



**COMMISSION OF ARCHITECTURAL REVIEW**  
**APPLICATION / CERTIFICATE OF APPROPRIATENESS**

**PROPERTY** (Location of Work)

Address 604 North 1st. Street  
 Historic District Jackson Ward

**PROPOSED ACTION**

- Alteration (including paint colors)       Rehabilitation       Demolition  
 Addition       New Construction (Conceptual Review required)  
 Conceptual Review       Final Review

**OWNER**

Name Ron Allison / Jorge Velazquez  
 Company \_\_\_\_\_  
 Mailing Address 4206 34th St.  
MT. Rainier, MD 20712  
 Phone 202-431-6100  
 Email Rear4206@gmail.com  
 Signature [Signature]  
 Date Feb 3, 2017

**APPLICANT** (if other than owner)

Name [Signature]  
 Company \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 Phone 202 420-8751  
 Email Jorge V 4206@gmail.com  
 Signature [Signature]  
 Date FEB 3-2017

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

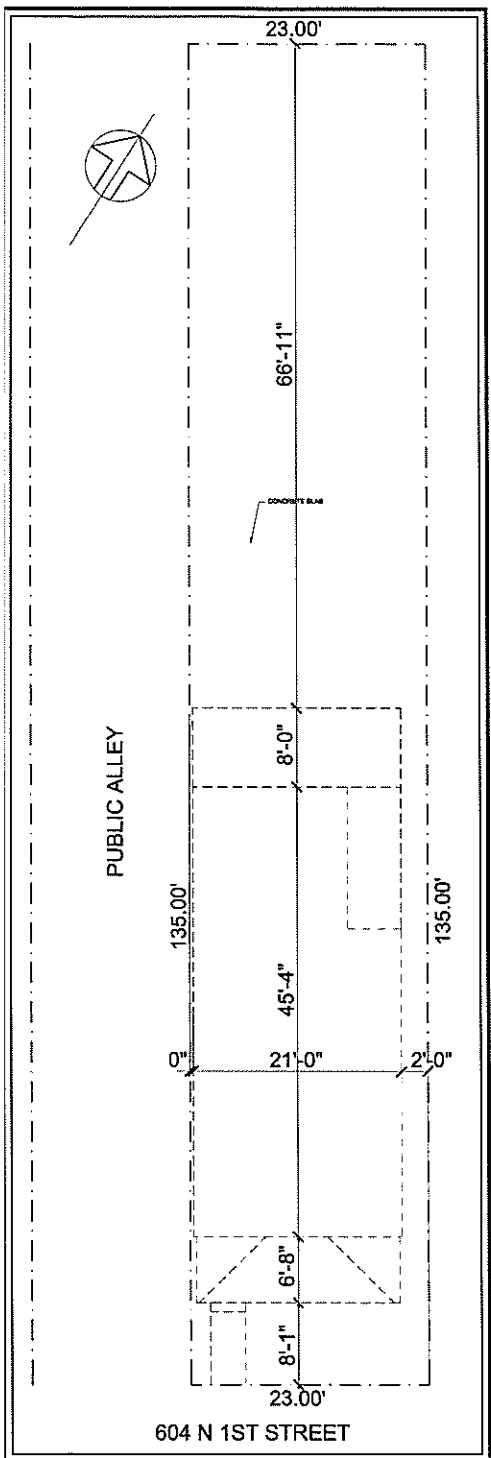
**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received: ECE VED  
 Date/Time FEB 03 2017 Complete  Yes  No  
 By \_\_\_\_\_



### SCHEDULES

#### WINDOW SCHEDULE

WIN	SIZE	MATERIAL	GRILLE	MODEL
①	-	-	-	-
②	-	-	-	-
③	-	-	-	-
④	-	-	-	-

ALL WINDOWS ARE EXISTING - SEE SPECIFICATIONS FOR DETAILS

#### DOOR SCHEDULE

DOOR	SIZE	TYPE
①	2/2X7/3	EXISTG EXTERIOR WOOD - W/ TRANSOM-REFURBISH
②	2/0X6/8	INTERIOR 6 PANEL BI FOLD
③	(2) 2/0X6/8	INTERIOR 6 PANEL BI FOLDS
④	(2) 2/6X6/8	INTERIOR 6 PANEL
⑤	2/6X6/8	INTERIOR 6 PANEL
⑥	3/0X6/8	EXTERIOR 6 PANEL METAL
⑦	3/0X6/8	INTERIOR BARN SLIDER
⑧	2/0X6/8	INTERIOR 6 PANEL

ALL DOOR HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

#### STRUCTURAL SCHEDULE

NO	MEMBER NAME	RESULTS	CURRENT SOLUTION
1	2ND LEVEL FLOOR JOISTS	PASSED	(1) 2X10 SOUTHERN PINE NO. 2 @ 16" O.C.
2	FAMILY ROOM BEAM	PASSED	(2) 1.75 X 9.25 - 2.0E MICROLLAM LVL
3	KITCHEN BEAM	PASSED	(2) 1.75 X 9.25 - 2.0E MICROLLAM LVL
4	FAMILY / KITCHEN BEAM	PASSED	(2) 1.75 X 9.25 - 2.0E MICROLLAM LVL
5	EXISTING RAFTERS	PASSED	(1) 2X10 SOUTHERN PINE NO. 2 @ 16" O.C.
6	LARGER BEAM SUPPORT POST	PASSED	(1) 3.5 X 3.5 - 1.8E PARALLAM PSL
7	SMALLER BEAM SUPPORT POST	PASSED	(1) 3.5 X 3.5 - 1.8E PARALLAM PSL
8	MAIN GIRDER	PASSED	(3) 2X10 SOUTHERN PINE NO. 2
9	1ST LEVEL FLOOR JOISTS	PASSED	(1) 2X10 SOUTHERN PINE NO. 2 @ 16" O.C.
10	GIRDER UNDER STAIRS	PASSED	(3) 2X10 SOUTHERN PINE NO. 2
11	SMALL GIRDER	PASSED	(3) 2X10 SOUTHERN PINE NO. 2
12	SMALLER 2ND LEVEL FLOOR JOISTS	PASSED	(1) 2X10 SOUTHERN PINE NO. 2 @ 16" O.C.
13	SMALLER 1ST LEVEL FLOOR JOISTS	PASSED	(1) 2X10 SOUTHERN PINE NO. 2 @ 16" O.C.

### PROJECT DATA

#### LIST OF DRAWINGS

- 1.0 SITE PLAN, CODE NOTES, LEGEND, FRONT ELEVATION
- 2.0 EXISTING AND NEW FLOOR PLANS
- 3.0 EXISTING ELEVATIONS AND DEMOLITION NOTES
- 4.0 FOUNDATION PLAN, DECK FRAMING AND SECTION
- 5.0 NEW ELEVATIONS

#### CODE NOTES

- 1.0 2012 VIRGINIA UNIFORM BUILDING CODE
- 2012 IRC
- BUILDING USE GROUP: RESIDENTIAL - R3 SINGLE FAMILY DETACHED
- BUILDING AREA: FIRST FLOOR 950 SQ FT, SECOND FLOOR 875 SQ FT, TOTAL SQ FT 1,825 SQ FT

#### DESIGN LOADS

SNOW	25P.S.F.	DEAD	10P.S.F.
DEAD LOAD	10P.S.F.	LIVE (BEDROOMS)	30P.S.F.
SEISMIC	0.5P.S.F.	GARAGE	50P.S.F.
WIND	90P.S.F.	STAIRS	40P.S.F.
LIVE (EXCEPT BEDROOMS)	40P.S.F.		

#### NOTE

THESE DRAWINGS ARE INTENDED TO PORTRAY THE WORK SHOWN. THEY DO NOT SHOW EVERY GENERAL CONSTRUCTION DETAIL. THE GENERAL CONTRACTOR BY TAKING ON THIS PROJECT, IS RESPONSIBLE FOR ALL CONSTRUCTION. THE G.C. ACKNOWLEDGES THAT HE IS EXPERIENCED WITH CONSTRUCTION OF THIS TYPE AND IS FULLY CAPABLE OF IMPLEMENTING SUCH WORK SO AS TO IMPLEMENT ITS CONSTRUCTION AND COMPLETION IN A TIMELY MANNER.

### LEGEND

	BRICK VENEER		RECESSED CAN LIGHT
	C.M.U.		EXHAUST FAN
	NON-LOAD BEARING INTERIOR WALLS - 2X4 STUDS @ 24" O.C.		GARBAGE DISPOSAL
	EXTERIOR BRICK VENEER WITH 2X6 STUDS @ 16" O.C.		110VOLT RECEPTACLE
	*8C.M.U. WALL AND FOOTING		GROUND FAULT INTERRUPTION
	SECTION DESIGNATION		WEATHER PROOF GROUND FAULT INTERRUPTION
	DOOR DESIGNATION		DRYER RECEPTACLE
	WINDOW DESIGNATION		RANGE RECEPTACLE
	LIGHT FIXTURE		TELEPHONE
	WALL MTD LIGHT FIXTURE		CABLE TELEVISION
	LIGHT FIXTURE		SWITCH @ 50" A.F.F.
	EXTERIOR DBL FLOOD LIGHT WITH MOTION SENSOR		3-WAY SWITCH @ 50" A.F.F.
	SURFACE MTD FLORESCENT NO. INDICATES LENGTH		SMOKE DETECTOR
			STRUCTURAL DESIGNATION
			RECESSED ELECTRICAL PANEL
			CEILING FAN - WHEN DASHED, ROUGH-IN AND PROVIDE BLANK COVER FOR FUTURE USE, OTHER WISE INSTALL WHERE SHOWN

### SPECIFICATIONS

**GENERAL:**  
THESE SPECIFICATIONS ARE FOR USE IN ACCORDANCE WITH THE ATTACHED ARCHITECTURAL PLANS FOR THE CONSTRUCTION OF THIS PROJECT. THESE SPECIFICATIONS SHOULD BE READ IN ACCORDANCE WITH THE BUILDING CODE AND THE SPECIFICATIONS SHALL SUPERSEDE THE PLANS WHERE CONTRADICTORY. THESE SPECIFICATIONS SHALL SUCCUMB TO ANY REVISIONS OR SUPERSEDING VIRGINIA UNIFORM BUILDING CODE OR CITY OF RICHMOND CODES AND MUST COMPLY WITH OR GOVERNOR TO STATE, LOCAL AND FEDERAL CODE ENFORCEMENTS WHERE IN CONFLICT.

**FOUNDATION:**  
EXISTING - REPAIR HOLE UP AND POWER WASH AS MAY BE REQUIRED. PROVIDE 8" ALL POLYETHYLENE SHEETING VAPOR BARRIER, INSTALL NEW CMU FOUNDATION ACROSS INSIDE OF FOUNDATION PERIMETER AS SHOWN ON THESE PLANS ALONG WITH NEW PER USE IF NECESSARY.

**FRAMING:**  
ALL DIMENSIONAL LUMBER, BLOCKING AND PLATES ARE SIZED BASED ON #2 SOUTHERN YELLOW PINE OR #2 SPRUCE KUM DRAID WITH LESS THAN 10% MOISTURE CONTENT. ALL WOOD FRAMING BEARING ON MASONRY SHALL BEAR ON TREATED WOOD PLATE. ALL 2 OR MORE MEMBER HEADERS OR BEAMS SHALL BE NAIL TOGETHER @ 12" O.C. TOP AND BOTTOM. ALL JOIST BEAMS, WALLS AND PARTITIONS SHALL BE STRUCTURALLY SUPPORTED. CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATION FOR STRUCTURAL MEMBER IDENTIFICATION, BLOCKING AND STIFFNESS DOUBLE ALL FLOOR JOISTS UNDER ANY PARTITION WHICH RUN PARALLEL TO FLOOR. FOR MORE THAN 50% OF THE SPAN.

**STAIRS:**  
REFURBISH STAIRS, HANDHOOD, UNLESS NOTED OTHERWISE. HAND RAILS AND NEWELS STAINED, BALUSTERS CAPWARD PAINTED OR STAINED. COLOR SELECTION BY OWNER.

**FRONT PORCH:**  
REPLACE EXISTING MATERIALS WITH NEW AS MAY BE REQUIRED. EXISTING CONCRETE PAD SHALL BE REFINISHED AND PARTIALLY REPAIRED. COLOR SELECTION BY OWNER.

**DECK:**  
PROVIDE ALL P.T. DECKING, JOISTS, BEAMS, RAILING AND POSTS REUSE AND SHAVE SHOWN ON PLANS.

**INSULATION:**  
THE FOLLOWING SHALL BE INSTALLED:  
EXTERIOR WALL: 3 1/2" R-13 BLOWN CELLULOSE  
FLAT CEILING: R-13 BLOWN CELLULOSE  
SLOPED CEILING: R-13 BLOWN CELLULOSE  
CRAWL SPACE: R-38 FIBERGLASS BATT  
INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

**DRYWALL:**  
SHEETROCK - SHEETROCK ON ALL SIDE WALL, 1/2" SHEETROCK BOARD INSTALLED ON ALL PARTITION WALLS, 5/8" ON ALL 1-HOUR RATED WALLS ALL THE WAY TO ROOF DECKING.

**EXTERIOR BRICK:**  
EXISTING BRICK TO BE REPAIRED AND POINTED UP. PATCH HOLES TO MATCH EXISTING BRICK. COLOR AND CORNERING, POWERWASH ALL EXPOSED SURFACES. SEAL.

**BRICK VENEER:**  
USE EXISTING BRICK SALVAGED FROM DEMOLITION FOR ANY NEW EXTERIOR BRICK VENEER WALLS IF REQUIRED. NEW BRICK TO MATCH EXISTING IF POSSIBLE. PROVIDE MIN. 1" AIR SPACE BETWEEN BRICK AND SHEATHING.

**EXTERIOR WOOD TRIM:**  
EXISTING WOOD TRIM TO BE REPAIRED / REPLACED WHERE REQUIRED TO RECEIVE NEW PAINT. NEW MATCHING WOOD TRIM TO BE INSTALLED SURROUNDING ALL NEW WINDOWS AND DOORWAYS.

**GUTTERS:**  
REUSE EXISTING ALUMINUM GUTTERS WITH STANDARD COLOR, HIGH GRADE VINYL SPLASH GUARDS AT ALL ROOF VALLEYS. SPLASH GUARDS REQUIRED AT ALL DOWNSPOUTS.

**ELECTRICAL:**  
ALL ELECTRICAL, TELEPHONE AND CABLE OUTLETS TO BE INSTALLED AT 1' A.P.F. UNLESS NOTED OTHERWISE. ALL SWITCHES TO BE INSTALLED @ 4' A.F.F. UNLESS NOTED OTHERWISE. TELEPHONE SHALL BE PRE-WIRED IN KITCHEN, FAMILY ROOM AND ALL BEDROOMS IF DIRECTED BY OWNER. CABLE TELEVISION SHALL BE PRE-WIRED IN THE FAMILY ROOM AND MASTER BEDROOM WHERE INDICATED ON PLANS. OTHER BEDROOMS MAY BE WIRED PER OWNER. VERIFY PRIOR TO INSTALLATION. PROVIDE ONE EXTERIOR WEATHER PROOF RECEPTACLE AT DECK AND / OR PORCH IF DIRECTED. BATH FANS SHALL BE PROVIDED FOR ALL BATHROOMS. SMOKE DETECTORS SUPPLIED AND INSTALLED PER CODE.

**LIGHTING:**  
OWNER WILL PROVIDE ANY SPECIAL LIGHTING TO THE CONTRACTOR FOR INSTALLATION BY HIM. RECESSED LIGHTING SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR ALONG WITH EXTERIOR SECURITY LIGHTS AND PORCH LIGHTING. THE CONTRACTOR SHALL INSTALL CEILING FANS PROVIDED BY THE OWNER.

**PLUMBING:**  
FACETS FINISHED BY OWNER. STANDARD LOW FLOW WATER CLOSETS. STANDARD COLOR FOR ALL FIXTURES IS WHITE. STD. CONF. QUANTITY INCLUDES GAS OR ELECTRIC HOT WATER HEATER.

**KITCHEN:**  
STAINLESS STEEL DOUBLE BURN. SINK WITH MATCHING FACET, DISHWASHER AND DISPOSAL.

**BATHROOMS:**  
BATHROOM FIXTURES INCLUDING VANITIES, MIRRORS AND TUBS SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

**HALF BATH:**  
WHEN AND WHERE REQUIRED, A PEDESTAL SINK IS STANDARD UNLESS A WHITE IS SHOWN ON PLANS.

**H.V.A.C.:**  
CENTRAL AIR CONDITIONING WITH GAS (OR ELECTRIC) FURNACE HEAT OR HEAT PUMP. CONTRACTOR SHALL SUBMIT DIFFUSER LOCATION FOR APPROVAL PRIOR TO INSTALLATION.

**DOORS:**  
EXTERIOR DOORS SHALL BE PRE-HUNG RAISED PANEL HOLLOW CORE WOOD, 1-3/4" THICK. REFER TO DOOR SCHEDULE FOR SIZES. IF POSSIBLE, REUSE EXISTING DOORS. IF NOT, TURN OVER TO OWNER FOR USE.

**DOOR HARDWARE:**  
INSTALL OWNER SELECTED HARDWARE. INSTALL DEADLOCKS AT EXTERIOR DOORS, BEDROOM AND BATHROOM DOORS TO HAVE PRIVACY LOCK SETS. DOUBLE CLOSET DOORS TO HAVE HEAD MOUNTED ADJUSTABLE FRICTION LATCHES.

**WINDOWS:**  
EXISTING - REPAIR OR REPLACE ALL EXISTING WOOD WINDOWS WITH MATCHING ISOLATED WOOD WINDOWS. UNLESS NOTED OTHERWISE, NEW MULTILIGHT WINDOWS WHERE USED SHALL BE TRUE DIVIDE LIGHTS. IF REQUIRED, ALL WINDOWS SHALL BE RE-FINISHED, RE-GLAZED IF NECESSARY, PAINTED (COLOR SELECTION BY OWNER) AND RE-INSTALLED.

**INTERIOR TRIM:**  
REPLICATE EXISTING TRIM BASE THROUGHOUT. ALL TRIM MEMBERS TO BE FINISH JOINT PAINT GRADE MATERIALS. SHOE MOLDING AT FLE FLOORS. PROVIDE TRIM TO MATCH ORIGINAL AT ALL WINDOWS AND DOORS.

**CABINETS:**  
CABINET SELECTION SHALL BE MADE BY OWNER AND INSTALLED BY SELECTED CABINET COMPANY.

**MIRRORS:**  
STANDARD 30" H X 4" PLATE GLASS MIRROR ABOVE VANITIES. STANDARD 18" X 24" OVAL MIRROR ABOVE PEDESTAL SINK.

**APPLIANCES:**  
VENTED RANGE HOOD WITH FILTER IS STANDARD. PROVIDE CONNECTIONS FOR WASHER, DRYER, DISHWASHER, RANGE, ICE MAKER REFRIG AND DRYER. VENT APPLIANCE SELECTION BY OWNER, INSTALLED BY CONTRACTOR.

**PAINTING:**  
EXTERIOR TRIM - 2 COATS (1 BOND & SEAL PRIMER, 1 WEATHERSHIELD SEMI-GLOSS).  
INTERIOR WALLS AND CEILING - DUREX "WATKINS WHITE" 2-COAT SYSTEM APPLIES. (1 BUILDER MASTERSEAL SPRAYED AND BUILDER MASTERSEAL ROLLED AFTER POINTUP)  
INTERIOR TRIM - DUREX "RICHWOOD" EQUIVALENT GLASS WHITE, 2-COAT SYSTEM APPLIES.  
SEMI-GLOSS IN KITCHEN, BATHROOMS, UTILITY (MECHANICAL AND LAUNDRY ROOM). ALL PAINT DUREX OR EQUIVALENT OR AS DIRECTED BY OWNER.

**CLOSET SHELVING:**  
ALL PANTRY, LINEN AND BEDROOM CLOSETS SHALL BE WHITE COATED OPEN WIRE SHELVES. (1) PER BR CLOSET, (5) PER LINEN & PANTRY.

**FLOORING:**  
ONE-STEP OVERLAY LAMINATE ON THE PLANKS, BATHROOMS AND UTILITY ROOMS ARE TO RECEIVE TILE FLOORING AND ALL OTHER AREAS ARE TO RECEIVE HARDWOOD. OWNER WILL SELECT ALL FLOORING TYPES AND COLORS TO BE INSTALLED BY CONTRACTOR.

**HARDWOOD:**  
HARDWOOD FLOORS ARE TO BE INSTALLED THROUGHOUT THE NEW PLAN. CONSULT OWNER FOR AREAS TO RECEIVE TILE AND INSTALL AS DIRECTED.

**TILE:**  
BATHROOM FLOORS SHALL BE TILE AND WILL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

**LANDSCAPING:**  
AREAS SPECIFICALLY CLEANED FOR THE CONSTRUCTION OF THE HOUSE WILL BE GRASSED TO AVOID POSITIVE DRAINAGE. SEED AND STRAW WILL BE APPLIED. THE WARRANTY ON TREES AND GRASS LASTS ONE YEAR AFTER THE CERTIFICATE OF OCCUPANCY IS ATTAINED.  
IF INDICATED ON SITE PLAN OR INSTRUCTED BY OWNER, INSTALL TREATED BOARD FENCING, 4" X 4" TALL STAKES.  
SHRUBS SHALL BE INSTALLED BY THE CONTRACTOR WITH MOUND IN FRONT OF HOUSE AND AROUND THE SIDE YARDS AND SIDEWALK OR AS DIRECTED BY OWNER.

**SOIL TREATMENT:**  
ONE TERMITE TREATMENT IS STANDARD WITH EVERY CONTRACT. THIS TREATMENT COMES WITH A LIMITED ONE-YEAR GUARANTEE. TERMITE TREATMENT PROGRAM IS RENEWABLE AFTER THE FIRST YEAR AT THE HOMEOWNER'S DISCRETION.


**SECURITY SYSTEM:**  
SECURITY COMPANY SHALL INSTALL HARDWIRED ELECTRICAL ALARM SYSTEM WITH BATTERY BACKUP. REARTE. SENDERS FOR FIRST FLOOR DOORS AND TWO MOTION DETECTORS STANDING. UPGRADE OPTIONS TO BE MADE AVAILABLE AT HOMEOWNERS DISPOSE.

#### GENERAL NOTES

1. ALL INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL, STUDS, ALL INTERIOR WALLS TO BE 4-1/2" WIDE UNLESS NOTED OTHERWISE.
2. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF THE FOUNDATION OR CENTER ON WINDOW / DOOR OPD.
3. ALL CLOSETS TO HAVE A 1" DEEP WIRE SHELF AND A ROD FOR HANGING CLOTHES MOUNTED @ 4' A.F.F.
4. ALL LAUNDRY AREAS ARE TO HAVE A 1" DEEP WIRE SHELF OVER THE WASHER AND DRYER MOUNTED BY A.F.F. COMPLETE OWNERS WHEN STAGED WASHERS AND DRYERS ARE INSTALLED.

#### DRAWING INFORMATION

Scale	Noted
Drawn	LP Harmon
Checked	Jorge Valazquez
Coordinator	Ron Allison
Date	02.02.2017
Project	604 N. 1st Street



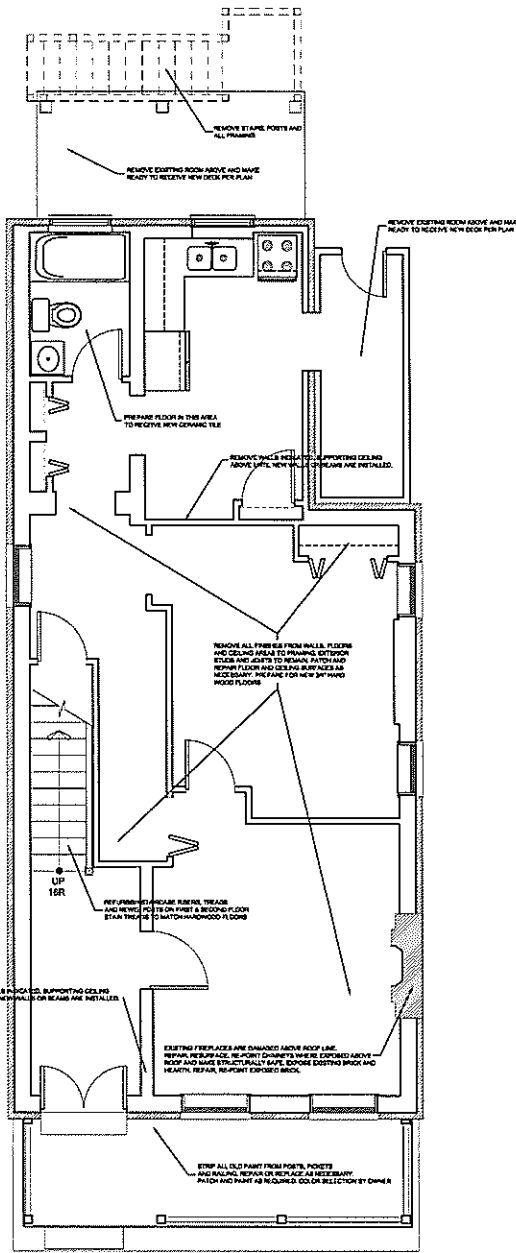
Residential Design Services  
1124 Longfellow Drive  
Midlothian, Virginia 23112  
804.334.7413

### RENOVATIONS AND MODIFICATIONS 604 N. 1ST STREET

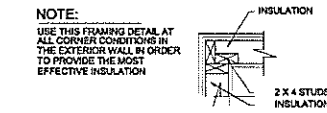
#### PROJECT DATA, ELEVATION AND SCHEDULES

Drawing No. **1.0**

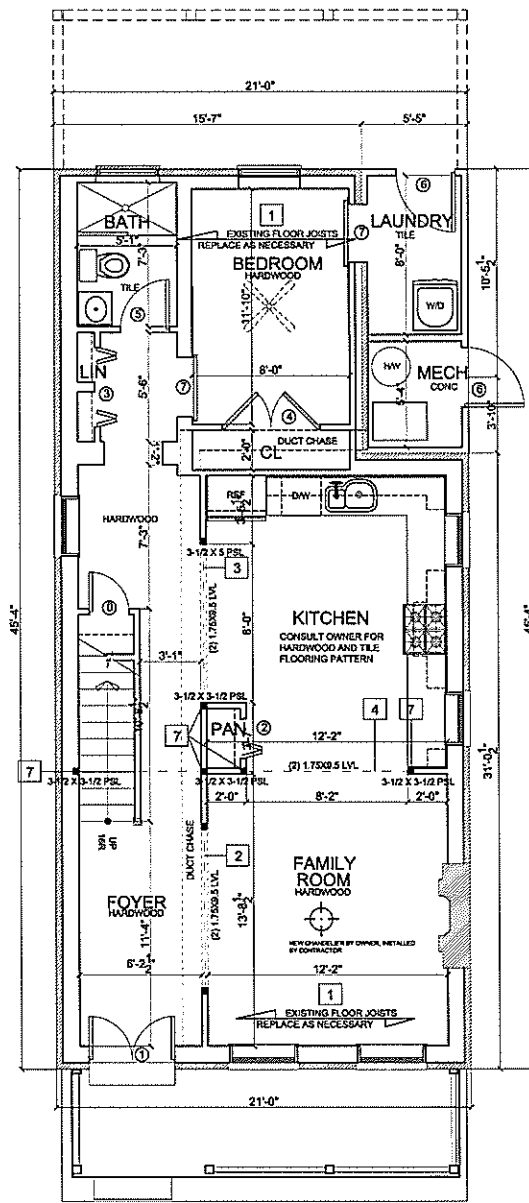
SP **SITE PLAN**  
1.0 SCALE: 1/16" = 1'-0"



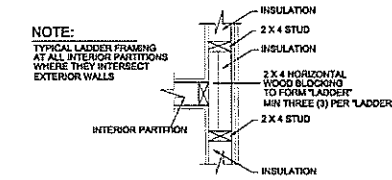
**1** EXISTING FIRST FLOOR PLAN  
2.0 SCALE: 1/4" = 1'-0"



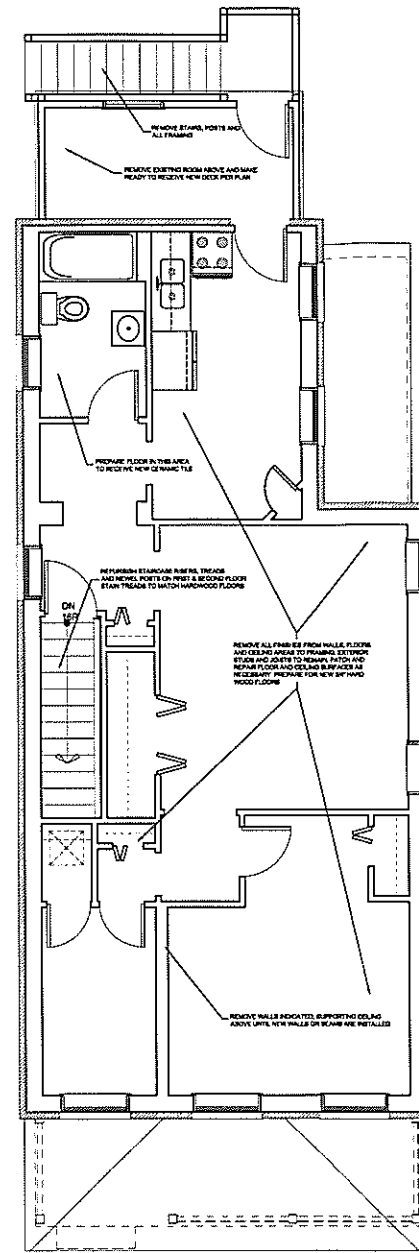
**A** CORNER FRAMING  
2.0 SCALE: 1" = 1'-0"



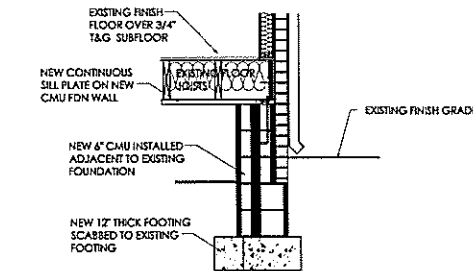
**2** NEW FIRST FLOOR PLAN  
2.0 SCALE: 1/4" = 1'-0"



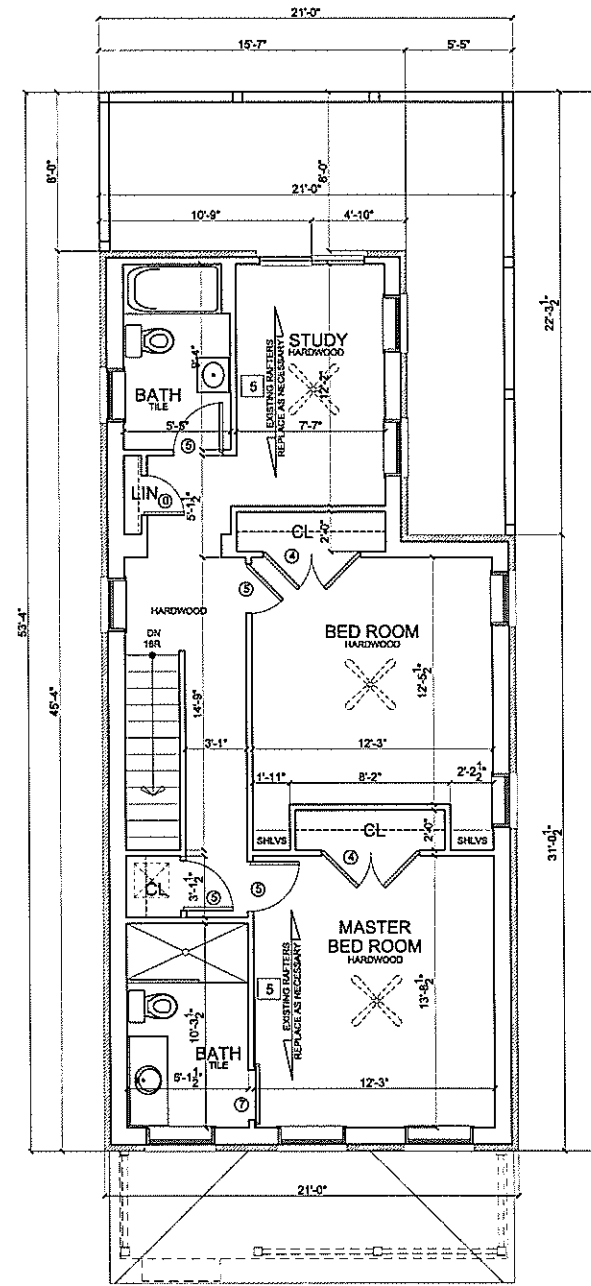
**B** PLAN FRAMING  
2.0 SCALE: 1" = 1'-0"



**3** EXISTING SECOND FLOOR PLAN  
2.0 SCALE: 1/4" = 1'-0"

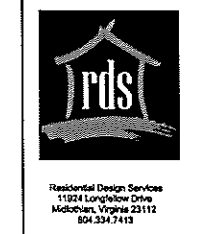


**C** CRAWL SPACE DETAIL  
3.0 SCALE: NONE



**4** NEW SECOND FLOOR PLAN  
2.0 SCALE: 1/4" = 1'-0"

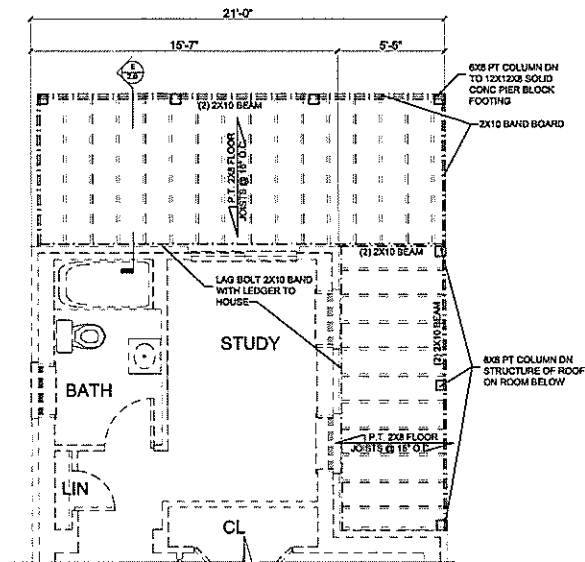
DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Jorge Velazquez
Coordinator	Plan Allison
Date	02.22.2017
Project	604 N. 1st Street



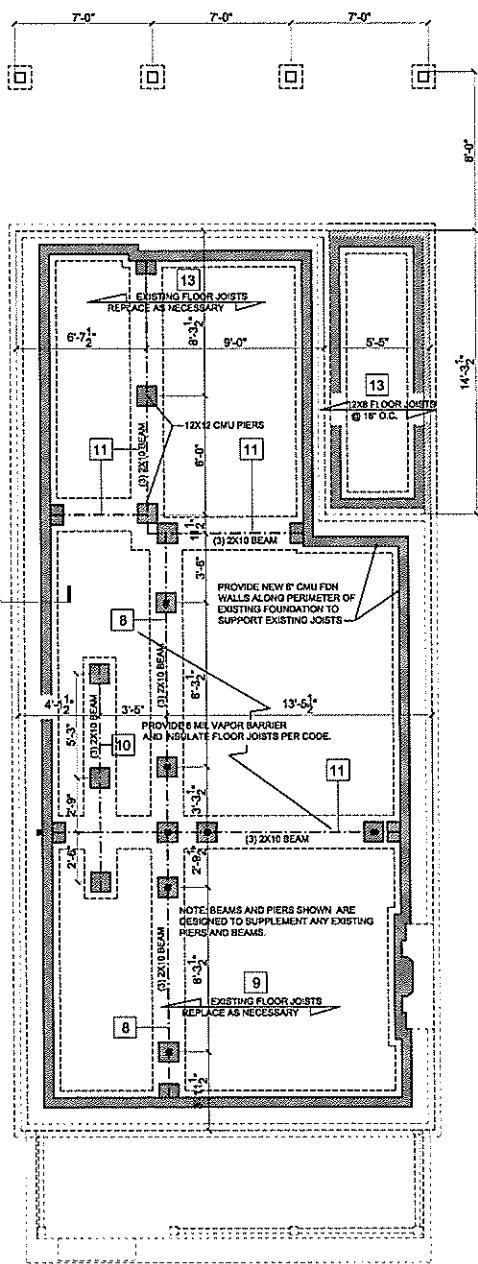
Project  
**RENOVATIONS AND MODIFICATIONS**  
604 N. 1ST STREET

THE  
**EXISTING FLOOR PLANS**  
AND NEW FLOOR PLANS

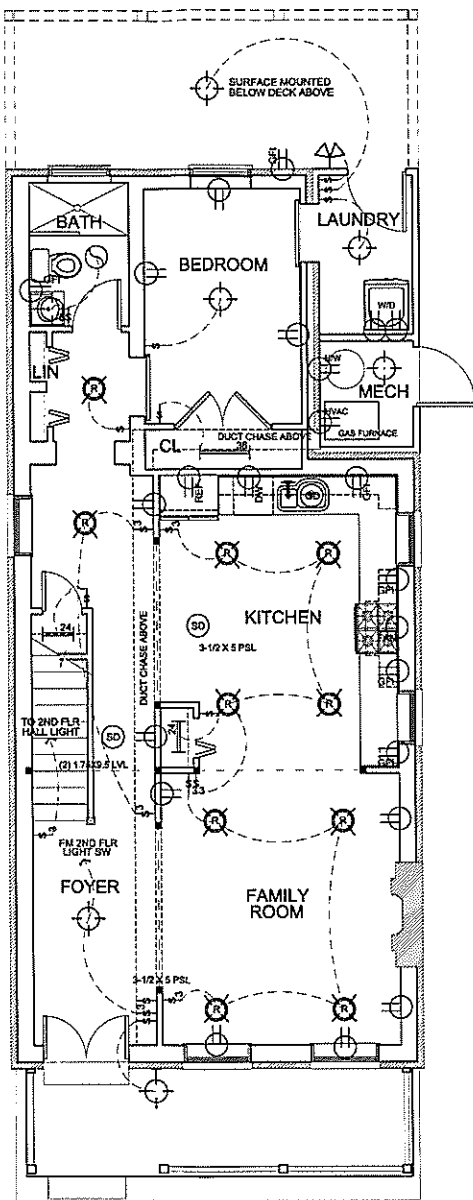
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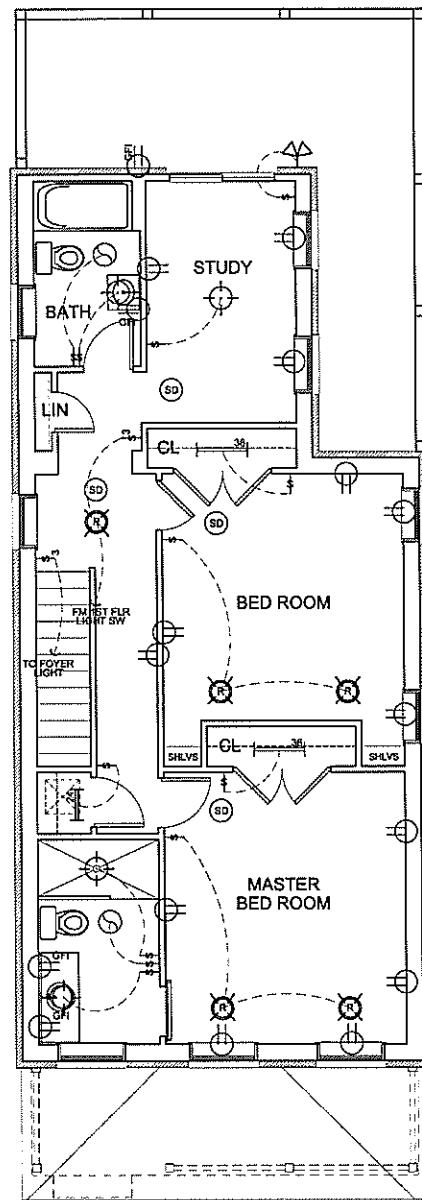
**1 DECK FRAMING**  
SCALE: 1/4" = 1'-0"



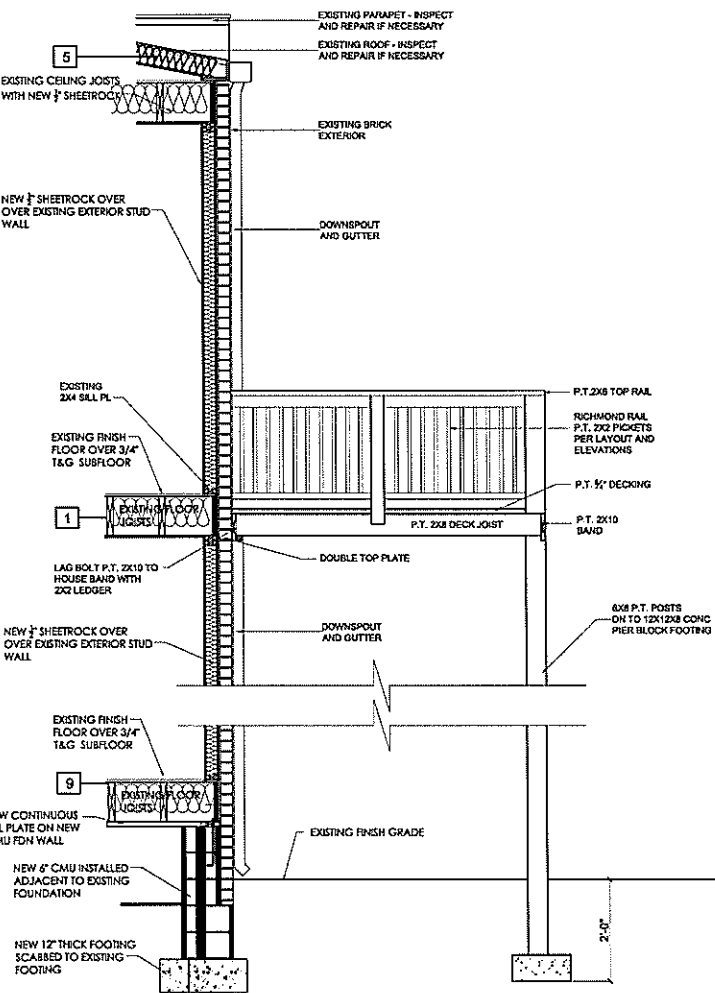
**2 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**3 NEW FIRST FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



**4 NEW SECOND FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



**A DECK DETAIL**  
SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP/Vanover
Checked	Jorge Velazquez
Coordinator	Ron Alston
Date	02.02.2017
Project	604 N. 1st Street



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**RENOVATIONS AND MODIFICATIONS**  
604 N. 1ST STREET

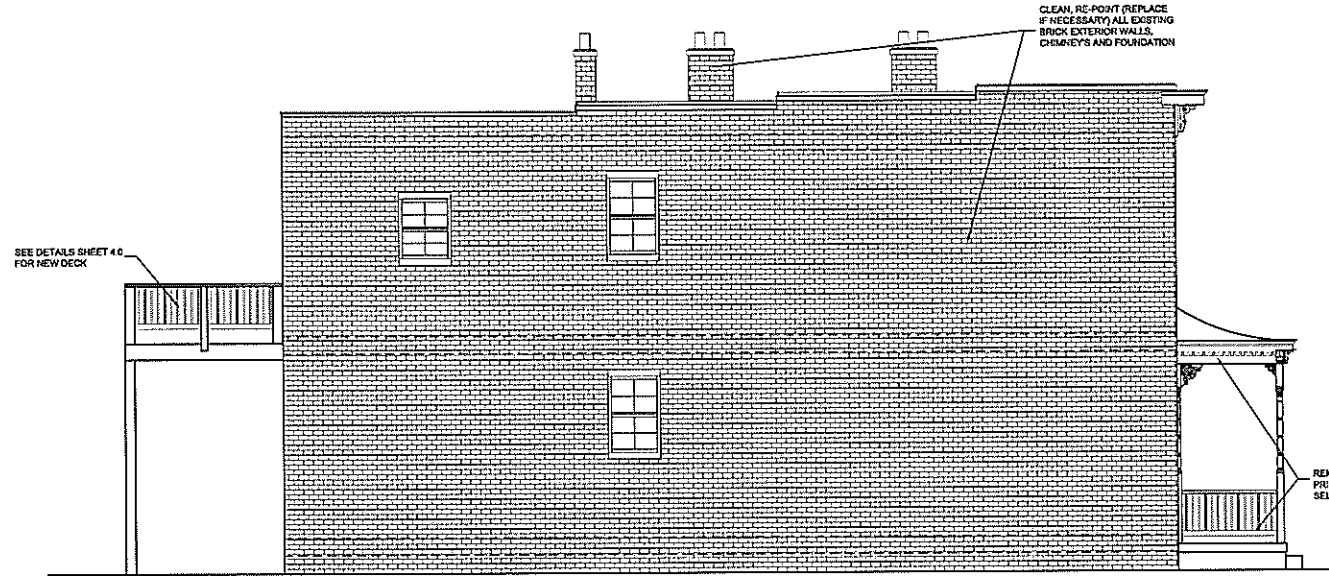
**SECTION, FOUNDATION PLAN, DECK FRAMING AND ELECTRICAL PLANS**

Project

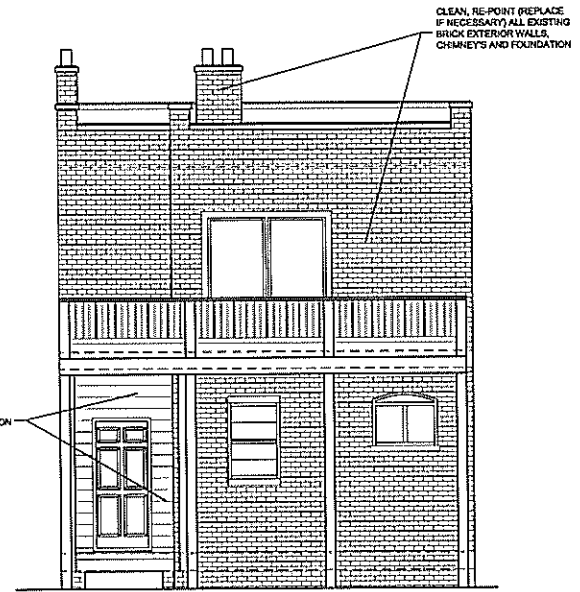
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**4.0**

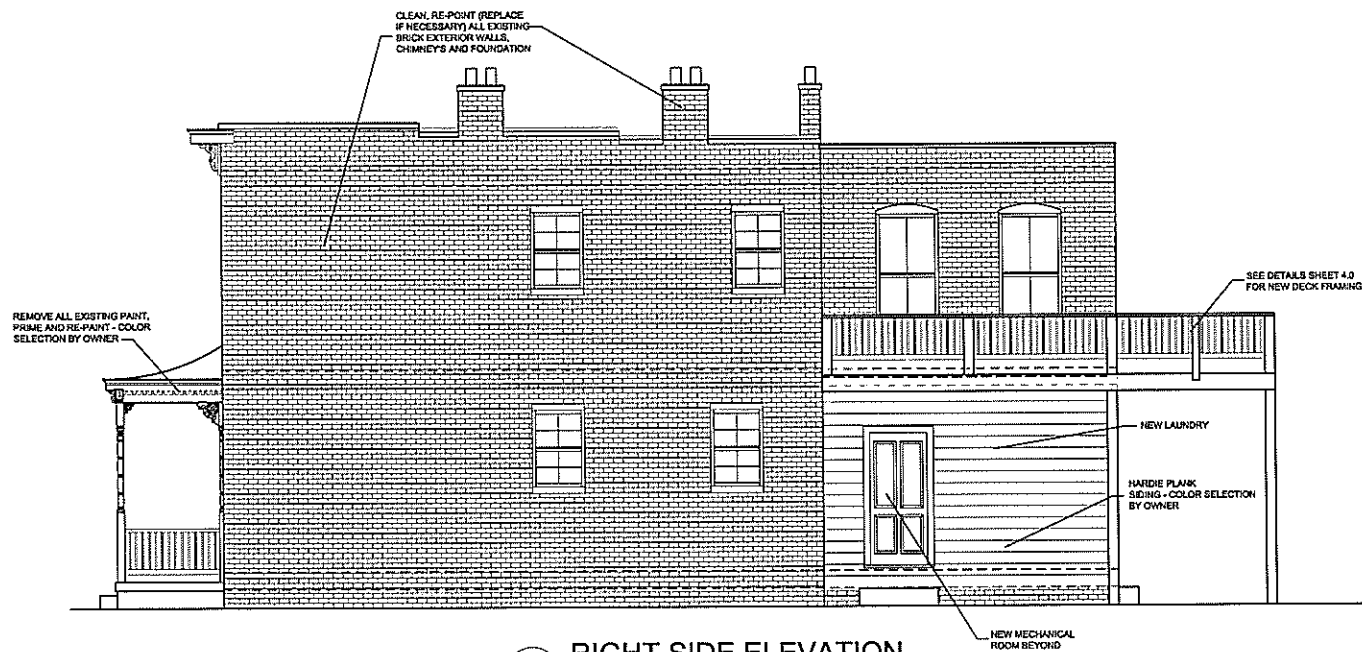




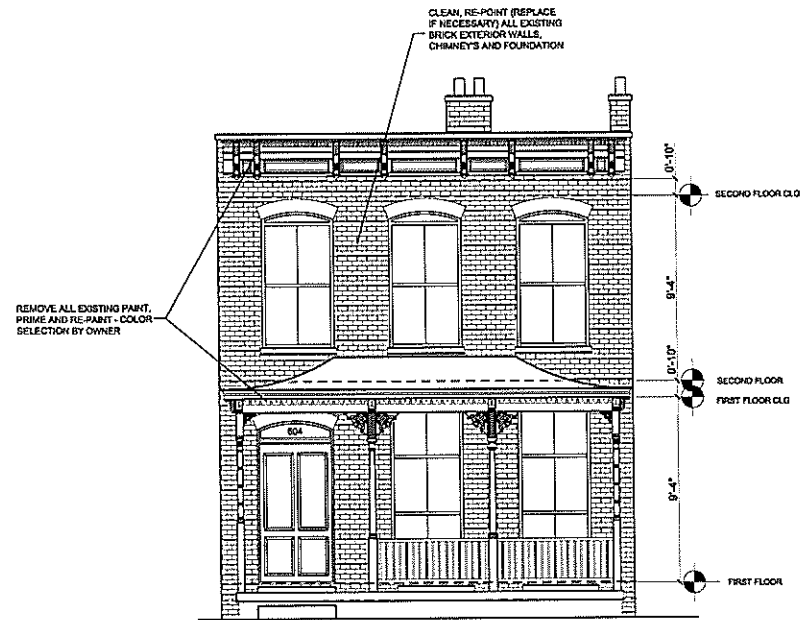
3  
5.0 LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



4  
5.0 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

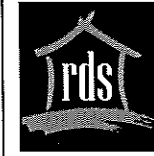


2  
5.0 RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1  
5.0 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Hartman
Checked	Jorge Velazquez
Coordinator	Ron Allison
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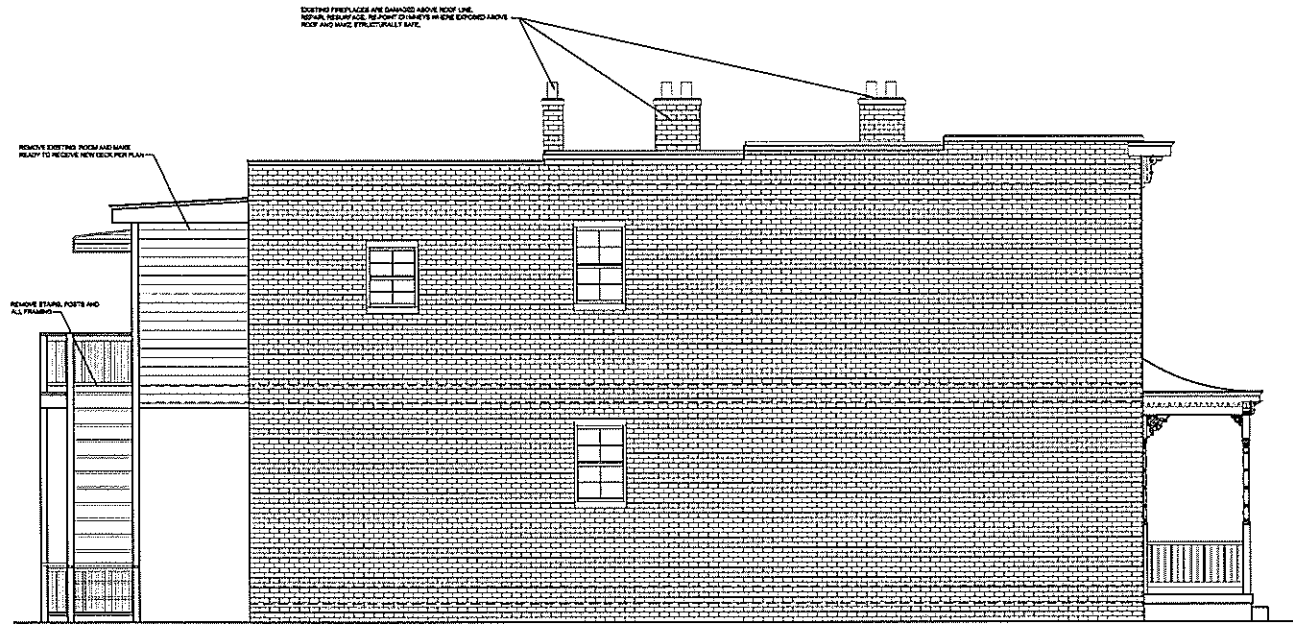


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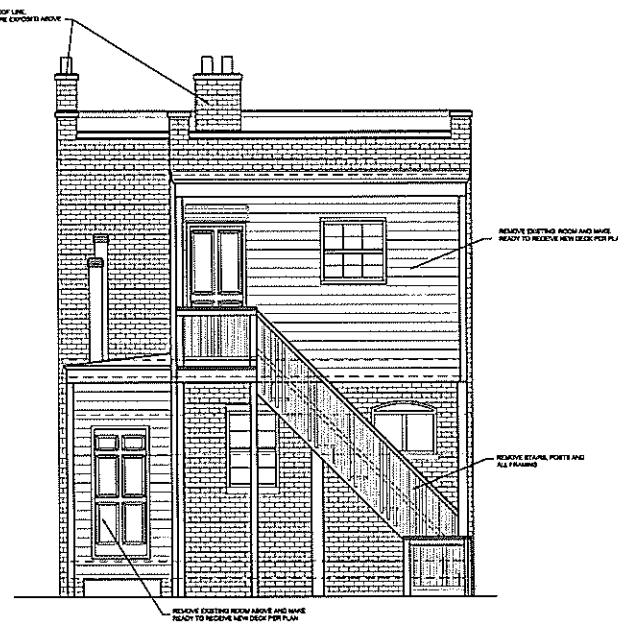
Project  
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604 N. 1ST STREET

Title  
NEW ELEVATIONS

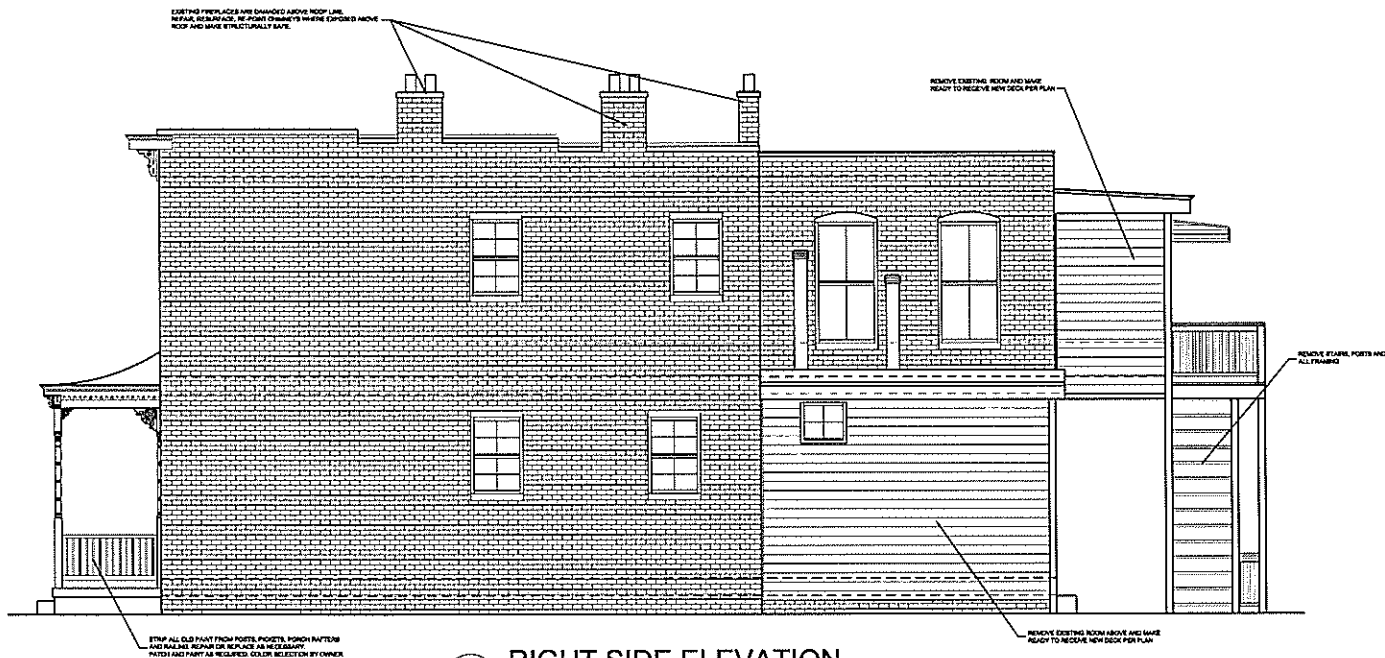
Drawing No.  
5.0



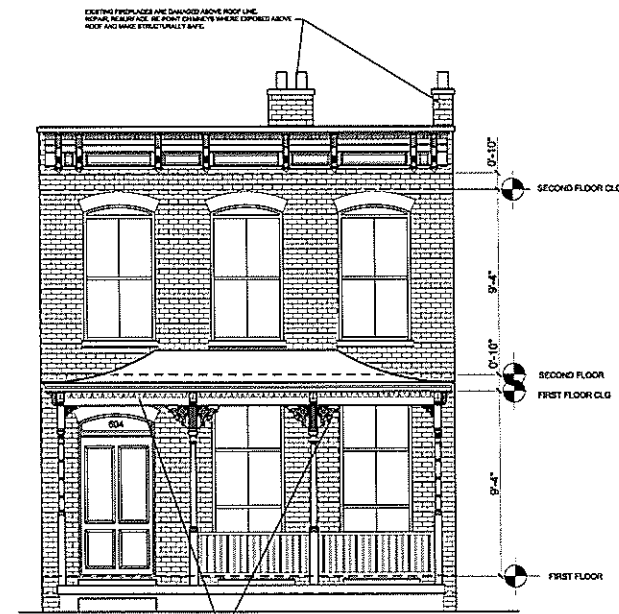
3  
3.0 LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



4  
3.0 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



2  
3.0 RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1  
3.0 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	As Noted
Drawn	L.P. Harrison
Checked	Jorge Velazquez
Coordinator	Ron Albion
Date	02.02.2017
Project	604 N. 1st Street



Residential Design Services  
11024 Longfellow Drive  
McDowell, Virginia 23112  
804.234.7412

Project  
**RENOVATIONS AND MODIFICATIONS**  
604 N. 1ST STREET

Title  
**EXISTING ELEVATIONS AND DEMOLITION NOTES**

Drawing No.

**3.0**