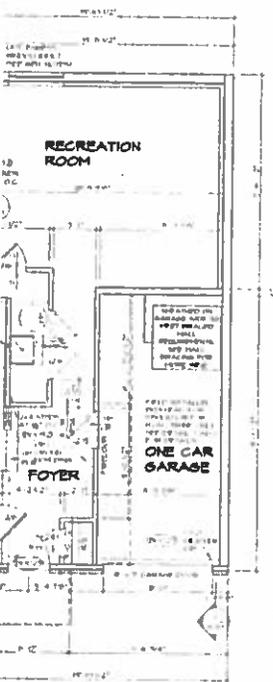
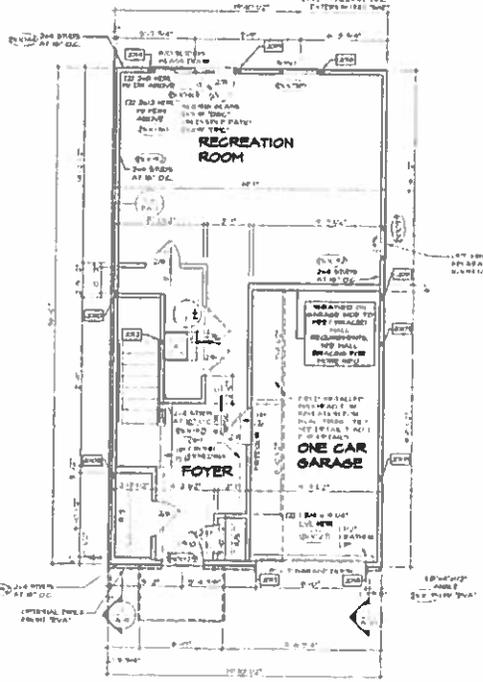
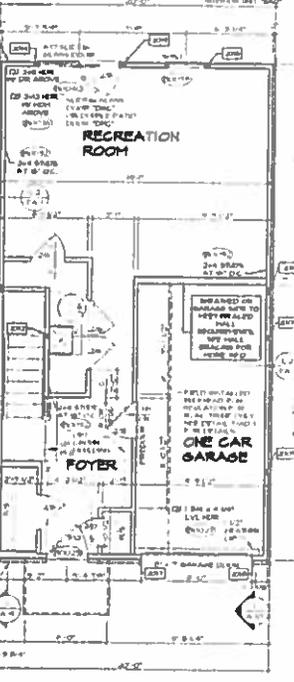
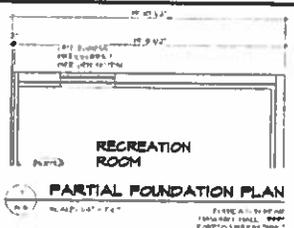
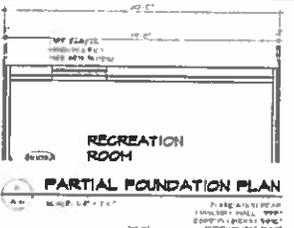
PARTIAL REAR ELEVATION

1. 1/2" = 1'-0" (SEE PLAN)
 2. 1/4" = 1'-0" (SEE PLAN)
 3. 1/8" = 1'-0" (SEE PLAN)
 4. 1/16" = 1'-0" (SEE PLAN)



1/2" = 1'-0" (SEE PLAN)
 1/4" = 1'-0" (SEE PLAN)
 1/8" = 1'-0" (SEE PLAN)
 1/16" = 1'-0" (SEE PLAN)

MOZART D
 A-2b
 REAR ELEVATION



LEGEND

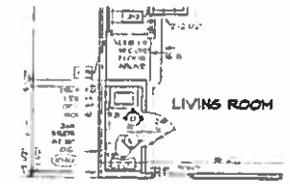
- 1. RECREATION ROOM
- 2. Foyer
- 3. ONE CAR GARAGE
- 4. STAIRS
- 5. HALL
- 6. CLOSET
- 7. BATH
- 8. KITCHEN
- 9. BREAKFAST ROOM
- 10. LIVING ROOM
- 11. DINING ROOM
- 12. BED ROOM
- 13. BATTERY
- 14. ELECTRICAL PANEL
- 15. TELEPHONE
- 16. TV
- 17. AIR CONDITIONING
- 18. RADIATOR
- 19. SINK
- 20. STOVE
- 21. REFRIG.
- 22. CUPB'D
- 23. CASE
- 24. CHAIR
- 25. TABLE
- 26. SEAT
- 27. BED
- 28. DRESSER
- 29. WARDROBE
- 30. CLOSET
- 31. BATH
- 32. SINK
- 33. TUB
- 34. SHOWER
- 35. TOILET
- 36. VENT
- 37. EXHAUST FAN
- 38. EXHAUST FAN
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- 49. EXHAUST FAN
- 50. EXHAUST FAN



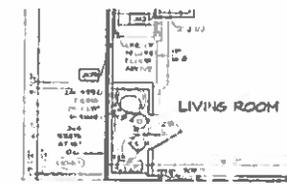
NVR

MOZART D
A-6
LOWER LEVEL FLOOR PLAN
RECREATION ROOM

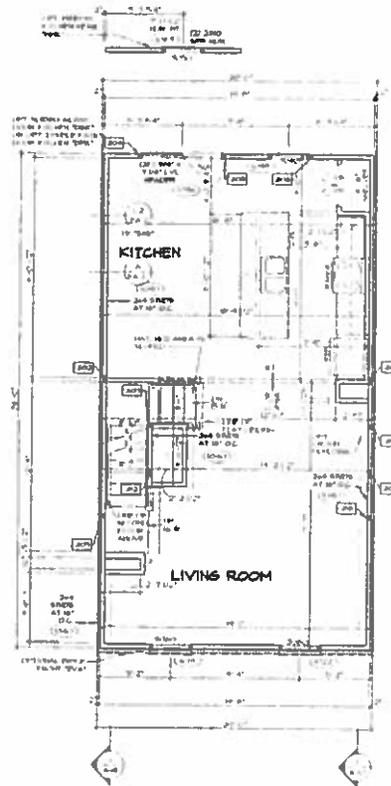
10



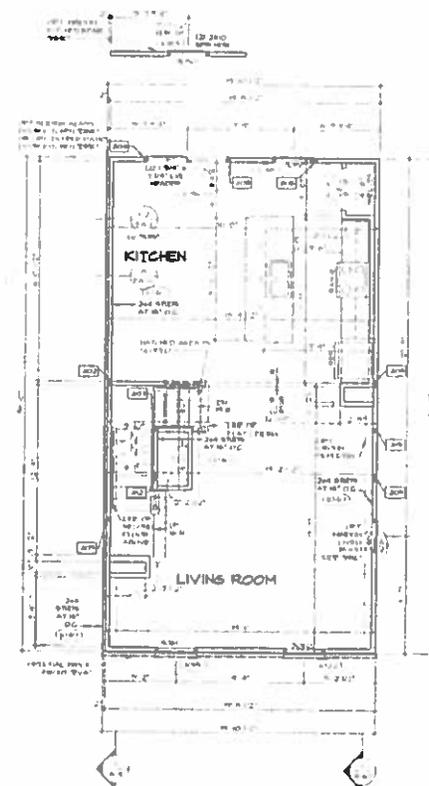
4 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



7 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

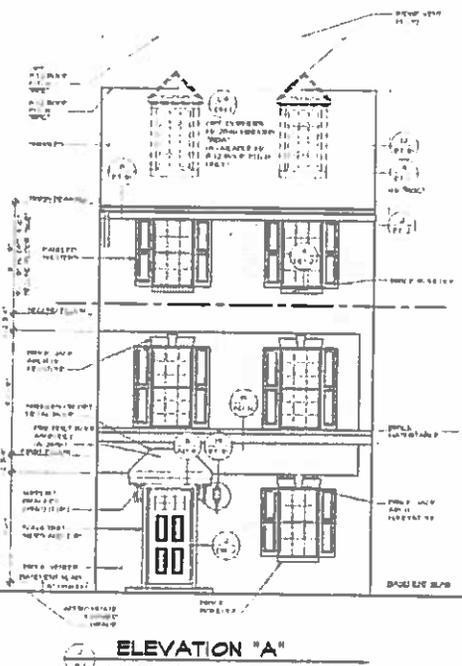
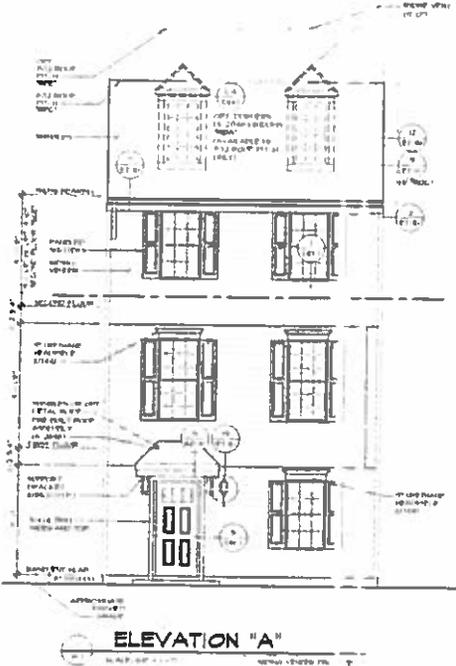
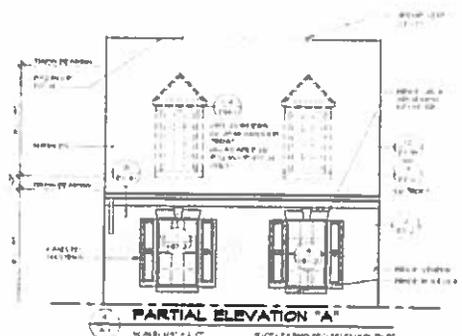
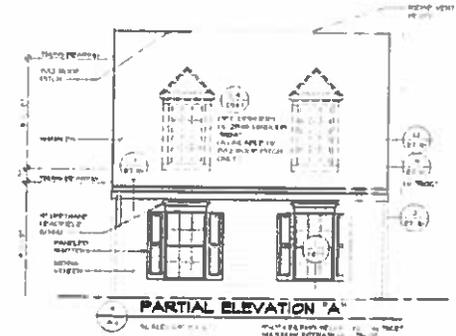
- NOTES**
1. REFER TO SHEET 10 FOR FINISHES.
 2. SEE SHEET 10 FOR FINISHES.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IBC.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IBC.

- LEGEND**
- 1. EXTERIOR WALL
 - 2. INTERIOR WALL
 - 3. WINDOW
 - 4. DOOR
 - 5. CLOSET
 - 6. STAIR
 - 7. HALL
 - 8. BATH
 - 9. KITCHEN
 - 10. LIVING ROOM
 - 11. BED ROOM
 - 12. PORCH
 - 13. PATIO
 - 14. DRIVE
 - 15. GARAGE
 - 16. UTILITY
 - 17. MECHANICAL
 - 18. ELECTRICAL
 - 19. PLUMBING
 - 20. HVAC

NOTE: WINDOWS IN LIVING ROOM TO HAVE A HEADER HEIGHT OF 8'-0" / 2"



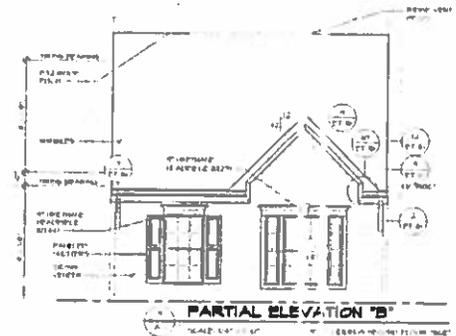
MOZART D
A-7



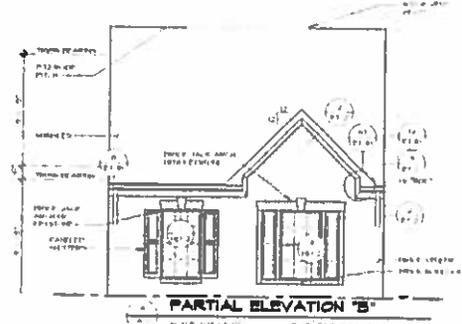
MOZART E
A-1

NVR

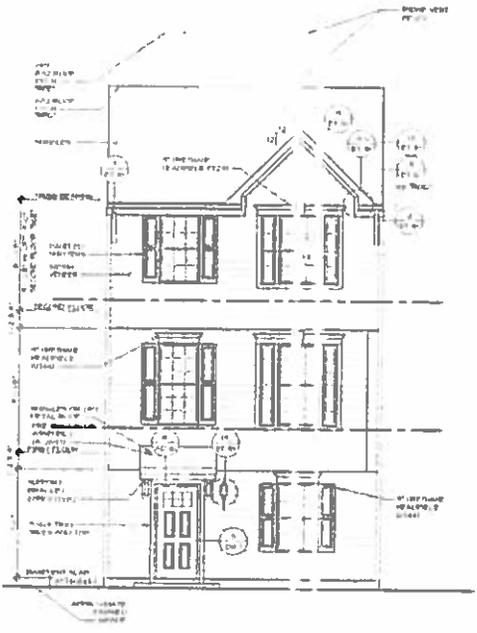
Architectural drawing of a three-story facade showing a central door and multiple windows. Includes dimension lines and callouts for materials like 'PAINTED WOOD SHINGLES' and 'PAINTED WOOD SIDING'.



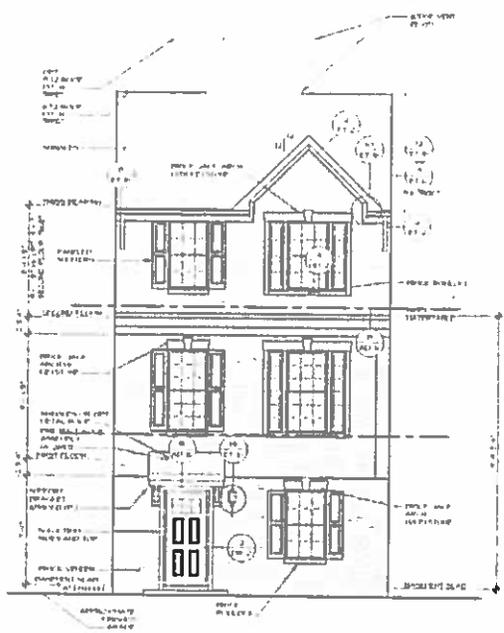
PARTIAL ELEVATION "B"
 SCALE: 1/4" = 1'-0"
 SEE PLAN FOR LOCATION OF THIS ELEVATION ON UNIT "B"



PARTIAL ELEVATION "B"
 SCALE: 1/4" = 1'-0"
 SEE PLAN FOR LOCATION OF THIS ELEVATION ON UNIT "B"



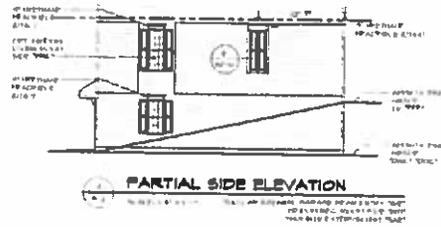
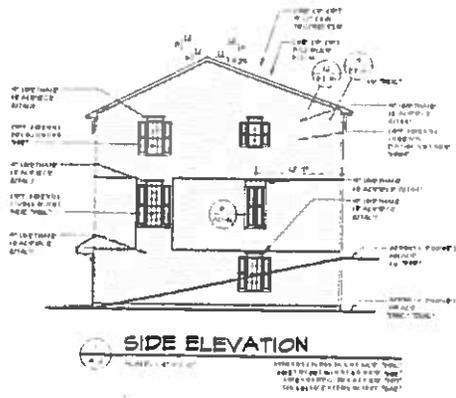
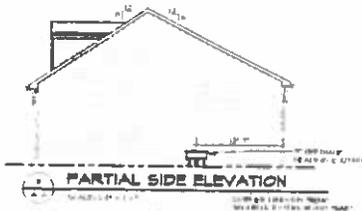
ELEVATION "B"
 SCALE: 1/4" = 1'-0"
 SEE PLAN FOR LOCATION OF THIS ELEVATION ON UNIT "B"



ELEVATION "B"
 SCALE: 1/4" = 1'-0"
 SEE PLAN FOR LOCATION OF THIS ELEVATION ON UNIT "B"



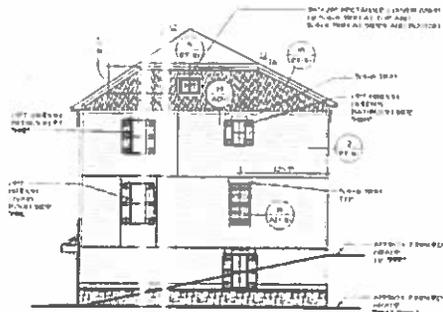
MOZART E
 PROJECT NO. 2008-0000
 ELEVATION "B"



MOZART ENGINEERING
 1000 S. 10th St., Suite 100
 Lincoln, NE 68502
 Phone: (402) 441-1111
 Fax: (402) 441-1112
 www.mozarteng.com

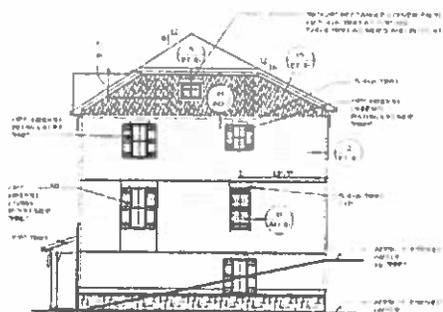
NVR
 National Verification Review
 1000 S. 10th St., Suite 100
 Lincoln, NE 68502
 Phone: (402) 441-1111
 Fax: (402) 441-1112
 www.nvr.com

A-2
 SUB ELEVATIONS
 MOZART ENGINEERING
 MOZART ENGINEERING & ARCHITECTS
 C



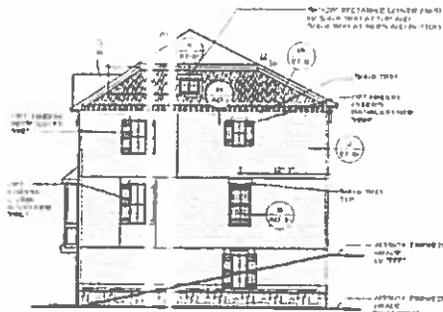
SIDE ELEVATIONS

1/2\"/>



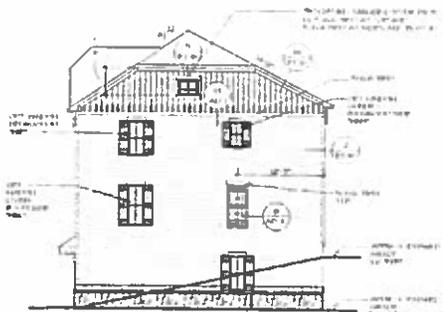
SIDE ELEVATIONS

1/2\"/>



SIDE ELEVATIONS

1/2\"/>



SIDE ELEVATIONS

1/2\"/>



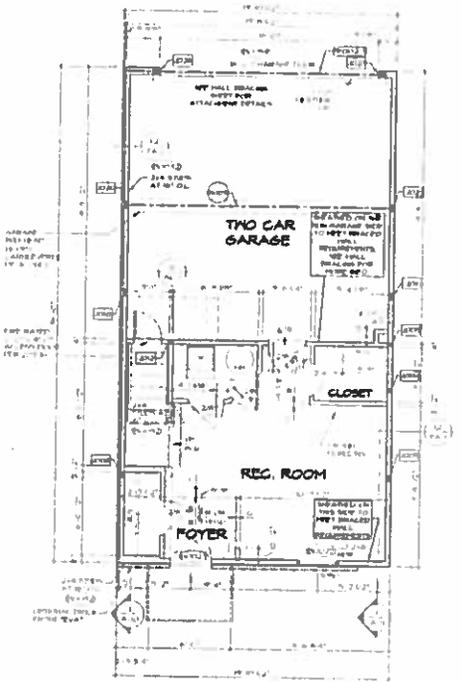
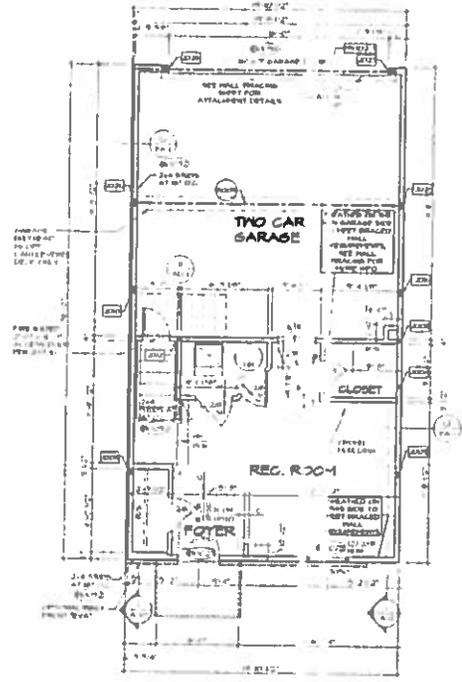
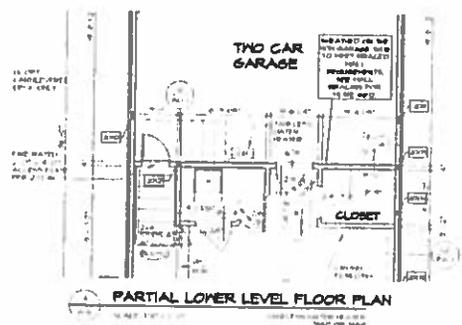
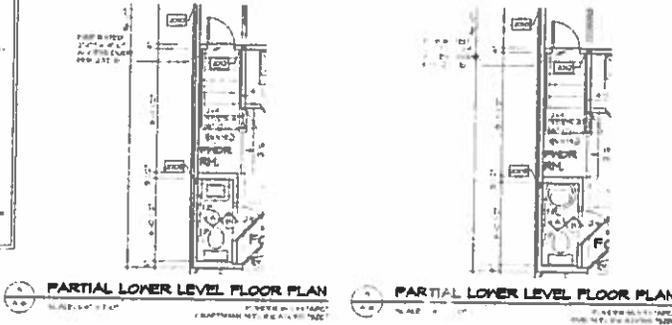
MOZART E
 A-2
 SIDE ELEVATIONS
 1/2\"/>

NOTES

1. GENERAL NOTES IN 12
2. SEE SHEET A-6
3. SEE SHEET A-7
4. SEE SHEET A-8
5. SEE SHEET A-9
6. SEE SHEET A-10
7. SEE SHEET A-11
8. SEE SHEET A-12
9. SEE SHEET A-13
10. SEE SHEET A-14
11. SEE SHEET A-15
12. SEE SHEET A-16

LEGEND

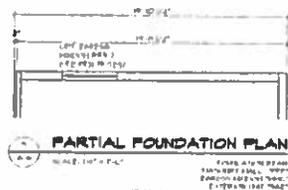
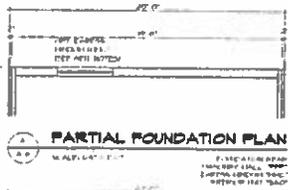
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- 100. ADJUSTED WALL



MOZART E
 A-6
 23

NVR

DATE: 11/15/11
 DRAWN BY: J. L. BROWN
 CHECKED BY: J. L. BROWN
 SCALE: 1/4" = 1'-0"
 DATE: 11/15/11

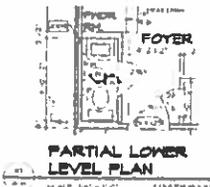
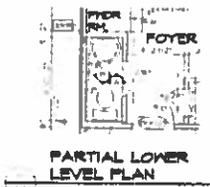
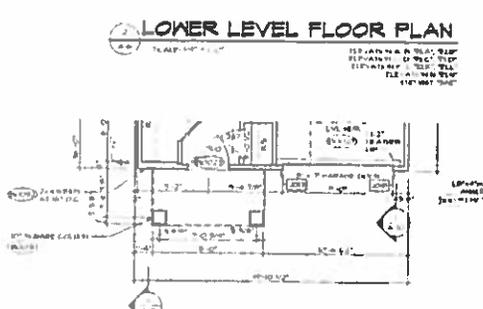
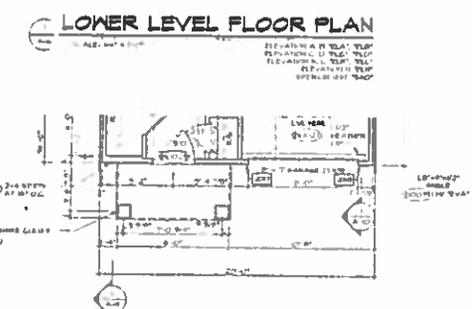
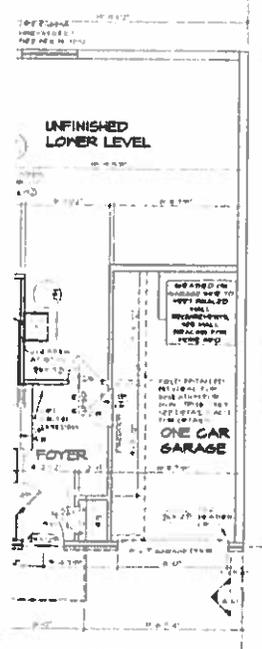
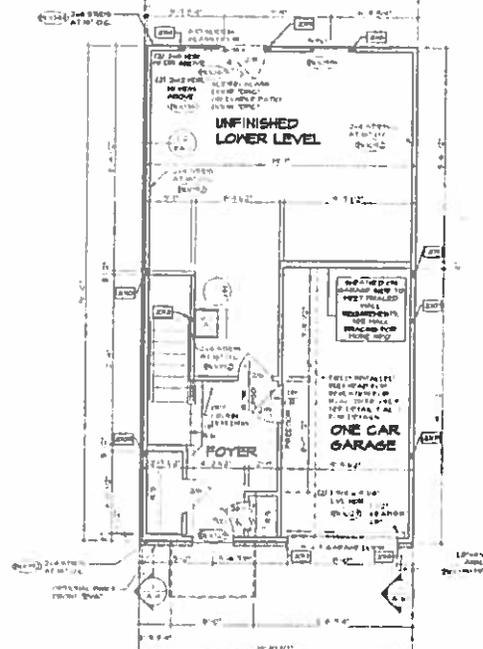
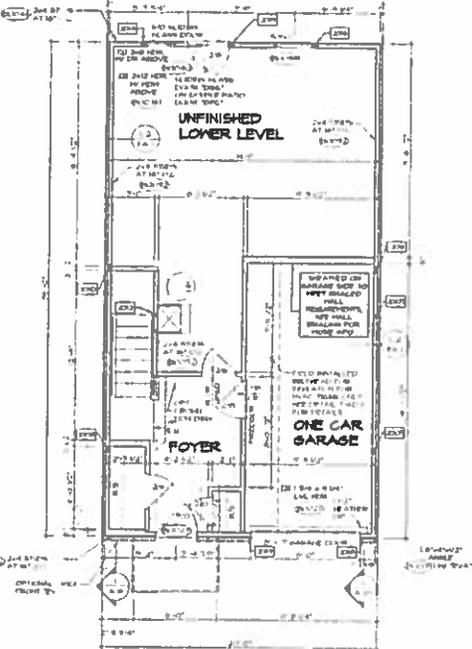


LEGEND

[Symbol]	FOUNDATION
[Symbol]	CONCRETE
[Symbol]	REINFORCING BARS
[Symbol]	INSULATION
[Symbol]	FOUNDATION WALL
[Symbol]	FOUNDATION FOOTING
[Symbol]	FOUNDATION DIMENSIONS

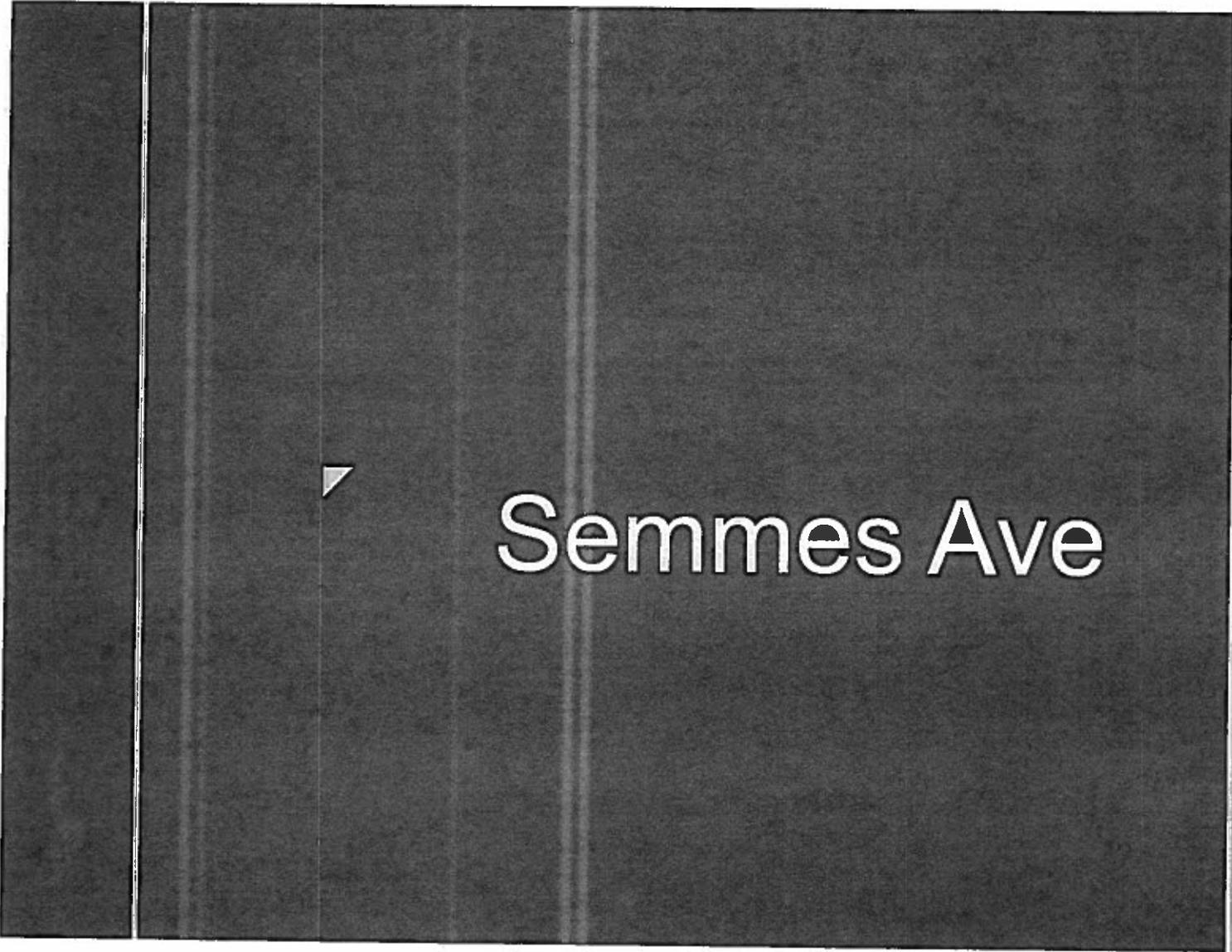
NOTES:

- FOUNDATION SHALL BE CONCRETE ON GRADE.
- FOUNDATION SHALL BE REINFORCED WITH #4 BARS @ 18" O.C.
- FOUNDATION SHALL BE FINISHED WITH 1" POLYURETHANE INSULATION.



NVR

MOZART D
A-6
15



Semmes Ave

Mozart Front Entry



Mozart Rear Entry



Mozart Rear Entry

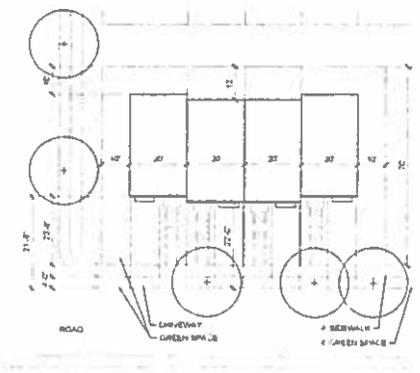


Mozart Rear Entry

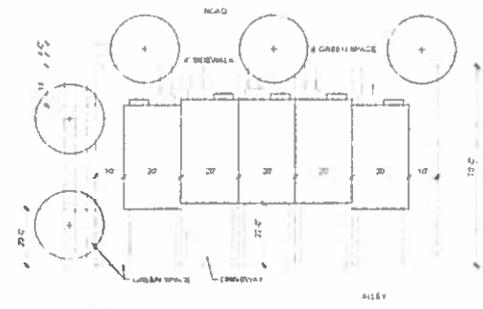


Mozart Rear Entry

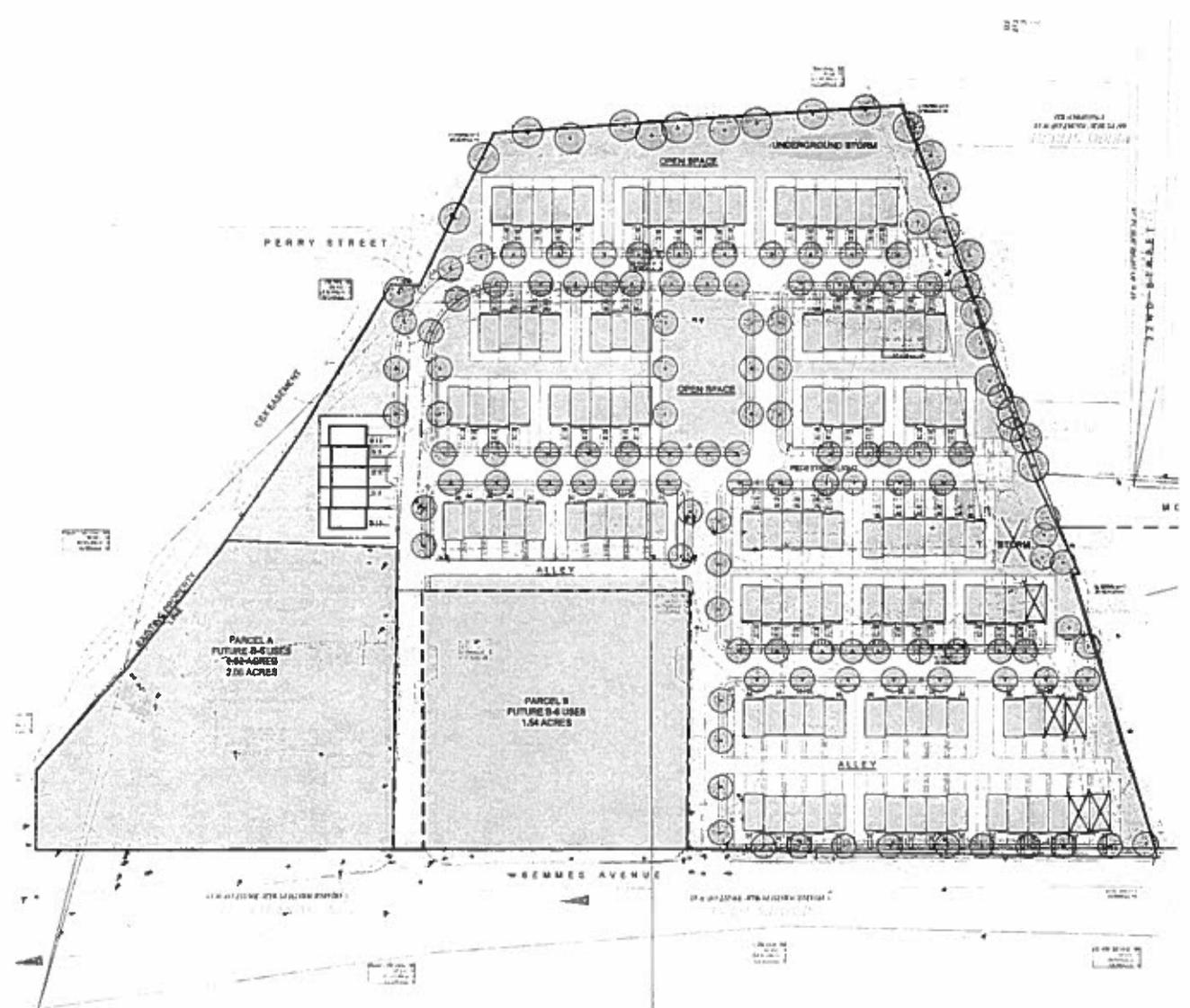




1 FRONT ENTRANCE TOWNHOME
SCALE 1" = 30'



2 REAR ENTRANCE TOWNHOME
SCALE 1" = 30'



conceptual site plan
SEMME'S AVENUE SITE

CITY OF RICHMOND - VIRGINIA
JULY 2, 2018 - REV. JANUARY 21, 2019

