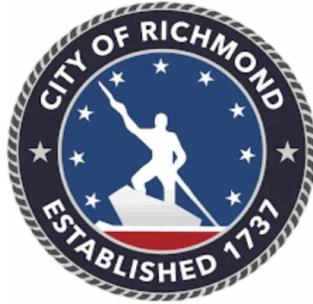


# City of Richmond

*City Hall  
900 East Broad Street*



## Agenda

**Tuesday, February 24, 2026**

**3:30 PM**

**5th Floor Conference Room of City Hall**

### **Commission of Architectural Review**

**Call to Order****Roll Call****Approval of Minutes****Secretary's Report****Administrative Approval Report****Enforcement Report****CONSENT AGENDA**

1. [COA-179902-2026](#) 2807 East Clay Street - Reconstruct a previously removed front porch.
2. [COA-179900-2026](#) 2714 East Grace Street - Replace existing front patio and walkway.
3. [COA-179905-2026](#) 411 Chimborazo Boulevard - Revise previously approved plans for a rear two-story addition to include an enclosed porch.

**REGULAR AGENDA**

4. [COA-178062-2026](#) 3110 East Broad Street - Rehabilitation/partial demolition of an existing two-story accessory building.  
*Attachments:* [Application & Plans](#)
5. [COA-178058-2026](#) 1101 West Grace Street - Repair and/or remove four deteriorated chimneys.  
*Attachments:* [Application & Plans](#)
6. [COA-178055-2026](#) 700 N 21st Street - Construct a new two-story mixed-use building on corner lot.  
*Attachments:* [Application & Plans](#)
7. [COA-175461-2025](#) 874-876 Jessamine Street - Construct a new multifamily building on vacant lots.  
*Attachments:* [Application & Plans](#)
8. [COA-176751-2025](#) 2322 Venable Street - Construct a new mixed-use building on vacant corner lot.  
*Attachments:* [Application & Plans](#)

9. [COA-178061-2026](#) 2509 East Franklin Street - Construct a rear two-story addition with a third-story covered porch.  
*Attachments:* [Application & Files](#)
10. [COA-178096-2026](#) 319 North 32nd Street - Construct one story rear addition.  
*Attachments:* [Application & Plans](#)
11. [COA-178054-2026](#) 214 West Marshall Street - Construct new three-story multi-family building on vacant lot.  
*Attachments:* [Application & Plans](#)
12. [COA-179904-2026](#) 2315 Monument - Revise previously approved plans to include the construction of a new freestanding fireplace in the side yard.
13. [COA-179903-2026](#) 2817 East Clay Street - Rehabilitate attached garages.

## **OTHER BUSINESS**

### **Adjournment**



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-179902-2026

---

Agenda Number: 1.



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-179900-2026

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Agenda Number: 2.



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-179905-2026

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Agenda Number: 3.



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-178062-2026

---

Agenda Number: 4.



**Property** (location of work)

Property Address: 3110 E Broad st

Historic District: Church Hill

Current Zoning: RG

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

**Applicant/Contact Person:** Phoebe Mix

Company: \_\_\_\_\_

Mailing Address: 3110 East Broad Street

City: Richmond State: VA Zip Code: 23223

Telephone: (703) 732-4874

Email: phoebemix1@gmail.com

Billing Contact? Applicant Type (owner, architect, etc.):

**Property Owner:** Phoebe Mix

If Business Entity, name and title of authorized signee: \_\_\_\_\_

Mailing Address: 3110 East Broad Street

City: Richmond State: VA Zip Code: 23223

Telephone: (703) 732-4874

Email: phoebemix1@gmail.com

Billing Contact?

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: [Signature]

Date: \_\_\_\_\_

N53° 11' 52"W 48.00  
 10' PUBLIC ALLEY  
 69.00  
 N53° 11' 52"W  
 1.17'  
 L3  
 0.75'  
 23.00  
 S53° 11' 52"E  
 IRF

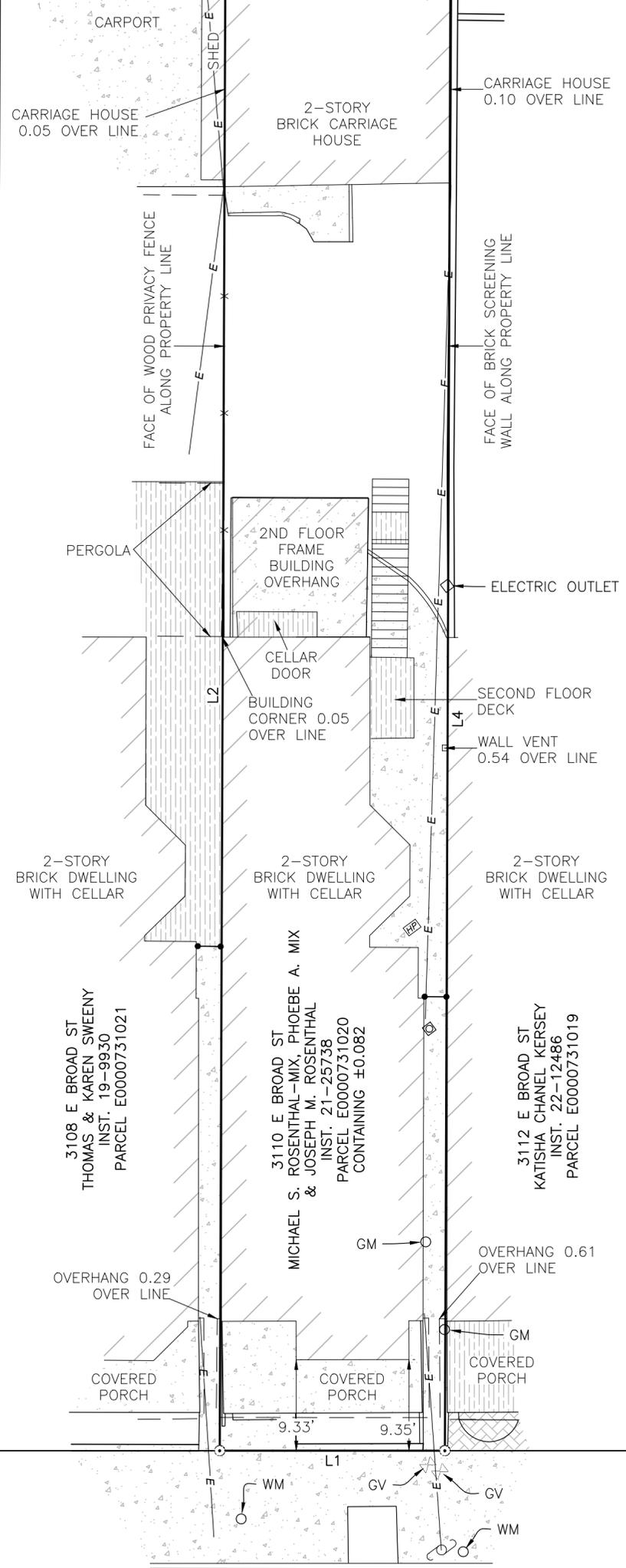
Line Table		
Line	Bearing	Length
L1	N53° 11' 52"W	23.00
L2	N37° 01' 13"E	155.00
L3	S53° 11' 52"E	23.00
L4	S37° 01' 13"W	155.00

**LEGEND**

- ⊙ IRF IRON ROD FOUND
- ⊙ IRS IRON ROD SET
- MONUMENT FOUND
- ⊙ PROPERTY CORNER FALLS ON FACE OF CONCRETE CURB
- WM WATER METER
- GM GAS METER
- ⊗ GV GAS VALVE
- E— OVERHEAD UTILITY LINE
- ⊕ OVERHEAD UTILITY POLE
- ⊠ ELECTRIC METER
- BRICK
- CONCRETE
- WOOD/DECK
- GRAVEL/STONE
- BUILDING LINE
- FENCE GATE POST
- HP HEAT PUMP
- x— FENCE
- ROOF OVERHANG

N 31ST STREET  
 66' PUBLIC RIGHT-OF-WAY

N53° 11' 52"W  
 117.00



3108 E BROAD ST  
 THOMAS & KAREN SWEENEY  
 INST. 19-9930  
 PARCEL E0000731021

3110 E BROAD ST  
 MICHAEL S. ROSENTHAL-MIX, PHOEBE A. MIX  
 & JOSEPH M. ROSENTHAL  
 INST. 21-25738  
 PARCEL E0000731020  
 CONTAINING ±0.082

3112 E BROAD ST  
 KATISHA CHANEL KERSEY  
 INST. 22-12486  
 PARCEL E0000731019

E BROAD STREET  
 66' PUBLIC RIGHT-OF-WAY

**NOTES:**

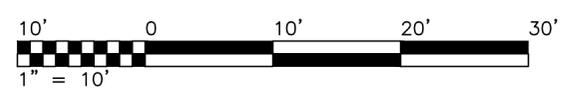
- ALL BUILDINGS ARE CLEAR OF PROPERTY LINES EXCEPT WHERE NOTED HEREON.
- THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND RIGHT-OF-WAY TAKES MAY EXIST THAT ARE NOT SHOWN.



**BOUNDARY SURVEY FOR**  
 3110 E BROAD STREET  
 PARCEL E0000731020  
 CITY OF RICHMOND, VA

**NYFELER SURVEY**  
 619 W CARY ST. RICHMOND, VA 23220  
 804-277-4231 NyfelerSurvey.com

SHEET NO.: 1 OF 1	
DATE: 3/10/2025	SCALE: 1" = 10'
JOB NUMBER: 25026	DRAWN BY: JRW









# 3110 East Broad Street

## CAR Application Plans

### Owner

Michael Rosenthal Mix  
3110 East Broad Street  
Richmond, VA, 23223

### Engineer

Obsidian, Inc.  
Charles R. Field, P.E.  
417 North 22nd Street  
Richmond, VA 23223  
804.647.1589  
obsidianrva@gmail.com

### Property Information

Parcel ID E0000731020  
Zoning R-6  
Use Residential  
Setbacks Front Yard = 15 feet  
Side Yard = 5 feet  
Rear Yard = 5 feet  
Lot Coverage < 55%

### Scope of Work

Scope of work will generally consist of the renovation of an existing carriage house in accordance with these plans and the Virginia Residential Code, 2018.

### Table of Contents

Sheet Number	Sheet Name
CAR 1	CAR Cover Sheet
CAR 2	First Floor Plans
CAR 3	Second Floor Plans
CAR 4	Roof Plan
CAR 5	North Elevations
CAR 6	West Elevations
CAR 7	East Elevations
CAR 8	South Elevations



Print plans at 11" x 17", Tabloid

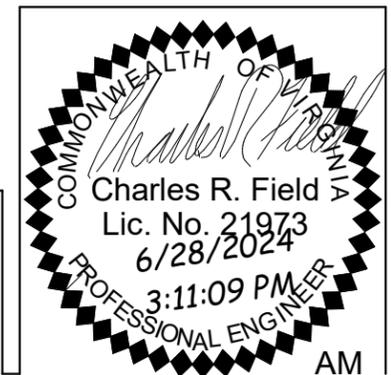
Rev.	Date	Description

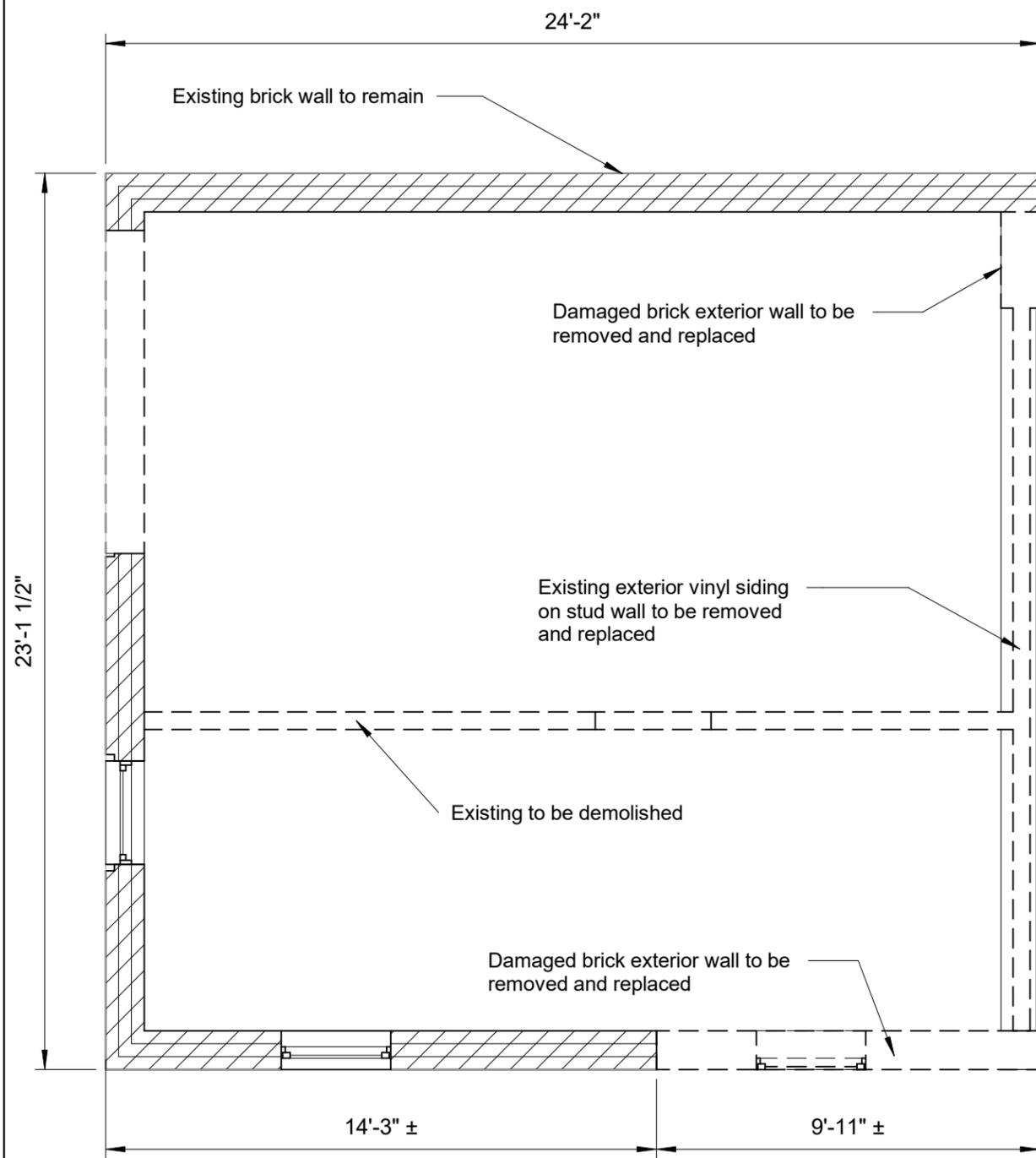
**Obsidian, Inc.**  
417 North 22nd Street  
Richmond, VA 23223  
804.647.1589  
obsidianrva@gmail.com

**CAR Cover Sheet**  
3110 E Broad St Carriage House Renovation  
Mixed Designs

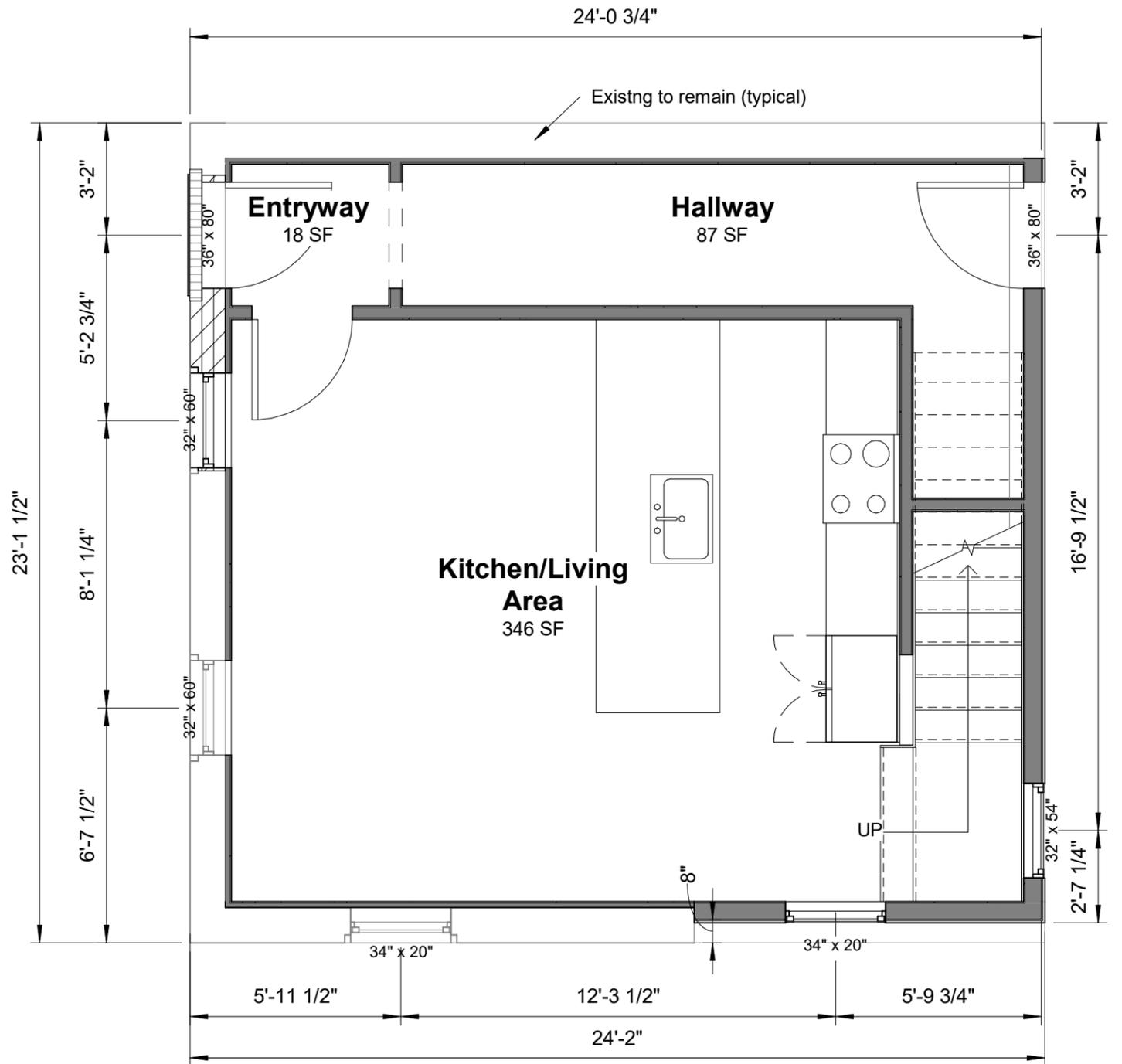
June 28, 2024

CAR 1

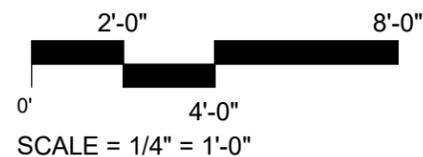




1 1st Floor - Existing  
1/4" = 1'-0"



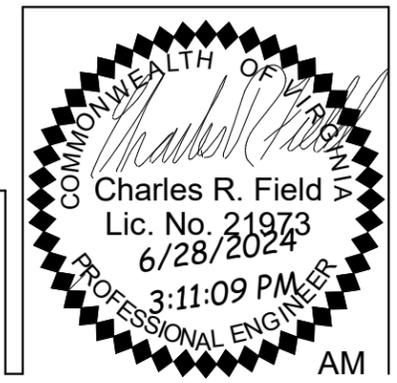
2 1st Floor - Proposed  
1/4" = 1'-0"



Rev.	Date	Description

**Obsidian, Inc.**  
417 North 22nd Street  
Richmond, VA 23223  
804.647.1589  
obsidianrva@gmail.com

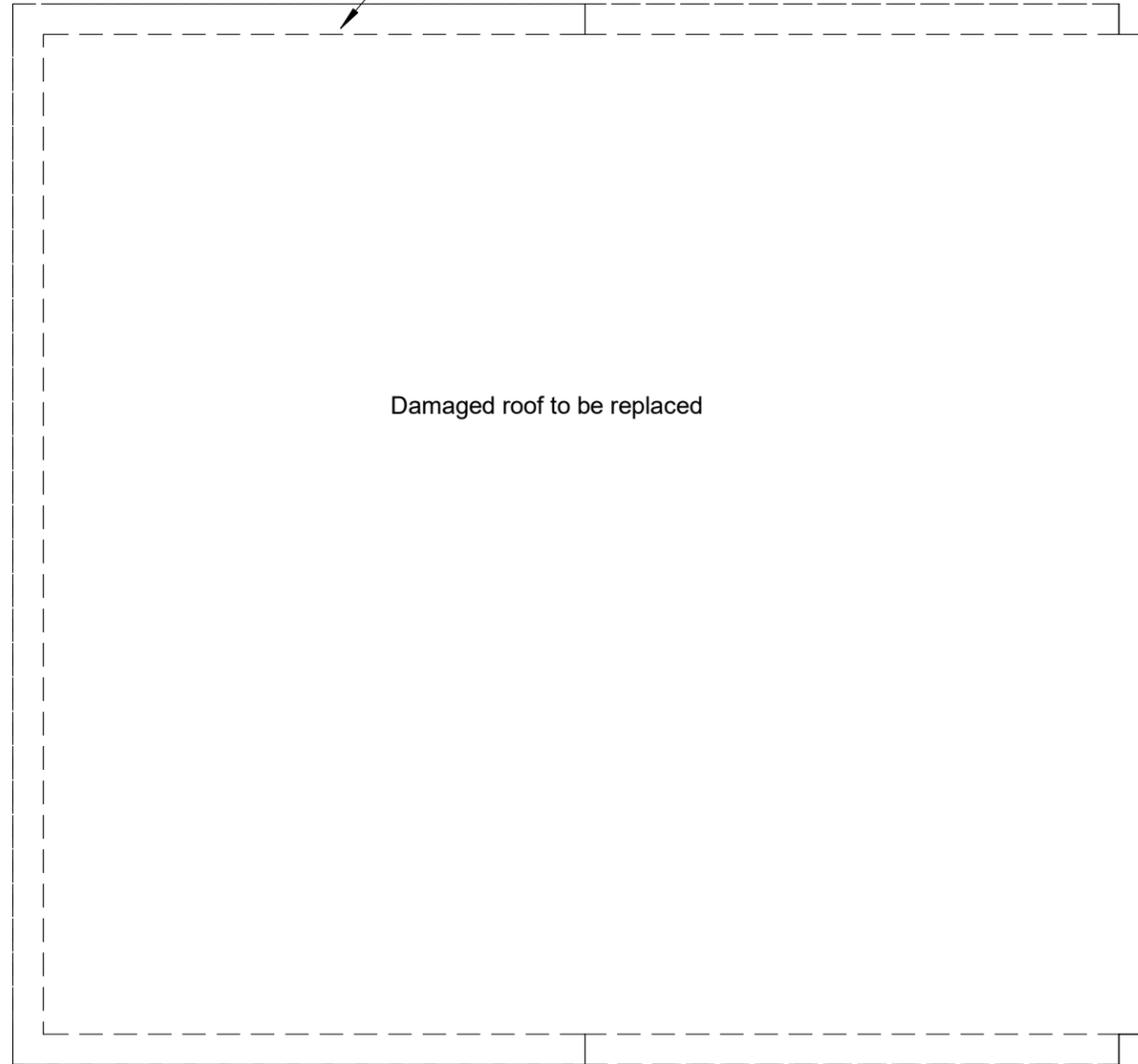
**First Floor Plans**  
**3110 E Broad St Carriage House Renovation**  
**Mixed Designs**  
June 28, 2024  
CAR 2



Print plans at 11" x 17", Tabloid

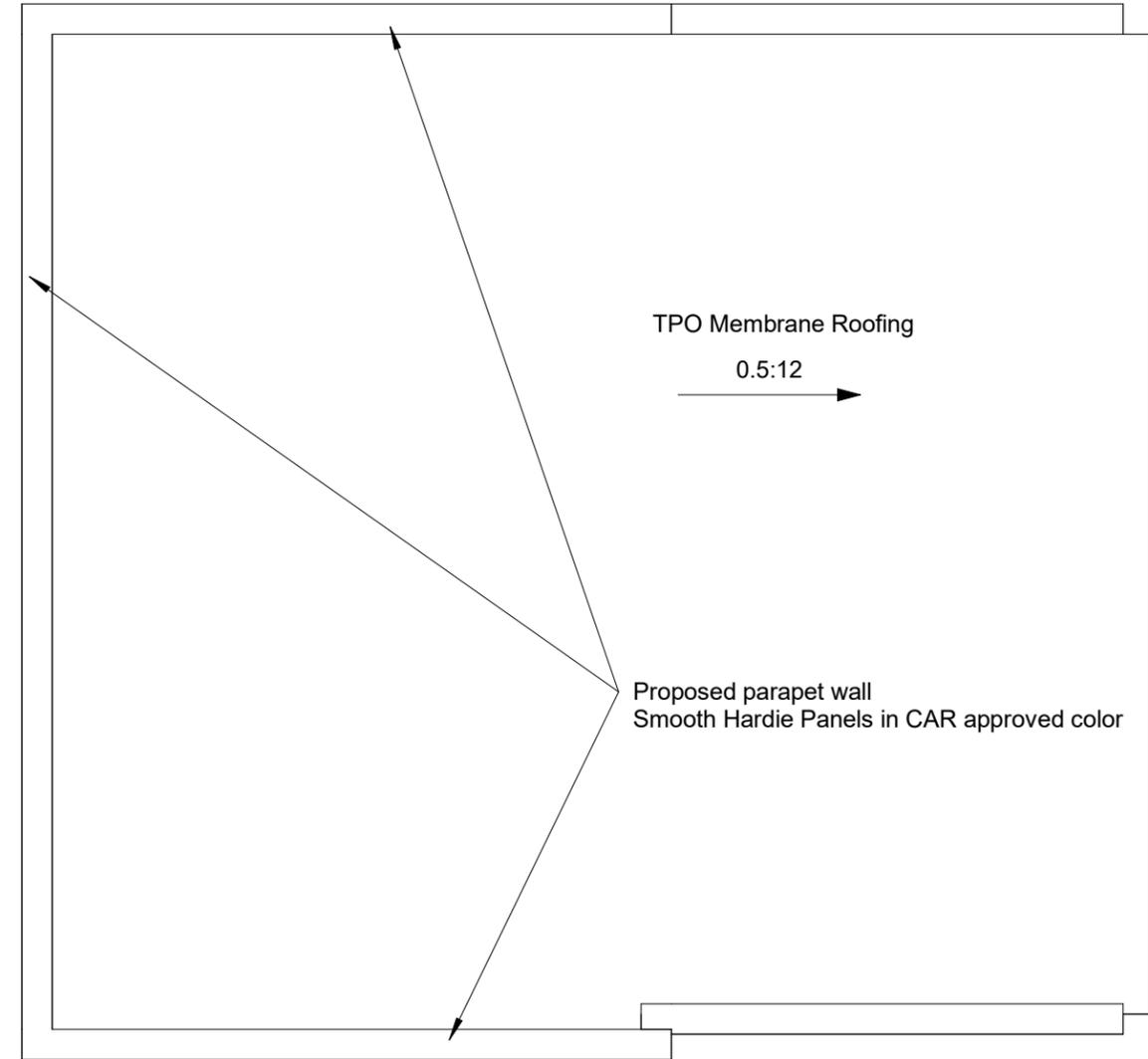


Damaged brick parapet walls to be removed



Damaged roof to be replaced

1 Roof - Existing  
1/4" = 1'-0"



TPO Membrane Roofing

0.5:12

Proposed parapet wall  
Smooth Hardie Panels in CAR approved color

2 Roof - Proposed  
1/4" = 1'-0"

Print plans at 11" x 17", Tabloid

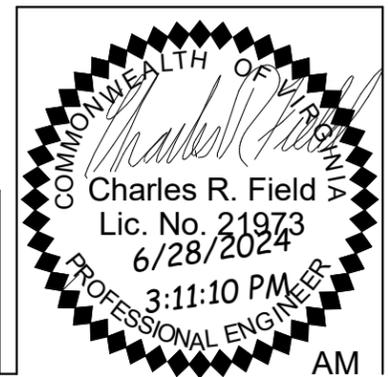
Rev.	Date	Description

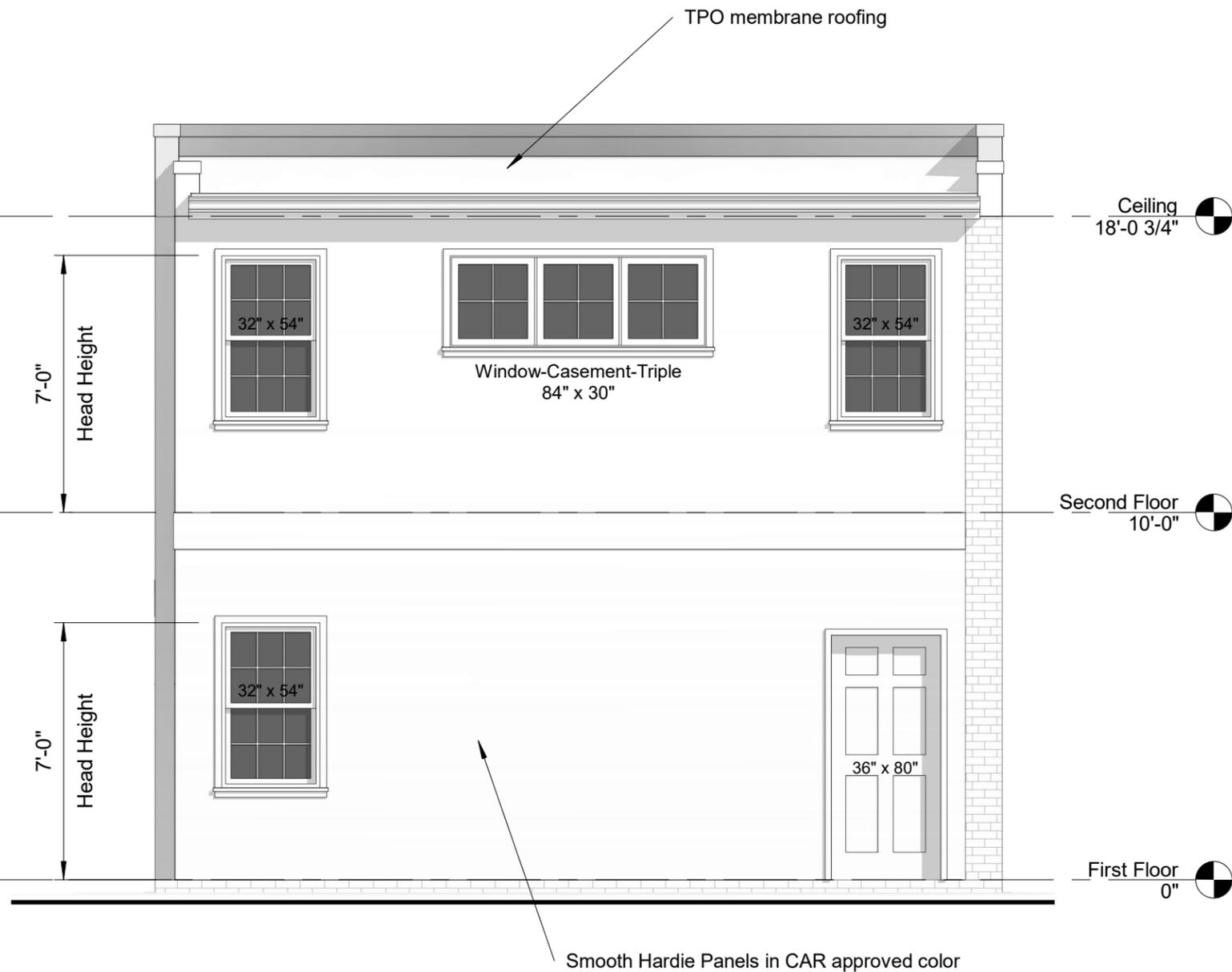
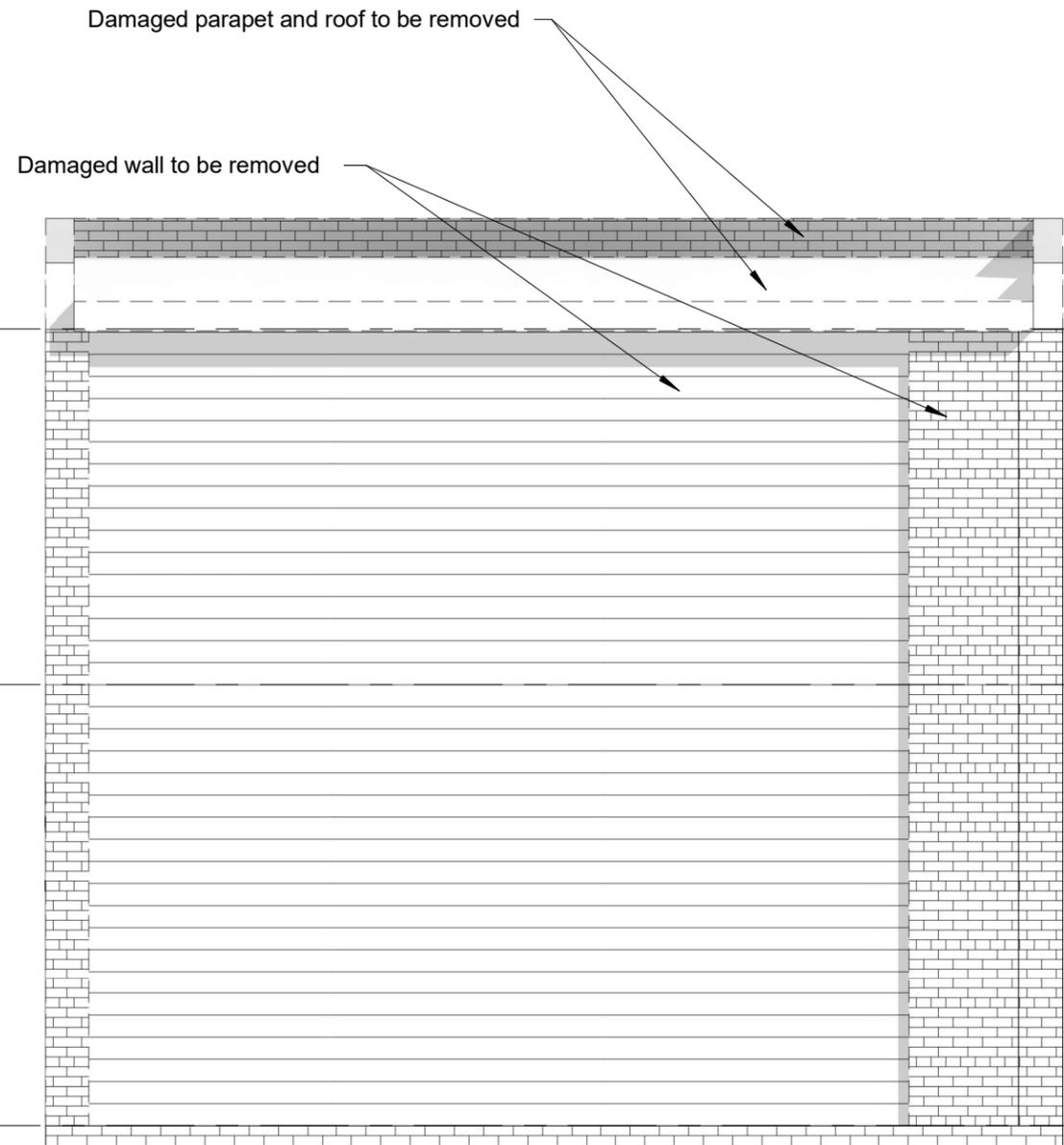
**Obsidian, Inc.**  
417 North 22nd Street  
Richmond, VA 23223  
804.647.1589  
obsidianrva@gmail.com

**Roof Plan**  
**3110 E Broad St Carriage House Renovation**  
**Mixed Designs**

June 28, 2024

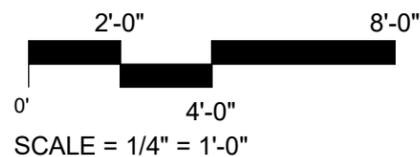
CAR 4





1 Existing Alley Wall Elevation  
1/4" = 1'-0"

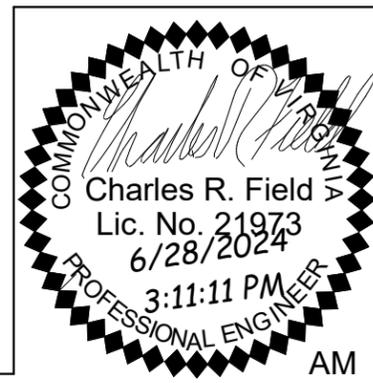
2 Proposed Alley Wall Elevation  
1/4" = 1'-0"



Rev.	Date	Description

**Obsidian, Inc.**  
417 North 22nd Street  
Richmond, VA 23223  
804.647.1589  
obsidianrva@gmail.com

**North Elevations**  
**3110 E Broad St Carriage House Renovation**  
**Mixed Designs**  
June 28, 2024  
CAR 5

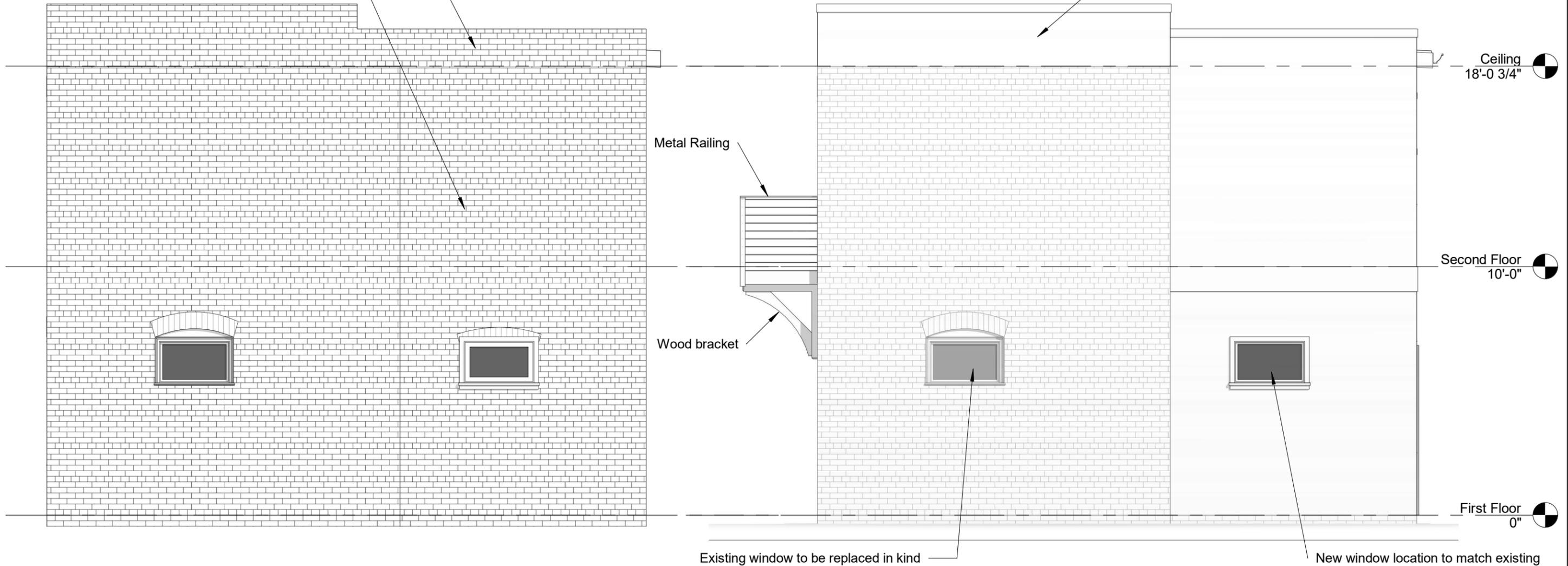


Print plans at 11" x 17", Tabloid

Damaged Parapit to be removed and replaced with smooth Hardie Panel

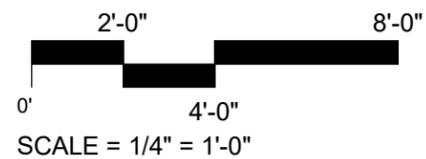
Damaged wall to be removed and replaced with smooth Hardie Panel

Smooth Hardie Panel in CAR approved color



1 Existing West  
1/4" = 1'-0"

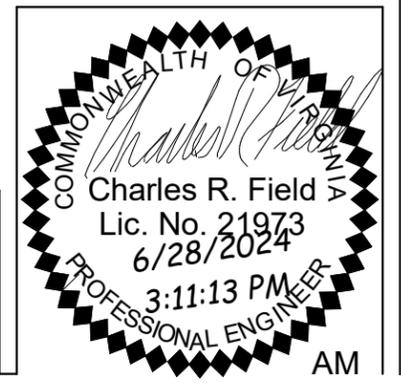
2 Proposed West  
1/4" = 1'-0"



Rev.	Date	Description

**Obsidian, Inc.**  
 417 North 22nd Street  
 Richmond, VA 23223  
 804.647.1589  
 obsidianrva@gmail.com

**West Elevations**  
**3110 E Broad St Carriage House Renovation**  
**Mixed Designs**  
 June 28, 2024  
 CAR 6



Print plans at 11" x 17", Tabloid

Damaged brick parapet to be removed

Smooth Hardie Panel in CAR approved color

Existing brick wall to remain

Existing brick wall to remain

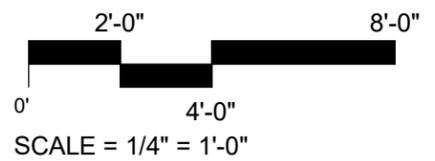
Ceiling  
18'-0 3/4"

Second Floor  
10'-0"

First Floor  
0"

1 Existing East  
1/4" = 1'-0"

2 Proposed East  
1/4" = 1'-0"



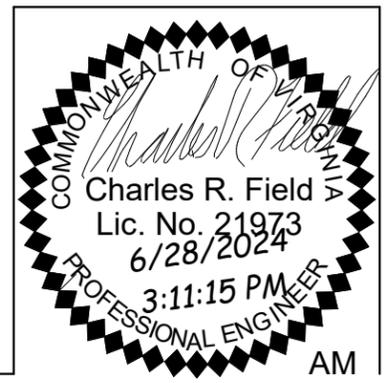
Rev.	Date	Description

**Obsidian, Inc.**  
 417 North 22nd Street  
 Richmond, VA 23223  
 804.647.1589  
 obsidianrva@gmail.com

**East Elevations**  
**3110 E Broad St Carriage House Renovation**  
**Mixed Designs**

June 28, 2024

CAR 7

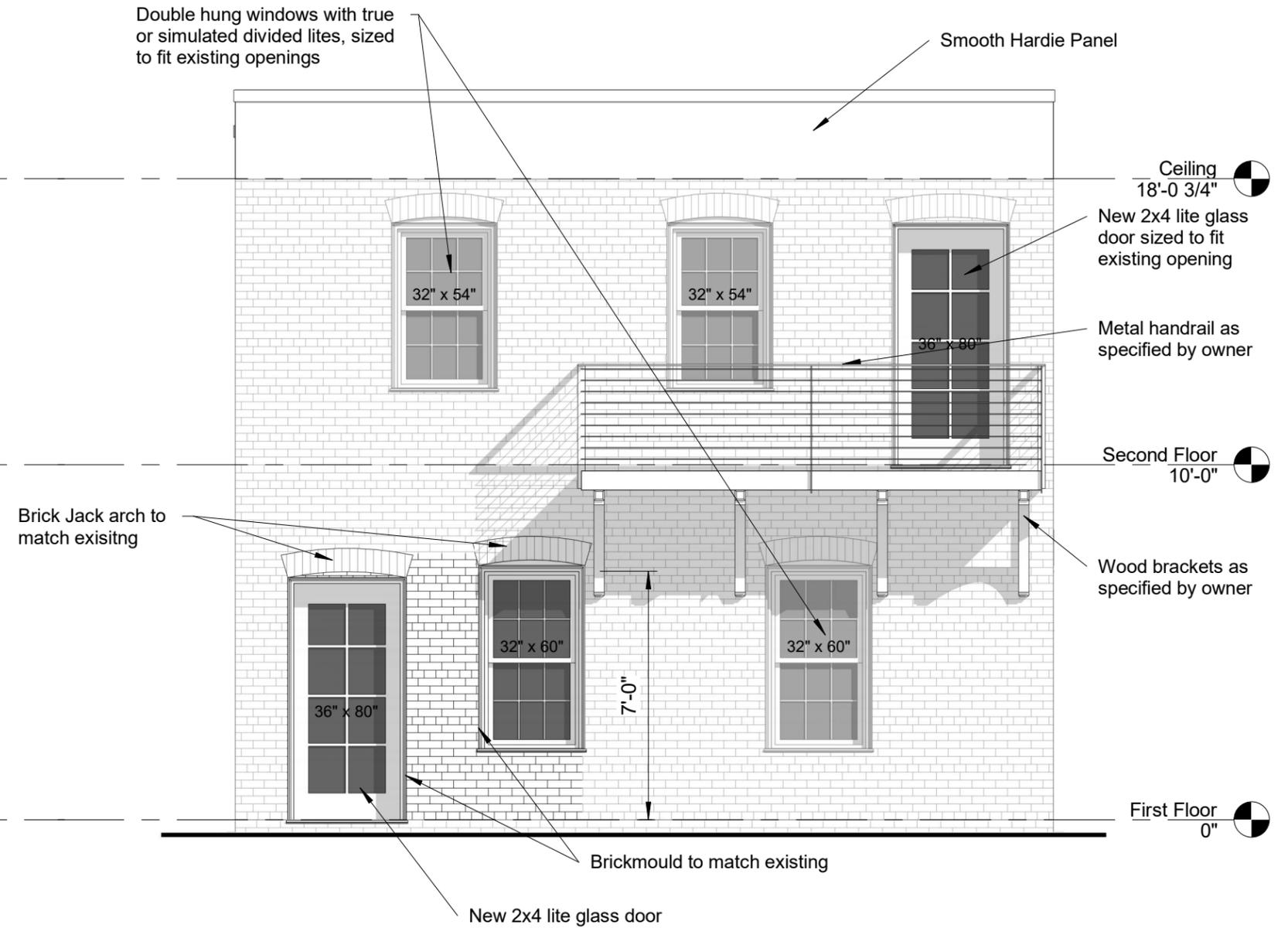
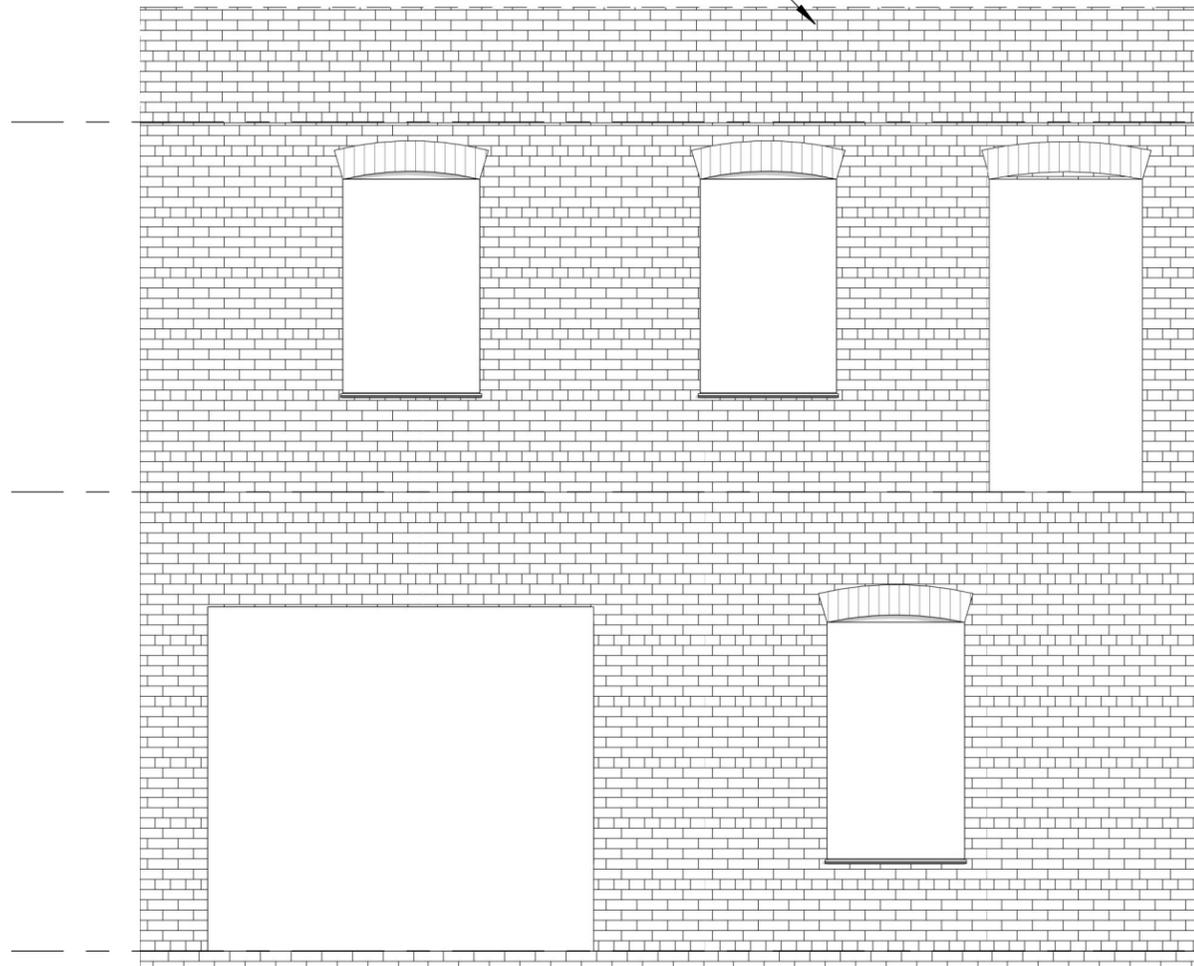


Print plans at 11" x 17", Tabloid

Damaged Parapit to be removed and replaced with smooth Hardie Panel

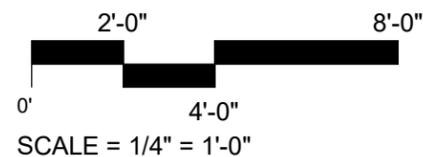
Double hung windows with true or simulated divided lites, sized to fit existing openings

Smooth Hardie Panel



1 Existing Garden Wall Elevation  
1/4" = 1'-0"

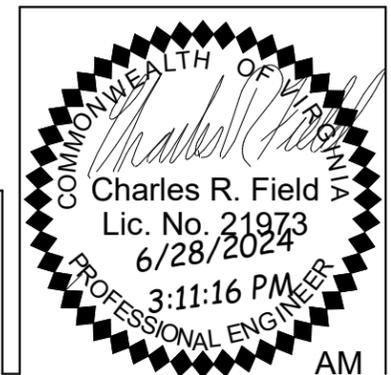
2 Proposed Garden Wall Elevation  
1/4" = 1'-0"



Rev.	Date	Description

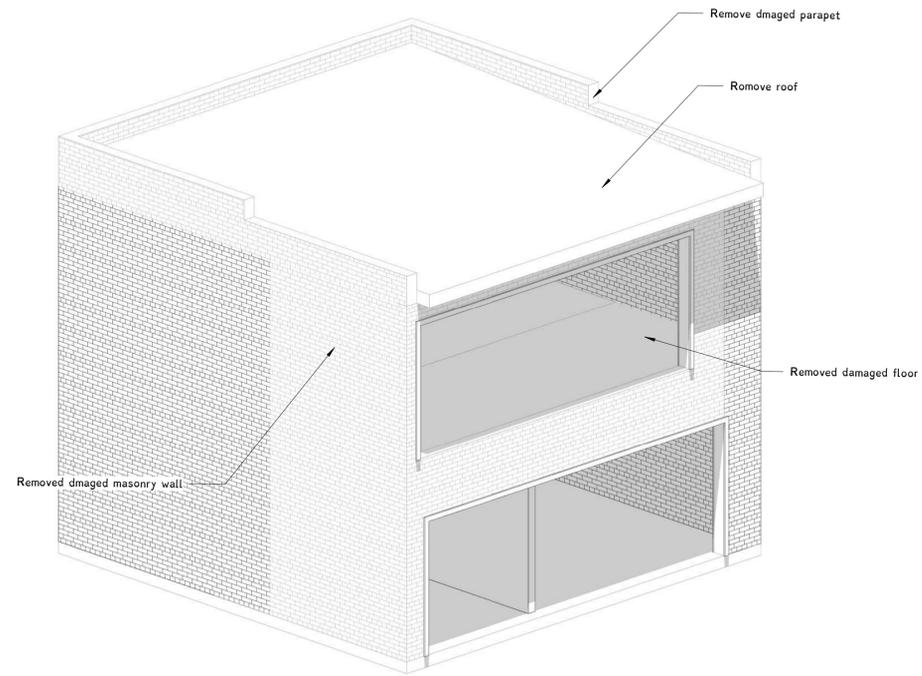
**Obsidian, Inc.**  
417 North 22nd Street  
Richmond, VA 23223  
804.647.1589  
obsidianrva@gmail.com

**South Elevations**  
**3110 E Broad St Carriage House Renovation**  
**Mixed Designs**  
June 28, 2024  
CAR 8

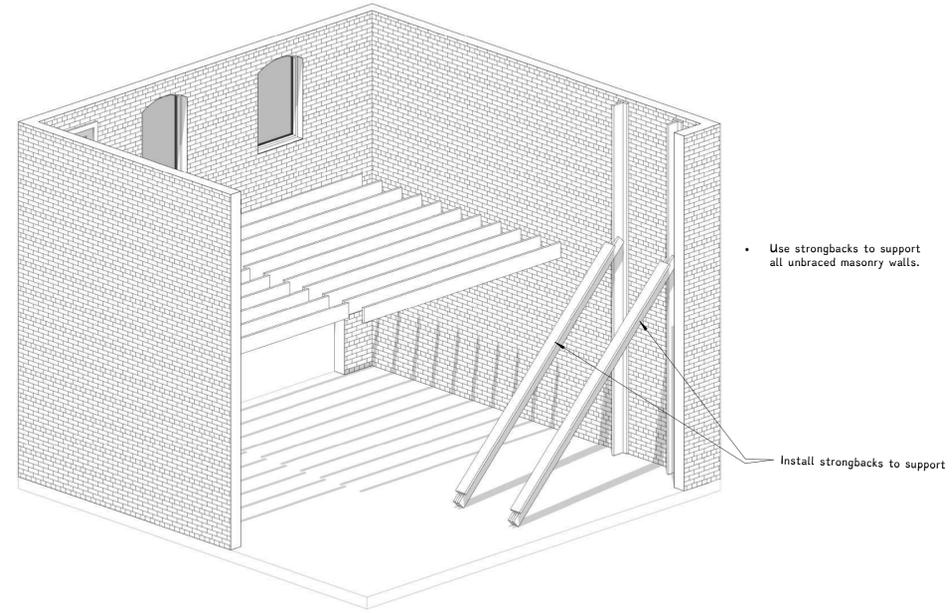


Print plans at 11" x 17", Tabloid

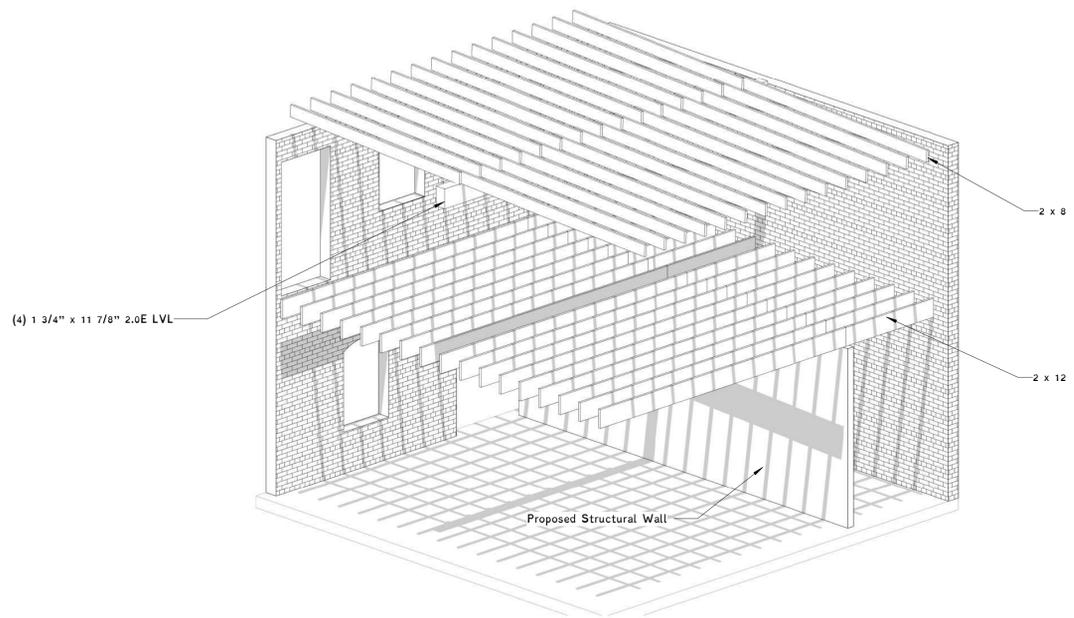
# S1.1



2 Existing Conditions



1 Demolished Condition



3 Structural View

Rev.	Date	Description

February 15, 2024

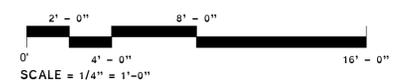
## Demolition Plans 3110 East Broad Street Mixed Designs

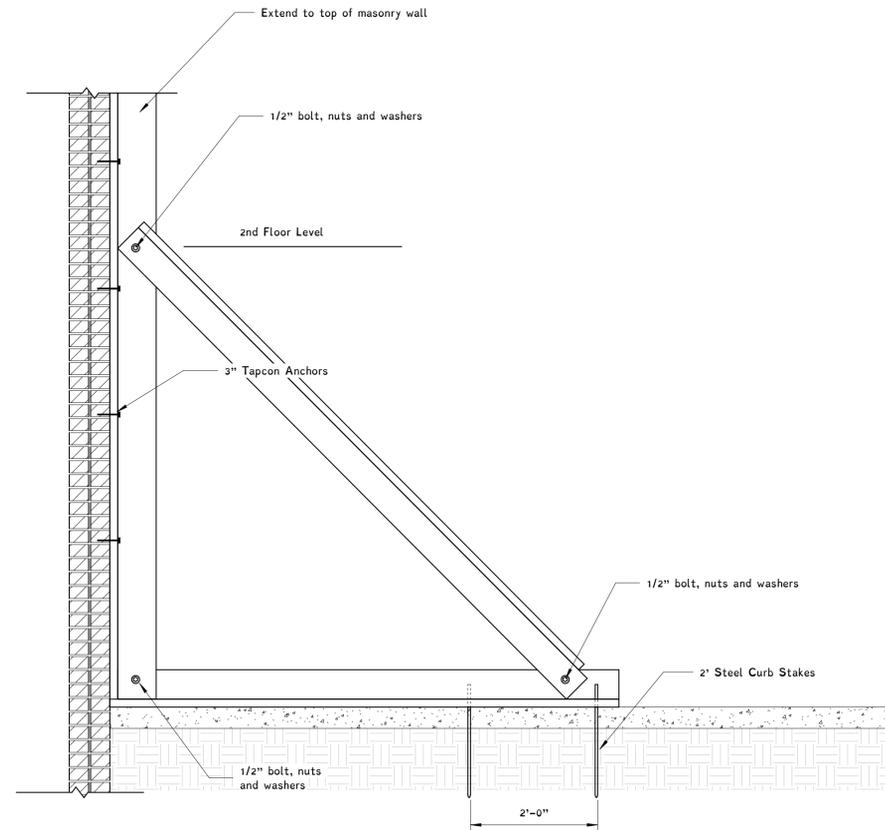
City of Richmond, VA



CRF

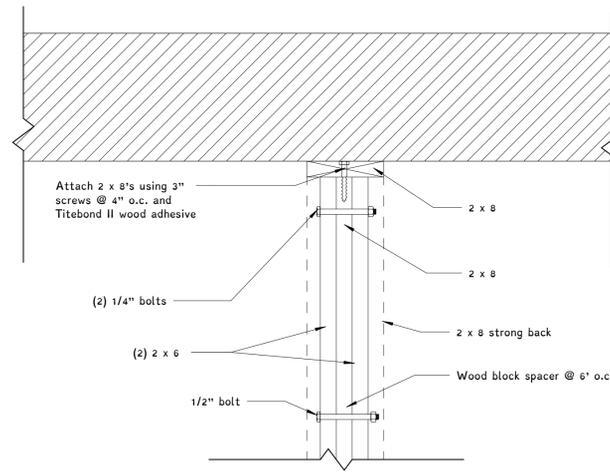
**Obsidian**  
A Professional Engineering Practice  
417 North 22nd Street  
Richmond, VA 23223  
804.647.1589





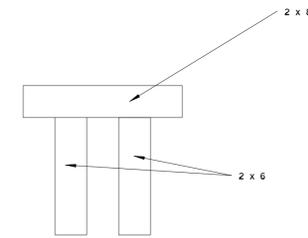
4 Strongback Section View  
3/4" = 1'-0"

1



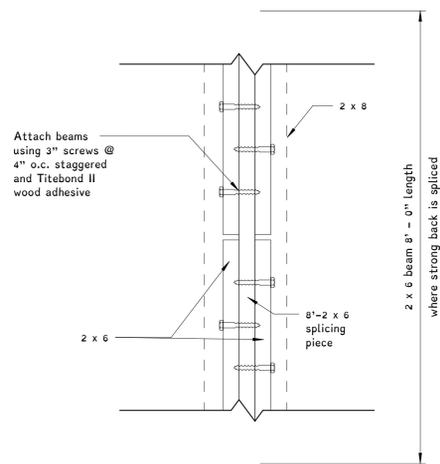
3 Strongback Bracing Plan View  
1 1/2" = 1'-0"

2



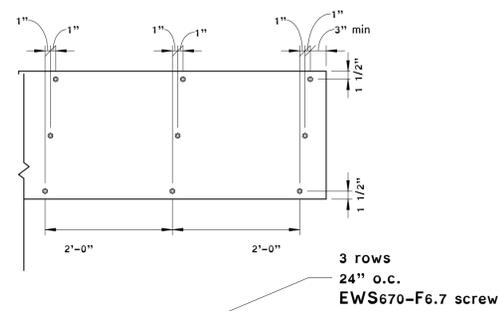
1 Strongback Brace Section  
3" = 1'-0"

3



2 Strongback Brace Splice Detail  
1 1/2" = 1'-0"

4



TrusLok Screw Size	Rows	2		3		4		2		3		4		2		3		4	
		Spacing	24	24	24	16	16	16	16	12	12	12	12	12	12	12	12	12	12
EWS338-F3.3	2 - PLY	516	586	774	879	1032	1172	774	879	1161	1319	1548	1758	1032	1172	1548	1758	2064	2344
EWS605-F5.0	3 - PLY	387	443	581	659	774	879	581	659	871	989	1161	1319	774	879	1161	1319	1548	1758
EWS670-F6.7	4 - PLY	344	391	516	586	688	781	516	586	774	879	1032	1172	688	781	1032	1172	1376	1563

Notes:  
 1) Table is for LVL ply-to-ply attachment to act as a single unit with side-applied uniformly distributed loads. For top-loaded conditions, or when loaded equally on both sides, it is permitted to use minimum two rows of fasteners at maximum 24 inches o.c. spacing (see also note 7).  
 2) Table values indicate maximum capacity in pounds per linear foot (plf) for floor loading ( $C_u = 1.0$ ). For roof loading, multiply table value by 1.15.  
 3) Observe the following fastener location requirements (also illustrated below):  
 $a = 1 \frac{1}{2}$ " edge distance; hold all outer rows  
 $d = 4$ " minimum end distance (along the grain)  
 $b = 3$ " minimum vertical spacing (across the grain)  
 $s =$  horizontal spacing of rows indicated in the table (inches)  
 4) TrusLok screws, manufactured by Fastenmaster: 0.228" nominal diameter, 0.215" root diameter,  $F_u = 202,200$  psi. (reference: ICC-ES ESR-1078, reissued February 1, 2007)  
 5) Side framing must be properly fastened to LVL per hanger manufacturer's requirements.  
 6) Verify adequacy of beam prior to using this table.  
 7) Use minimum two rows of fasteners for 7' 14" to 11' 78" LVL beam depths and minimum three rows of fasteners for 14" to 24" depths. For less than 7' 14" LVL beam depth, contact International Beams.

5 LVL Fastening  
3/4" = 1'-0"

5

S5.1

Rev.	Date	Description

Description

Date

February 15, 2024

Details

3110 East Broad Street  
Mixed Designs

City of Richmond, VA



Arch D

**Obsidian**  
 A Professional Engineering Practice  
 417 North 22nd Street  
 Richmond, VA 23223  
 804.647.1589

7





# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-178058-2026

---

Agenda Number: 5.



**Property** (location of work)

Property Address: 1101 West Grace Street Current Zoning: \_\_\_\_\_  
Historic District: The Fan

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

Request approval to implement expensive tuckpointing as performed by a competent chimney repair company to an appearance appropriate to the area, or any of 3 options to tuckpointing, depending on affordability to Unit Owners: 1) demolish four unused fireplace chimneys to below the barrel tile roof and place barrel tile for

**Applicant/Contact Person:** Thom Revay (Association Treasurer)

Company: The Alexander Condominium Association  
Mailing Address: 1101 West Grace Street Unit 9  
City: Richmond State: VA Zip Code: 23220  
Telephone: (571) 278-1371  
Email: thom0573@yahoo.com  
Billing Contact? Yes Applicant Type (owner, architect, etc.): Owner

**Property Owner:** The Alexander Condominium Association

If Business Entity, name and title of authorized signee: \_\_\_\_\_  
Mailing Address: 1101 West Grace Street Unit 9 (Attention: Treasurer)  
City: Richmond State: VA Zip Code: 23220  
Telephone: (571) 278-1371  
Email: thom0573@yahoo.com  
Billing Contact? Yes  
**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: Thomas E. Revay Date: November 28, 2025

Expanded writeup to support the 1101 West Grace Street Certificate of Appropriateness application to the Richmond Commission on Architectural Review:

The Board for The Alexander Condominium Association, Inc., is aware of water damage caused at the site of one of the four chimneys over the main portion of the building at 1101 West Grace Street. The northwesternmost chimney has obvious external deterioration, and at the base of the chimney at the roof edge there's obvious water damage, as well as a missing corbel. Inside the attic/crawl space under the roof at that point there is water leaking during rainstorms, and obvious water damage is seen on the underside of the roof decking. At the top of the chimney, there are obvious gaps in the coping just beneath the metal chimney cap/cover installed at an indeterminate time in the past.

All four chimneys are non-functional, because the fireplaces inside the building have been closed off and unusable. The northeasternmost chimney also has obvious external deterioration, but to date there's been no obvious water leakage and damage either internally or externally to the building. Both of the chimneys on the southern side of the building along Ryland Street were reduced in height at some point in the past, and both have exterior appearances that show obvious signs of wear and deterioration, but again there's no obvious internal water leakage into the building from either chimney.

The Association Board and officers have discussed repeatedly alternatives available to us to maintain the appropriate architectural appearance of the building while still providing an enduring solution to avoid water damage. Several have seemed to be the most proper, but the pricing for each has been quite difficult to obtain, due to the limited number of servicing companies in the Richmond area.

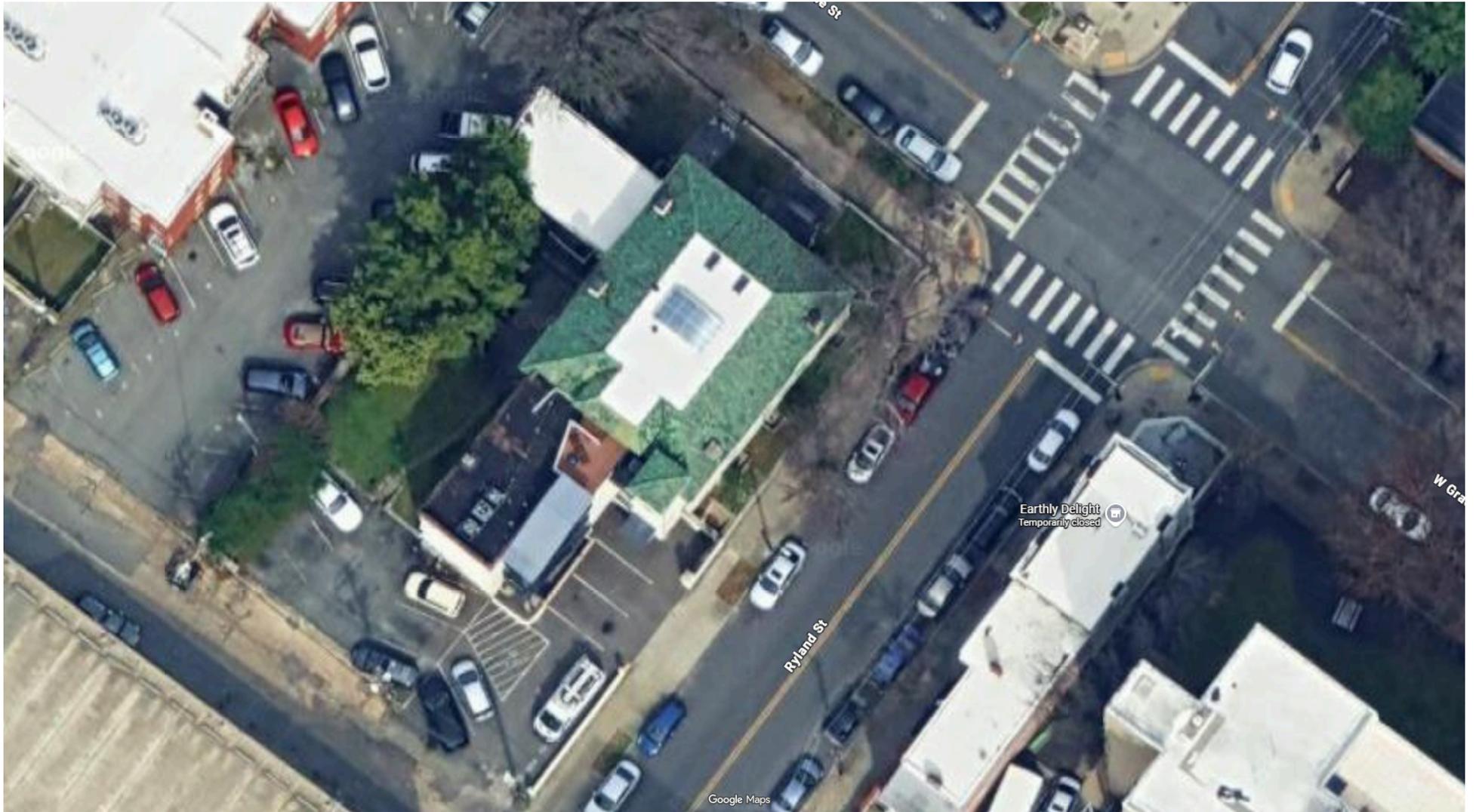
A chimney repair company is finally going to be on site on December 31 to examine the situation and give their recommendations. Two roofing companies have been working on estimates, but they aren't necessarily stonemasons or chimney repair companies. Still, based on the research to date, there are several ways we think this could go.

First is to deconstruct each of the four chimneys back to the original brick and tuckpoint them into a "like original" condition. We thought that would not be advisable, because the red brick seen inside the attic/crawl space is dramatically different than the exterior appearance of the building, which is a stucco-like material that's a light sand color.

The second alternative we considered was to demolish all four of the chimneys to below the barrel tile roof line, install decking and roofing paper, and top with barrel tile (matching color barrel tile has been found at Paul's Place) to make the roof look continuous throughout as covered by barrel tile. We know that would seem to be inconsistent with the original building look, but it would definitely improve the ability to eliminate or greatly reduce the chance of water leaks in the future.

The third alternative was to just demolish the one northwesternmost chimney as described in the second alternative, and potentially tuckpoint the remaining three, or implement the fourth alternative on those three.

The fourth alternative was to fabricate four copper "sleeves" that fit over the four chimneys, which would provide a continuous weather barrier to stop deterioration of the chimney masonry, and over time oxidize to the lovely green color of aged copper. To us, a significant advantage was that this was far less costly than what we understood the prior three alternatives to be. Plus, it would provide a distinctive yet not unattractive finish, which would be a marked improvement over the current quite ugly appearance. A local Richmond sheet metal fabrication shop has said they could do this work.



Google Maps

Earthly Delight  
Temporarily closed

Imagery ©2025 Airbus, Map data ©2025 Google 20 ft











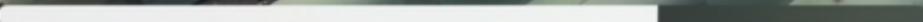


March 19

4:17 PM



HDR



34



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-178055-2026

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Agenda Number: 6.



**Property** (location of work)

Property Address: 700 North 21st Street Current Zoning: R-63  
Historic District: Union Hill Historic District

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

The proposed development, located at 700 North 21st Street in the Union Hill Historic District, is a two-story structure with one dwelling units over 1,000 SF of ground floor retail.  
The project is located within R- 63 zoning requirements and the project team is in the process of re-establishing +

**Applicant/Contact Person:** Casey Stone

Company: Obsidian Engineering

Mailing Address: 417 N. 22nd Street

City: Richmond State: VA Zip Code: 23223

Telephone: (443) 603-2911

Email: casey.obsidian.rva@gmail.com

Billing Contact? No Applicant Type (owner, architect, etc.): Architect

**Property Owner:** Ed Fendley

If Business Entity, name and title of authorized signee: \_\_\_\_\_

Mailing Address: 702 N. 21st Street

City: Richmond State: VA Zip Code: 23223

Telephone: (386) 281-2316

Email: EdFendley@gmail.com

Billing Contact? No

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 8-29-2025

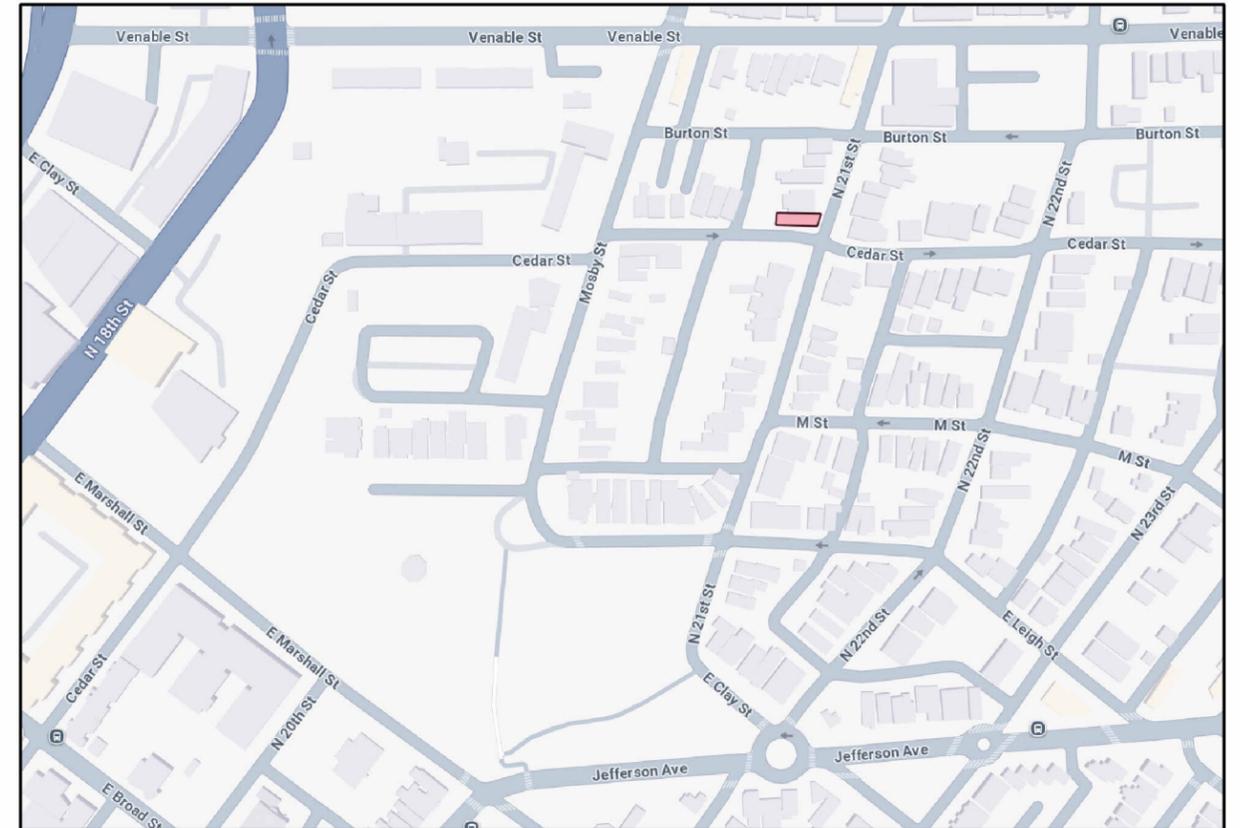
The proposed development, located at 700 North 21st Street in the Union Hill Historic District, is a two-story structure with one dwelling units over 1,000 SF of ground floor retail.

The project is located within R- 63 zoning requirements and the project team is in the process of re-establishing the lot lines between the 700 and 702 North 21st Street parcels, in order to establish two parcels that meet zoning requirements and setbacks. Both lots (700 and 702 North 21st Street) are owned by Ed Fendley.

The 2000 block of Cedar St has single-family dwellings and duplexes. Along the south side of Cedar Street, the two story duplexes have elevated stoops and entrances above the street level to accommodate the site topography. At the end of the block, where Cedar St meets Mosby St, there is a large three and four story multi-family dwelling building. Along 21st Street there are attached single-family dwellings, with the dwellings on the east side of the street having elevated stoop entries. One block north on 21st Street, at the intersection with Venable Street, there are commercial storefronts with residential units above.

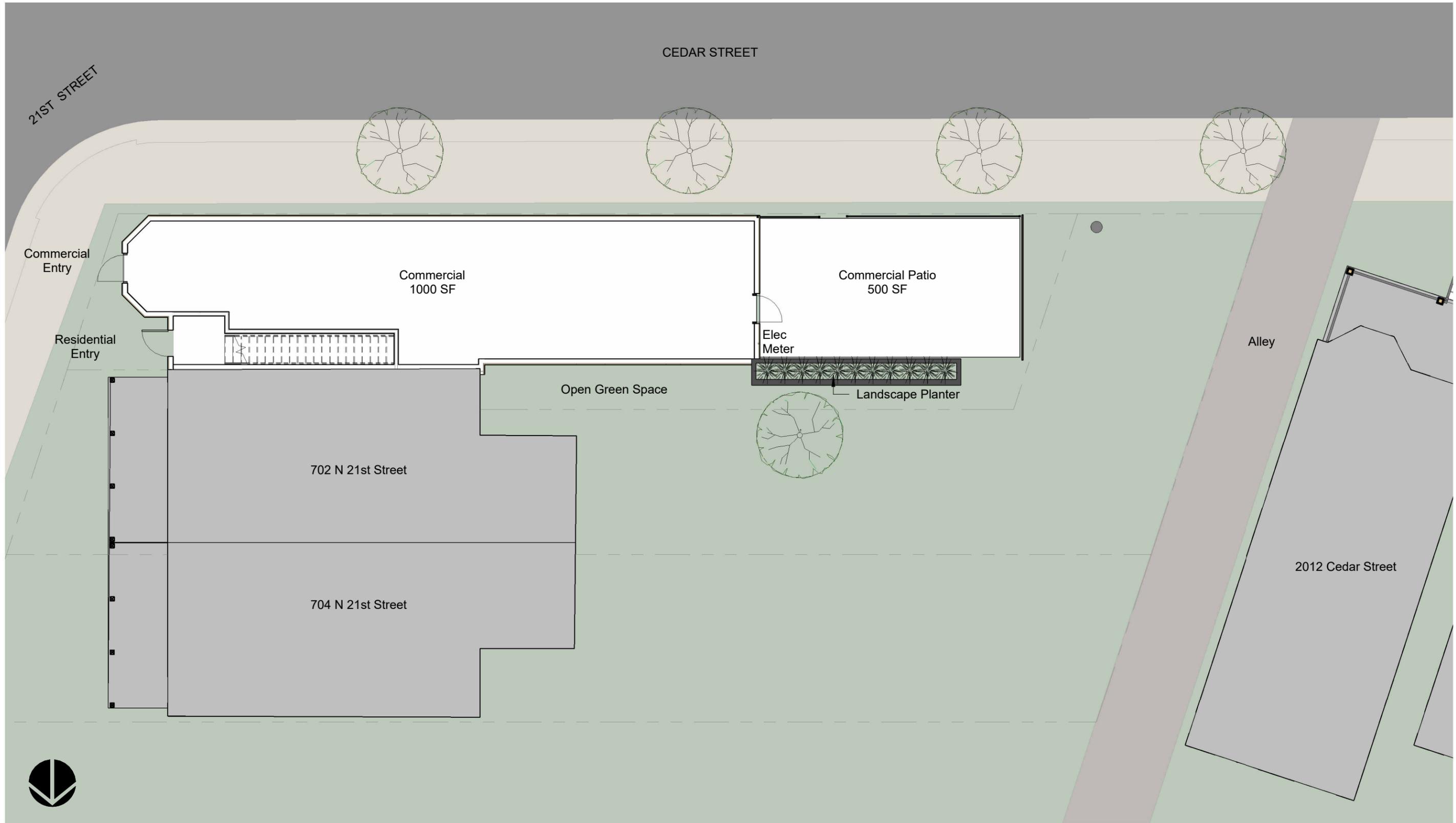
The proposed project has frontage on both North 21st Street and Cedar Street. The Residential entry faces N. 21st St. and is stepped back to be in line with the entry porches of the existing single family dwellings on the street. The main commercial entry is at the corner of N 21st St. and Cedar St, with an entry awning above. And there is a secondary commercial entrance from Cedar Street, with open green space and a patio. The building facade at the first level has storefront between large fiber cement board siding, wrapping from the main entry corner on N 21st St, down the length of Cedar St, and continuing to the rear facade at the patio - with the intention that both the main entry and the rear patio entry resonate with the look and feel of typical Union Hill commercial corner storefronts. Similar to the historic clapboard siding typical in Union Hill, the residential unit above will be clad with horizontal lap siding.

VICINITY MAP



HISTORIC SITE MAP





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Rear Commercial Patio  
with Service Window

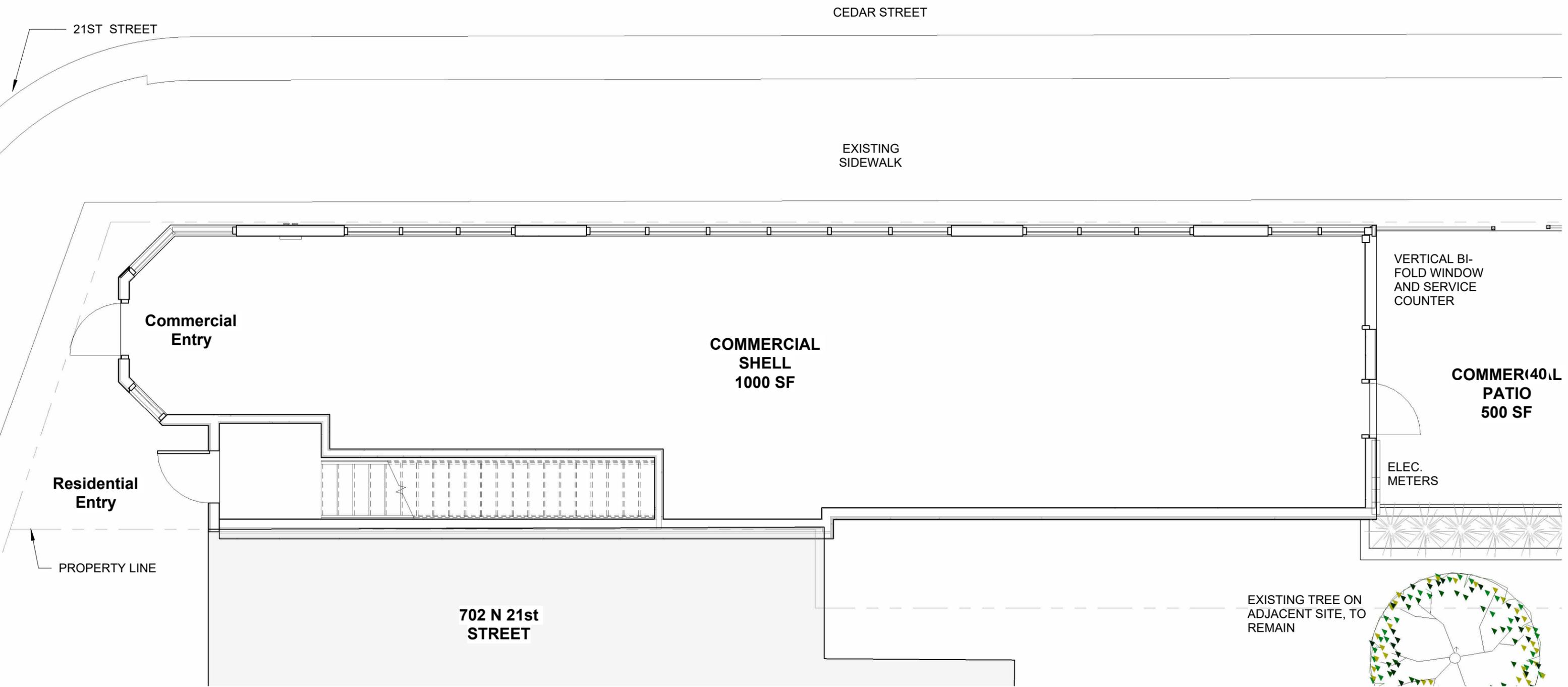
39

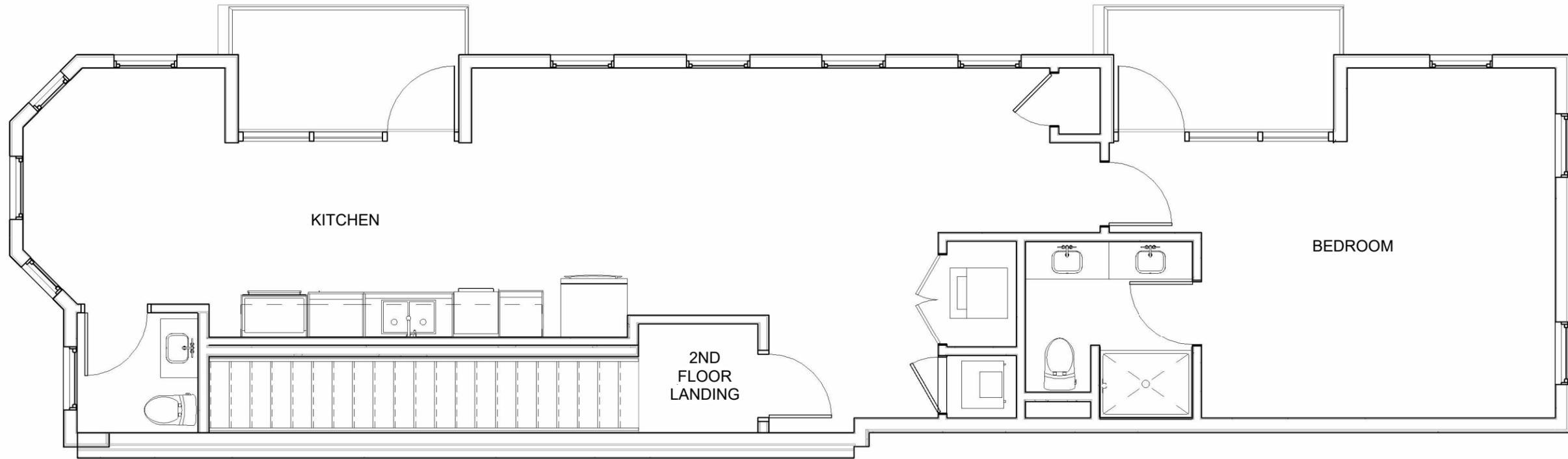


21st Street View



Cedar Street View





41

1 RESIDENTIAL UNIT  
3/16" = 1'-0"

**PROPOSED ELEVATION DESIGN**

- ① STANDING SEAM METAL ROOF WITH MATCHING FASCIA AND GUTTER. ENGINEERED WOOD SOFFIT BELOW
- ② FIBER CEMENT LAP SIDING - PAINTED
- ③ FIBER CEMENT PANEL SIDING - PAINTED
- ④ PARGED FOUNDATION WALL
- ⑤ SINGLE HUNG WINDOW - 34"x 60"
- ⑥ CANTILEVERED METAL BALCONY WITH ENGINEERED WOOD SOFFIT BELOW
- ⑦ METAL RAILING
- ⑧ STOREFRONT ASSEMBLY
- ⑨ HOLLOW METAL DOOR, PAINTED
- ⑩ VERTICAL BI-FOLD WINDOW
- ⑪ WOOD PANEL WITH TRIM, PAINTED
- ⑫ FIBERGLASS PILASTER, PAINTED
- ⑬ FIBERGLASS CORNICE, PAINTED
- ⑭ METAL CANOPY WITH ENGINEERED WOOD SOFFIT BELOW
- ⑮ ELECTRICAL METER BANK, TO BE COORDINATED WITH DOMINION
- ⑯ TRASH ENCLOSURE
- ⑰ CONDUCTOR BOX AND DOWNSPOUT PIPED TO LANDSCAPING PLANTER
- ⑱ ADJACENT SINGLE FAMILY HOUSE
- ⑲ ELECTRICAL METERS
- ⑳ LANDSCAPING PLANTER
- ㉑ COMMERCIAL PATIO
- ㉒ SCREEN
- ㉓ OVERFLOW



**1** ENTRY ELEVATION  
1/8" = 1'-0"



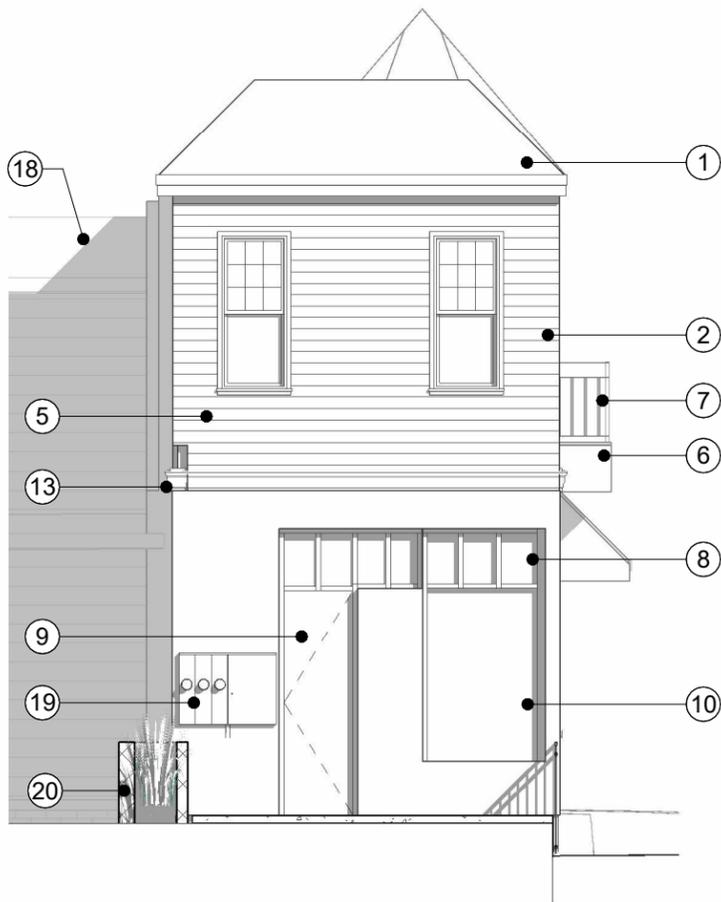
**2** CEDAR STREET  
1/8" = 1'-0"

**PROPOSED ELEVATION DESIGN**

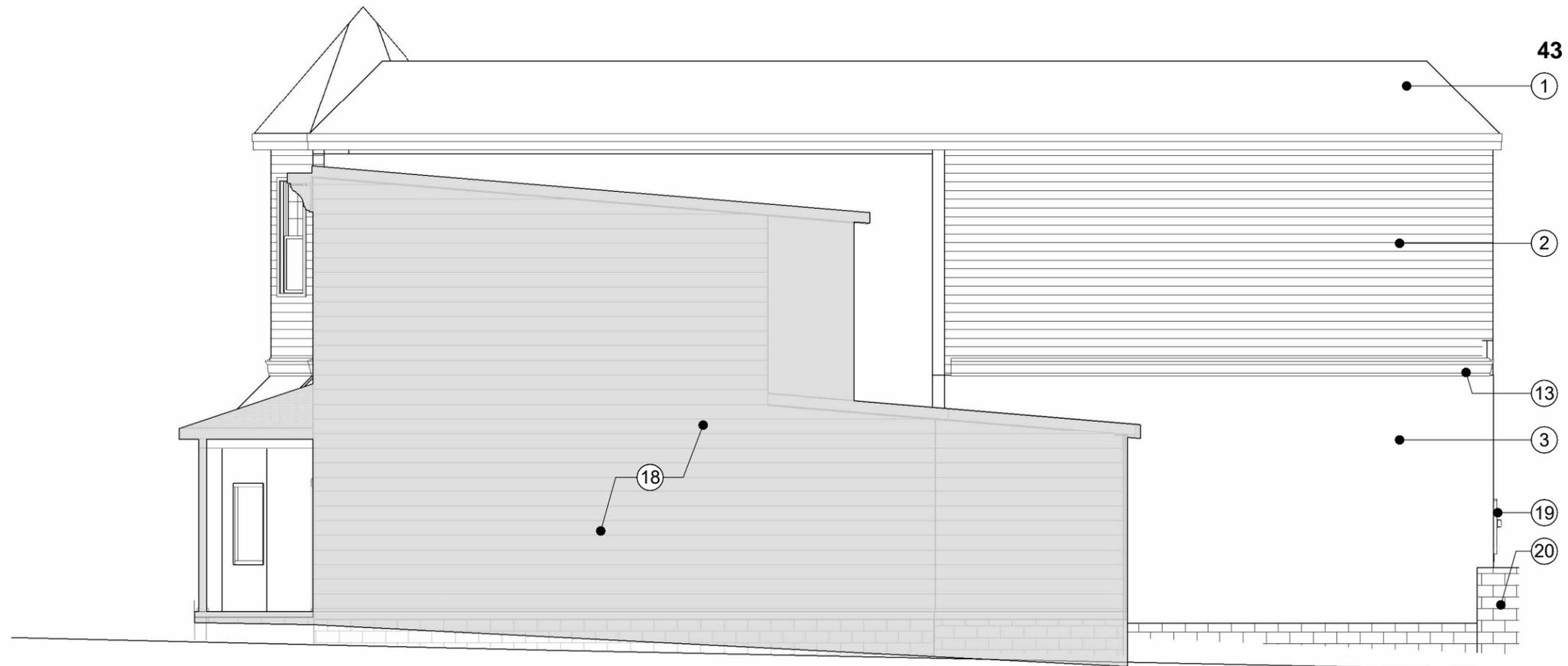
- ① STANDING SEAM METAL ROOF WITH MATCHING FASCIA AND GUTTER. ENGINEERED WOOD SOFFIT BELOW
- ② FIBER CEMENT LAP SIDING - PAINTED
- ③ FIBER CEMENT PANEL SIDING - PAINTED
- ④ PARGED FOUNDATION WALL
- ⑤ SINGLE HUNG WINDOW - 34"x 60"
- ⑥ CANTILEVERED METAL BALCONY WITH ENGINEERED WOOD SOFFIT BELOW
- ⑦ METAL RAILING
- ⑧ STOREFRONT ASSEMBLY

- ⑨ HOLLOW METAL DOOR, PAINTED
- ⑩ VERTICAL BI-FOLD WINDOW
- ⑪ WOOD PANEL WITH TRIM, PAINTED
- ⑫ FIBERGLASS PILASTER, PAINTED
- ⑬ FIBERGLASS CORNICE, PAINTED
- ⑭ METAL CANOPY WITH ENGINEERED WOOD SOFFIT BELOW
- ⑮ ELECTRICAL METER BANK, TO BE COORDINATED WITH DOMINION
- ⑯ TRASH ENCLOSURE

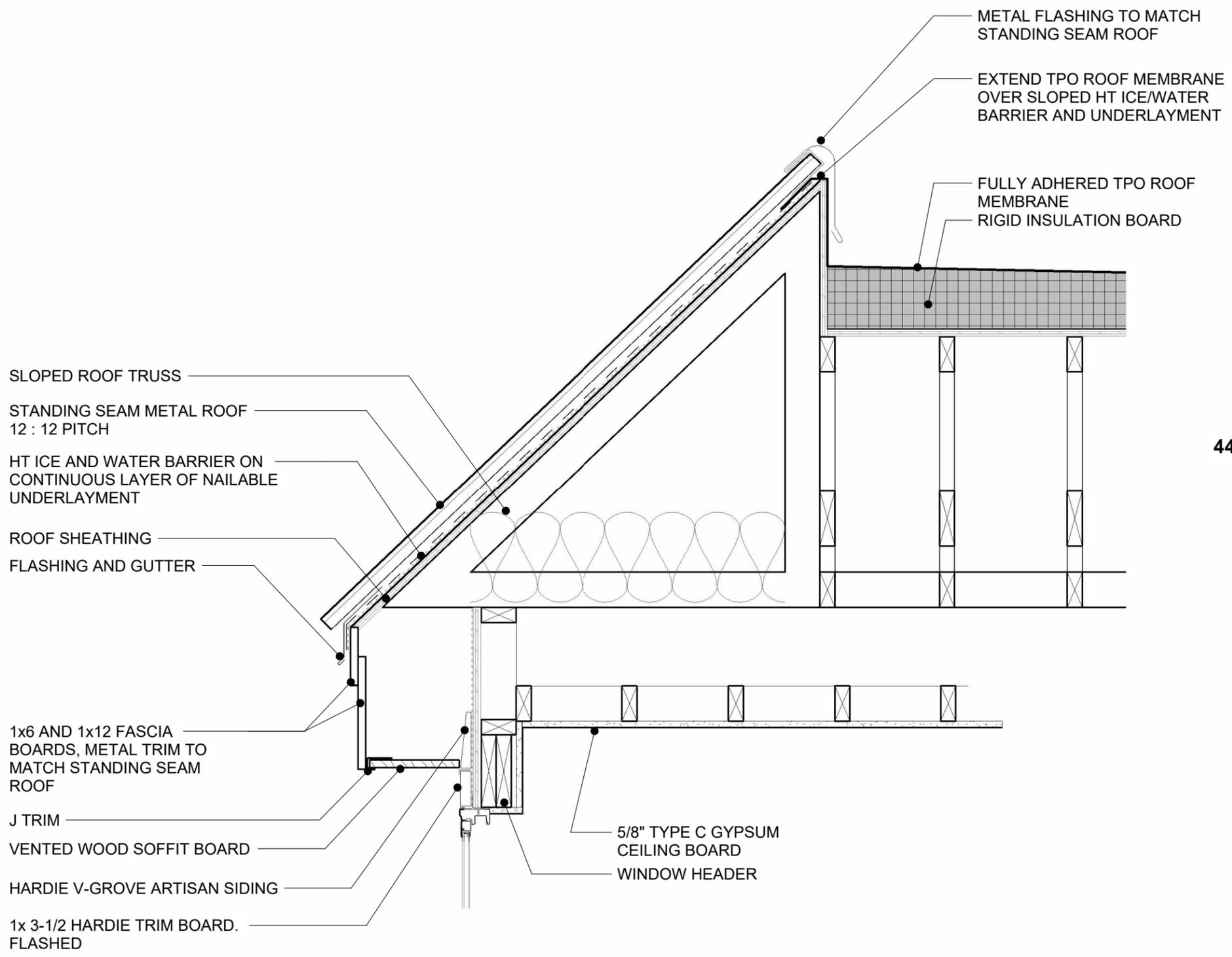
- ⑰ CONDUCTOR BOX AND DOWNSPOUT PIPED TO LANDSCAPING PLANTER
- ⑱ ADJACENT SINGLE FAMILY HOUSE
- ⑲ ELECTRICAL METERS
- ⑳ LANDSCAPING PLANTER
- ㉑ COMMERCIAL PATIO
- ㉒ SCREEN
- ㉓ OVERFLOW



**1** REAR PATIO  
1/8" = 1'-0"

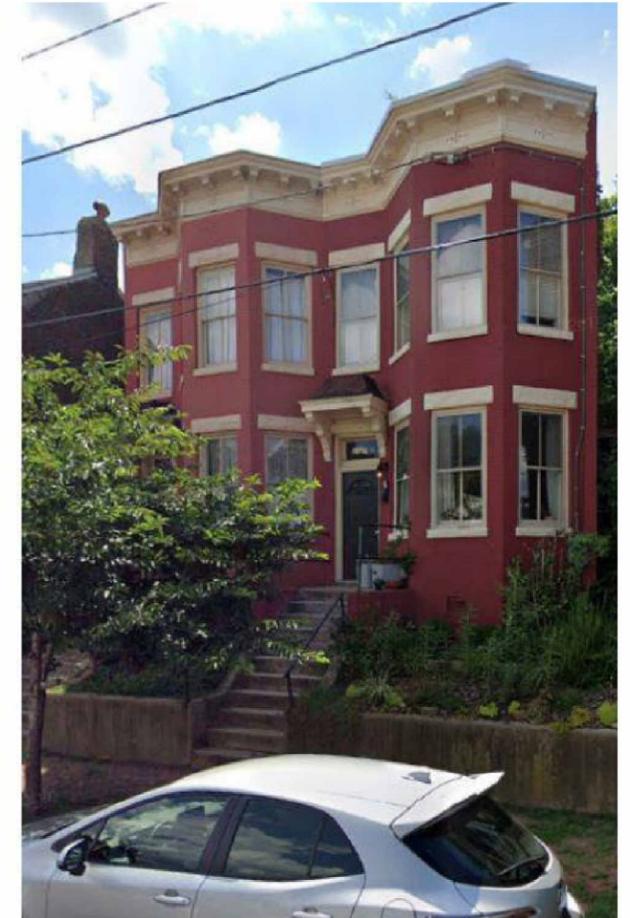


**2** SIDE ELEVATION  
1/8" = 1'-0"



44

**2** SLOPED STANDING SEAM ROOF AND GUTTER  
 1" = 1'-0"



45





46





# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-175461-2025

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Agenda Number: 7.





December 24, 2025

City of Richmond Department of Planning and Development Review  
Commission of Architectural Review  
Mr. Alex Dandridge, Secretary  
City Hall, 900 East Broad Street  
Richmond, VA 23219

**RE: Certificate of Appropriateness at 874 -876 Jessamine Street**

Members of the Commission,

This memorandum shall serve as the applicant’s statement for an application to be reviewed by the Commission of Architectural Review (the “CAR”) for the proposed construction of a new three-story multifamily dwelling on the properties known as 874 and 876 Jessamine Street (the “Property”). This project was previously reviewed at the June 24, 2025 and November 25, 2025 meetings of the CAR.

The Property is located on the eastern line of Jessamine Street between Venable and Carrington Streets, is currently vacant and lies in Richmond’s Union Hill City Old and Historic District. Existing structures in the district are known for a variety of architectural styles and materials as well as a range of land uses. This block consists of a range of dwellings including single-family attached and detached dwellings as well as large multifamily dwellings. Historic dwellings in the area tend to be of a range of designs and materials with historic dwellings in the block being of frame construction with lap siding containing full-width front porches. The topography of Jessamine Street slopes down from Venable toward Carrington Streets and some dwellings are elevated from the street while others are constructed on a more typical foundation.

The Property owner is proposing to construct a three-story, multifamily dwelling on the Property. The proposed siting would retain the informal alley located at the rear of the Property and accessible from Carrington Street. The dwelling design recognizes the existing dwellings in

the block as well as previously approved designs and utilizes high quality materials including brick and cementitious siding.



Figure 1: December revised elevations fronting N 22nd St.



Figure 2: November revised elevations fronting N 22nd St.



Figure 3: Initial elevations along Jessamine Street

### CAR Review and Changes:

This project was previously reviewed at the June and November CAR meetings. Based on the comments from Staff and Commissioners, the applicant has revised the design to address the outstanding concerns.

Along Jessamine Street, the proposed building was previously revised to address comments from the June conceptual review regarding the scale and massing of the structure and its relationship with the existing single-family attached dwelling at 872 Jessamine Street. While the one-story reduction of the section of the building closest to the adjacent property at 872 Jessamine Street was generally well received at the November meeting, concerns remained over the Jessamine Street façade. Based on comments from the Commission at the November meeting, the grade elevations along the perimeter of the site have been verified and dimensioned heights have been added to the street scape view to provide context elevations that account for grade changes. Additionally, basic landscaping and the addition of a brick watertable and watertable accent have been added to the elevation and plan views to improve the perception of scale. Furthermore, a full cornice on both the two-story and three-story sections of the Jessamine Street facade has been included to better define the top of the building. Lastly, the spacing of the window and door on the two-story section has been adjusted to be less compressed. In fact, all of the window spacing on the Jessamine Street façade has been adjusted to be evenly spaced and not disrupt the established district fenestration patterns or skew the façade proportions.



*Figure 1: December revised elevations fronting N 22<sup>nd</sup> Street*



RIGHT SIDE ELEVATION - SIDE ENTRY - NON-ADA (CARRINGTON) ST)

SCALE: 1/8" = 1'-0"

*Figure 2: November revised elevations fronting N 22<sup>nd</sup> Street*



RIGHT SIDE ELEVATION - SIDE ENTRY - NON-ADA (CARRINGTON) ST)

SCALE: 1/8" = 1'-0"

*Figure 3: Initial elevations fronting N 22<sup>nd</sup> Street*

The Carrington Street elevation was previously revised to address scale, materiality, and pedestrian scale elements. However, at the November meeting, the Commission recommended additional human scale elements. In response to comments from the Commission, corner bump-outs have been added to break up the massing of the façade. The entryway along the street has been revised from a storefront oversized transom to a lower covered entry roof. The Carrington Ave elevation has also been improved with a new high rowlock/soldier water table, and a low soldier course water table accent band on the first floor. Basic landscaping is also shown. Importantly, all windows on the Carrington Avenue façade have been revised to be the

same size. Lastly, with the building built with a typical crawlspace, a low slope roof that sheds water side to side has been implemented to help reduce building height.

In these revisions, the applicant has attempted to address as many of the comments from the November review as possible while operating within the constraints of the site. While there is no other practical location for the dumpster, the revised plans include a typical elevation for the trash screen enclosure which would be masonry and 8' tall. Landscaping would be added as well and the exterior balconies for the two apartments in Unit 2 have been removed to provide greater separation distance from the trash area.

**Siting:**

The proposed dwelling would front Jessamine Street and be aligned with the existing dwelling located at 872 Jessamine Street. The siting of the new dwelling is compatible with others within the area and will present a consistent street frontage along Jessamine Street while filling in a “missing tooth” in the block.

**Form:**

The dwelling has been designed in a manner which is consistent with the form of other historic structures in the neighborhood and recently approved designs in the district. The proposed design would reference the existing single-family homes in the block with access provided to the first-floor units via the sidewalk and wide front porches fronting Jessamine Street. A combination of two- and three-bay designs, front doors with transom windows, traditional brick and lap siding construction, and a brick foundation carry features from the existing homes in the area consistent with the CAR guidelines.

**Scale:**

The proposed dwelling is consistent with the scale and character of the existing neighborhood and will appear appropriate from street level. Dwellings in the block range from two to four-stories in height with some two-story dwellings elevated from street height while other buildings are located at grade.

### **Height, Width, Proportion, & Massing**

The proposed dwelling is compatible in height with other structures on the block. Existing structures range from two to four stories. A brick face around the building and discreet porches breaks up the overall massing of the design and reference a more traditional townhome form.

### **Exterior Cladding/Doors and Windows/Materials**

Exterior cladding, doors and windows, foundation, and roofing are as noted on the attached plans. These items were selected to be consistent with CAR requirements and nearby dwellings. All finishes including doors and windows would be as noted on the provided plans.

The proposed design would be compatible with the historical fabric of the block as it recognizes the siting, scale, form, and massing of the existing structures on the block and reflects new construction recently reviewed and approved by the CAR within the block. The proposed dwelling is consistent with the fabric of the historic district while offering a variety of housing opportunities within the area. Furthermore, many of the design elements of the proposed dwelling can be found on historically significant dwellings throughout the Union Hill district.

We thank you for the care and assistance in reviewing our application. Should you have any questions after reviewing this request, please feel free to contact me at [alessandro@bakerdevelopmentresources.com](mailto:alessandro@bakerdevelopmentresources.com) or (804) 432-7892.

Sincerely,



Alessandro U. Ragazzi, AICP  
Baker Development Resources, LLC



## LOCATION BIRDSEYE VIEW

SCALE: 1:0.67

SK-01

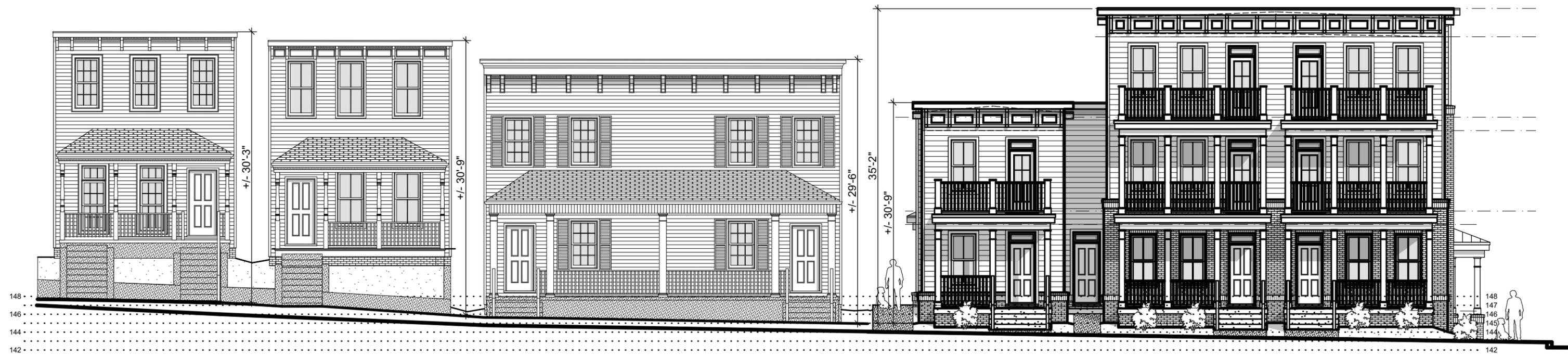
12/22/25

PROJECT NO.: 25001

## EXISTING CONDITIONS STREETSCAPE VIEW

874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA



866

868

870

872

874 - 876

SK-02

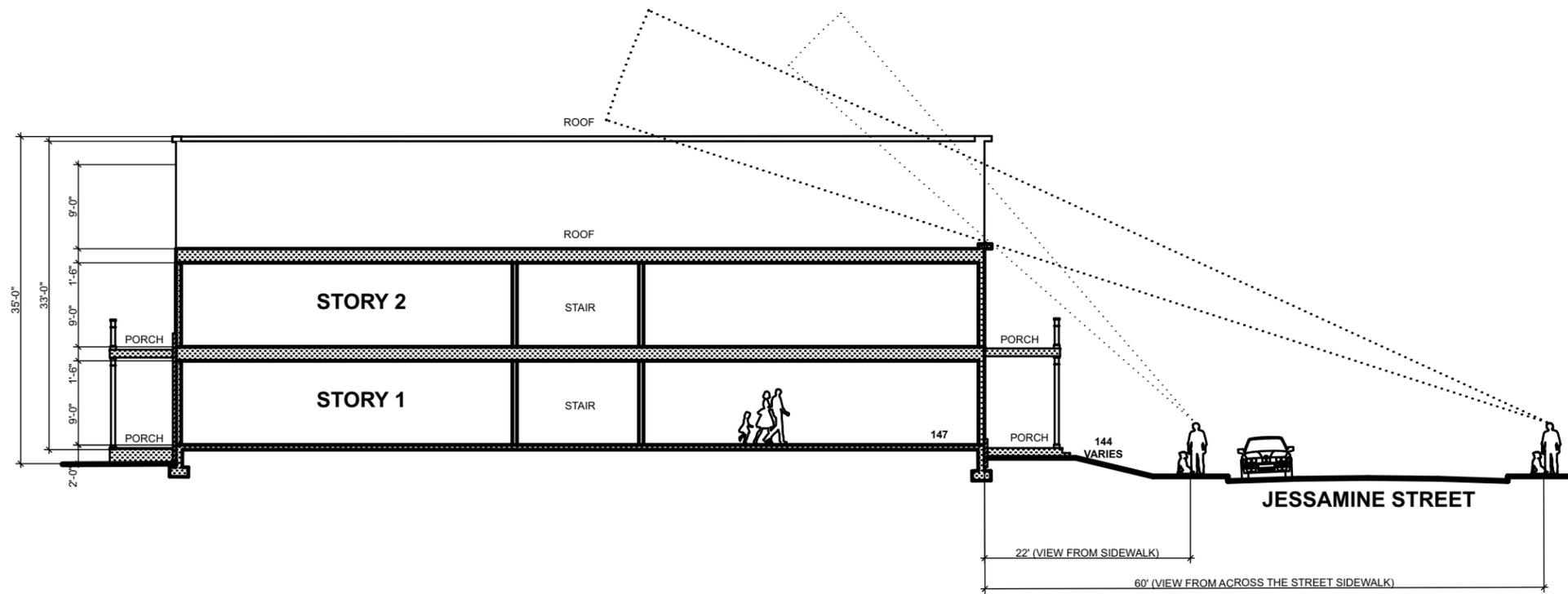
12/22/25

PROJECT NO.: 25001

PROPOSED STREETScape  
874-876 JESSAMINE STREET RESIDENCES

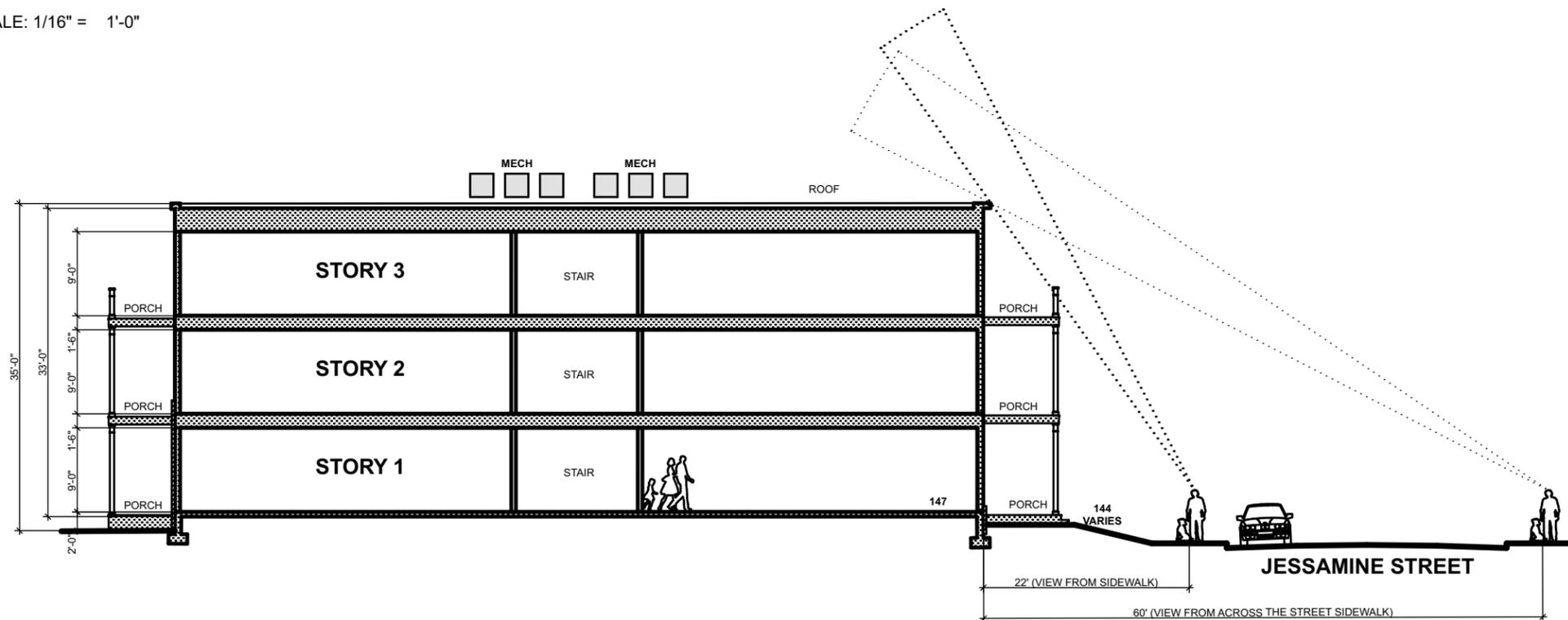
RICHMOND, VIRGINIA





## PROPOSED BUILDING SIDEWALK SIGHTLINE - 3 STORY BUILDING SECTION

SCALE: 1/16" = 1'-0"



## PROPOSED BUILDING SIDEWALK SIGHTLINE - 2 STORY BUILDING SECTION

SCALE: 1/16" = 1'-0"

SK-03

12/22/25

PROJECT NO.: 25001

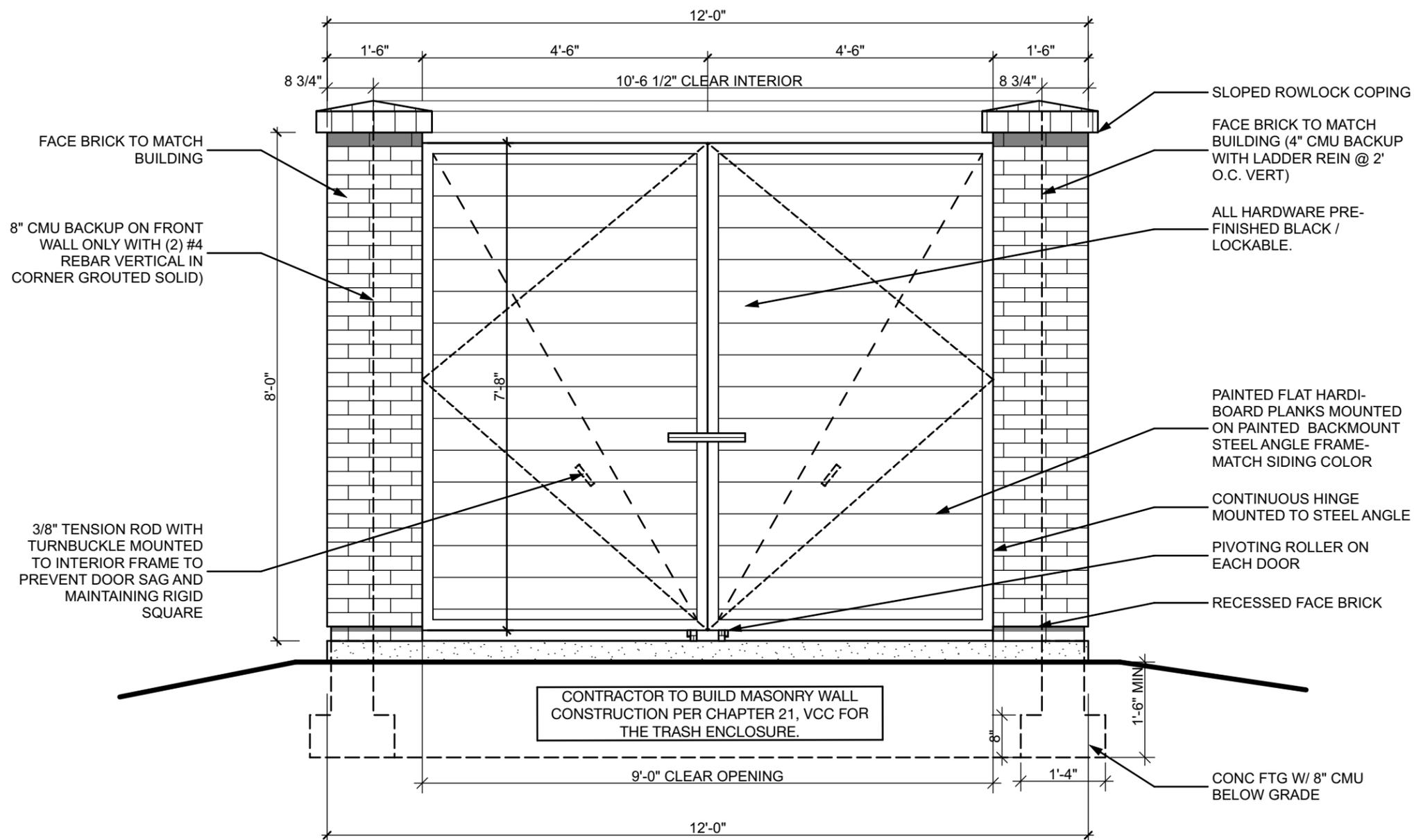
### BUILDING SIGHT LINE

874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA



mario di marco  
ARCHITECTS 57



## TRASH ENCLOSURE SCREEN (ALL SIDES BRICK TO MATCH BUILDING)

SCALE: 1/2" = 1'-0"

SK-04

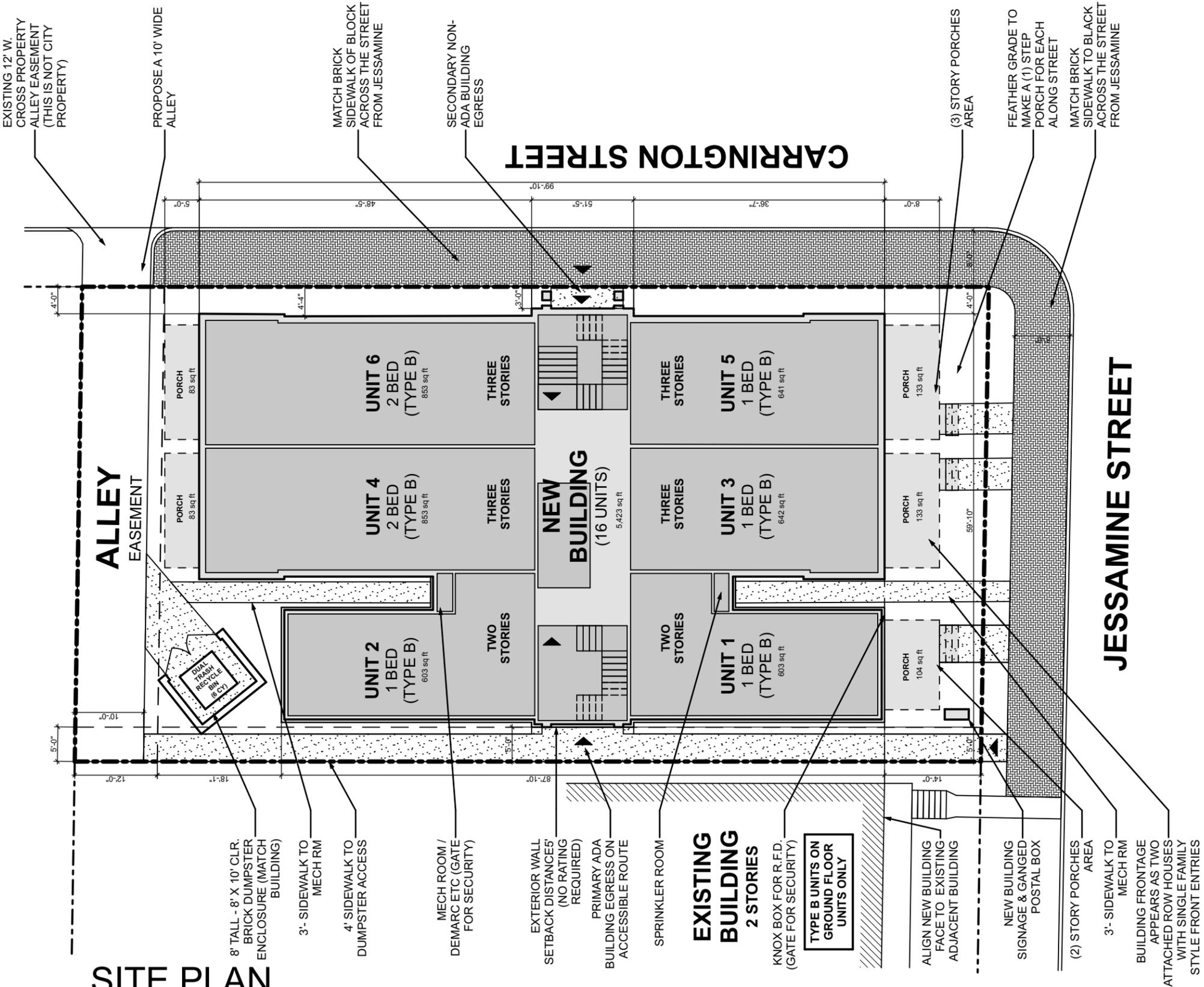
12/22/25

PROJECT NO.: 25001

### TRASH ENCLOSURE

874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA



**SITE PLAN**

SCALE: 1/16" = 1'-0"

**BUILDING INFORMATION:**

STORIES: 3 / 2 PARTIAL

AREA PER FLR:

AREA FLR 3: 3,716 GSF

AREA FLR 2: 5,436 GSF

AREA FLR 1: 5,436 GSF

TOTAL AREA: 14,588 GSF

UNIT COUNT: 16

UNIT TYPE: (6) TWO BEDROOM  
(10) ONE BEDROOM

**UNIT INFORMATION:**

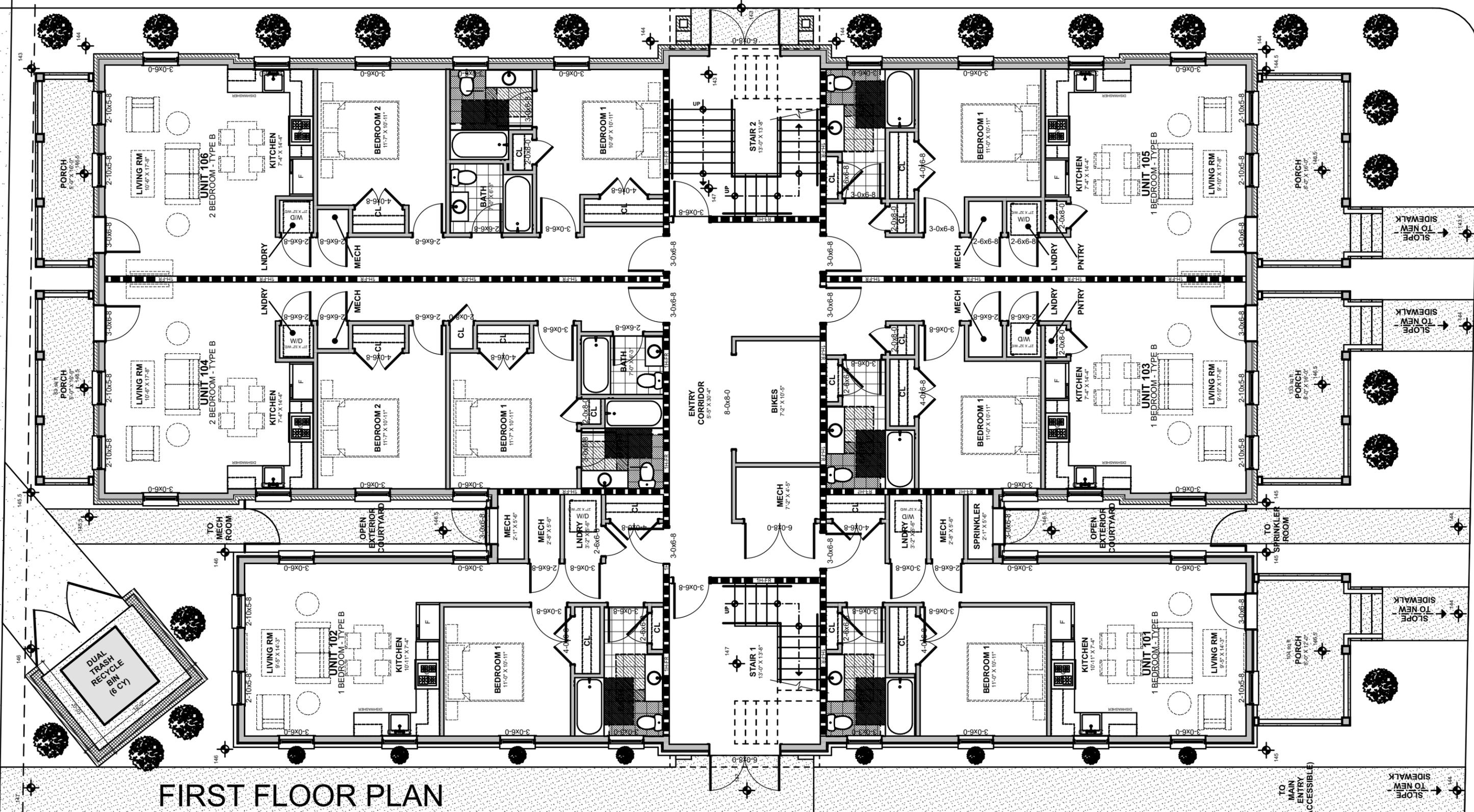
	UNITS	CONDITIONED	OUTDOOR
<b>FLOOR 1</b>			
101	1 - B	617	104
102	1 - B	617	0
103	1 - B	642	133
104	2 - B	853	83
105	1 - B	642	133
106	2 - B	853	83
SUBTOTAL		4,224	536
<b>FLOOR 2</b>			
201	1	617	104
202	1	617	0
203	1	642	133
204	2	853	83
205	1	642	133
206	2	853	83
SUBTOTAL		4,224	536
<b>FLOOR 3</b>			
303	1	642	133
304	2	853	83
305	1	642	133
306	2	853	83
SUBTOTAL		2,990	432
<b>TOTALS:</b>	<b>16</b>	<b>11,438</b>	<b>1,504</b>

SK-05  
12/22/25

PROJECT NO.: 25001

**PROPOSED SITE PLAN**  
**874-876 JESSAMINE STREET RESIDENCES**  
RICHMOND, VIRGINIA





# FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

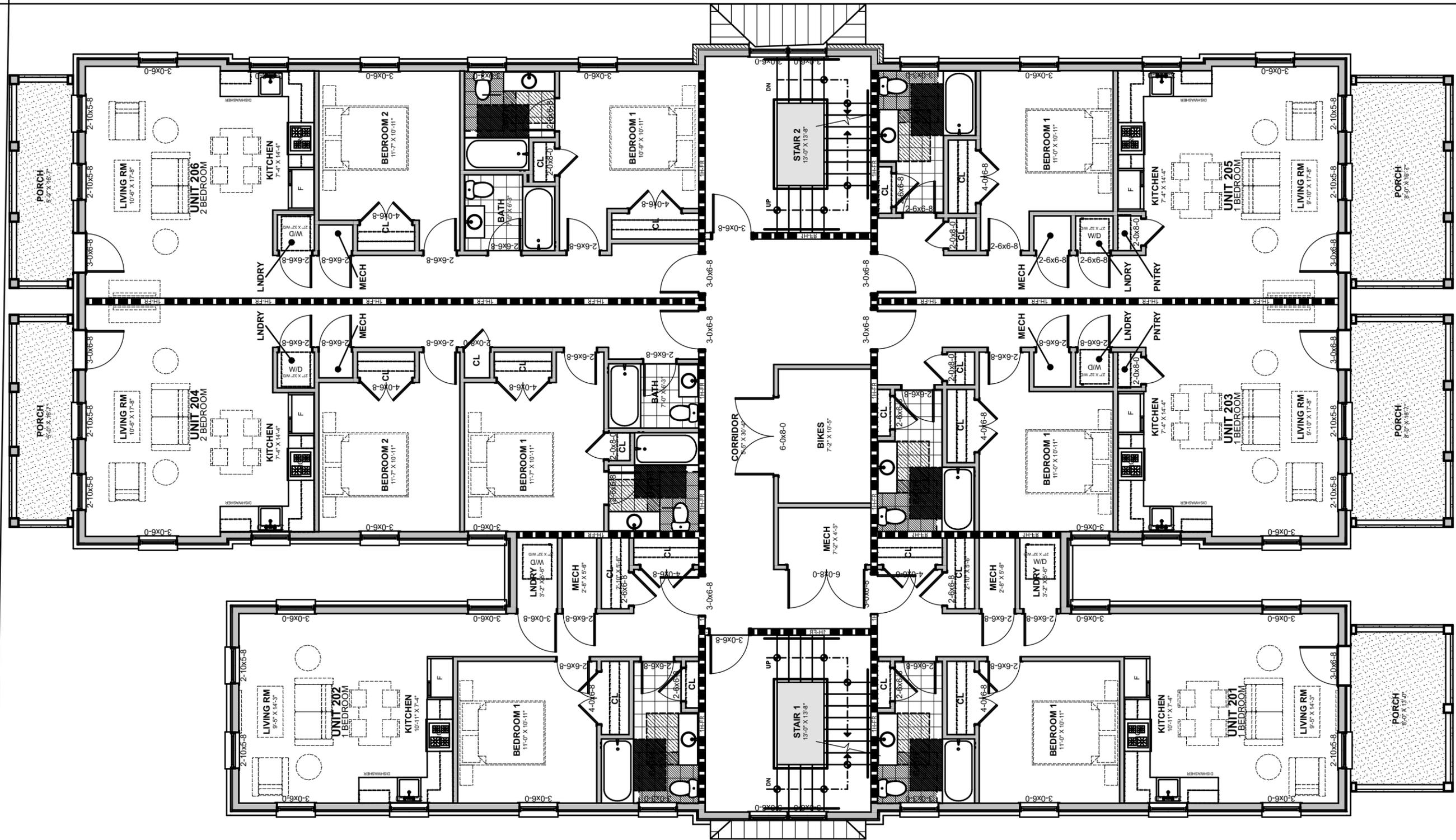
NEW SIDEWALK ALIGNS WITH TOP OF EXISTING CURB

SK-06  
 12/22/25  
 PROJECT NO.: 25001

## PROPOSED FIRST FLOOR PLAN

874-876 JESSAMINE STREET RESIDENCES  
 RICHMOND, VIRGINIA





# SECOND FLOOR PLAN

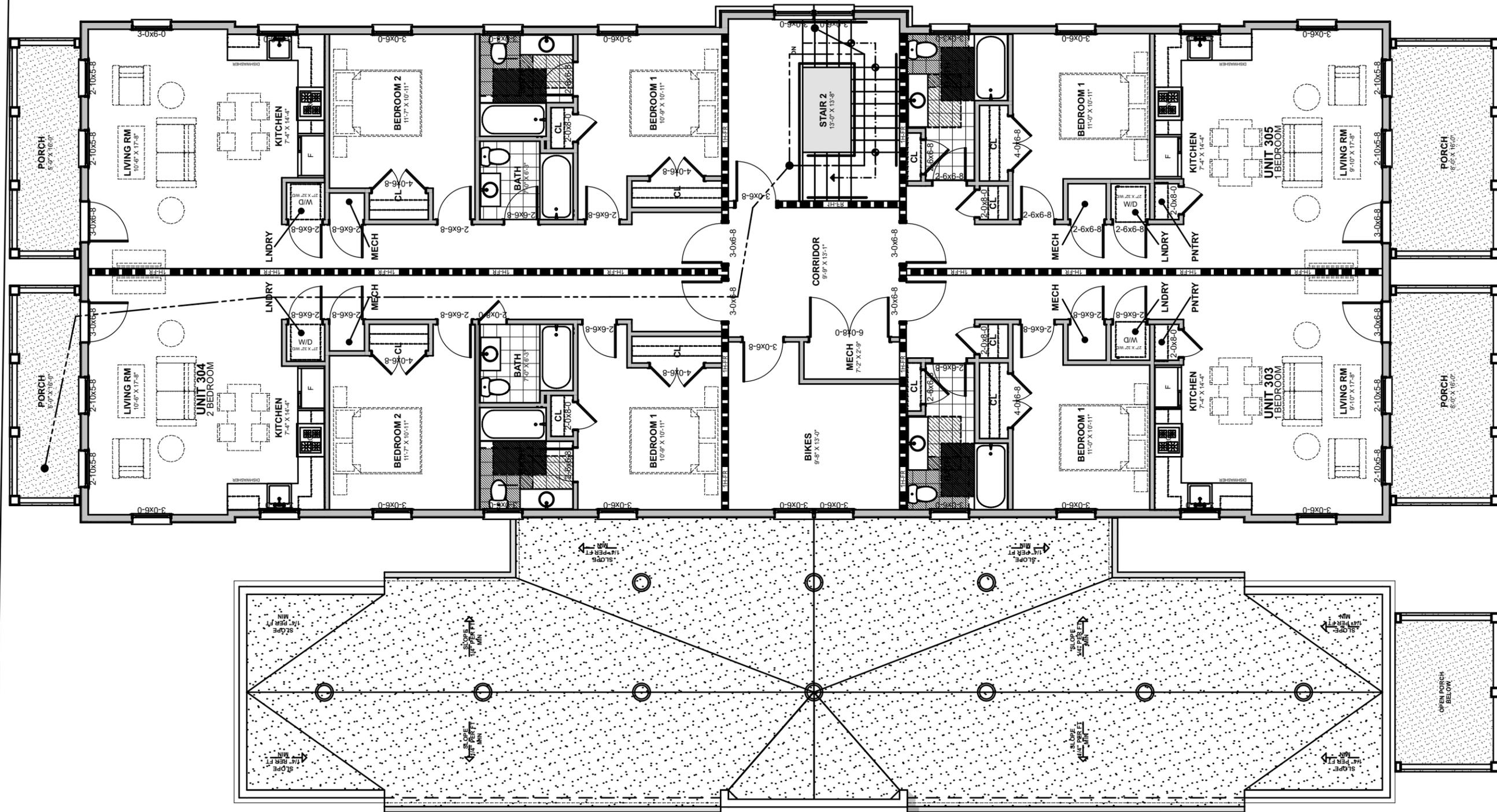
SCALE: 1/8" = 1'-0"

SK-07  
12/22/25

PROJECT NO.: 25001

PROPOSED SECOND FLOOR PLAN  
874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA



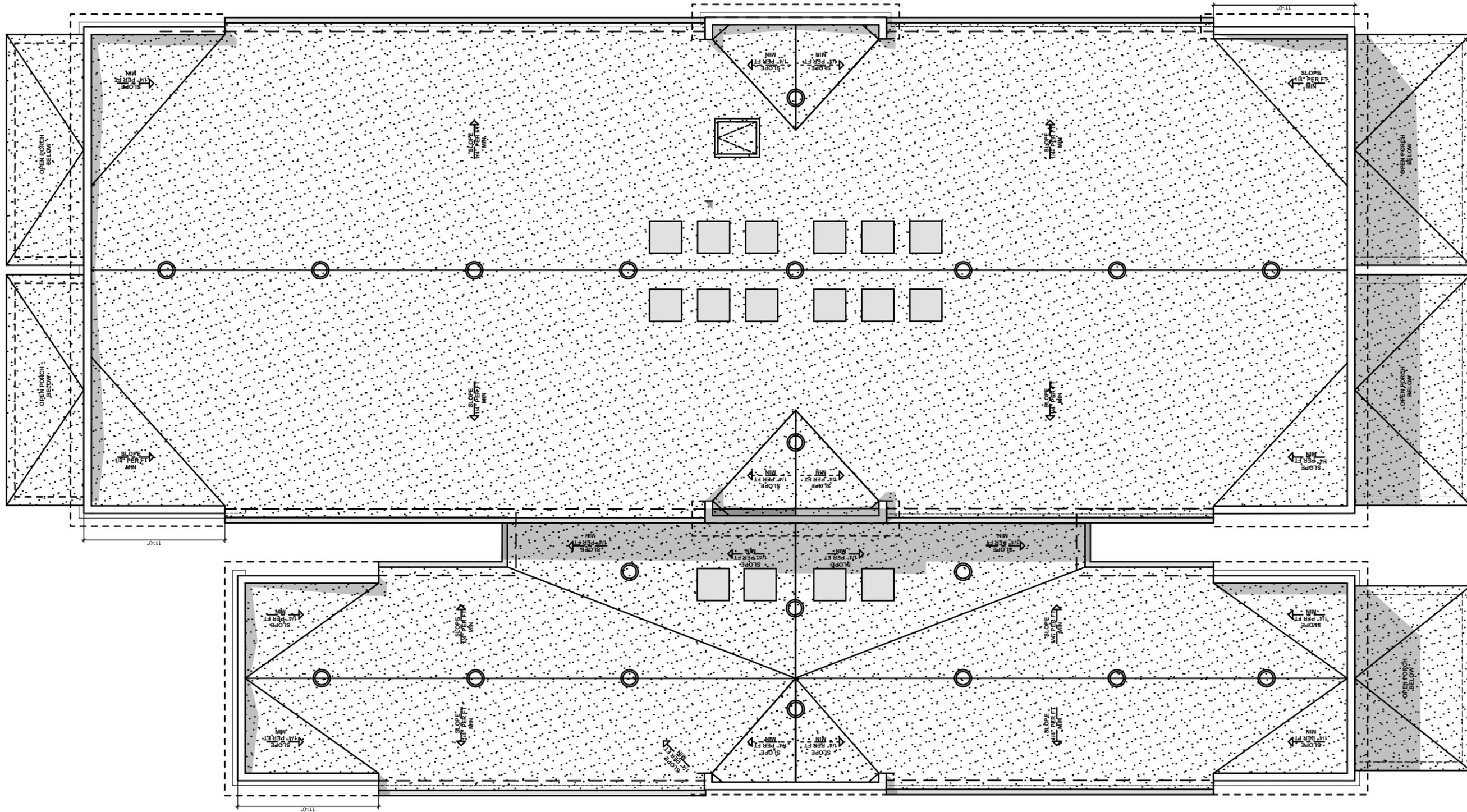
# PROPOSED THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

SK-08  
12/22/25

PROJECT NO.: 25001

PROPOSED THIRD FLOOR PLAN  
874-876 JESSAMINE STREET RESIDENCES  
RICHMOND, VIRGINIA



# ROOF PLAN

SCALE: 1/8" = 1'-0"

SK-09  
 12/22/25  
 PROJECT NO.: 25001

PROPOSED ROOF PLAN  
 874-876 JESSAMINE STREET RESIDENCES  
 RICHMOND, VIRGINIA





# PROPOSED FRONT ELEVATION - JESSAMINE STREET

SCALE: 3/16" = 1'-0"

**CAR PRE-APPROVED DESIGN  
GUIDELINES COLOR PALETTE  
TO BE IMPLEMENTED**

SK-10  
12/22/25  
PROJECT NO.: 25001

## PROPOSED FRONT ELEVATION (JESSAMINE STREET VIEW)

874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA





RIGHT SIDE ELEVATION - SIDE ENTRY - NON-ADA (CARRINGTON ST)

SCALE: 1/8" = 1'-0"

SK-11

12/22/25

PROJECT NO.: 25001

PROPOSED RIGHT SIDE ELEVATION (CARRINGTON AVE VIEW)

874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA



## LEFT SIDE ELEVATION (MAIN ADA ENTRY)

SCALE: 1/8" = 1'-0"

SK-12

12/22/25

PROJECT NO.: 25001

PROPOSED LEFT SIDE ELEVATION (MAIN ADA ENTRY)

874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA



# PROPOSED REAR ELEVATION

SCALE: 3/16" = 1'-0"

SK-13  
12/22/25

PROJECT NO.: 25001

## PROPOSED REAR ELEVATION (ALLEY VIEW)

874-876 JESSAMINE STREET RESIDENCES

RICHMOND, VIRGINIA



mario di marco  
ARCHITECT 67



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-176751-2025

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Agenda Number: 8.



**Property** (location of work)

Property Address: 2322 Venable Street Current Zoning: R-63  
Historic District: Union Hill Old & Historic District

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

Construction of a new mixed use building at the corner of Venable and Tulip street.

**Applicant/Contact Person:** John Wilson

Company: ArcDev Studio

Mailing Address: 505 N 24th Street

City: Richmond State: Va Zip Code: 23223

Telephone: ( 718 ) 541-7030

Email: jmwilson@arcdev.studio

Billing Contact? No Applicant Type (owner, architect, etc.): Architect

**Property Owner:** Sam Tuttle

If Business Entity, name and title of authorized signee: Streetcar Properties Llc

Mailing Address: 615 N 25th Street

City: Richmond State: va Zip Code: 23223

Telephone: ( 757 ) 903-6669

Email: sam.tuttle@gmail.com

Billing Contact? Yes

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 12/08/2025

2322 VENABLE STREET

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**CAR - CERTIFICATE OF APPROVAL**

ArcDev Studio

27 January 2026

## CONCEPT

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The development at 2322 Venable street will be a two-story, new-construction, mixed-use building located on a vacant lot at the NW corner of Venable Street and Pink Street in the Union Hill Old & Historic District. The design includes a Commercial component consisting of a single-story brick building, sited at the corner and sharing a common wall with the adjacent building on Venable Street. The structure continues along Pink Street with a 2-story Residential component clad in cementitious siding on a parged CMU foundation.

The site is narrow and deep, with low power lines running down Pink Street, along the eastern property line. The neighboring buildings reflect a mix of types and scales. 2320 Venable Street is sited on the western property line and has many utility penetrations through this wall, limiting the scope of attachment for the proposed development. With these stated challenges, we hope that our proposed development responds to the conditions of the site and the context of the of the Union Hill Old & Historic District in a sensitive and thoughtful way.

## SITING

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The Commercial component is set back from the corner slightly, aligning with the porch steps of the adjacent property. This siting allows for seating in front of the building, which has a narrow sidewalk, while visually holding the corner as was historically the case on this site. The front entry is set back slightly from the façade of 2320 Venable to create a visual separation from the historic fabric and also to avoid an existing mechanical penetration through the adjacent structure. The single story scale of the Commercial component keeps the structure outside of the 10ft minimum radius of the existing power lines. The scale also draws on the single story enclosure at the front of 2324 Venable street, the single story structure at 2314 Venable Street, the single story front porches of the surrounding buildings and creates some visual breathing room for the historic 4-5-story brick building at the SE corner.

The Residential component is a two-story gable structure sited behind and attached to the Commercial space. It extends along the property line on Pink Street, with a small yard and screened refuse area abutting the alley.

## FORM

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The single-story Commercial structure draws on the scale, proportions and materials of the surrounding buildings. The masonry design is divided by horizontal bands that continue the horizontal planes of the adjacent structure. The base band will be a modular brick in common bond with a cast stone sill. Above the sill will be a Norman brick in stretcher bond. This band matches the height of the storefront windows. Above this will be a double soldier course header band with the modular brick in common bond above. A brick cornice with metal parapet cap runs along the top of the building.

The 2-story, Residential component is attached at the rear of the brick building after a small inset which creates a visual separation between the two uses and the different materials. Clad in cementitious siding on a parged cmu base, the residential structure stands two stories with a gable roof stretching along Pink Street. The gable roof keeps the structure outside of the 10ft minimum radius of the existing power lines and this gable roof, though not the most common roof type, can be found throughout the neighborhood. The windows are high awning along the first floor facing Pink Street to maintain privacy for the occupants of the residential units. The sill of these windows aligns with the sill of the storefronts in the masonry building, which has a higher first floor level. The second story windows are double hung and vertically aligned with the windows below. An inset cementitious panel creates a vertical connection that reflects the scale and rhythm of the storefront windows of the attached commercial component. Access to the two apartments is on the western elevation to keep the front doors from being located directly on the street and a narrow site does not allow for a stoop and steps up from Pink Street. A small path and yard at the rear of the building provides visual cue to the residential entry and small space to gather for the residents.

2322 VENABLE - PROJECT SITE



2400 VENABLE



2325 VENABLE



2401 VENABLE



# NEIGHBORHOOD CONTEXT

2322 VENABLE STREET - CERTIFICATE OF APPROVAL

2208 BURTON



705 N 23RD



2312 VENABLE



2406 CARRINGTON



2207 CARRINGTON



2112 E. LEIGH



500 N 25TH



620 N 27TH



# NEIGHBORHOOD PRECEDENT

2322 VENABLE STREET - CERTIFICATE OF APPROVAL

## SITE & BUILDING INFO

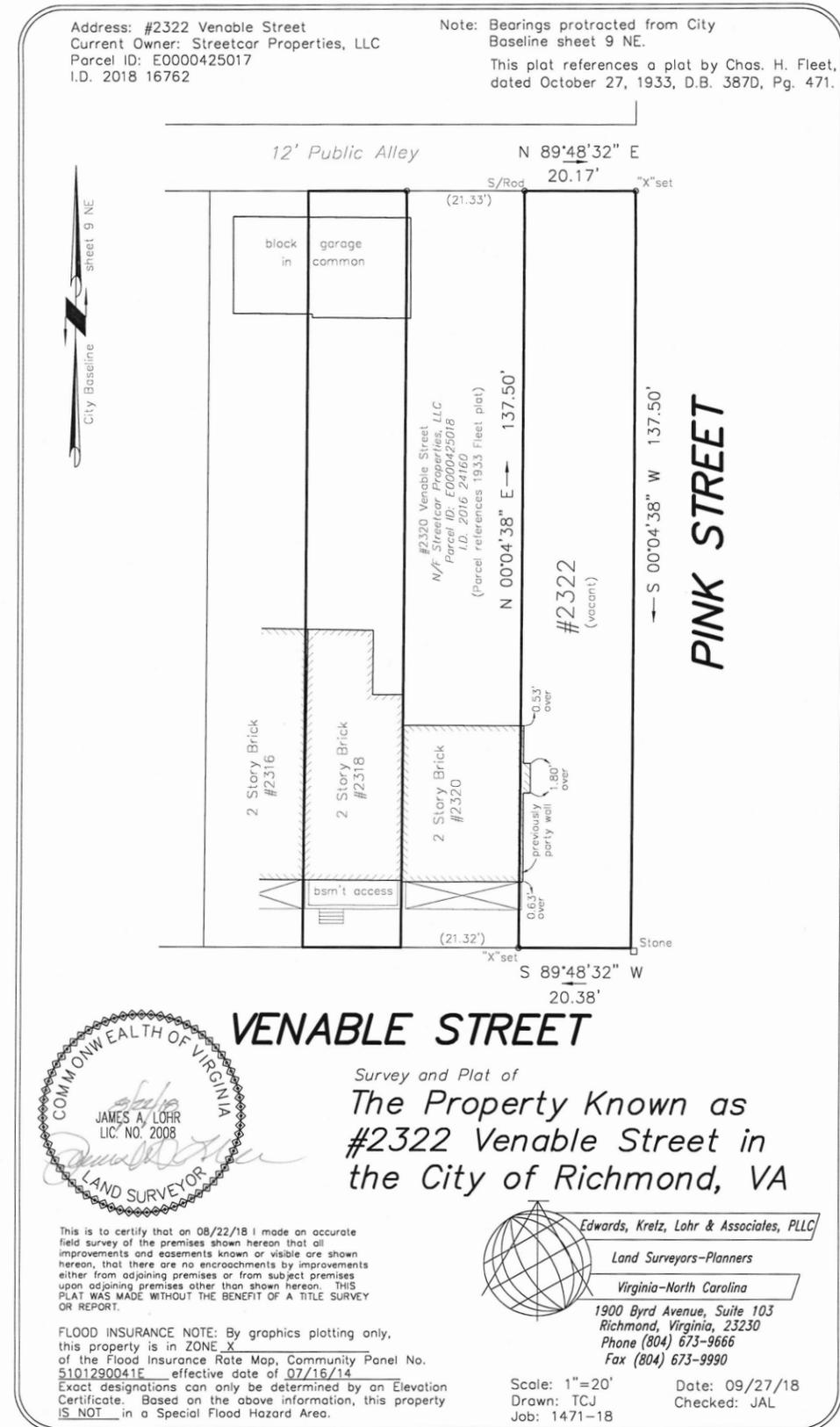
ADDRESS: 2322 VENABLE STREET  
 ZONING: R-63 MULTI-FAMILY URBAN RESIDENTIAL  
 BY RIGHT USE: MIXED-USE MULTI-FAMILY ON CORNER LOT AS PER SEC.30-419.3  
 LOT AREA: 20.92' X 138' = 2887 SF  
 SETBACKS: FRONT - 0'  
 SIDE - 0'-5'  
 REAR - 15'

MAX HEIGHT: 3 STORIES  
 MIN HEIGHT: 2 STORIES  
 MAX LOT COVERAGE: 65% = 1,877 SF FOOTPRINT

USE & OCCUPANCY: MIXED-USE, TYPE B & RESIDENTIAL  
 CONSTRUCTION TYPE: VB  
 SPRINKLERS: NONE  
 FIRE SEPERATION: 2-HR FIRE WALL SEPARATES USES  
 1-HR FIRE PARTITION SEPERATES DWELLING UNITS  
 1-HR RATED EXTERIOR WALL @ EAST SIDE

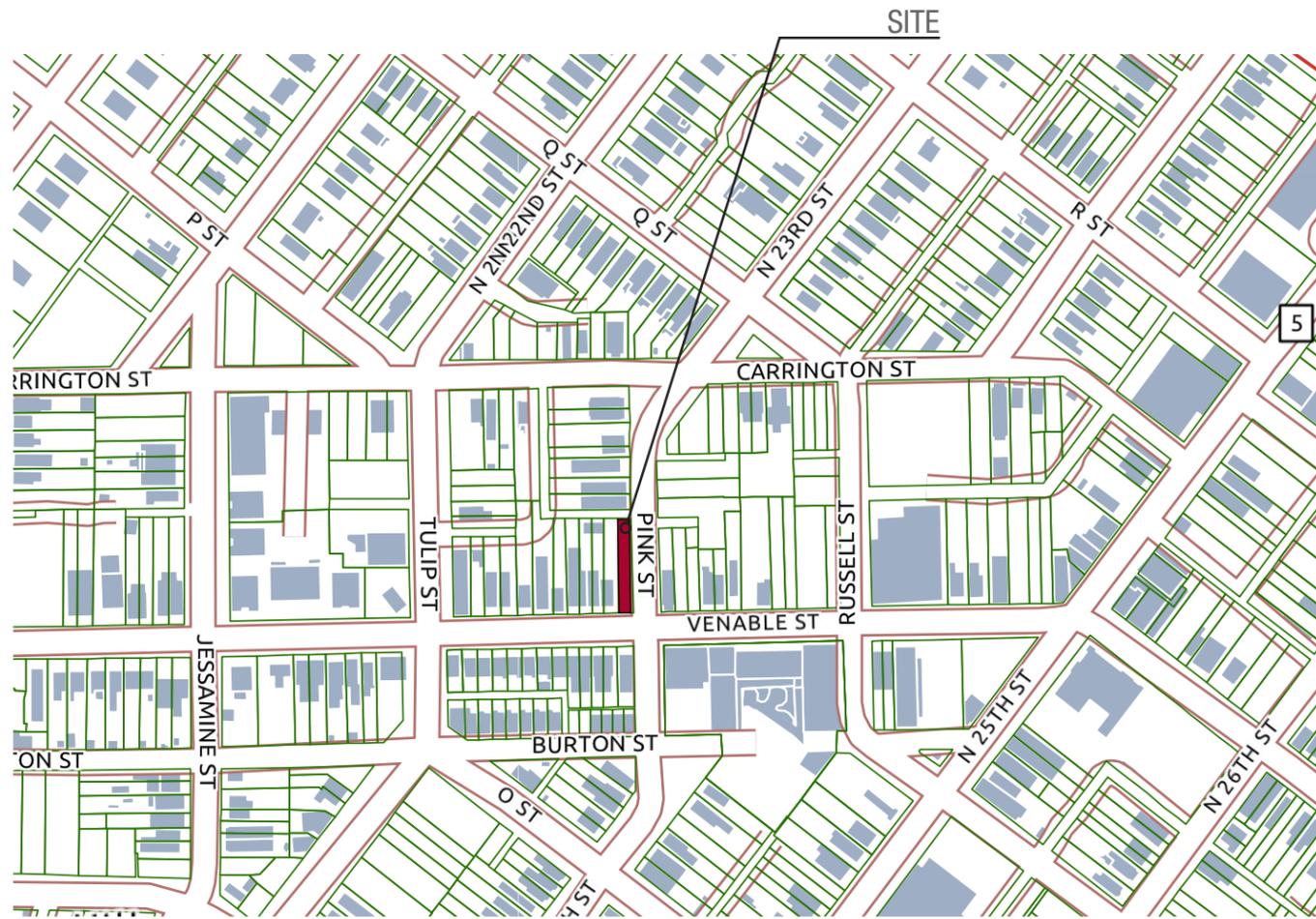
FLOOR AREAS	
COMMERCIAL	1,053 SF
RESIDENTIAL LEVEL 1	560 SF
RESIDENTIAL LEVEL 2	560 SF
<b>TOTAL AREA</b>	<b>2,173 SF</b>

## SURVEY

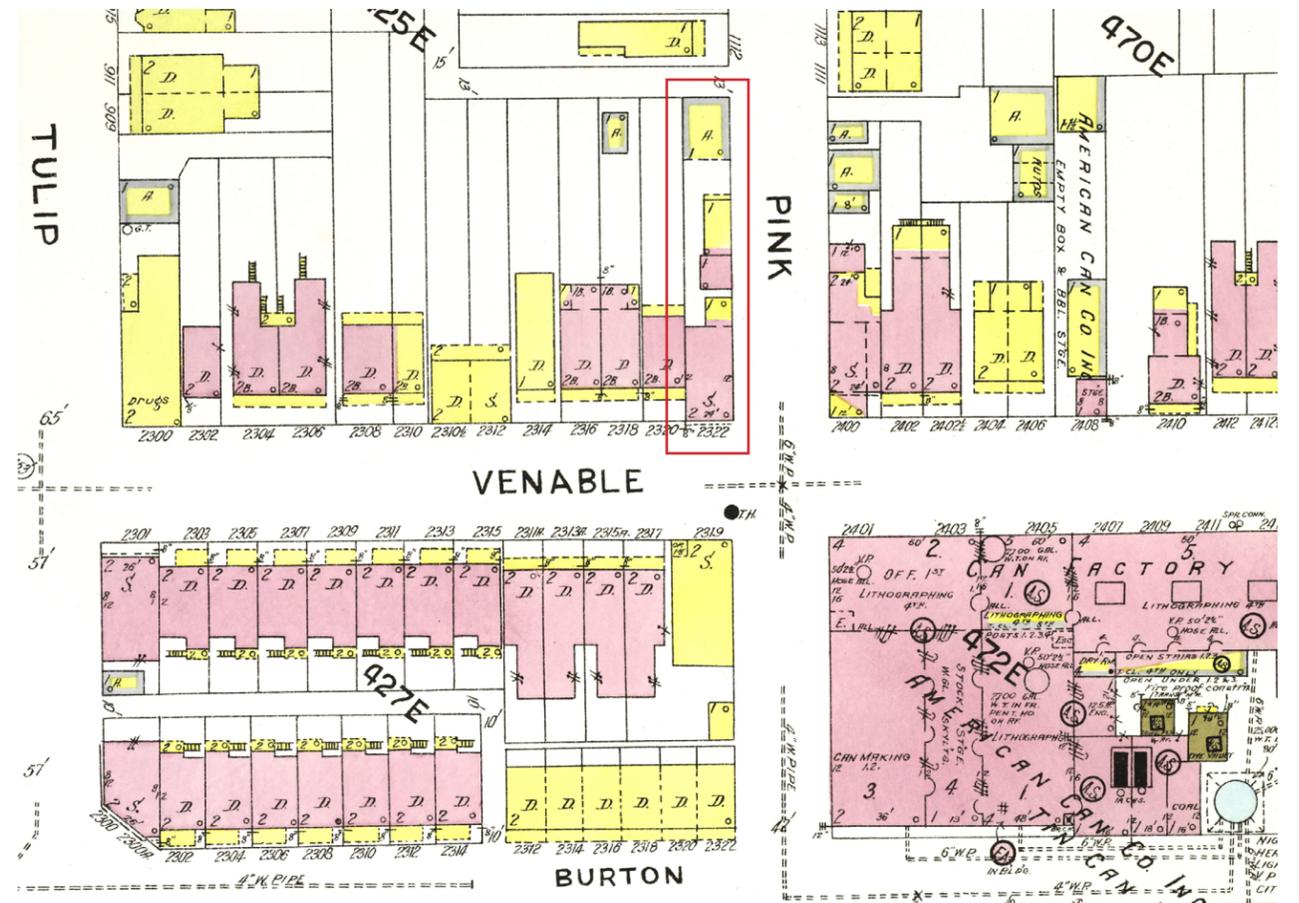


## SITE

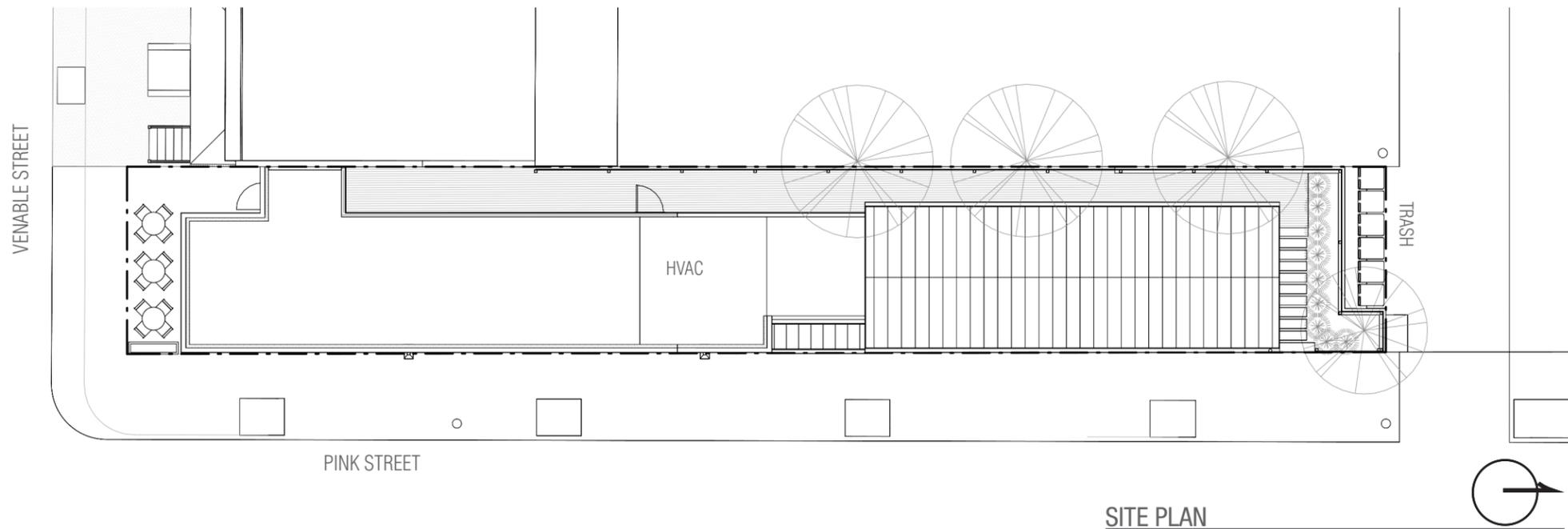
2322 VENABLE STREET - CERTIFICATE OF APPROVAL



AREA MAP



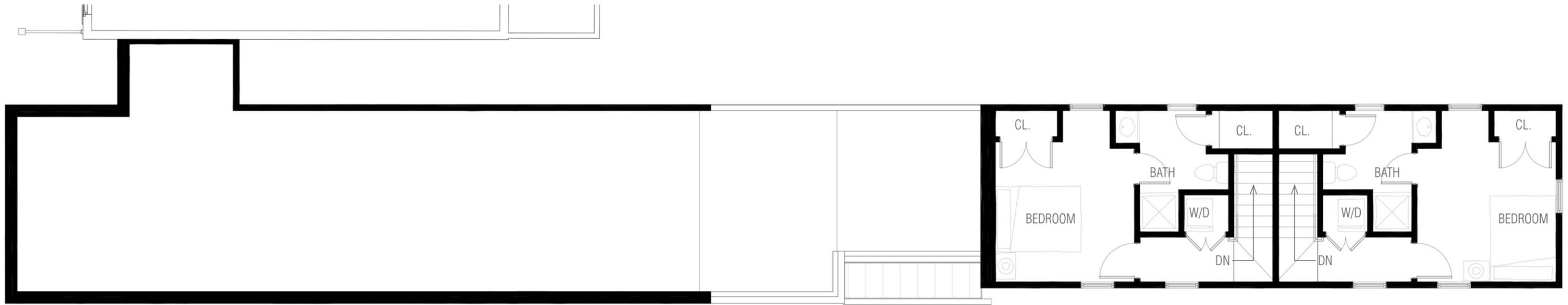
SANBORN MAP



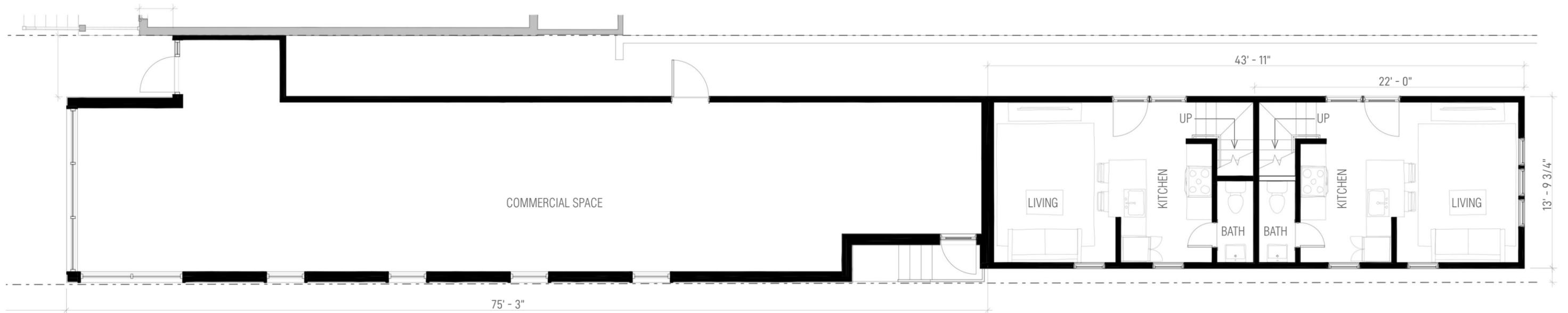
SITE PLAN

# SITE

2322 VENABLE STREET - CERTIFICATE OF APPROVAL



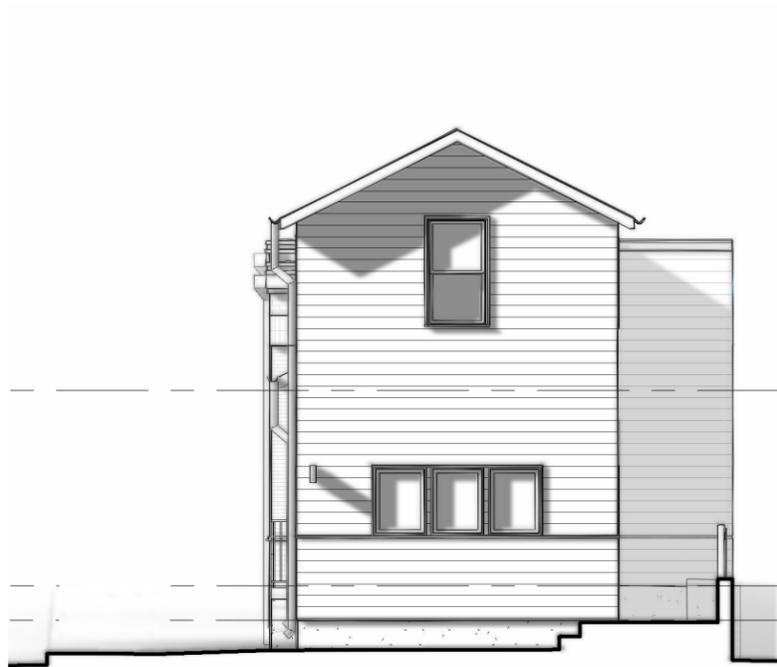
LEVEL 2 - PLAN



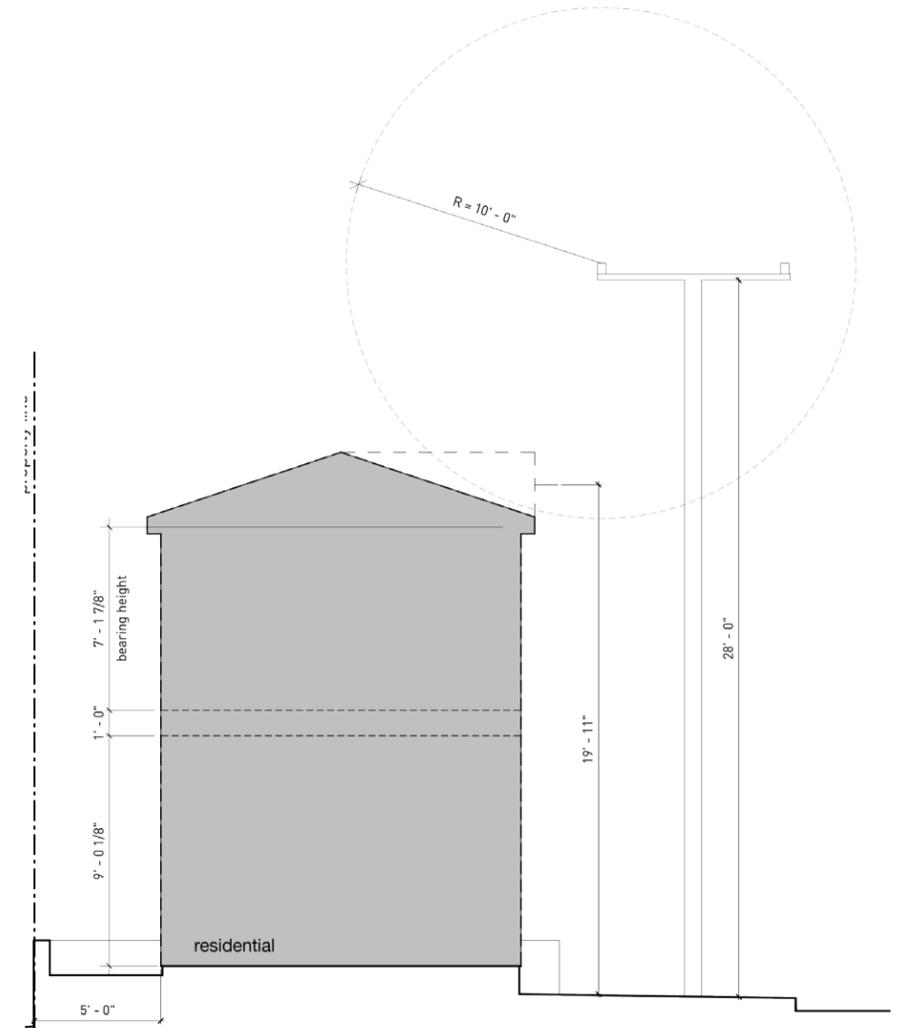
LEVEL 1 - PLAN



SOUTH ELEVATION



NORTH ELEVATION



SITE SECTION

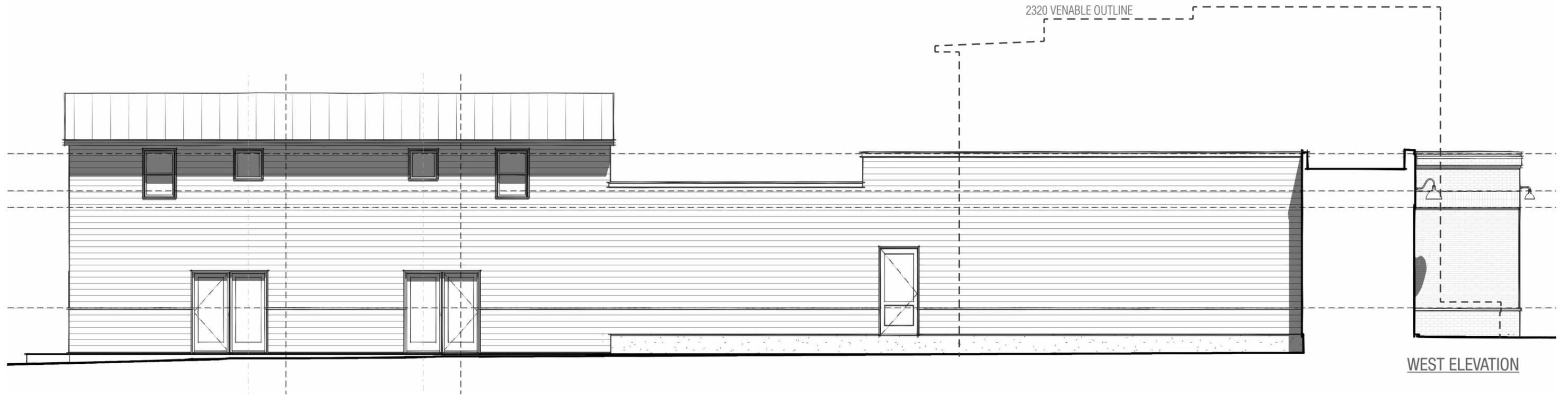


EAST ELEVATION

# ELEVATIONS

2322 VENABLE STREET - CERTIFICATE OF APPROVAL

ArcDev Studio



# ELEVATIONS

2322 VENABLE STREET - CERTIFICATE OF APPROVAL



PINK STREET - WIDE



PINK STREET ENTRY



FRONT - LOOKING NW

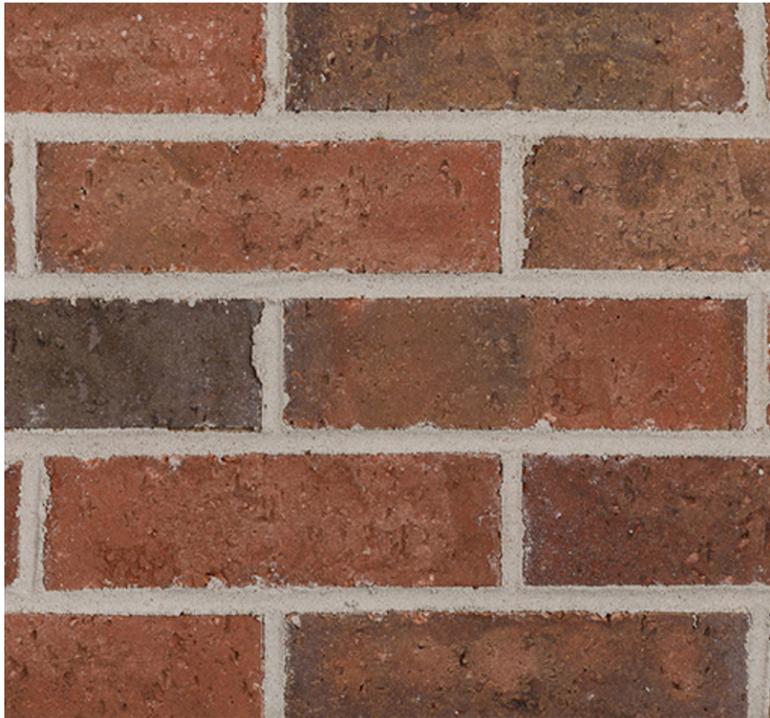


FRONT ENTRY

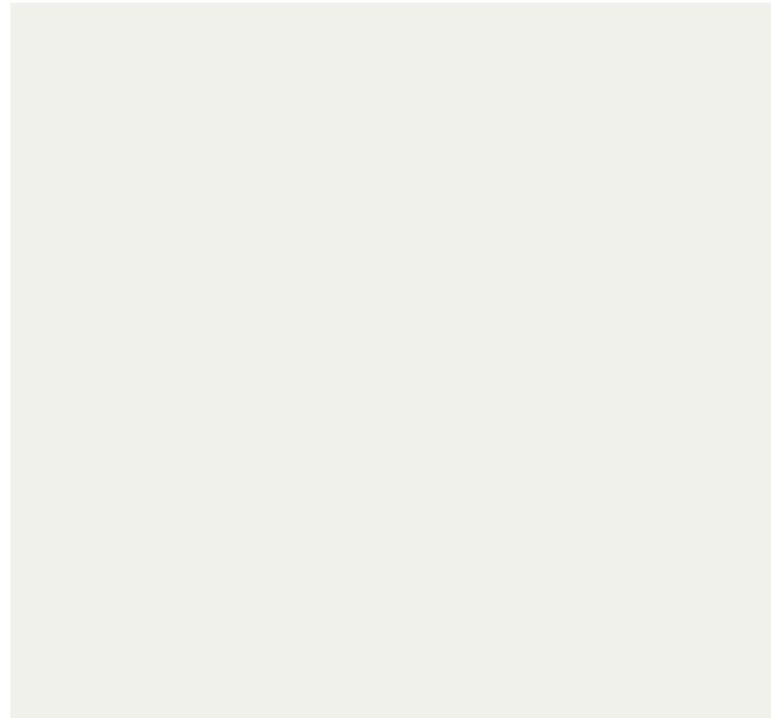
# PERSPECTIVES

2322 VENABLE STREET - CERTIFICATE OF APPROVAL

ArcDev Studio



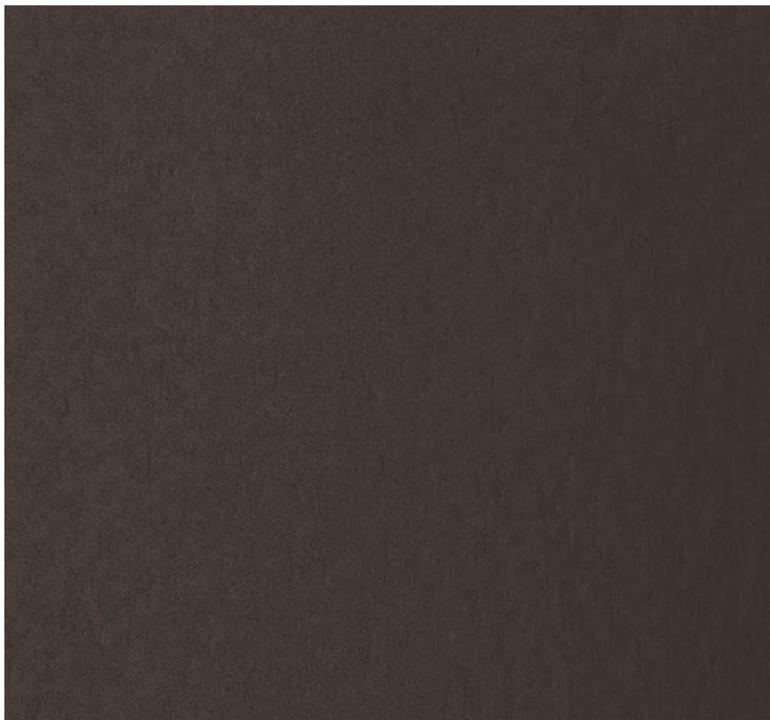
BRICK COLOR



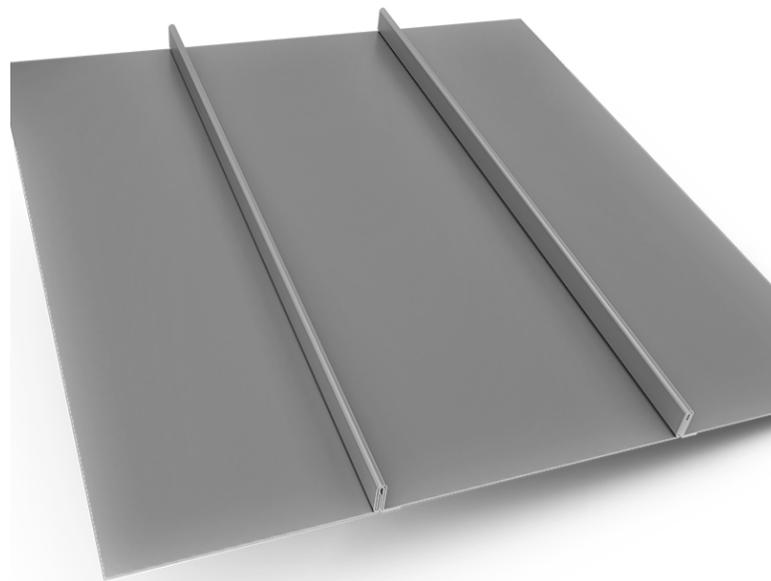
RESIDENTIAL SIDING COLOR



METAL COPING COLOR COLOR



STOREFRONT AND WINDOW COLOR - HARDIE PANEL SIDING TO MATCH



GABLE ROOF AND PINK STREET ENTRY STANDING SEAM



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-178061-2026

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Agenda Number: 9.



**Property** (location of work)

Property Address: \_\_\_\_\_ Current **Zoning**: \_\_\_\_\_  
Historic District: \_\_\_\_\_

Application is submitted for: (check one)

- Alteration**
- Demolition**
- New Construction**

**Project Description** (attach additional sheets if needed):

\_\_\_\_\_  
**Applicant/Contact Person:** \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone: (\_\_\_\_) \_\_\_\_\_

Email: \_\_\_\_\_

Billing Contact?                      Applicant Type (owner, architect, etc.):

**Property Owner:** \_\_\_\_\_

If Business Entity, name and title of authorized signee: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone: (\_\_\_\_) \_\_\_\_\_

Email: \_\_\_\_\_

Billing Contact?

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

**Property Owner Signature:** \_\_\_\_\_  \_\_\_\_\_ **Date:** \_\_\_\_\_

# Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | [alex.dandridge@rva.gov](mailto:alex.dandridge@rva.gov)

## Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review).

**Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

## Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

## Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5<sup>th</sup> floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review) or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

---

**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 2509 East Franklin Street, Richmond, VA, 23223

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### BUILDING TYPE

- |                                                             |                                              |
|-------------------------------------------------------------|----------------------------------------------|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> other               |
| <input type="checkbox"/> mixed use building                 |                                              |
| <input type="checkbox"/> institutional building             |                                              |

### ALTERATION TYPE

- |                                                  |                                           |
|--------------------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> addition     | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- |                                                 |                                                            |                                                           |
|-------------------------------------------------|------------------------------------------------------------|-----------------------------------------------------------|
| <input type="checkbox"/> current site plan      | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides)   |
| <input type="checkbox"/> proposed site plan     | <input type="checkbox"/> list of proposed window and door  | <input type="checkbox"/> proposed elevations (all sides)  |
| <input type="checkbox"/> current floor plans    | <input type="checkbox"/> current roof plan                 | <input type="checkbox"/> demolition plan                  |
| <input type="checkbox"/> proposed floor plans   | <input type="checkbox"/> proposed roof plan                | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" |                                                            |                                                           |



ALL HEADERS ARE (2) 2X8 UNLESS OTHERWISE NOTED

----- BWL\_CS WSP ----- BRACED WALL LINE (BWL)  
CONTINUOUS WSP (CS WSP)  
PER R602.10.4

ALL LUMBER #2 YELLOW PINE EXCEPT AS NOTED

ALL WINDOW AND DOOR OPENINGS ARE READ AS FEET AND INCHES  
EXAMPLE: 3068 = 3'0" X 6'8"

ALL WINDOWS, DOORS AND INSULATION TO MEET OR EXCEED MINIMUMS  
OF N1102.1 OF THE 2021 IRBC FOR ZONE 4A

WINDOW AND DOOR U-FACTOR .35, CEILING INSULATION R-49,  
WALL INSULATION R-15, FLOOR INSULATION R-19

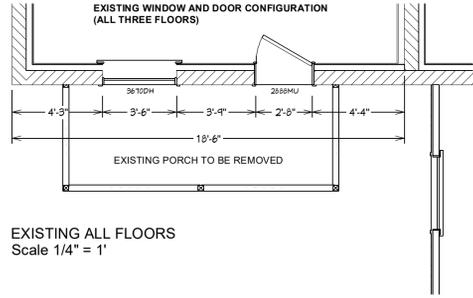
DESIGN LOAD CRITERIA IS BASED ON R301.5 "MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS."  
HEADER SPANS ARE PRESCRIBED BY TABLE R502.5 OF THE 2021 VUSBC OR THE APPROPRIATE  
ENGINEERED LUMBER SPECIFIER'S GUIDE. LOAD CALCULATIONS WILL BE PROVIDED FOR ANY  
HEADERS OR BEAMS WHEN PRESCRIPTIVE DATA IS NOT AVAILABLE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY MEASUREMENTS,  
SITE CONDITIONS AND CODE COMPLIANCE BEFORE PROCEEDING.

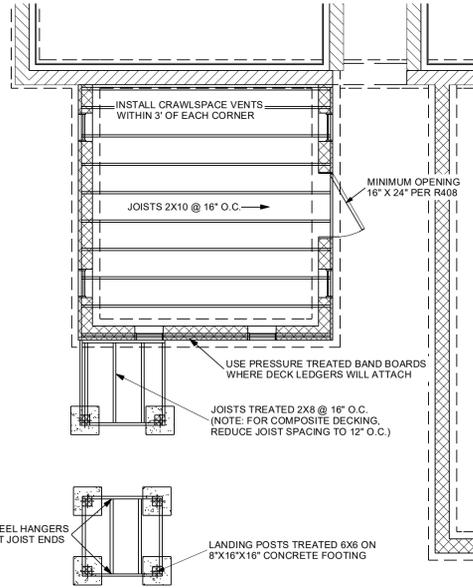
THESE PLANS ARE INTENDED TO ADHERE TO THE 2021 VUSBC.

THESE PLANS ARE INTENDED TO ADHERE TO THE INTERNATIONAL  
CODE COUNCIL DESIGN WIND SPEED OF 115 MPH AND EXPOSURE "B"

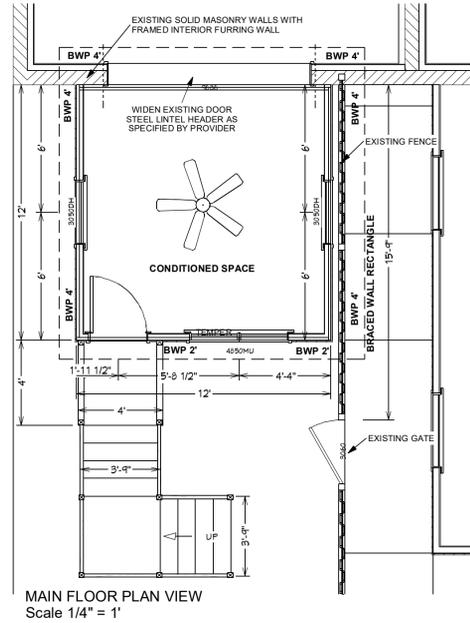
ASSUMED SOIL BEARING CAPACITY 1500 PSF UNLESS DEMONSTRATED TO BE GREATER



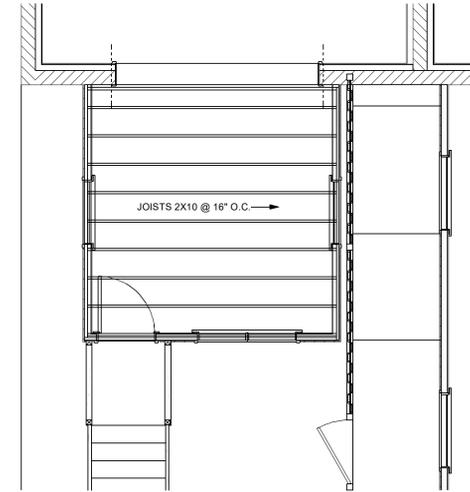
EXISTING ALL FLOORS  
Scale 1/4" = 1'



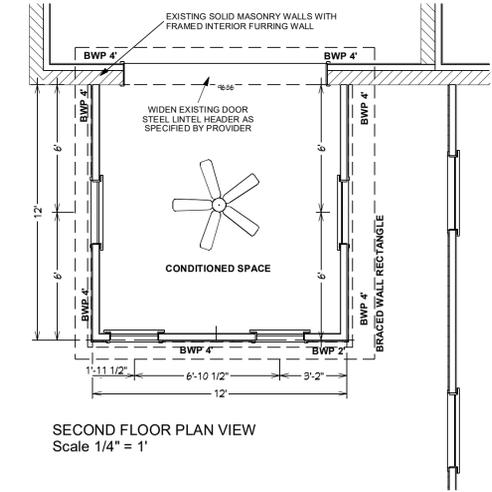
FOUNDATION AND FLOOR FRAMING  
Scale 1/4" = 1'



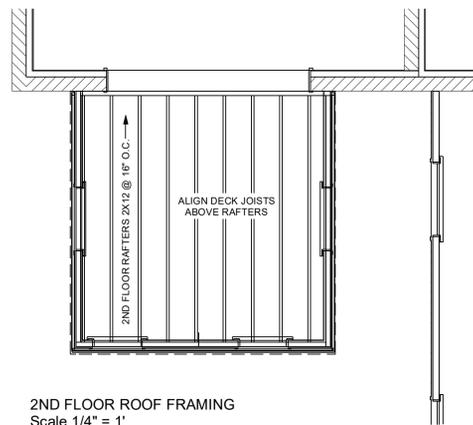
MAIN FLOOR PLAN VIEW  
Scale 1/4" = 1'



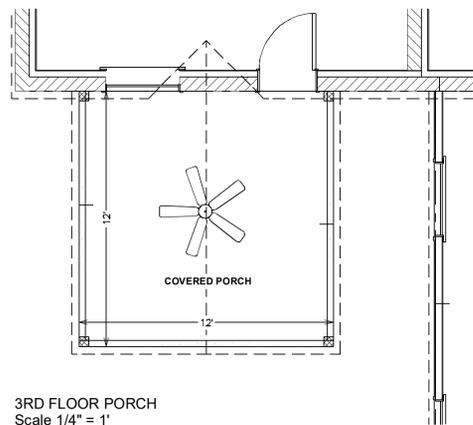
2ND FLOOR FRAMING  
Scale 1/4" = 1'



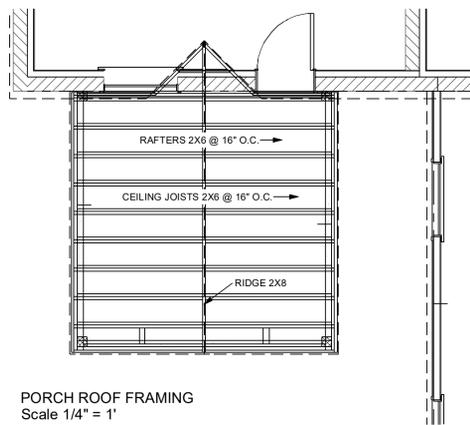
SECOND FLOOR PLAN VIEW  
Scale 1/4" = 1'



2ND FLOOR ROOF FRAMING  
Scale 1/4" = 1'



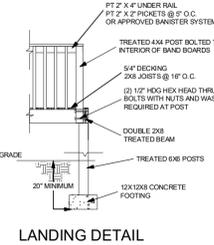
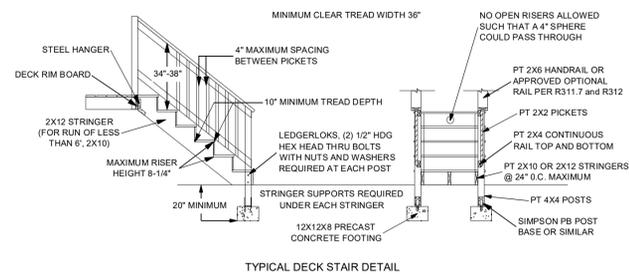
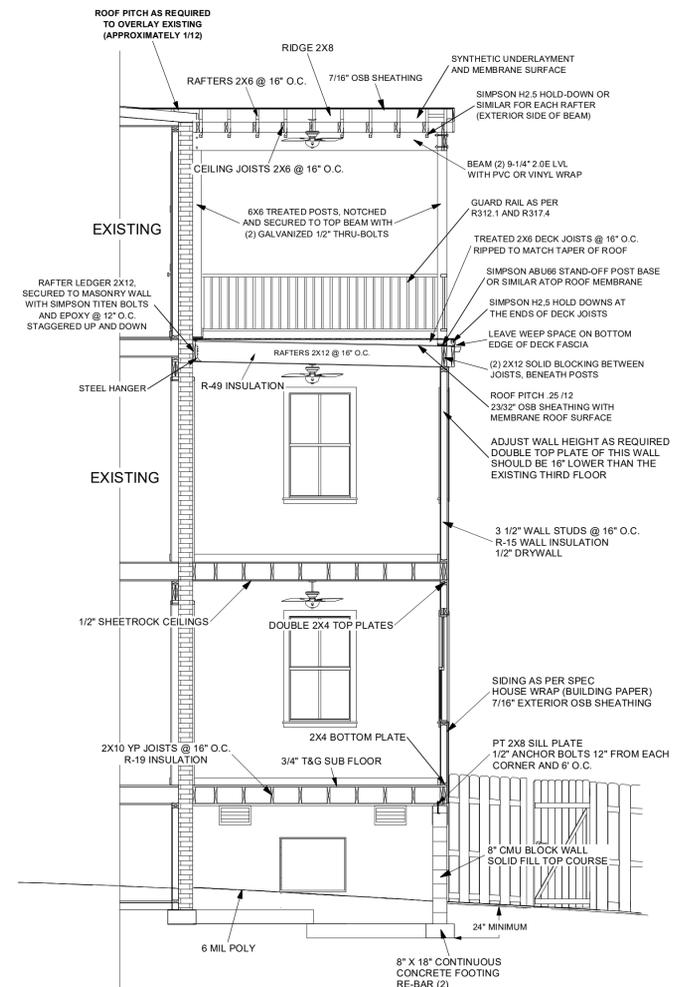
3RD FLOOR PORCH  
Scale 1/4" = 1'



PORCH ROOF FRAMING  
Scale 1/4" = 1'



REAR ELEVATION  
Scale 1/8" = 1'



Ultimate Wind Speed (mph)	115 (90)								115 (90)								
	Front/Rear		Left/Right		Aspect Ratio		PASS		Front/Rear		Left/Right		Aspect Ratio		PASS		
Rectangle Size (ft)	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
Rectangle Side	Front	Rear	Left	Right													
Number of Floors Above	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
Exterior Ridge Height (ft)	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	
Exterior BWP Material	Wood Structural Panels																
Tabular Requirement (ft)	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	4.10	
Exposure	B	1.00															
Wind Ht. (ft)	9.50	0.98	9.50	0.98	9.50	0.98	9.50	0.98	9.50	0.98	9.50	0.98	9.50	0.98	9.50	0.98	
Wind Interior Finish?	No	1.00															
Fasteners @ 4" o.c.?	No	1.00															
Required BWP Length (ft)	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	
Required BWP Length (ft) Corner Rectangle Side	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	
Total Required BWP Length (ft)	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	
Contributing Length (ft)	1	Interior	4.00	Exterior	2.00	Exterior	4.00	Interior	4.00	Interior	4.00	Exterior	4.00	Interior	4.00	Exterior	4.00
CS PPH-1 Spacial PPH-1 Spacial	2	Interior	4.00	Exterior	2.00	Exterior	4.00	Interior	4.00	Interior	4.00	Exterior	4.00	Interior	4.00	Exterior	4.00
PPH-4 Spacial	3	Interior	4.00	Exterior	2.00	Exterior	4.00	Interior	4.00	Interior	4.00	Exterior	4.00	Interior	4.00	Exterior	4.00
PPH-4	4	Interior	4.00	Exterior	2.00	Exterior	4.00	Interior	4.00	Interior	4.00	Exterior	4.00	Interior	4.00	Exterior	4.00
ABW-4	5	Interior	4.00	Exterior	2.00	Exterior	4.00	Interior	4.00	Interior	4.00	Exterior	4.00	Interior	4.00	Exterior	4.00
Actual BWP Length (ft)	7	Interior	4.00	Exterior	2.00	Exterior	4.00	Interior	4.00	Interior	4.00	Exterior	4.00	Interior	4.00	Exterior	4.00
Actual BWP Length (ft)	8.00	Interior	4.00	Exterior	2.00	Exterior	4.00	Interior	4.00	Interior	4.00	Exterior	4.00	Interior	4.00	Exterior	4.00
Actual - Required?	Pass	Pass															
BWPs x 20' Apart?	Yes	Yes															
BWP within 12' of Corners?	Yes	Yes															
Compliant Number of BWPs	Yes	Yes															
BWL Compliance	Pass	Pass															

CITY/COUNTY APPROVAL:

PROJECT: Granville Addition and Porch

PROJECT COORDINATOR:

CUSTOMER APPROVAL:

PO BOX 1441  
MIDLOTHIAN, VA 23113  
(804) 938-1196  
www.glasgowdesign.net

GLASGOW DESIGN SERVICES LLC

DATE: 11/05/25

Drawn by: Mitchell Glasgow













# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-178096-2026

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Agenda Number: 10.



**Property** (location of work)

Property Address: 319 N 32nd Street Current \_\_\_\_\_  
 Historic District: Dakwood-Chickorazo

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

See attached

**Applicant/Contact Person:** Kathleen Sanders

Company: \_\_\_\_\_

Mailing Address: 319 N 32nd St.

City: Richmond State: VA Zip Code: 23223

Telephone: 804 937 9513

Email: bleekitdogs@aol.com

Billing Contact? \_\_\_\_\_ Applicant Type (owner, architect, etc.): owner

**Property Owner:** Kathleen Sanders (Richard)

If Business Entity, name and title of authorized signee: \_\_\_\_\_

Mailing Address: 319 N 32nd Street

City: Richmond State: VA Zip Code: 23223

Telephone: 804 937 9513

Email: bleekitdogs@aol.com

Billing Contact? \_\_\_\_\_

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 12/9/25  
Richard Sanders 12/9/25

## Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | [alex.dandridge@rva.gov](mailto:alex.dandridge@rva.gov)

### Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review)

**Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

### Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

### Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5<sup>th</sup> floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review) or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 319 N 32nd Street, Richmond, VA 23223

### BUILDING TYPE

- |                                                             |                                              |
|-------------------------------------------------------------|----------------------------------------------|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> other               |
| <input type="checkbox"/> mixed use building                 |                                              |
| <input type="checkbox"/> institutional building             |                                              |

### ALTERATION TYPE

- |                                                  |                                           |
|--------------------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> addition     | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- |                                                 |                                                                       |                                                           |
|-------------------------------------------------|-----------------------------------------------------------------------|-----------------------------------------------------------|
| <input type="checkbox"/> current site plan      | <input checked="" type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides)   |
| <input type="checkbox"/> proposed site plan     | <input checked="" type="checkbox"/> list of proposed window and door  | <input type="checkbox"/> proposed elevations (all sides)  |
| <input type="checkbox"/> current floor plans    | <input type="checkbox"/> current roof plan                            | <input type="checkbox"/> demolition plan                  |
| <input type="checkbox"/> proposed floor plans   | <input type="checkbox"/> proposed roof plan                           | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" |                                                                       |                                                           |













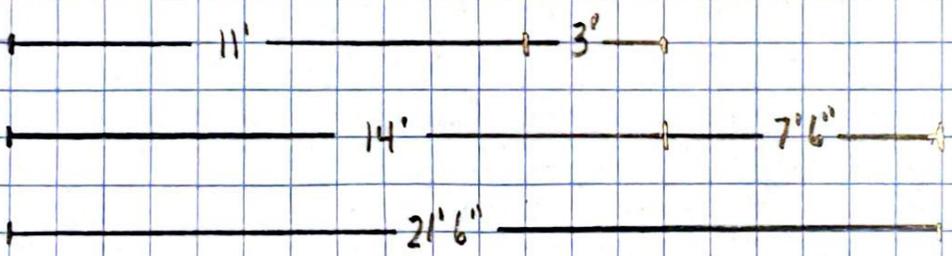
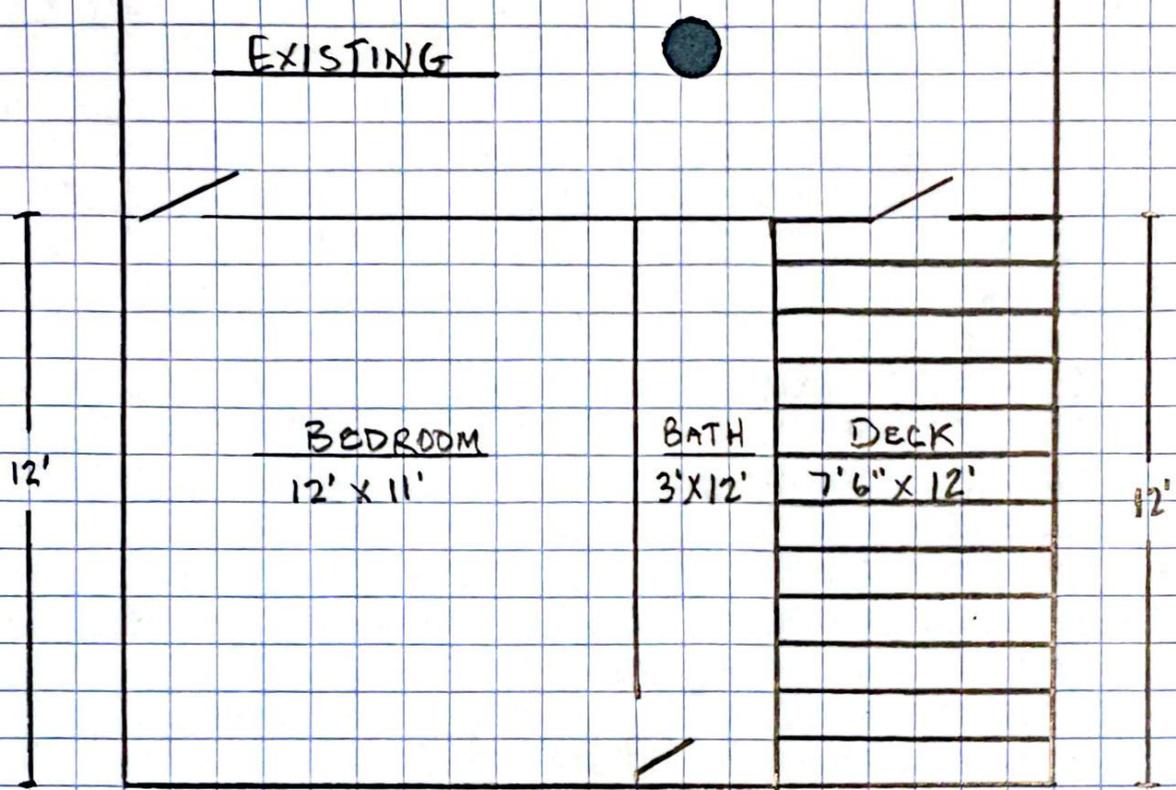




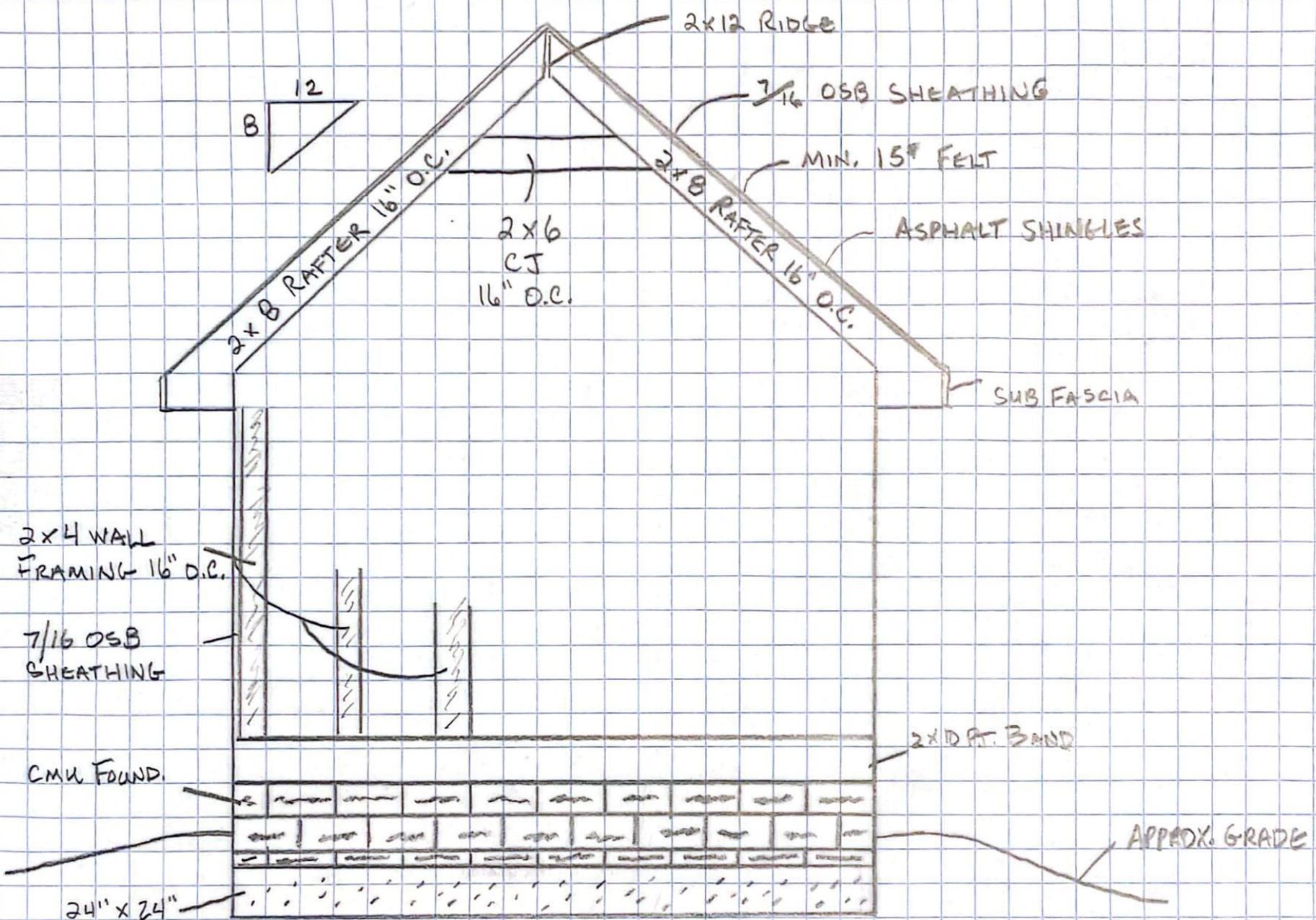








SANDERS PROJECT  
319 N. 32ND ST.  
RICHMOND, VA. 23223



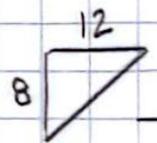
SANDERS PROJECT  
 319 N. 32ND ST.  
 RICHMOND, VA. 23223

EXISTING DOOR

REAR ELEVATION

RICHMOND RAIL

EXISTING WINDOWS



EXISTING

ASPHALT SHINGLES

16' 11"

19' 3"

RELOCATE WINDOWS EXISTING REAR OR WOOD CASEMENT

3'-0" DOOR

WOOD RICHMOND RAIL OR INTERX

CONCRETE SIDING

2x8 JOISTS

3"

CMU FOUND.

6x6 POST

APPROX. GRADE

APPROX. GRADE

SANDERS PROJECT  
 319 N. 32ND ST.  
 RICHMOND, VA. 23223

SIDE ELEVATION

ASPHALT SHINGLES

CONCRETE  
SIDING

2x6 RAIL  
DECK

6x6 POST  
DECK

CMU FOUND.

APPROX  
GRADE

WOOD SLIDER  
28" x 16"

EXISTING

2x2 BALUSTERS

RICHMOND RAIL WOOD  
OR STAINED

APPROX.  
GRADE

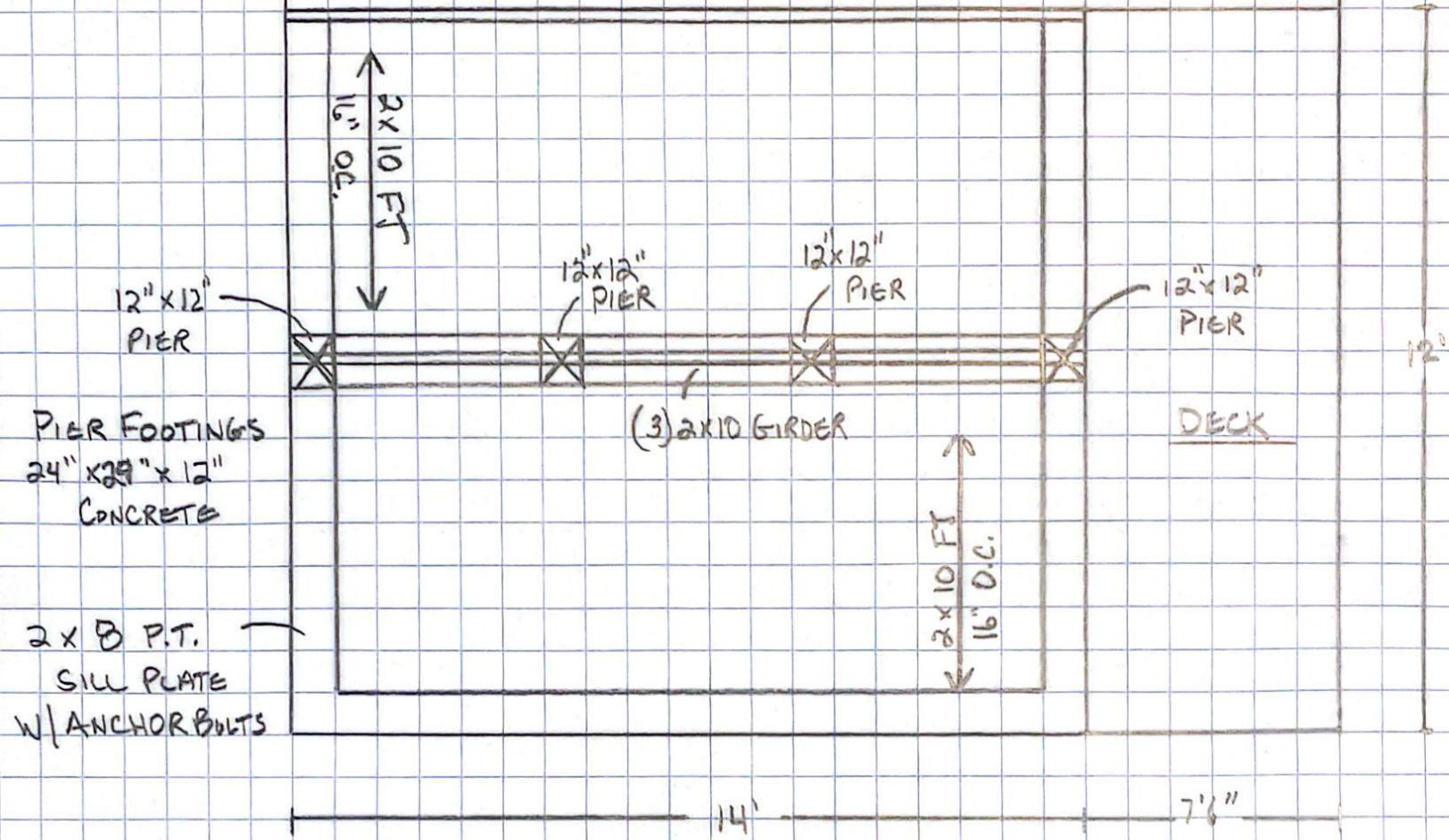
SANDERS PROJECT

319 N. 32ND ST.

RICHMOND, VA. 23223

FLOOR STRUCTURE

EXISTING



SANDERS PROJECT  
319 N. 32 ND ST.  
RICHMOND, VA. 23223



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-178054-2026

---

Agenda Number: 11.



DEPARTMENT OF  
**PLANNING AND  
DEVELOPMENT  
REVIEW**

**Commission of Architectural Review**  
**Certificate of Appropriateness Application**  
900 E. Broad Street, Room 510  
Richmond, VA 23219  
804-646-6569

**Property** (location of work)

Property Address: 214 W Marshall Sreet Current **Zoning**: RO-2  
Historic District: Jackson Ward

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

New construction of a multifamily dwelling.

**Applicant/Contact Person:** Alessandro Ragazzi

Company: Baker Development Resources  
Mailing Address: 530 E Main Street, Suite 600  
City: Richmond State: VA Zip Code: 23219  
Telephone: (804) 432-7892  
Email: alessandro@bakerdevelopmentresources.com  
Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

**Property Owner:** KING TODD AND CHANDRA

If Business Entity, name and title of authorized signee: \_\_\_\_\_  
Mailing Address: 418 MOWBRY ARCH  
City: NORFOLK State: VA Zip Code: 23507  
Telephone: (757) 615-9557  
Email: chandranking757@yahoo.com  
Billing Contact? \_\_\_\_\_

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

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**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 12/24/25  
Chandra King Date: 12/24/25

## Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | [alex.dandridge@rva.gov](mailto:alex.dandridge@rva.gov)

### Before You Submit

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- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



December 26, 2025

City of Richmond Department of Planning and Development Review  
Commission of Architectural Review  
City Hall, 900 East Broad Street  
Richmond, VA 23219

**RE: Commission of Architectural Review: 214 W Marshall Street (N000-0150/022)**

Members of the Commission,

This memorandum shall serve as the applicant’s statement for an application to be reviewed by the Commission of Architectural Review (the “CAR”) for the proposed construction of a new three-story multifamily dwelling on the property known as 214 W Marshall Street (the “Property”).

The Property is located on the northern line of W Marshall Street between Madison Street and Brook Road and lies in Richmond’s Jackson Ward City Old and Historic District. Existing structures in the district are known for a variety of architectural styles and materials as well as a range of land uses. This block consists of a range of buildings including adjacent single-family attached dwellings, a large multi-family apartment complex along the southern line of W Marshall, and one-story and two-story commercial buildings located to the east towards the intersection of W Marshall street with Brook Road. Historic dwellings in the area tend to be of a range of designs and materials with historic dwellings in the block utilizing brick exteriors and containing full-width front porches.

The Property owner is proposing to construct a three-story, multifamily dwelling on the Property. The dwelling design recognizes the existing dwellings in the block and previously approved designs and utilizes high quality materials including brick and cementitious siding.



**Siting:**

The proposed dwelling would front W Marshall Street and be aligned with the existing dwellings located at 216 and 212 ½ W Marshall Street. The siting of the new dwelling is compatible with others within the area and will present a consistent street frontage along W Marshall Street while filling in a “missing tooth” in the block.

**Form:**

The dwelling has been designed in a manner which is consistent with the form of other historic structures in the neighborhood and recently approved designs in the district. The proposed design would reference the existing single-family homes in the block with a brick façade and traditional Italianate roof form. The three-bay design, front doors with transom windows, and traditional brick construction carry features from the existing homes in the area consistent with the CAR guidelines.

**Scale:**

The proposed dwelling is consistent with the scale and character of the existing neighborhood and will appear appropriate from street level. Dwellings in the block range from two to five-stories in height with some two-story dwellings elevated from street height while other buildings are located at grade.

**Height, Width, Proportion, & Massing**

The proposed dwelling is compatible in height with other structures on the block and consistent with the height of other dwellings along W Marshall Street beyond the subject block. Existing structures within the block range from one to five stories. Additionally, discreet, full-width porches break up the overall massing of the design and reference a more traditional townhome form.

**Exterior Cladding/Doors and Windows/Materials**

Exterior cladding, doors and windows, foundation, and roofing are as noted on the attached plans. These items were selected to be consistent with CAR requirements and nearby dwellings. All finishes including doors and windows would be as noted on the provided plans.

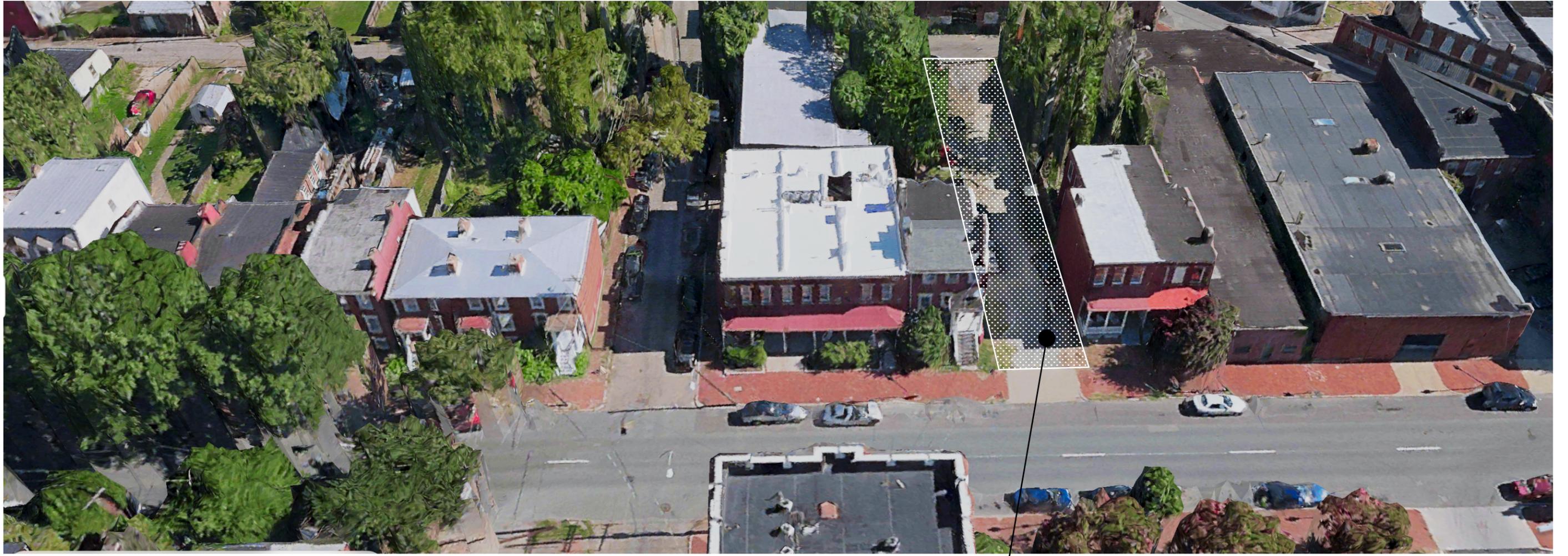
The proposed design would be compatible with the historical fabric of the block as it recognizes the siting, scale, form, and massing of the existing structures on the block and reflects new construction recently reviewed and approved by the CAR in the vicinity. The proposed dwelling is consistent with the fabric of the historic district while offering new housing opportunities within the area. Furthermore, many of the design elements of the proposed dwelling can be found on historically significant dwellings throughout the Jackson Ward district.

I thank you for the care and assistance in reviewing this application. Should you have any questions after reviewing this request, please feel free to contact me at [alessandro@bakerdevelopmentresources.com](mailto:alessandro@bakerdevelopmentresources.com) or (804)432-7892.

Sincerely,



Alessandro U. Ragazzi, AICP  
Baker Development Resources, LLC



214 W MARSHALL ST

# EXISTING CONDITIONS NEIGHBORHOOD VIEW

SCALE: 1:1.54

SK-01  
12/17/25  
PROJECT NO.: 25009

EXISTING CONDITIONS NEIGHBORHOOD PLAN  
214 W MARSHALL ST  
RICHMOND, VIRGINIA



214 W MARSHALL ST



## EXISTING CONDITIONS STREETScape

SCALE: 1:1.33

SK-02  
12/17/25

PROJECT NO.: 25009

EXISTING CONDITIONS STREETScape VIEW

214 W MARSHALL ST

RICHMOND, VIRGINIA





## 214 MARSHALL - STREETSCAPE ELEV

SCALE: 3/32" = 1'-0"

SK-04

12/17/25

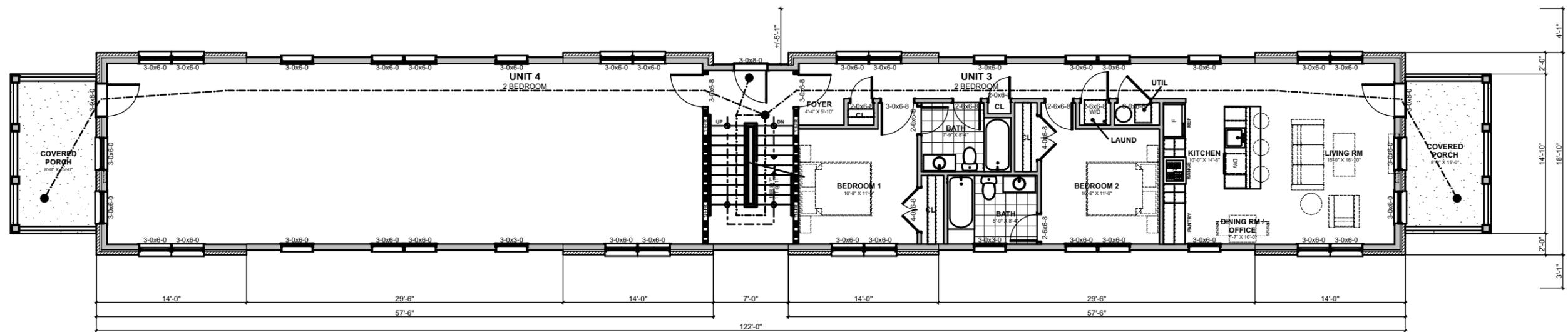
PROJECT NO.: 25009

MARSHALL ST STREETSCAPE ELEVATION

214 W MARSHALL ST

RICHMOND, VIRGINIA





# SECOND FLOOR PLAN

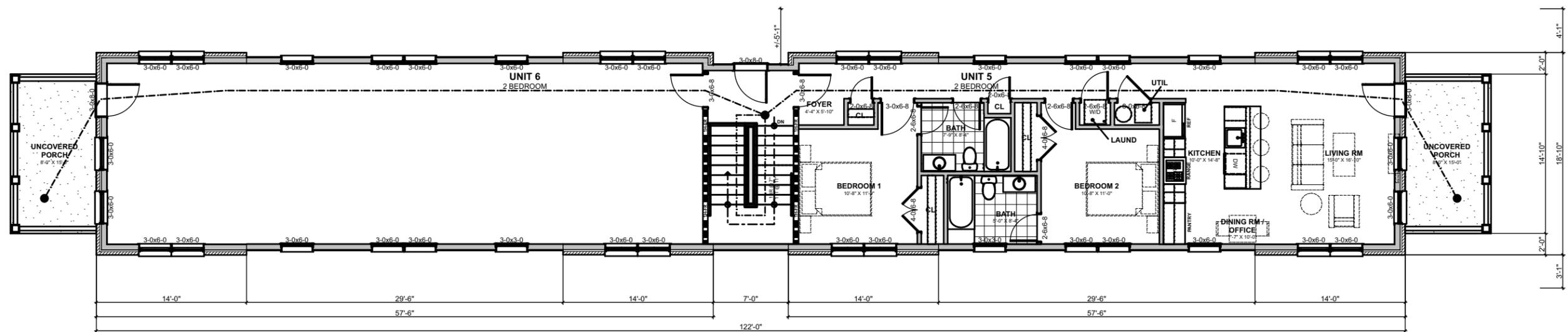
SCALE: 3/32" = 1'-0"

SK-06  
12/17/25

PROJECT NO.: 25009

PROPOSED SECOND FLOOR PLAN  
214 W MARSHALL ST  
RICHMOND, VIRGINIA





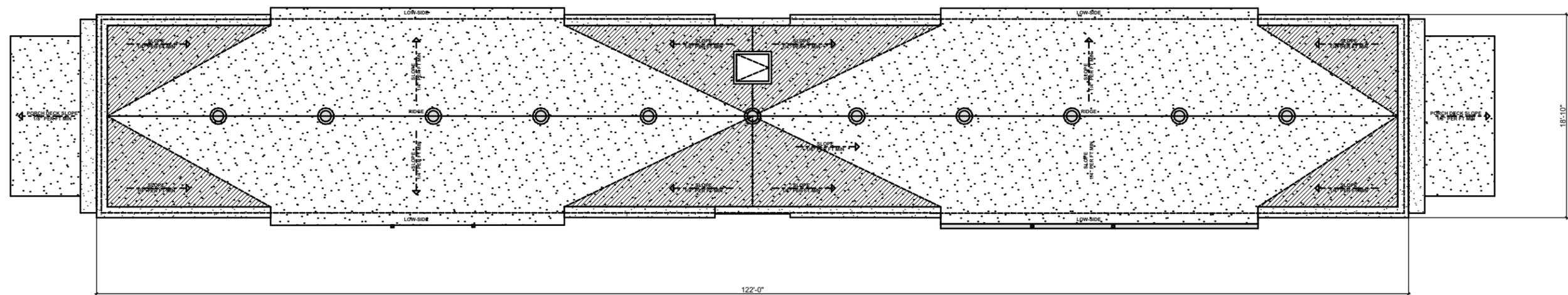
# THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"

SK-07  
12/17/25

PROJECT NO.: 25009

PROPOSED THIRD FLOOR PLAN  
214 W MARSHALL ST  
RICHMOND, VIRGINIA



# ROOF PLAN

SCALE: 3/32" = 1'-0"

SK-08

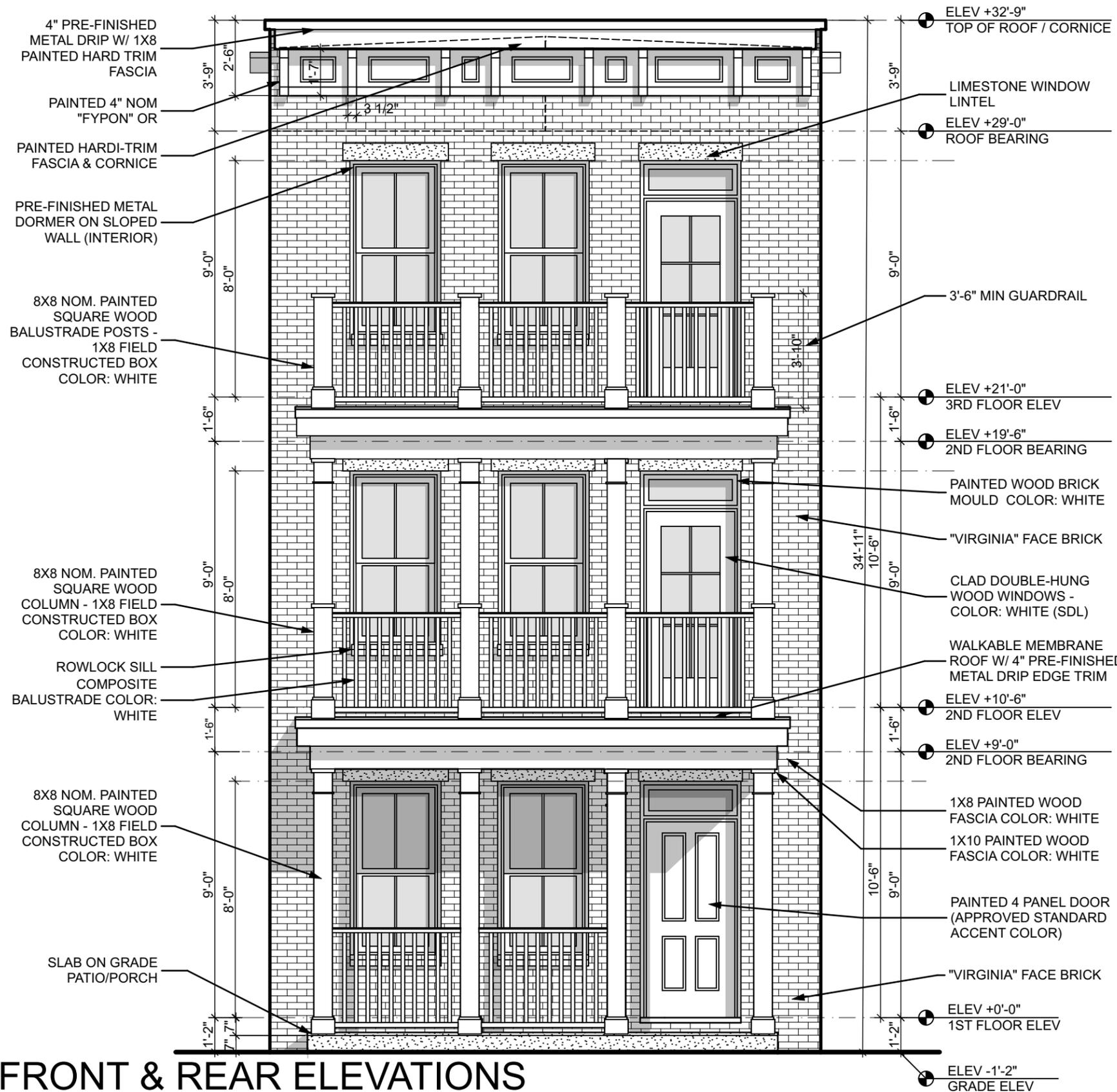
12/17/25

PROJECT NO.: 25009

PROPOSED ROOF PLAN

214 W MARSHALL ST

RICHMOND, VIRGINIA



# PROPOSED FRONT & REAR ELEVATIONS

SCALE: 1/4" = 1'-0"

SK-09  
12/17/25

PROJECT NO.: 25009

## PROPOSED FRONT & REAR ELEVATION

214 W MARSHALL ST

RICHMOND, VIRGINIA



mario di m ARCHITE 125



# RIGHT (ADA ENTRY) & LEFT SIDE (SERVICE - SIMILAR) ELEVATIONS

SCALE: 3/32" = 1'-0"

PROPOSED RIGHT (ADA ENTRY) & LEFT SIDE (SERVICE  
 - SIMILAR ) ELEVATIONS  
 214 W MARSHALL ST

SK-10  
 12/17/25

PROJECT NO.: 25009



408 W Marshall Street  
Three Story next to two story



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-179904-2026

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Agenda Number: 12.



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.rva.gov](http://www.rva.gov)

## Item Request

File Number: COA-179903-2026

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Agenda Number: 13.