



**Property** (location of work)

Property Address: 1924 Princess Anne St, Richmond VA Current Zoning: R-63

Historic District: Union Hill

Application is submitted for: (check one)

- ☐ Alteration  
☐ Demolition  
☒ New Construction

**Project Description** (attach additional sheets if needed):

New single family home

**Applicant/Contact Person:** Jean Carlos

Company: Hispanos Unidos Multi-Services

Mailing Address: 7501 Boulder View Dr, Suite 120

City: Richmond State: VA Zip Code: 23225

Telephone: (703) 801-0415

Email: hispanosunidosms@gmail.com

Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

**Property Owner:** Maya VA LLC

If Business Entity, name and title of authorized signee: Atallah Mahases, Member

Mailing Address: 5109 HARVEST GLEN DR,

City: GLEN ALLEN State: VA Zip Code: 23059

Telephone: (804) 497-0985

Email: amahases72@gmail.com

Billing Contact? No

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: AM Date: 3/17/25

# Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | [alex.dandridge@rva.gov](mailto:alex.dandridge@rva.gov)

## Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review).

**Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

## Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

## Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5<sup>th</sup> floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review) or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



# CERTIFICATE OF APPROPRIATENESS

## NEW CONSTRUCTION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** \_\_\_\_\_

### NEW BUILDING TYPE

- ☒ single-family residence
- ☐ multi-family residence
- ☐ commercial building
- ☐ mixed use building
- ☐ institutional building
- ☐ garage
- ☐ accessory structure
- ☐ other

### DRAWINGS (refer to required drawing guidelines)

- ☒ floor plans
- ☒ elevations (all sides)
- ☒ roof plan
- ☒ list of windows and doors, including size, material, design
- ☒ context drawing showing adjacent buildings
- ☒ perspective
- ☒ site plan
- ☒ legal plat of survey

### WRITTEN DESCRIPTION

- ☒ describe new structure including levels, foundation, siding, windows, doors, roof and details
- ☒ state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- ☒ material description; attach specification sheets if necessary

### PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☒ site as seen from street, from front and corners, include neighboring properties

## 1924 Princess Anne St Written Description

This is a proposed 3- Story Single Family home Located in the vacant lot between 1922 and 1926 Princess Anne St. The home is to feature a full-length porch that serves as a balcony to the second floor. The house will also feature a rear porch as well as rear balcony. The home will feature 6 bedrooms and 5 bathrooms.

The style of the home is designed to blend with the character of this historic neighborhood. Below are some of the features and materials that will be incorporated into this project:

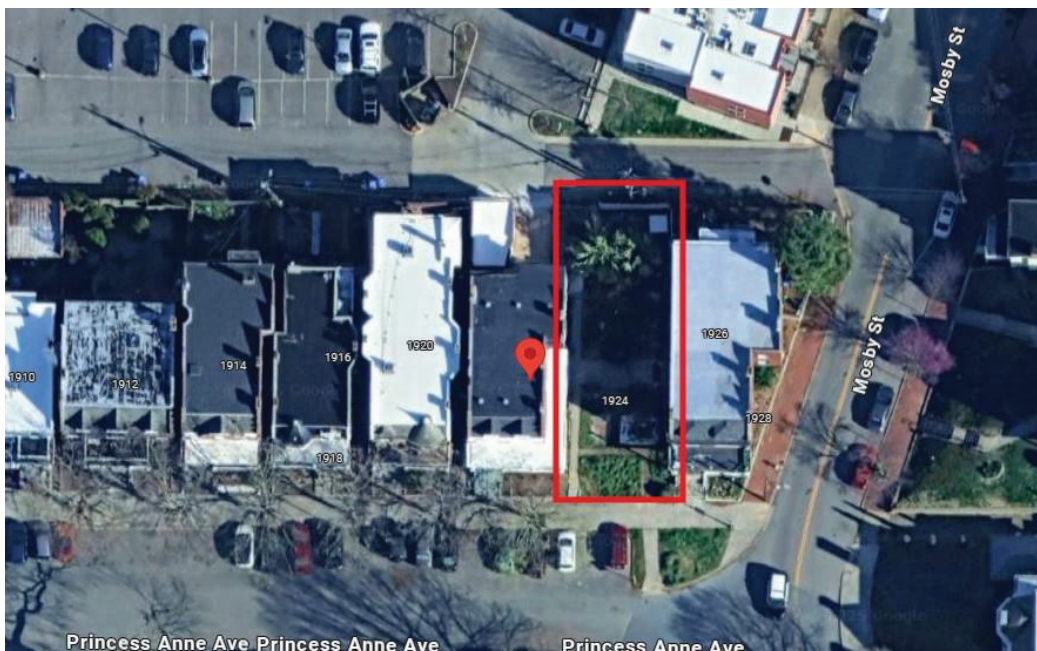
Roof: This roof will be a Gable roof with Architectural Asphalt Shingles to be pitched at 6:12.

Facade: The facade will be entirely wrapped in a Brick Venner consisting of red, dusty tan and black with a sandmold texture. This cladding will feature a soldier course band to break the pattern.

Windows: Aluminum Cladded windows with Cast Stone Lintel above and Brick Rowlock at the sill.

Porches and railings. The porch will be supported by Columns with Tuscan Capital order. The railings will be decorative painted white. There will be a few steps leading to the porch.

Site Pictures:







Straight view from street



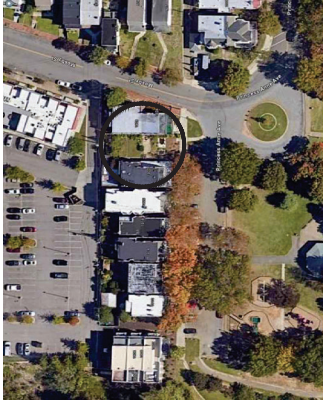
Side View from the street



Side view from the street



PRINCESS ANNE RESIDENCE  
CONSTRUCTIONS  
DOCUMENTS  
1924 PRINCESS ANNE ST  
RICHMOND, VA  
23223



SHEET INDEX

- C-1: COVER SHEET
- A-1: FLOOR PLANS
- A-2: FRONT AND RIGHT ELEVATIONS
- A-3: REAR AND LEFT ELEVATIONS
- A-4: FRAMING PLANS
- A-5: ROOF FRAMING AND ROOF PLAN
- A-6: BUILDING SECTIONS
- A-7: BRACING PLANS
- A-8: SECTIONS AND DETAILS

CODE ANALYSIS

2018 VIRGINIA RESIDENCIAL CONSTRUCTION CODE  
OCCUPANCY: R-5  
CONSTRUCTION TYPE: V-B  
UNSPRINKLERED

GENERAL NOTES

1. CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR CONFORMANCE OF PLANS WITH ALL REQUIREMENTS AND LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, DELETIONS, OMISSIONS, AND/OR OVERTSIGHTS OF THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, DELETIONS, OMISSIONS, AND/OR OVERTSIGHTS OF THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, DELETIONS, OMISSIONS, AND/OR OVERTSIGHTS OF THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. ALL WORK SHALL BE ACCURATELY LAID OUT IN COOPERATION WITH OTHER CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MAKING SURE HIS WORK PROPERLY CONNECTS WITH THE WORK OF OTHER CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MAKING SURE HIS WORK PROPERLY CONNECTS WITH THE WORK OF OTHER CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MAKING SURE HIS WORK PROPERLY CONNECTS WITH THE WORK OF OTHER CONTRACTORS.
3. ALL DRAWINGS ARE INTENDED TO BE RIGID IN SPECIFIC DETAILS. WHERE SUCH DETAILS MAY BE IN CONFLICT WITH RECOMMENDATIONS OF THE MANUFACTURER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST REVISIONS OF THE DRAWINGS AND RECOMMENDATIONS CHANGE THE INTENT OF THE DRAWINGS, SUCH CHANGES ARE TO BE APPROVED BY RHHUNT.
4. THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL PROTECT HIS AND OTHERS WORK FROM DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIR OR REPLACE OR REPAIR AS REQUIRED, ALL DAMAGED WORK TO THE SATISFACTION OF THE OWNER.
5. MEASUREMENTS AND WORKMANSHIP AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH CONNECTING WORK. EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, DELETIONS, OMISSIONS, AND/OR OVERTSIGHTS OF THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, DELETIONS, OMISSIONS, AND/OR OVERTSIGHTS OF THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. THE ELECTRICAL AND MECHANICAL CONTRACTORS SHALL OBTAIN AND SUBMIT TO THE OWNER ALL NECESSARY PERMITS AND INSURANCE PRIOR TO BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, DELETIONS, OMISSIONS, AND/OR OVERTSIGHTS OF THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, DELETIONS, OMISSIONS, AND/OR OVERTSIGHTS OF THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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ARCHITECT  
JOEL MEESES  
1924 PRINCESS ANNE ST  
RICHMOND, VA 23223  
404.771.1111  
WWW.JOELMEESES.COM

PREPARED FOR:  
ATALLAH  
MAHAES

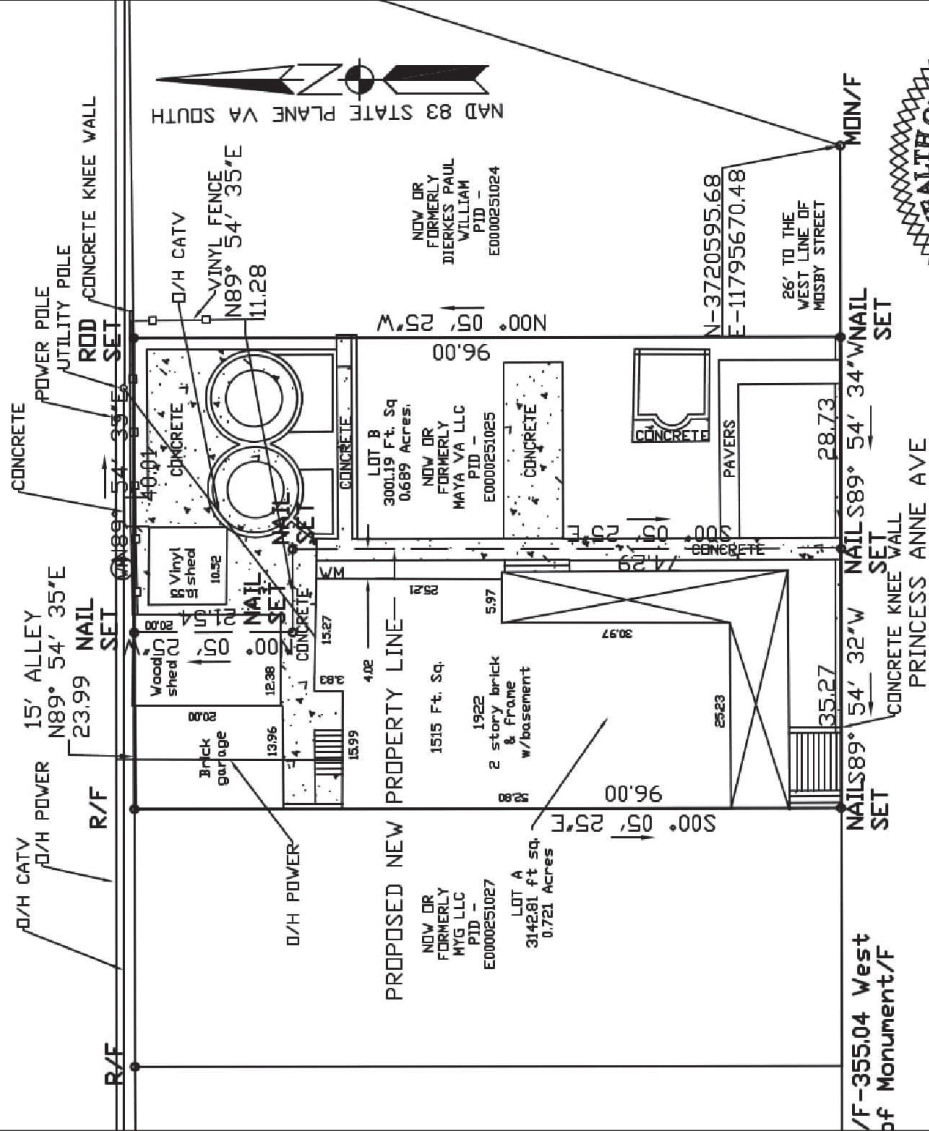
PRINCESS ANNE RESIDENCE  
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RICHMOND, VA  
23223

PLAN REVISIONS DATES

COVER  
SHEET

SHEET  
C-1  
SCALE IN FEET

PLAT SHOWING PROPOSED SUBDIVISION OF  
1922 PRINCESS ANNE AVE., CHURCH HILL  
DISTRICT  
CITY OF RICHMOND



COMMONWEALTH OF VIRGINIA  
JUNIOUS C. MAYS II  
Lic. No. 3428  
PRELIMINARY  
LAND SURVEY

1. This plat was created without the benefit of a title report and all easements may not be shown.  
2. This property is not in a HUD defined flood hazard zone "C".

0 20 40  
1 INCH = 20 FT.

JUNIOUS C. MAYS II L.S.  
9602 N. VERLINDA COURT, N.  
CHESTERFIELD VA, 23237



PREPARED FOR:  
ATALLAH  
MAHADES

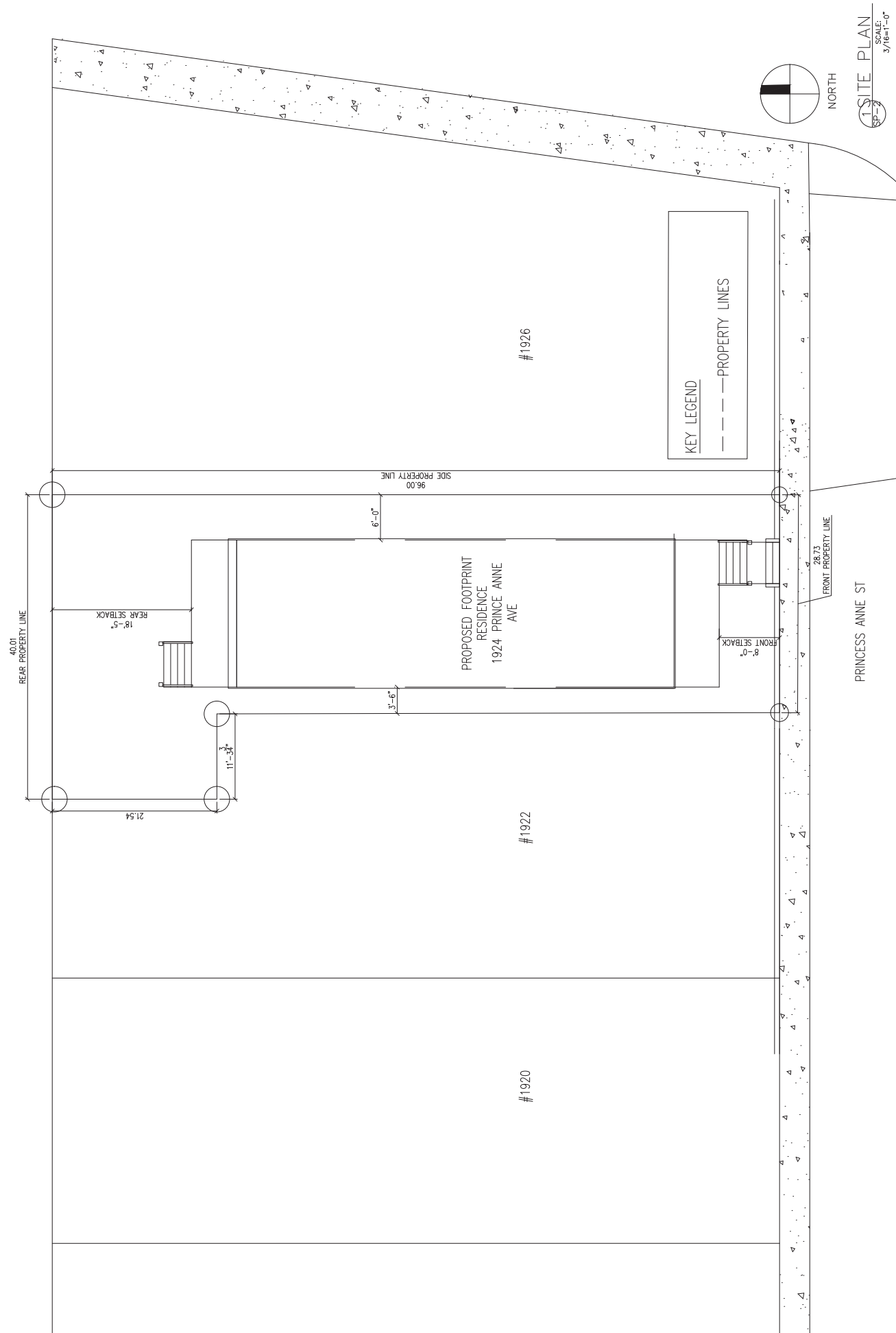
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RICHMOND, VA  
23223

PLAN REVISIONS DATES

EXISTING  
SURVEY

SHEET  
SP-1  
SCALE: 1/8"=1'-0"





3 THIRD FLOOR PLAN  
A-1 SCALE: 1/4"=1'-0"



ARCHITECT  
JOEL MEESES  
2000 RICHMOND AVENUE, SUITE 100  
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424.750.0000  
www.joelmeeses.com

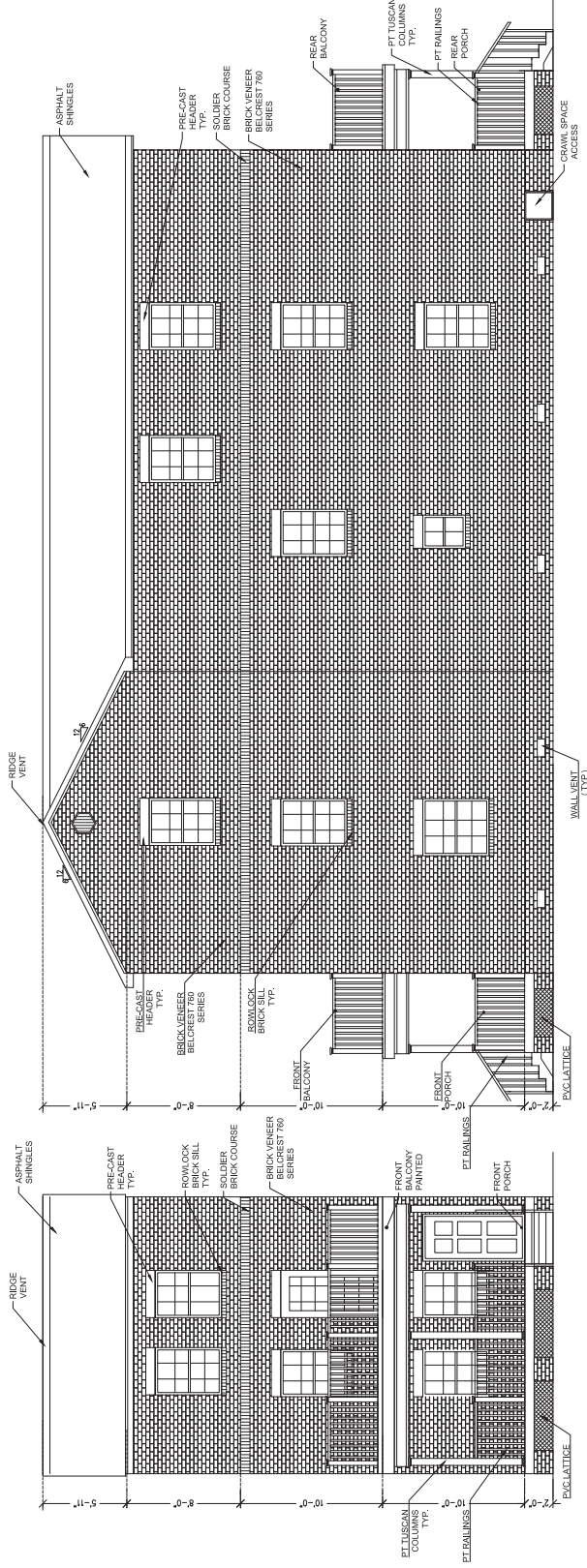
PREPARED FOR:  
ATALLAH  
MAHASES

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23223

PLAN REVISIONS DATES

ELEVATIONS

SHEET  
A-2  
SCALE: AS NOTED



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"

2 RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

Belcrest 760



Manufacturer  
The Belden Brick Company

DESCRIPTION  
Range of dark red, dusty tan, and black with cross sets in a sandmold texture





ARCHITECT  
JOEL MEESES  
10000 RICHMOND AVE  
RICHMOND, VA 23223  
424.281.1111  
www.joelmeeses.com

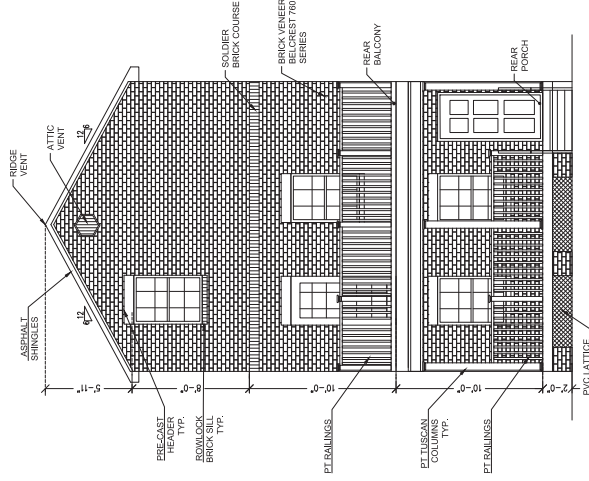
PREPARED FOR:  
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MAHASES

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PLAN REVISIONS DATES

ELEVATIONS

SHEET  
A-3  
SCALE 1/4"=1'-0"



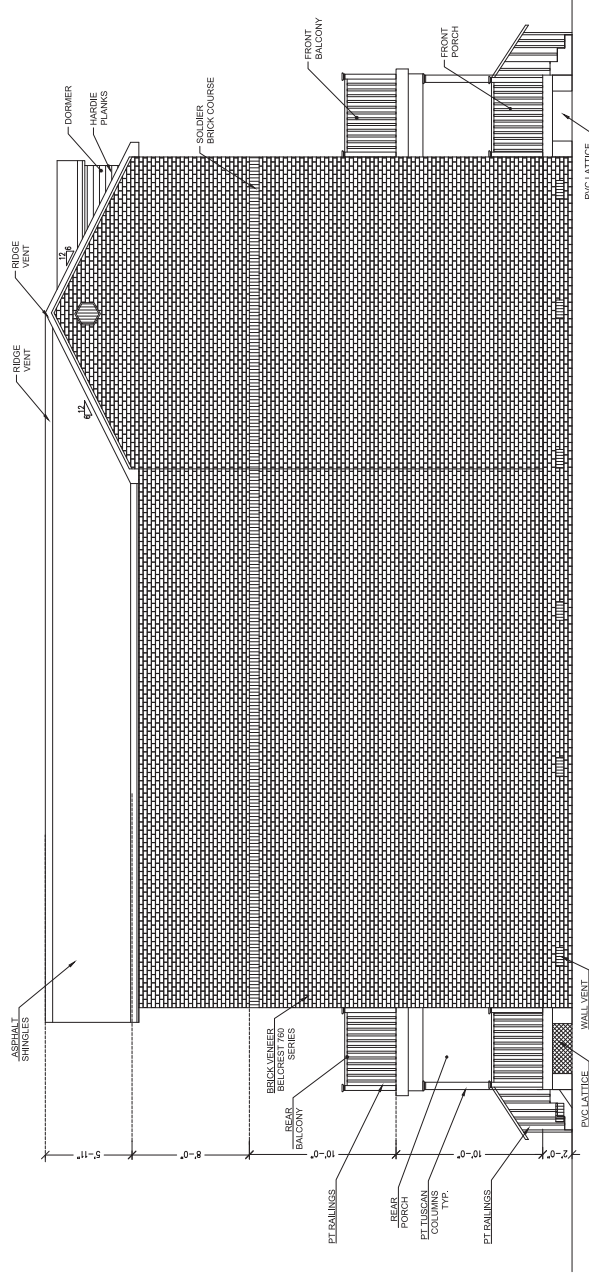
1 REAR ELEVATION  
SCALE: 1/4"=1'-0"

Belcrest 760



Manufacturer  
The Belden Brick Company

DESCRIPTION  
Range of dark red, dusty tan, and black with cross sets in a sandmold texture



2 LEFT ELEVATION  
SCALE: 1/4"=1'-0"