



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address \_\_\_\_\_

Historic district \_\_\_\_\_

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

### APPLICANT INFORMATION

Name \_\_\_\_\_

Phone \_\_\_\_\_

Company \_\_\_\_\_

Email \_\_\_\_\_

Mailing Address \_\_\_\_\_

Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify): \_\_\_\_\_

### OWNER INFORMATION (if different from above)

Name \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone \_\_\_\_\_

\_\_\_\_\_

Email \_\_\_\_\_

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_





# CERTIFICATE OF APPROPRIATENESS

## NEW CONSTRUCTION CHECKLIST

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**Well in advance** of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 2322 Venable

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### NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

### DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

### WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

### PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

## **2322 Venable**

### *Building Description*

The proposed building is a two-story, mixed-use building located at the northwest corner of Pink and Venable Streets in Union Hill. Construction will be wood framing on a concrete masonry foundation; all floors will be sprinklered. Framed exterior walls will be a mix of masonry facade and synthetic stucco.

The brick front facade along Venable St is organized in three bays with a cutaway corner entrance and residential balcony above, typical to the corner storefront typology of Union Hill. The ground floor features large traditionally proportioned storefront windows and doors that define the commercial space. The masonry features traditional proportioning with modern detailing to articulate a volumetric composition that is familiar to the context of Union Hill.

The side facade along Pink Street is clad in a mix of brick and EIFS, with cementitious panel accents. The materials are tied together by a regular proportioning and fenestration pattern of fiberglass casement windows for the two upstairs apartments and smaller casement windows on the ground floor for the commercial space. The primary entrance for the second floor apartments is off of Pink Street, and is clearly articulated by storefront door and glazing in masonry construction and covered by a modest metal awning.

The roof at the front is a gabled asphalt shingle roof. The remainder of the building is covered by a low-slope membrane roof that drains to rain leaders. Parapets shield the roof and any roof equipment from view. The gabled roof will only be marginally visible from either side of the Venable Street, if at all.

### *Compatibility with Richmond Old & Historic Districts Handbook and Design Review Guidelines*

The design is sited with a zero setback cutaway entrance at the corner in keeping with "historical patterns" (p 46) for commercial corners found in the Union Hill neighborhood and in keeping with the building that historically sat at this site.

The three bay massing (p 39), regular fenestration, and building height all create a composition (p 52) that is "consistent with existing massing and fenestration patterns" (p 44) and "respect(s) the typical height of surrounding residential buildings" in the Union Hill district. The simplified forms, windows and the use of materials that are "visually compatible with original materials used throughout the district" (p 47) in addition to brick help to create a compatible palette while avoiding false historicism.

The commercial storefront reflects the *Guidelines* (p 49) with a simple pier, large storefront windows, and a simplified modern cornice and awning. Residential windows reflect traditional proportions.

**FIELD PARTI**  
ARCHITECTURE STUDIO

**2322 VENABLE ST**

CAR PRELIMINARY REVIEW PACKAGE

DEVELOPED FOR STREETCAR PROPERTIES  
APRIL 7, 2020

CONTEXT  
2322 VENABLE ST - HISTORIC (2014)



CONTEXT  
2322 VENABLE ST - CURRENT STREET ELEVATIONS



**VENABLE STREET**

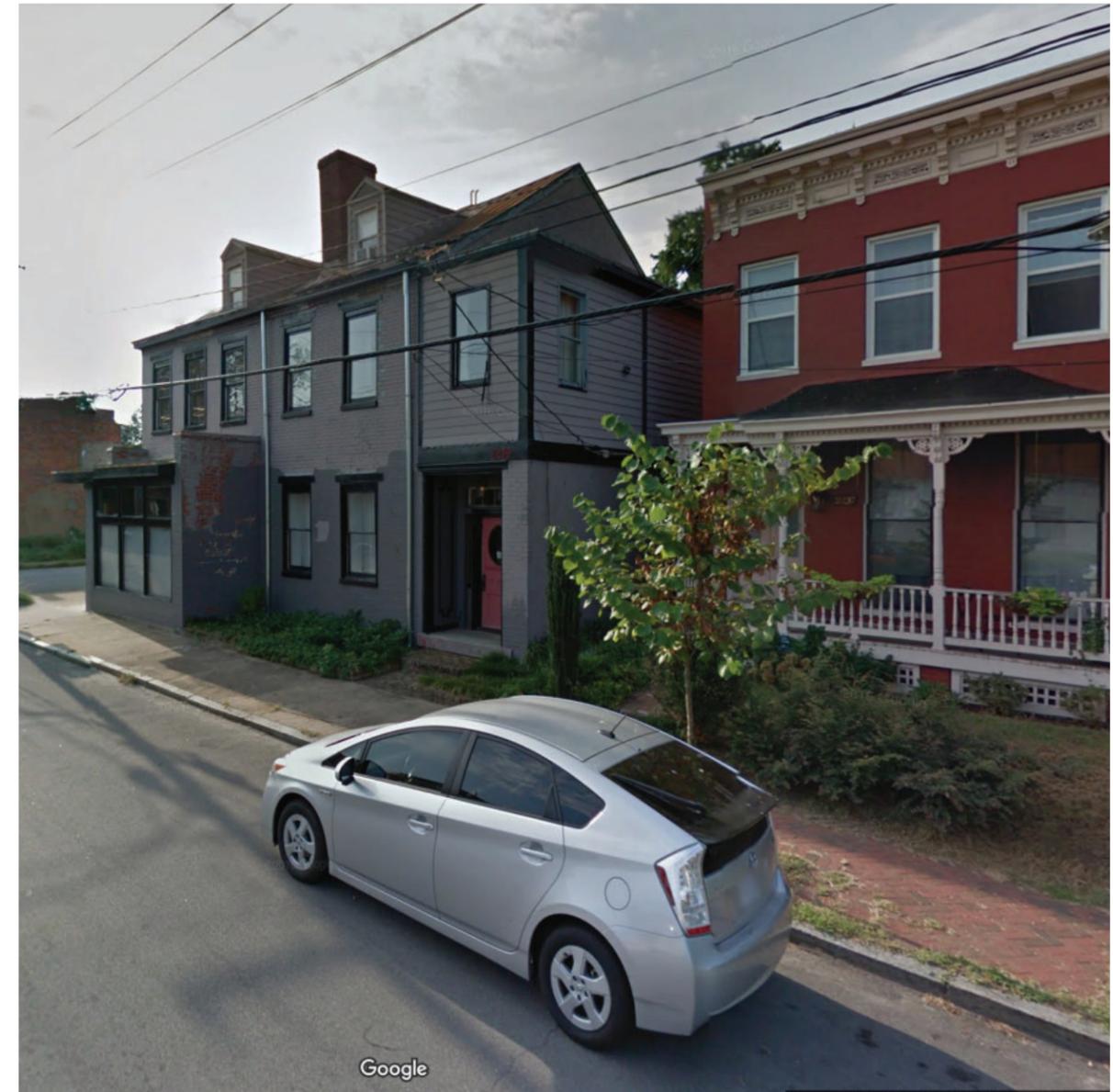


**PINK STREET**

CONTEXT  
CORNER - VENABLE X PINK



CONTEXT  
CORNER - VENABLE X TULIP



CONTEXT  
CORNER - VENABLE X TULIP

CURRENT



HISTORIC - 1936



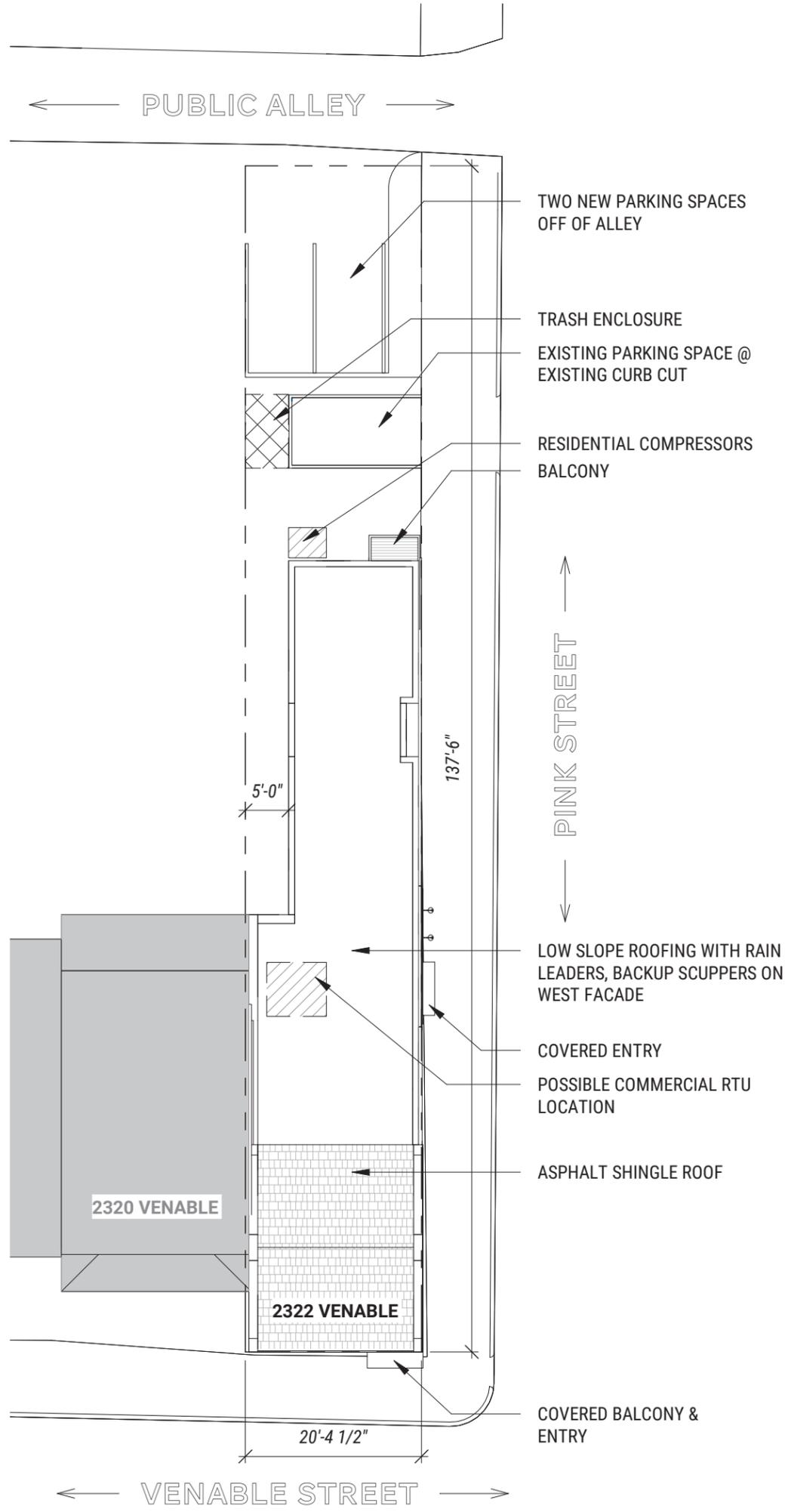
CONTEXT  
CORNER - VENABLE X 21ST



CONTEXT  
CORNERS - VENABLE X MOSBY

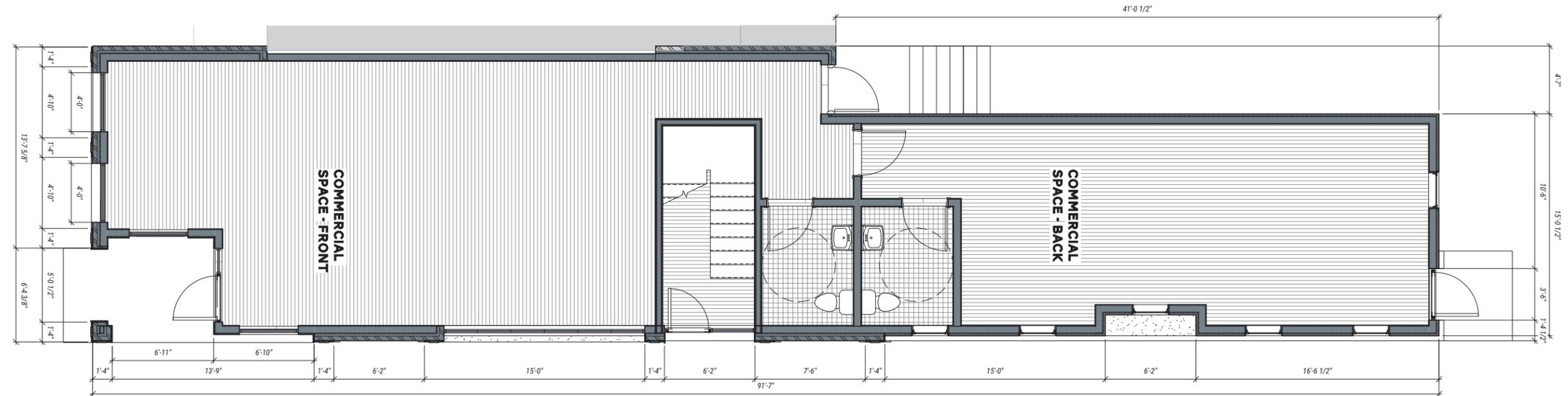


SITE PLAN  
1/16" = 1'-0"



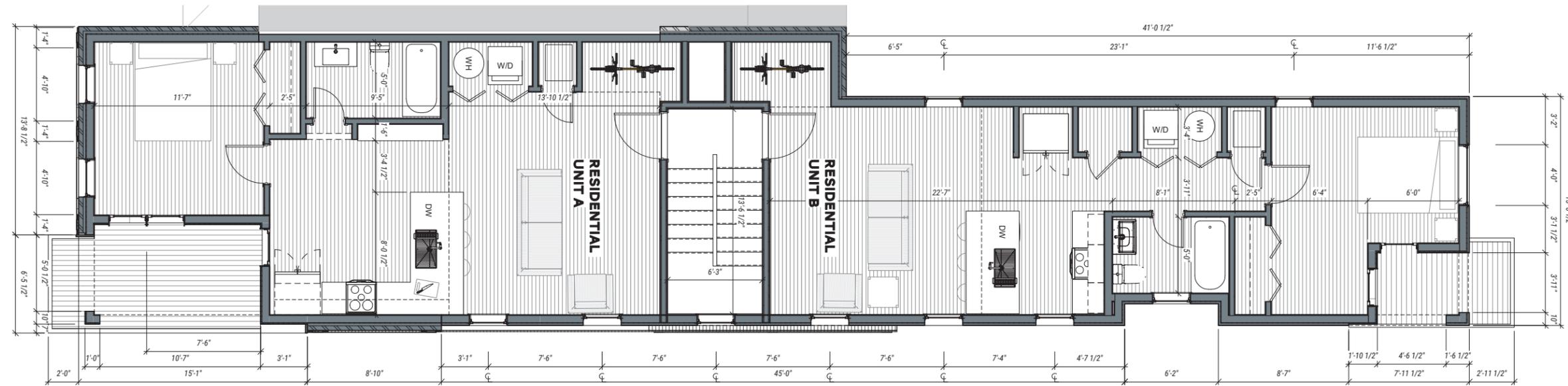
PARCEL AREA:	2802 SF
MAX LOT COVERAGE (65%):	1821.3
ACTUAL LOT COVERAGE:	1675 SF

FLOOR PLANS - GROUND FLOOR  
1/8" = 1'-0"



# FLOOR PLAN - UPPER FLOOR

1/8" = 1'-0"



# SQUARE FOOTAGE

## SCHEMATIC SQUARE FOOTAGE & OCCUPANCY ESTIMATES:

### COMMERCIAL SPACE (RESTAURANT CALCULATIONS)

FRONT OF HOUSE:	587 SF + 58 SF DECK	43 OCC
BACK OF HOUSE:	800 SF	4 OCC
TOTAL:	1,387 SF	47 OCC

### RESIDENTIAL SPACE

UNIT A (FRONT):	670 SF + 98 SF BALCONY
UNIT B (REAR):	687 SF + 47 SF BALCONY
TOTAL:	1,357 SF + 145 SF BALCONY

### SHARED SPACE:

STAIR:	109 SF
CHASE:	16 SF
TOTAL:	125 SF

GRAND TOTAL: 3,072 SF

## SCHEMATIC SQUARE FOOTAGE & OCCUPANCY ESTIMATES:

### COMMERCIAL SPACE (OFFICE CALCULATIONS)

FRONT OFFICE:	587 SF + 58 SF DECK	7 OCC
BACK OFFICE:	800 SF	8 OCC
TOTAL:	1,387 SF	15 OCC

### RESIDENTIAL SPACE

UNIT A (FRONT):	670 SF + 98 SF BALCONY
UNIT B (REAR):	687 SF + 47 SF BALCONY
TOTAL:	1,357 SF + 145 SF BALCONY

### SHARED SPACE:

STAIR:	109 SF
CHASE:	16 SF
TOTAL:	125 SF

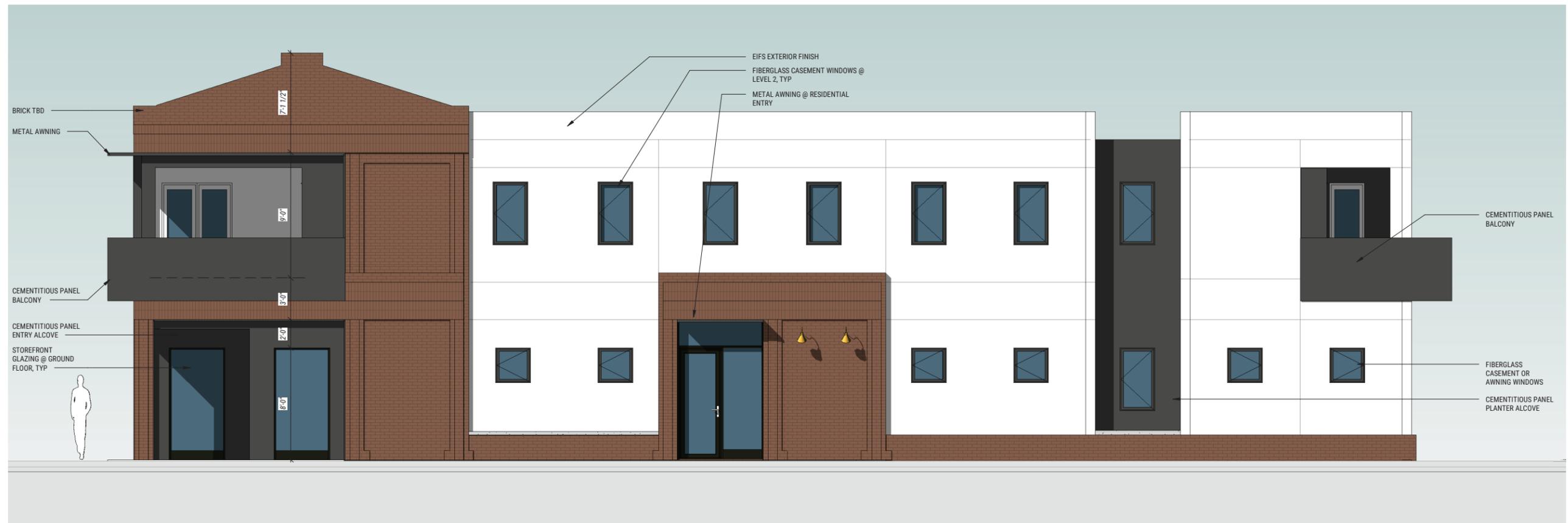
GRAND TOTAL: 3,072 SF

ELEVATION - SOUTH (VENABLE STREET)  
1/8" = 1'-0"



# ELEVATION - EAST (PINK STREET)

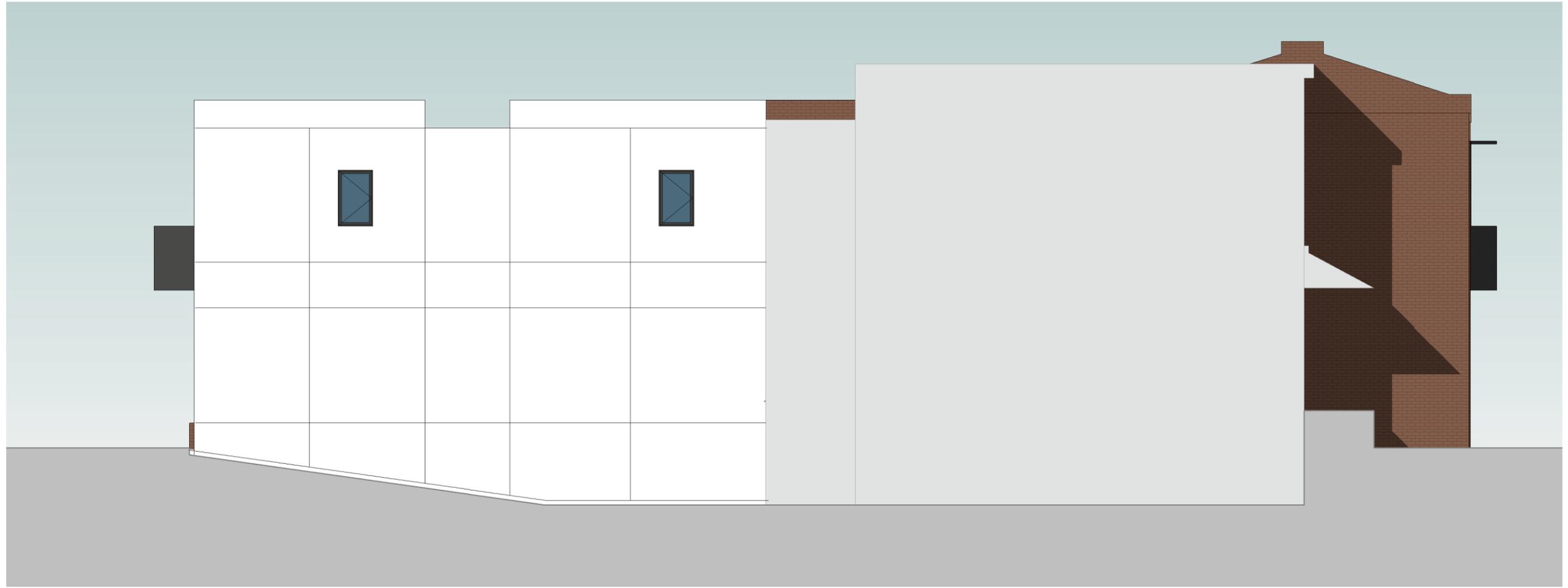
1/8" = 1'-0"



ELEVATION - NORTH (ALLEY)  
1/8" = 1'-0"



ELEVATION - WEST (2320 VENABLE)  
1/8" = 1'-0"



# PERSPECTIVE - PRIMARY CORNER



PERSPECTIVE - CONTEXT FROM EAST



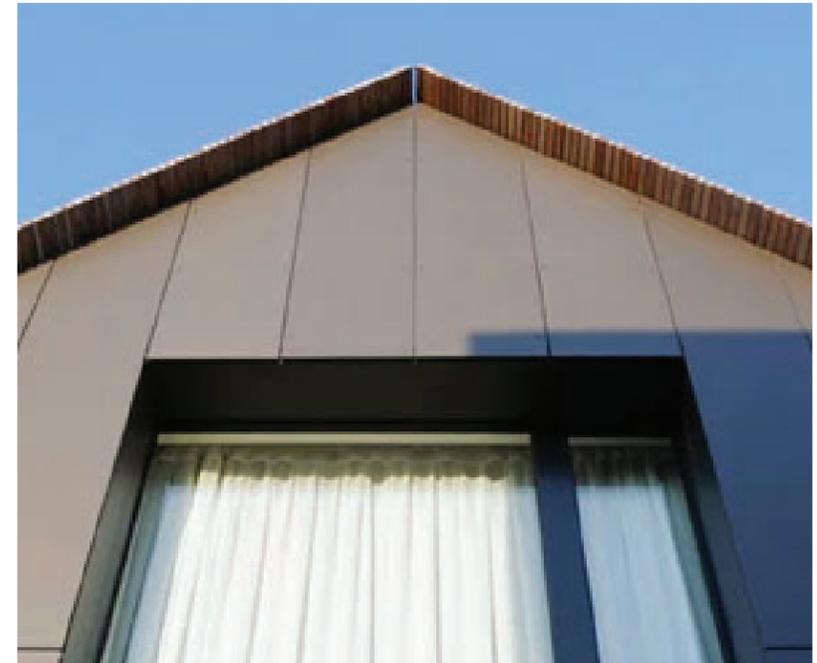
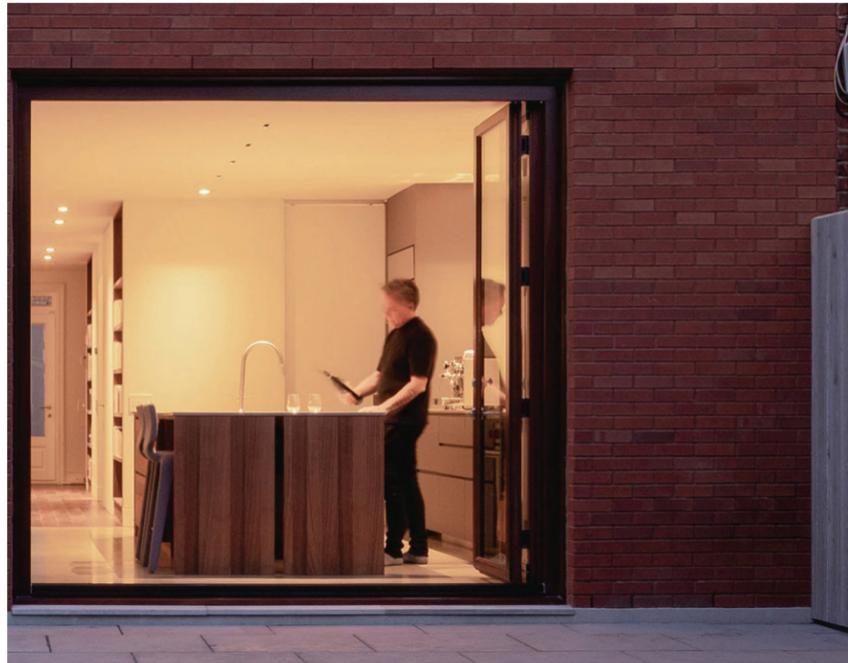
PERSPECTIVE - CONTEXT FROM WEST



PERSPECTIVE - APPROACH FROM NORTH



# MATERIAL CONSIDERATIONS



**MASONRY**



**EIFS**



**CEMENTITIOUS PANEL**

**FIELD PART I**