

INTRODUCED: January 24, 2022

AN ORDINANCE No. 2022-026

To authorize the special use of the property known as 2117 Fairfax Avenue for the purpose of two two-family detached dwellings and one single-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 28 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 2117 Fairfax Avenue, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of two two-family detached dwellings and one single-family detached dwelling, which use, among other things, is not currently allowed by sections 30-410.1, concerning permitted principal uses, and 30-410.4, concerning lot area and width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: FEB 28 2022 REJECTED: _____ STRICKEN: _____

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 2117 Fairfax Avenue and identified as Tax Parcel No. S000-0458/019 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Map Showing the Improvements on Lots 11, 12, and 13, Block 11, ‘Mason Park,’ in the City of Richmond, VA.,” prepared by Virginia Surveys, and dated October 23, 2020, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two two-family detached dwellings and one single-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “2117 Fairfax Ave. Development, 2117 Fairfax Avenue, Richmond, Virginia 23224,” prepared by Chris Wolf Architecture, PLLC, and dated September 22, 2021, and hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as two two-family detached dwellings and one single-family detached dwelling, substantially as shown on the Plans.

(b) A minimum of two off-street parking spaces shall be provided for each two-family detached dwelling and one off-street parking space shall be provided for the single-family detached dwelling.

(c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(d) Prior to the issuance of any certificate of occupancy for the Special Use, the subdivision of three residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

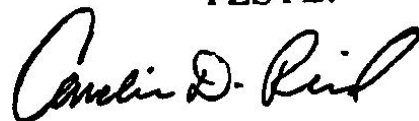
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink that reads "Carlin D. Reed". The signature is written in a cursive style with a large initial "C".

City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request

File Number: PRE.2021.942

O & R Request

DATE: December 10, 2021

EDITION: 1

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Dept. of Planning and Development Review

RE: To authorize the special use of the property known as 2117 Fairfax Avenue for the purpose of two two-family detached dwellings and one single-family detached dwelling, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 2117 Fairfax Avenue for the purpose of two two-family detached dwellings and one single-family detached dwelling, upon certain terms and conditions.

REASON: The applicant is requesting subdivide the existing single lot, which is improved with a two-family dwelling, into three lots in order to construct one new two-family detached dwelling and one new single-family detached dwelling on the two new lots. The existing two-family dwelling is proposed to be retained. The proposed two-family dwelling is not a permitted use in the R-5 Single-Family Residential District. The three proposed lots do not meet the lot area and lot width requirements of the R-5 Single-Family Residential District. Off-street parking, yard, and height requirements would be met with the proposal.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its February 7, 2022 meeting.

BACKGROUND: The subject property consists a parcel containing a lot area of 14,157 square feet (0.325 acres) and is currently improved with one two-story two-family detached dwelling that has a floor area of

approximately 2,400 square feet. The property is located in the Oak Grove neighborhood at the northeast corner of Fairfax Avenue and East 22nd Street. The subject property is located within the R-5 Single-Family Residential District. The proposed new two-family dwelling is not a use permitted in the R-5 District, and each of the three proposed lots do not meet the lot area or lot width for single-family dwellings in the R-5 District.

Richmond 300 recommends a future land use of “Residential” for the property. The primary uses recommended for Residential are single-family homes, accessory dwelling units and open space. Secondary uses include duplexes and small multi-family buildings (3-10 units), institutional and cultural uses. These uses should typically be located on major streets. The development style for Residential is houses on medium or large sized lots with homes setback from the street. Future development should continue or introduce a gridded pattern of development and new buildings should be built to a scale and design that is consistent with existing buildings. Buildings are generally one to three stories, with lots generally ranging up to 5,000 SF to 20,000 SF. General density should be 2-10 units per acre.

The property is located one-tenth of a mile from a high frequency (every 15 minutes on weekdays and Saturdays) GRTC bus line. The predominant land use in the vicinity is single-family dwellings, however there are two other two-family detached dwellings located within the block of the subject property.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: January 10, 2022

CITY COUNCIL PUBLIC HEARING DATE: February 14, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
February 7, 2022

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant’s Report, Plans, Survey, Map

STAFF: Richard Saunders, Senior Planner, Land Use Administration (Room 511) 646-5648



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 2117 Fairfax Avenue Date: 2/19/2021
 Tax Map #: S0000458019 Fee: 300
 Total area of affected site in acres: 0.325

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-5

Existing Use: One (1) two-family detached dwelling

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Construction of two (2) two-family detached dwellings, renovation of existing two-family detached dwelling

Existing Use: One (1) two-family detached dwelling

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Mark Baker / Charlie Wilson

Company: Baker Development Resources

Mailing Address: 1519 Summit Avenue, Suite 102

City: Richmond State: VA Zip Code: 23230

Telephone: (804) 874-6275 Fax: ()

Email: markbaker@bakerdevelopmentresources.com, charlie@bakerdevelopmentresources.com

Property Owner: C AND M PROPERTIES RICHMOND LLC

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 611 N 26th Street

City: Richmond State: VA Zip Code: 23223

Telephone: (804) 3069019 Fax: ()

Email: mattj@htrsi.com

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

February 19, 2021

Revised: November 29, 2021

Special Use Permit Request

2117 Fairfax Avenue, Richmond, Virginia

Map Reference Number: S000-0458/019

Submitted to:

City of Richmond

Department of Planning and Development Review

Land Use Administration

900 East Broad Street, Suite 511

Richmond, Virginia 23219

Submitted by:

Baker Development Resources

530 East Main Street, Suite 730

Richmond, Virginia 23219

Introduction

The property owner is requesting a special use permit (the "SUP") for 2117 Fairfax Avenue (the "Property"). The SUP would authorize the construction of one (1) two-family detached dwelling and one (1) single-family detached dwelling along with the renovation of the existing two-family detached dwelling located on the Property.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the north side of Fairfax Avenue between East 22nd Street and East 21st Street. The Property consists of one parcel, which is referenced by the City Assessor as tax parcel S000-0458/019. The Property is exceptionally large for the immediate vicinity and is improved by a two-family dwelling. The Property consists of three 33-foot wide lots from the original Mason Park Subdivision, which predates the 1942 annexation of the surrounding area, including the Property, by the City of Richmond. The Property is 99 feet wide, 143 feet deep and contains approximately 14,157 square feet of lot area. The Property is relatively flat and is afforded access in the rear by means of an east-west alley.



There are a mix of one and two-family dwellings in the block, with two two-family dwellings located directly across Fairfax Avenue. This is consistent with the existing development in the immediate vicinity which is predominantly single-family dwellings with two-family dwellings interspersed. To the south of the Property is a church. To the southwest lies, within two blocks, the Richmond Highway corridor, which is currently improved by various commercial, institutional, industrial, and multifamily uses.

EXISTING ZONING

The Property is zoned R-5 Single-Family Residential, which does not permit the proposed two-family detached dwelling use. The surrounding properties are also zoned R-5. The nearby properties along Richmond Highway are a combination of B-6 Mixed-Use Business, B-3 General Business, and M-1 Light Industrial.

MASTER PLAN DESIGNATION

The Richmond 300 Plan (the "Master Plan"), which was approved by Richmond City Council at their December 14th meeting, suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, including:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options." Richmond Highway is shown as being an enhanced transit corridor and is within close proximity to the Property (Figure 28, p. 119).
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to "Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers."
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to "Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to "Increase the number of mixed-income communities along enhanced transit corridors."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to "Encourage more housing types throughout the city and greater density along

enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance.”

- e) Allow the development of middle housing (2- to 4- unit buildings) by-right within 1/2 mile of high-frequency transit stops.
- Page 155 (Inclusive Housing Chapter), Objective 14.8 to “Develop inclusionary and equitable housing options for our gentrifying neighborhoods to prevent involuntary displacement.”
- Page 159 (Thriving Environment Chapter) Objective 15.1 to “Reduce air pollution related to transportation.”
 - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).

Proposal

PROJECT SUMMARY

The proposed development includes the construction of one (1) two-family detached dwelling on the vacant western portion of the Property and the construction of one (1) single-family detached dwelling on the vacant eastern portion of the Property as well as the renovation of the existing two-family detached dwelling.

PURPOSE OF REQUEST

While the Property is a single legal lot of record from a zoning perspective, it includes three original subdivision lots that are each 33 feet wide. For that reason, the Property is exceptionally large for the area, in many cases three times the size of other lots. The existing building was constructed on the Property on the center subdivision lot, retaining a vacant original subdivision lot on either side. The Property owner would now like to construct a two-family detached dwelling on the vacant subdivision lot to the west of the existing dwelling and a single-family detached dwelling on the vacant subdivision lot to the east and renovate the existing two-family dwelling. While this request is consistent with the historic development pattern in the vicinity, the R-5 district does not permit the proposed two-family use and some of the underlying feature requirements are not met for the single-family dwelling and therefore, a SUP is required.

The proposed lot width and area are compatible with other lots in the vicinity, which are all characteristically smaller urban lots. In the subject block, a majority of the lots are developed with dwellings that do not comply with the current R-5 requirements. These dwellings were typically built with minimal side-yard setbacks, and are substandard where the 50 feet of lot width and 6,000 square feet of lot area required for single-family detached dwellings are concerned. Based on this historic lot pattern, the majority of lots in the vicinity are nonconforming with regard to lot area, lot width and yards. Where existing two-family dwellings are concerned, they are nonconforming with respect to use and located on similarly sized lots.

In exchange for the SUP, the intent of this request is to ensure a high-quality infill development that is consistent with the objectives of the Master Plan. The overall project would be appropriately efficient and would be compatible with the existing development in the vicinity. The quality

assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

PROJECT DETAILS

The proposed two-family and single-family dwellings would each be two stories in height and are consistent with historic development pattern found throughout the neighborhood. From the street, the new two-family dwelling would read as a single-family dwelling and would therefore be consistent with other residential buildings in the vicinity in terms of scale and character.

The two-family dwelling would contain approximately 2,304 square feet of floor area, with each dwelling unit within the building containing approximately 1,150 square feet. Each dwelling unit would consist of two bedrooms and two bathrooms. The floor plans are spacious and modern with open living areas and kitchens.

The new single-family detached dwelling would contain 1,866 square feet of finished floor area and consist of three bedrooms and two-and-one-half bathrooms. The dwelling has been designed to appeal to the current homebuyer with an open living room and kitchen and a primary bedroom with en suite bath and walk-in closet.

The new buildings would be clad in cementitious lap siding in order to ensure quality and durability. The buildings would utilize compatible architectural details as well as full-width front porches in order to ensure consistency in appearance with many other dwellings in the vicinity. Full width upper and lower covered rear porches are proposed for the two-family dwelling in order to provide ample usable outdoor area. Six parking spaces are proposed for the total of five dwelling units, which would be accessed by the public alley to the rear of the Property.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation and six off-street parking spaces for the five dwelling units will create no congestion on streets, roads, alleys or any other public right of way. Furthermore, the Property is within walking distance to the Richmond Highway corridor, which offers fifteen-minute frequency bus service (the "3"

routes) that connect the Property to Manchester, VCU, downtown, and Highland Park—with multiple transfer opportunities with other routes along the way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services.

- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed dwellings are of compatible massing and spacing to the existing dwellings throughout the neighborhood. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

Summary

In summary we are enthusiastically seeking approval for the construction of the proposed two-family and single-family detached dwellings and the renovation of the existing two-family detached dwelling. The buildings have been thoughtfully designed in order to provide appropriate, high quality infill development. The request offers compatibility with the City's Master Plan in terms of use. The request would contribute to the ongoing revitalization of the neighborhood, upgrading the Property while maintaining a desirable variation in housing style and density in the vicinity and providing for continued economic diversity in housing options within the neighborhood.

The proposed development would provide for respectful infill development that is consistent with the objectives of the Master Plan. The proposed design is historically appropriate and would contribute to the vibrancy of the block with street-oriented full width front porches. An appropriate urban form coupled with the provision of accessory parking to the rear of the Property would give the Property the much-desired traditional neighborhood design which is appropriate for this area of the City. The provision of off-street parking spaces exceeds zoning requirements would help mitigate any impact on parking related to the development. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.



PROJECT CONTACTS:

DEVELOPERS:
MATT JARREAU &
CASEY WHITE
804-306-9019

CONTRACTOR:
KIWI DEVELOPMENT
804-869-8600

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

S.U.P. INCLUDING NEW TWO-FAMILY & SINGLE FAMILY HOUSES
IN RICHMOND'S OAK GROVE NEIGHBORHOOD

2117 FAIRFAX AVE. DEVELOPMENT

2117 FAIRFAX AVENUE
RICHMOND, VIRGINIA 23224

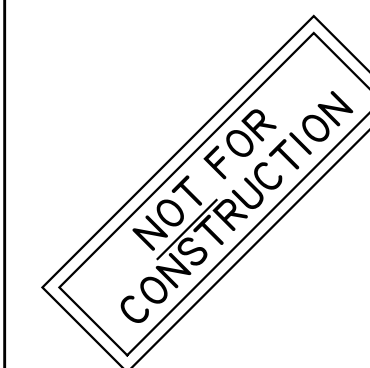
S.U.P. INCLUDING NEW TWO-FAMILY & SINGLE FAMILY HOUSES
IN RICHMOND'S OAK GROVE NEIGHBORHOOD

2117 FAIRFAX AVE. DEVELOPMENT

2117 FAIRFAX AVENUE
RICHMOND, VIRGINIA 23224

DRAWING INDEX

DRAWINGS	
NO.	SHEET TITLE
CS	COVER SHEET
CI.1	ARCHITECTURAL SITE PLAN
A1.1	2019 FIRST & SECOND FLOOR PLANS
A1.2	2019 FRONT ELEVATION & REAR EXTERIOR ELEVATIONS
A1.3	2019 LEFT & RIGHT SIDE EXTERIOR ELEVATIONS
A2.1	2015 FIRST & SECOND FLOOR PLANS
A2.2	2015 FRONT ELEVATION & REAR EXTERIOR ELEVATIONS
A2.3	2015 LEFT & RIGHT SIDE EXTERIOR ELEVATIONS



SET/REVISION:
S.U.P. REVISION 01

DATE/MARK:
09.22.2021

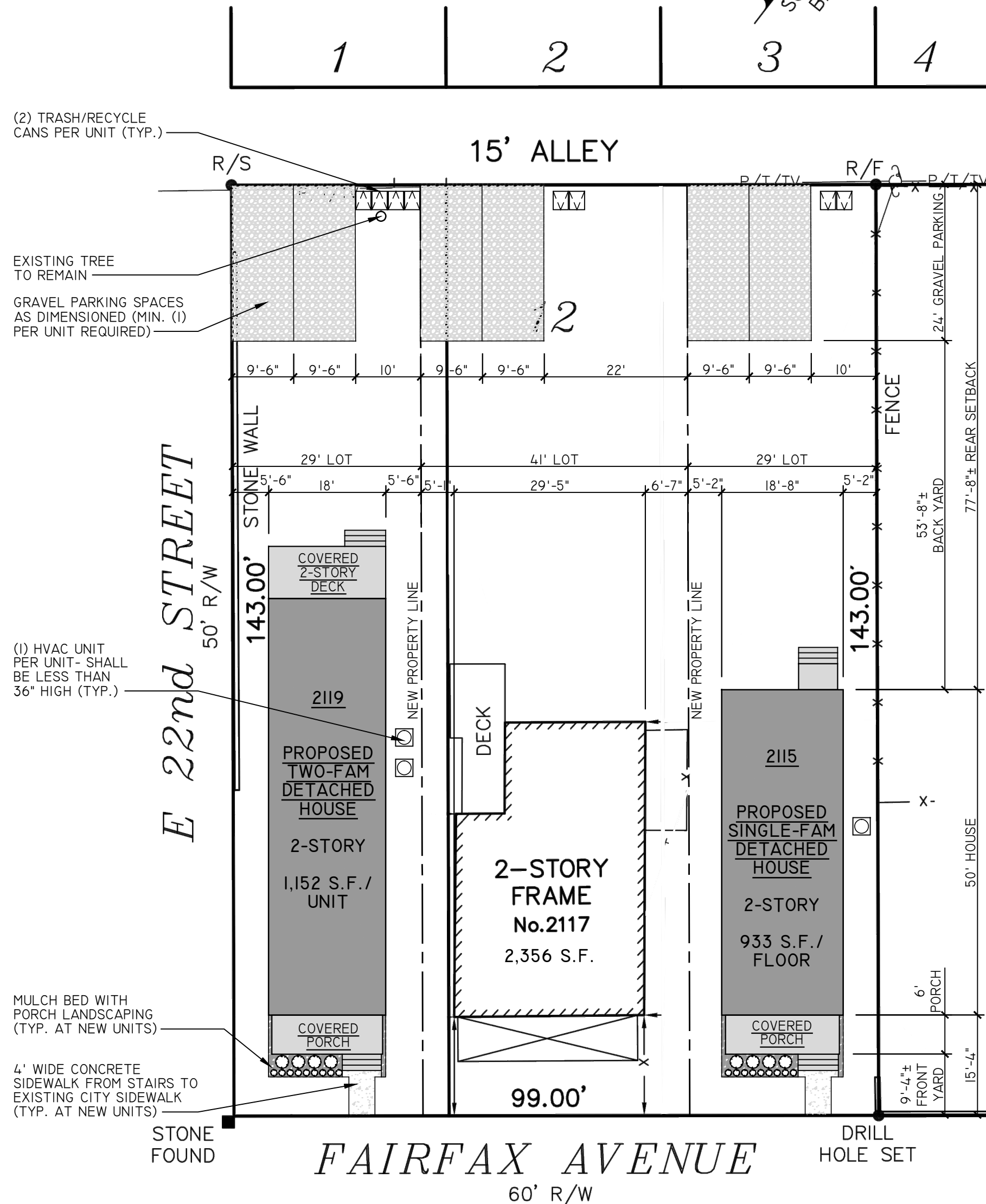
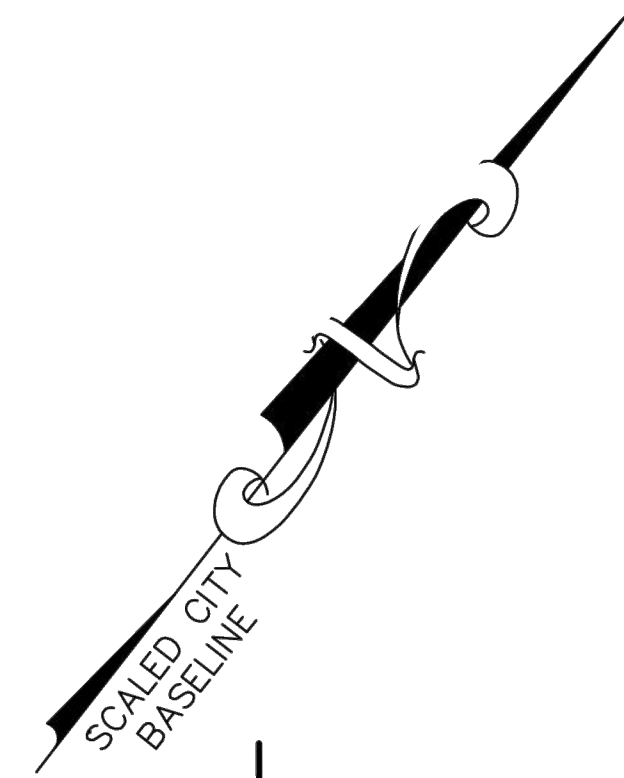
COVER SHEET

CS

ZONING INFORMATION (PROPOSED):

LOT ZONED R-5

SETBACKS/YARDS:	2119	2117 (EXIST.)	2115
FRONT YARD:	15'-4"	15'-4" (AVE.)	15'-4"
LEFT SIDE YARD:	5'-6"	5'-1"	5'-2"
RIGHT SIDE YARD:	5'-6"±	6'-7"	5'-2"
REAR YARD:	63'-8"±	82'-7"±	77'-8"±
HEIGHT:	27'-5"±	-	27'-9"±
LOT SIZE & COVERAGE:	2119	2117 (EXIST.)	2115
LOT WIDTH:	29'	41'	29'
LOT AREA:	4,147 S.F.	5,863 S.F.	4,147 S.F.
LOT COVERAGE:	1,152 S.F.	1,178 S.F.	933 S.F.
LOT COVERAGE PERCENTAGE:	28%	20%	22.5%



(2) TRASH/RECYCLE CANS PER UNIT (TYP.)

EXISTING TREE TO REMAIN

GRAVEL PARKING SPACES AS DIMENSIONED (MIN. (1) PER UNIT REQUIRED)

(1) HVAC UNIT PER UNIT - SHALL BE LESS THAN 36" HIGH (TYP.)

MULCH BED WITH PORCH LANDSCAPING (TYP. AT NEW UNITS)

4" WIDE CONCRETE SIDEWALK FROM STAIRS TO EXISTING CITY SIDEWALK (TYP. AT NEW UNITS)

STONE FOUND

PROJECT CONTACTS:

DEVELOPERS:
MATT JARREAU &
CASEY WHITE
804-306-9019

CONTRACTOR:
KIWI DEVELOPMENT
804-869-8600

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

S.U.P. INCLUDING NEW TWO-FAMILY & SINGLE FAMILY HOUSES
IN RICHMOND'S OAK GROVE NEIGHBORHOOD

2117 FAIRFAX AVE. DEVELOPMENT

2117 FAIRFAX AVENUE
RICHMOND, VIRGINIA 23224

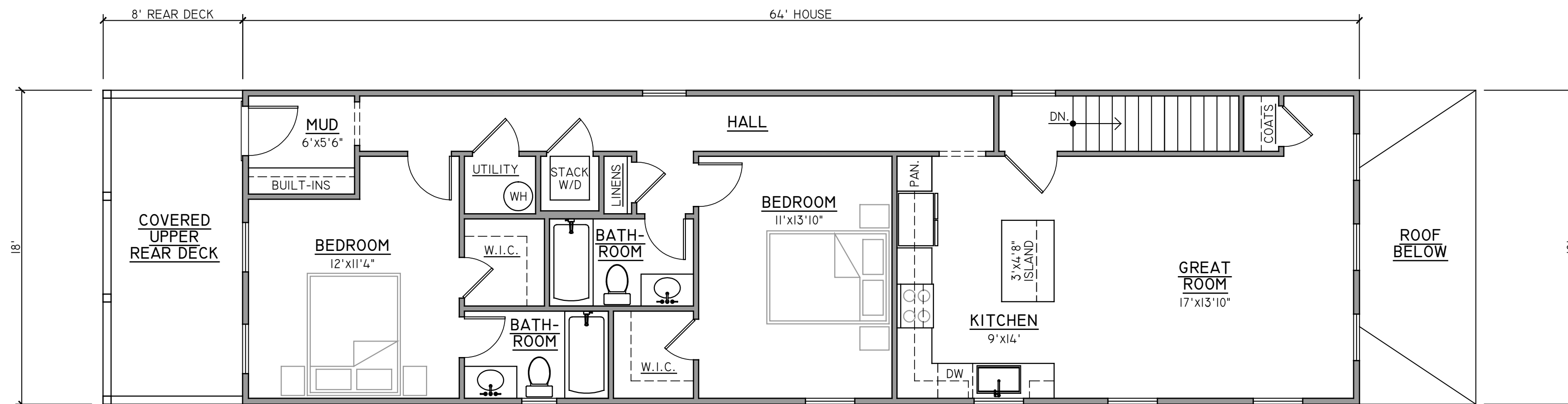


SET/REVISION:
S.U.P. REVISION 01

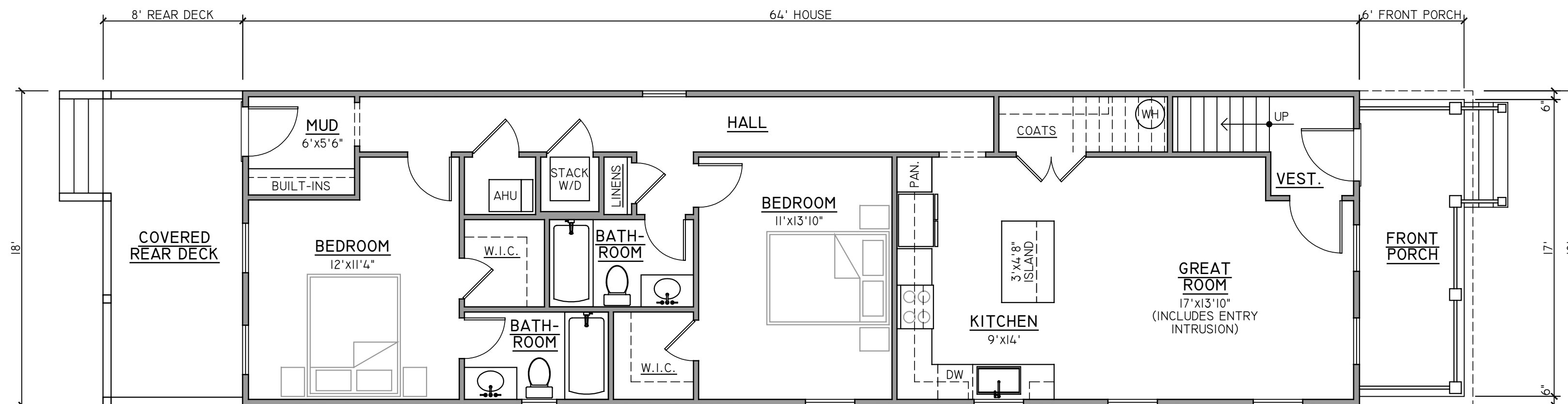
DATE/MARK:
09.22.2021

ARCHITECTURAL
SITE PLAN

CI.I



02 | SECOND FLOOR PLAN
1/4" = 1'



01 | FIRST FLOOR PLAN
1/4" = 1'

PROJECT CONTACTS:

DEVELOPERS:
MATT JARREAU &
CASEY WHITE
804-306-9019
CONTRACTOR:
KIWI DEVELOPMENT
804-869-8600
ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

S.U.P. INCLUDING NEW TWO-FAMILY & SINGLE FAMILY HOUSES
IN RICHMOND'S OAK GROVE NEIGHBORHOOD

2117 FAIRFAX AVE. DEVELOPMENT

2117 FAIRFAX AVENUE
RICHMOND, VIRGINIA 23224

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CONSTRUCTION

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DATE/MARK:
09.22.2021

2119 FIRST & SECOND
FLOOR PLANS

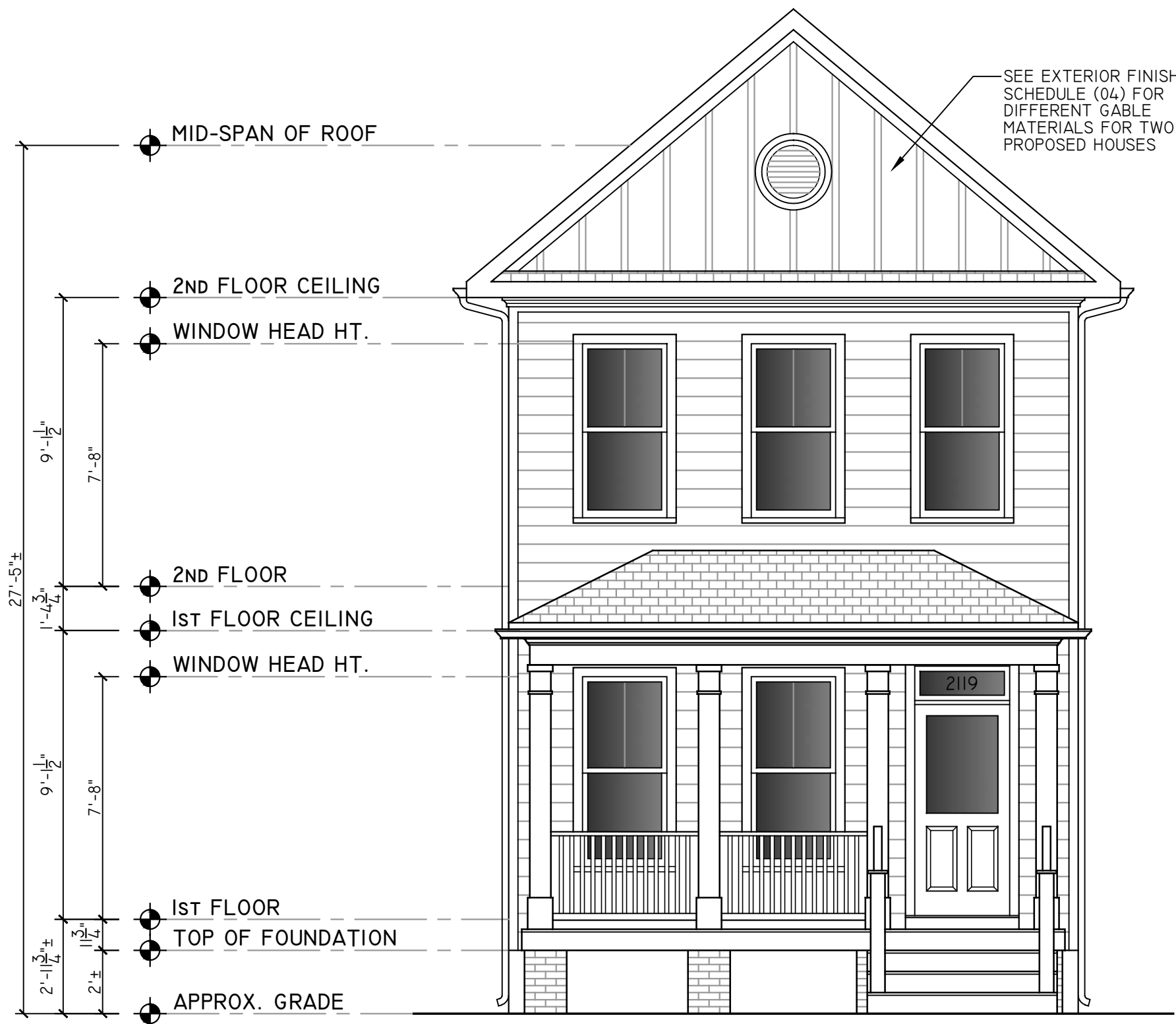
AI.I

EXTERIOR FINISH SCHEDULE

NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	BRICK PIERS	RICHMOND RED
02	PARGED FOUNDATION	THRU-COLOR TAN/GRAY
03	FIBER-CEMENT LAP SIDING	COLOR TBD
04A	2015 GABLES - FIBER-CEMENT SHINGLE SIDING	COLOR TBD
04B	2019 GABLES - FIBER-CEMENT BOARD & BATTEN	COLOR TBD
05	COMPOSITE TRIM- SEE WALL SECTION	PAINTED WHITE
06	FIBER-CEMENT SOFFIT	FACTORY WHITE
07	VINYL BEADBOARD PORCH CEILING	NON-VENTED, FACTORY WHITE
08	ENTRY DOOR	PAINTED, COLOR DBD
09	5/4x4 COMPOSITE DOOR/WINDOW TRIM	PAINTED WHITE
10	VINYL WINDOWS - SEE FLOOR PLANS FOR SIZES	PREFINISHED WHITE
11	8" SQUARE DECORATIVE PORCH COLUMN	PAINTED WHITE
12	COMPOSITE STAIRS/TRIM WITH P.T. WOOD DECKING	PAINTED WHITE FRAME
13	STEEL FRONT PORCH RAILING/ HANDRAIL	FACTORY WHITE
14	TREATED WOOD REAR DECK/STAIRS/RAILING	NATURAL TREATED WOOD
15	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
16	ASPHALT SHINGLE ROOF	TBD
17	24"Ø ATTIC VENT	PAINTED WHITE
18	FRIEZE CROWN MOULDING- SEE WALL SECTION	PROFILE TBD, PAINTED WHITE

EXTERIOR FINISH NOTES:

1. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS U.N.O.
2. GRADES SHOWN APPROXIMATE. V.I.F.
3. SEE SPECIFICATIONS BY OWNER
4. G.C. VERIFY ALL MATERIAL & COLOR SELECTIONS WITH DEVELOPER PRIOR TO CONSTRUCTION



01 | FRONT ELEVATION

1/4" = 1'



02 | REAR ELEVATION

1/4" = 1'

PROJECT CONTACTS:

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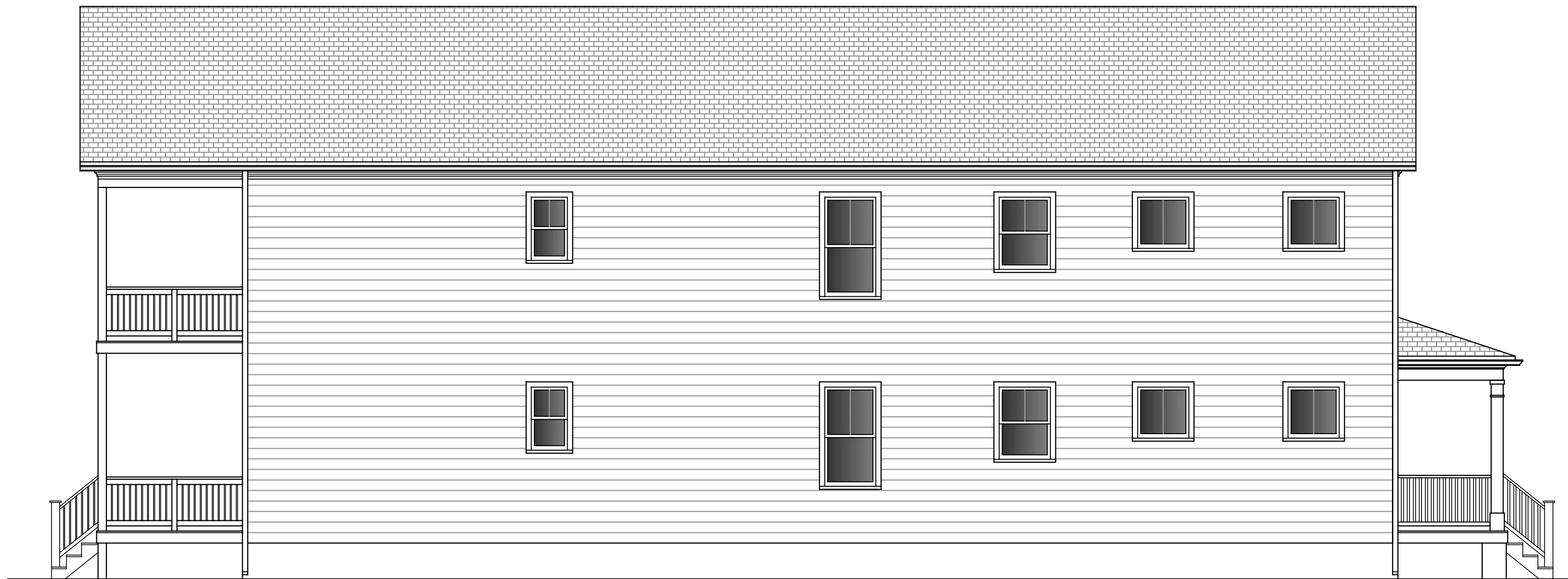
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2119 FRONT & REAR
EXTERIOR ELEVATIONS

AI.2



02 | RIGHT SIDE ELEVATION
3/16" = 1'



01 | LEFT SIDE ELEVATION
3/16" = 1'

PROJECT CONTACTS:

DEVELOPERS:
MATT JARREAU &
CASEY WHITE
804-306-9019

CONTRACTOR:
KIWI DEVELOPMENT
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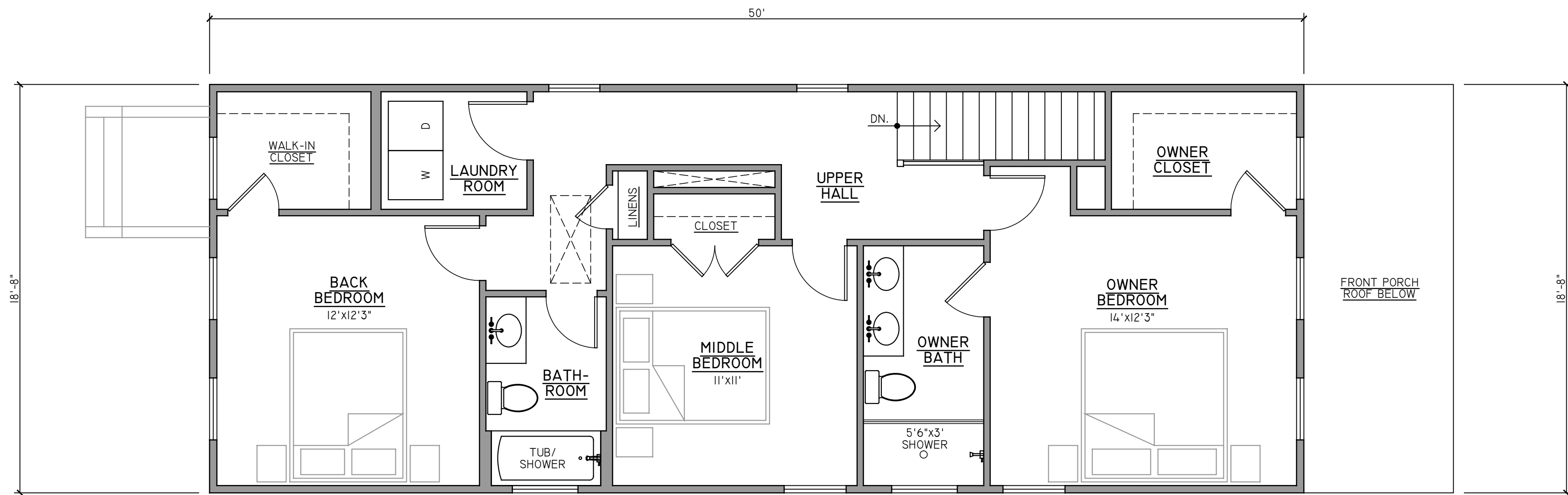
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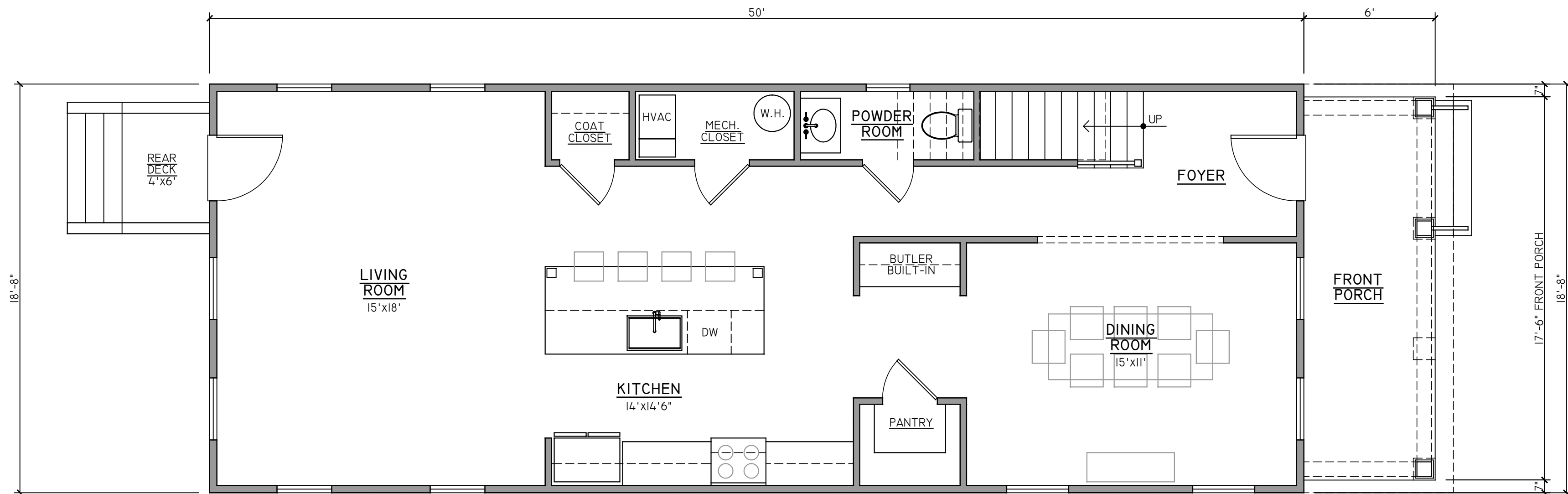
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2119 LEFT & RIGHT SIDE
EXTERIOR ELEVATIONS

AI.3



02 | 2ND FLOOR PLAN
1/4" = 1'



01 | 1ST FLOOR PLAN
1/4" = 1'

PROJECT CONTACTS:

DEVELOPERS:
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CASEY WHITE
804-306-9019

CONTRACTOR:
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2115 FIRST & SECOND
FLOOR PLANS

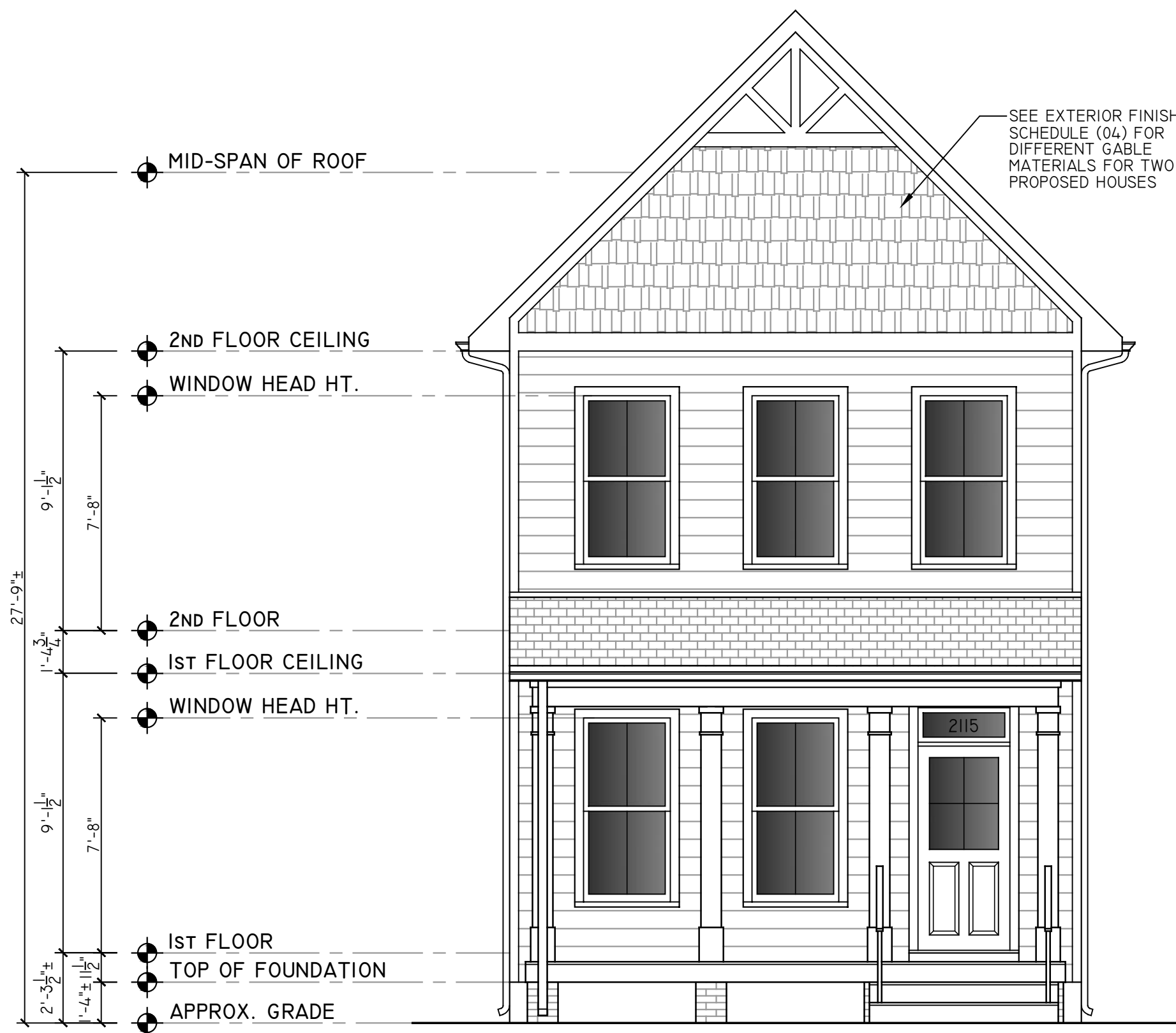
A2.1

EXTERIOR FINISH SCHEDULE

NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	BRICK PIERS	RICHMOND RED
02	PARGED FOUNDATION	THRU-COLOR TAN/GRAY
03	FIBER-CEMENT LAP SIDING	COLOR TBD
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15	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
16	ASPHALT SHINGLE ROOF	TBD
17	FRIEZE CROWN MOULDING- SEE WALL SECTION	PROFILE TBD, PAINTED WHITE
18		

EXTERIOR FINISH NOTES:

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01 | FRONT ELEVATION

1/4" = 1'



02 | REAR ELEVATION

1/4" = 1'

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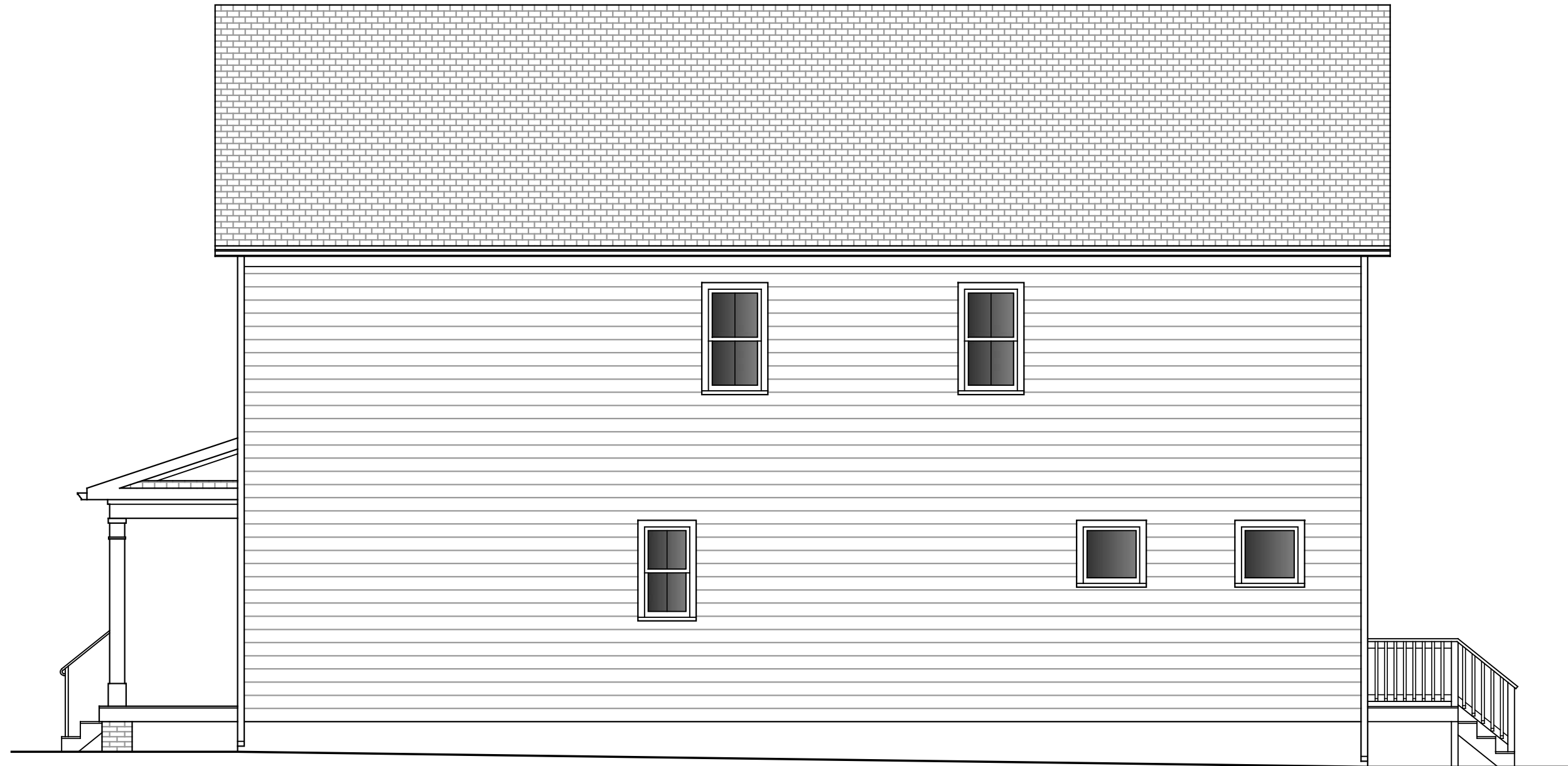
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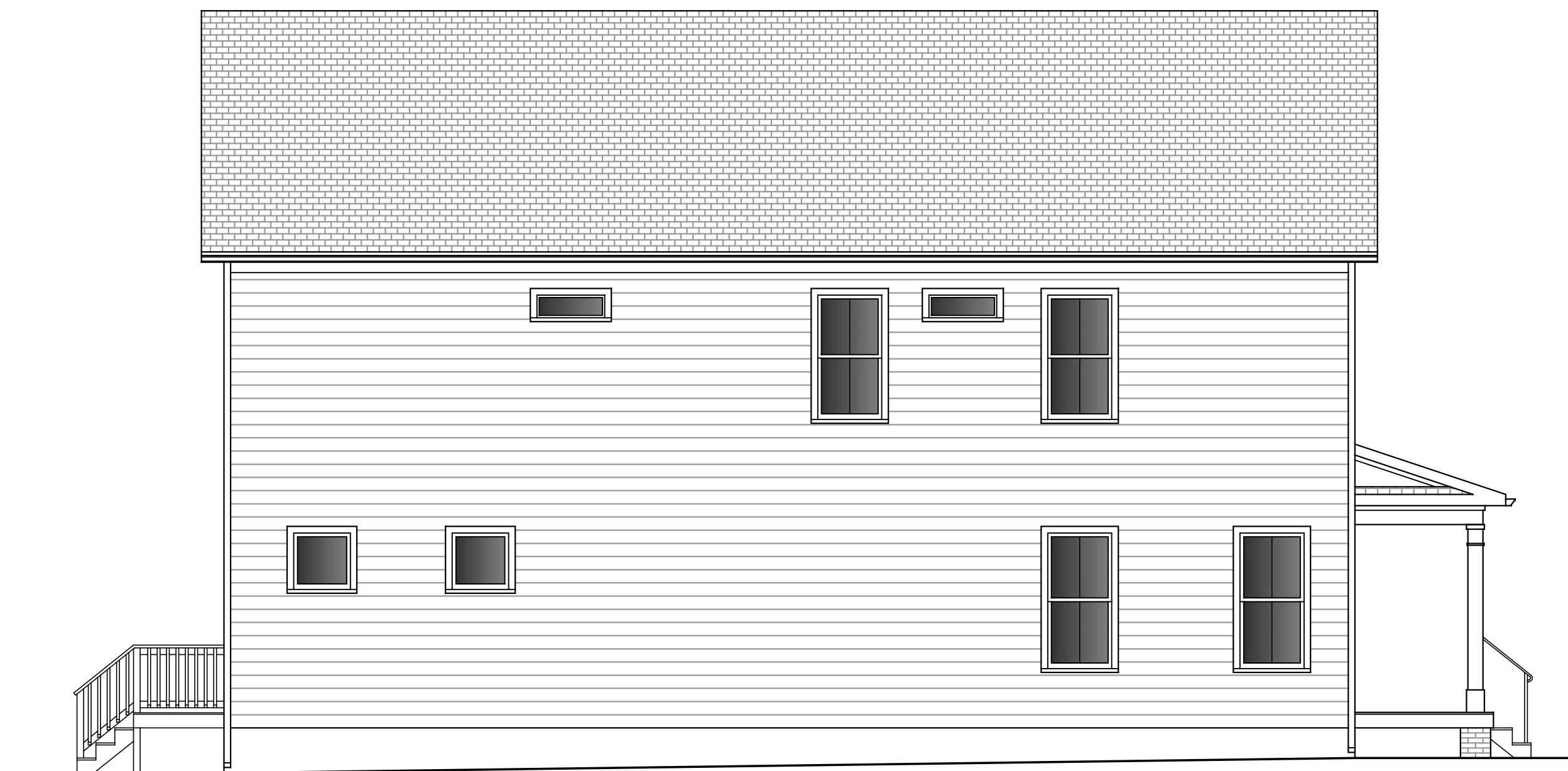
DATE/MARK:
09.22.2021

2015 FRONT & REAR
EXTERIOR ELEVATIONS

A2.2



02 | RIGHT SIDE ELEVATION
3/16" = 1'



01 | LEFT SIDE ELEVATION
3/16" = 1'

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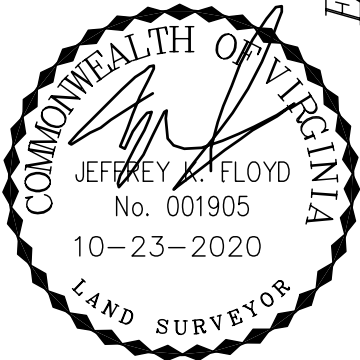
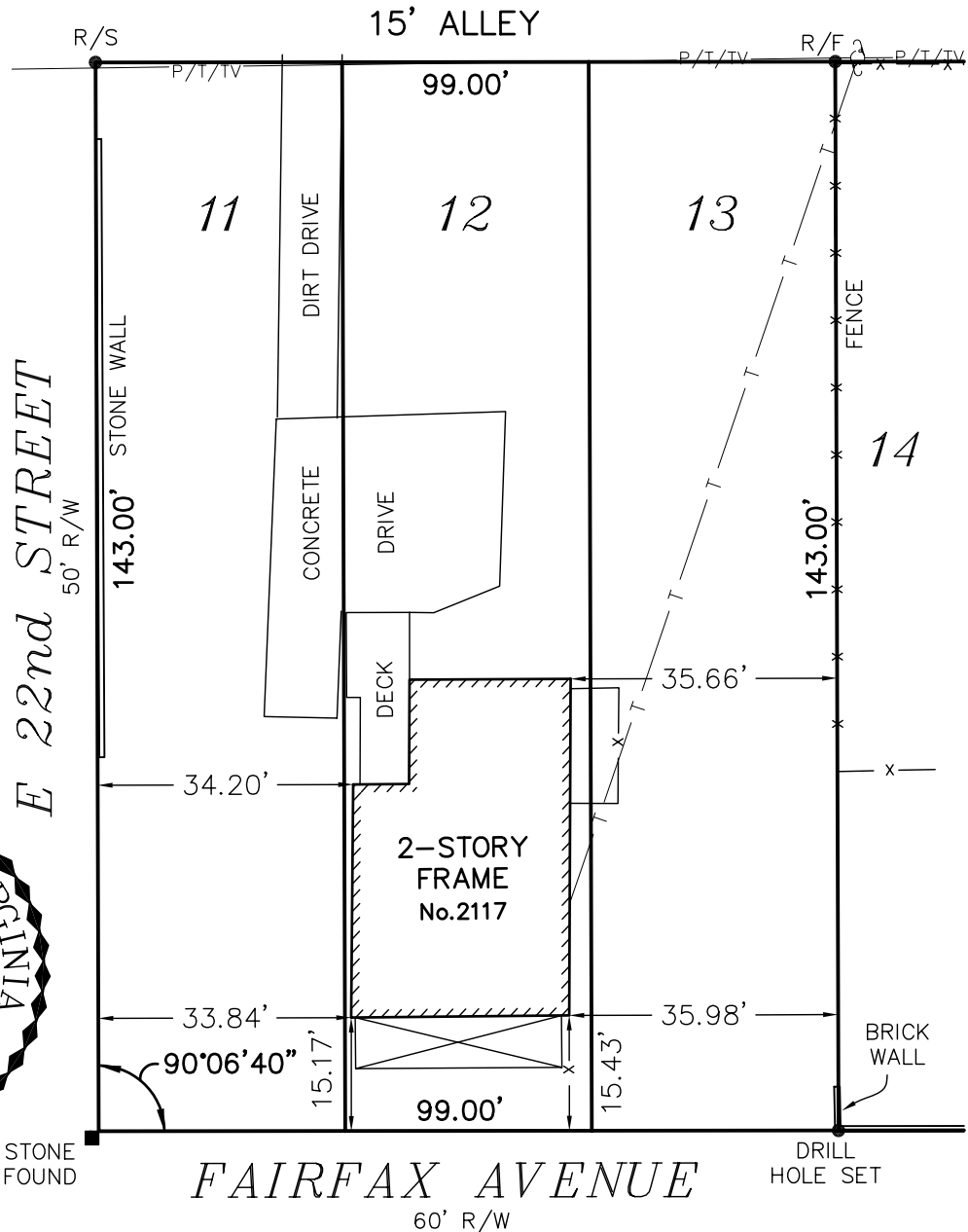
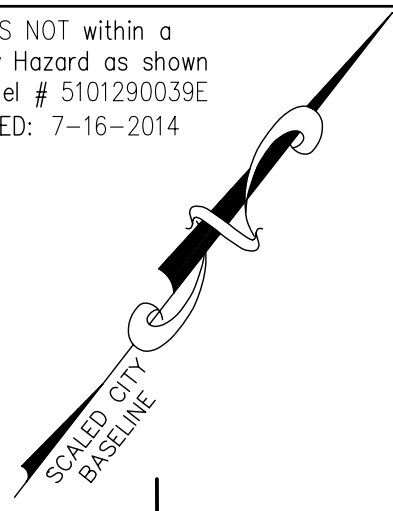
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2015 LEFT & RIGHT SIDE
EXTERIOR ELEVATIONS

A2.3

This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 10-23-2020 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.

This property IS NOT within a FEMA Floodway Hazard as shown on Comm. Panel # 5101290039E
Zone: "X" DATED: 7-16-2014



Virginia Surveys
P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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MAP SHOWING THE IMPROVEMENTS
ON LOTS 11, 12 AND 13, BLOCK 11,
"MASON PARK"
IN THE CITY OF RICHMOND, VA.

DATE: 10-23-2020

CERTIFIED BY JEFFREY K. FLOYD

VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=25'

JOB NO. 201013678