



Property (location of work)

Property Address: 1924 Princess Anne St, Richmond VA Current **Zoning**: R-63
Historic District: Union Hill

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

Project Description (attach additional sheets if needed):

New single family home

Applicant/Contact Person: Jean Carlos

Company: Hispanos Unidos Multi-Services

Mailing Address: 7501 Boulder View Dr, Suite 120

City: Richmond State: VA Zip Code: 23225

Telephone: (703) 801-0415

Email: hispanosunidosms@gmail.com

Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

Property Owner: Maya VA LLC

If Business Entity, name and title of authorized signee: Atallah Mahases, Member

Mailing Address: 5109 HARVEST GLEN DR,

City: GLEN ALLEN State: VA Zip Code: 23059

Telephone: (804) 497-0985

Email: amahases72@gmail.com

Billing Contact? No

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 3/17/25

Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | alex.dandridge@rva.gov

Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review.

Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5th floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: _____

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

1924 Princess Anne St Written Description

This is a proposed 3- Story Single Family home Located in the vacant lot between 1922 and 1926 Princess Anne St. The home is to feature a full-length porch that serves as a balcony to the second floor. The house will also feature a rear porch as well as rear balcony. The home will feature 6 bedrooms and 5 bathrooms.

The style of the home is designed to blend with the character of this historic neighborhood. Below are some of the features and materials that will be incorporated into this project:

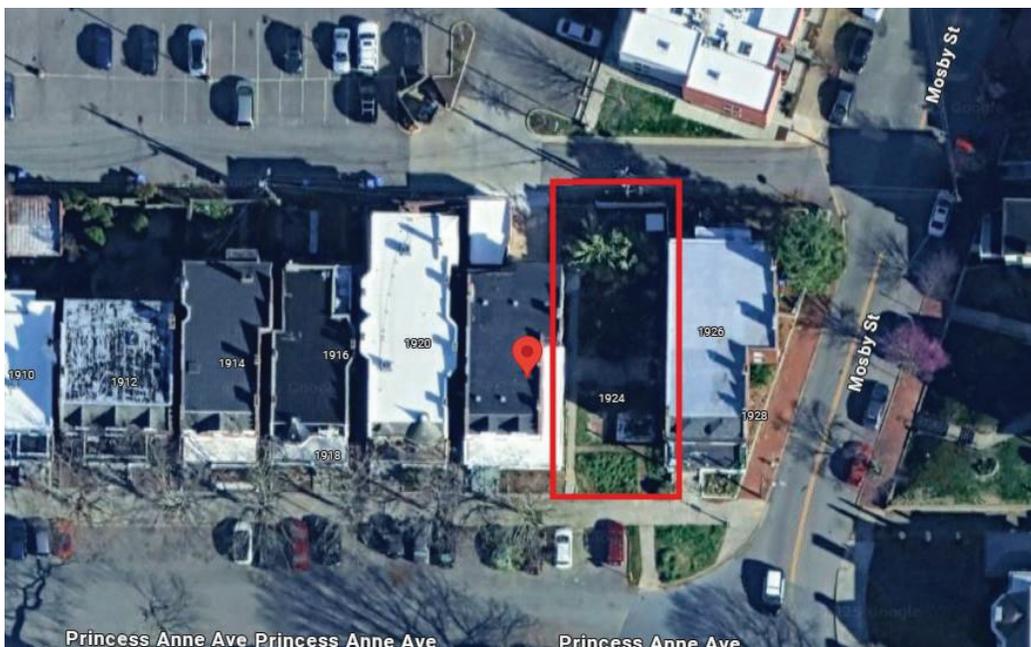
Roof: This roof will be a Gable roof with Architectural Asphalt Shingles to be pitched at 6:12.

Facade: The facade will be entirely wrapped in a Brick Vanner consisting of red, dusty tan and black with a sandmold texture. This cladding will feature a soldier course band to break the pattern.

Windows: Aluminum Cladded windows with Cast Stone Lintel above and Brick Rowlock at the sill.

Porches and railings. The porch will be supported by Columns with Tuscan Capital order. The railings will be decorative painted white. There will be a few steps leading to the porch.

Site Pictures:





Straight view from street



Side View from the street



Side view from the street



ARCHITECT
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PREPARED FOR:
ATALLAH
MAHASES

PRINCESS ANNE RESIDENCE
CONSTRUCTION
DOCUMENTS
1924 PRINCESS ANNE
RICHMOND, VA
23223

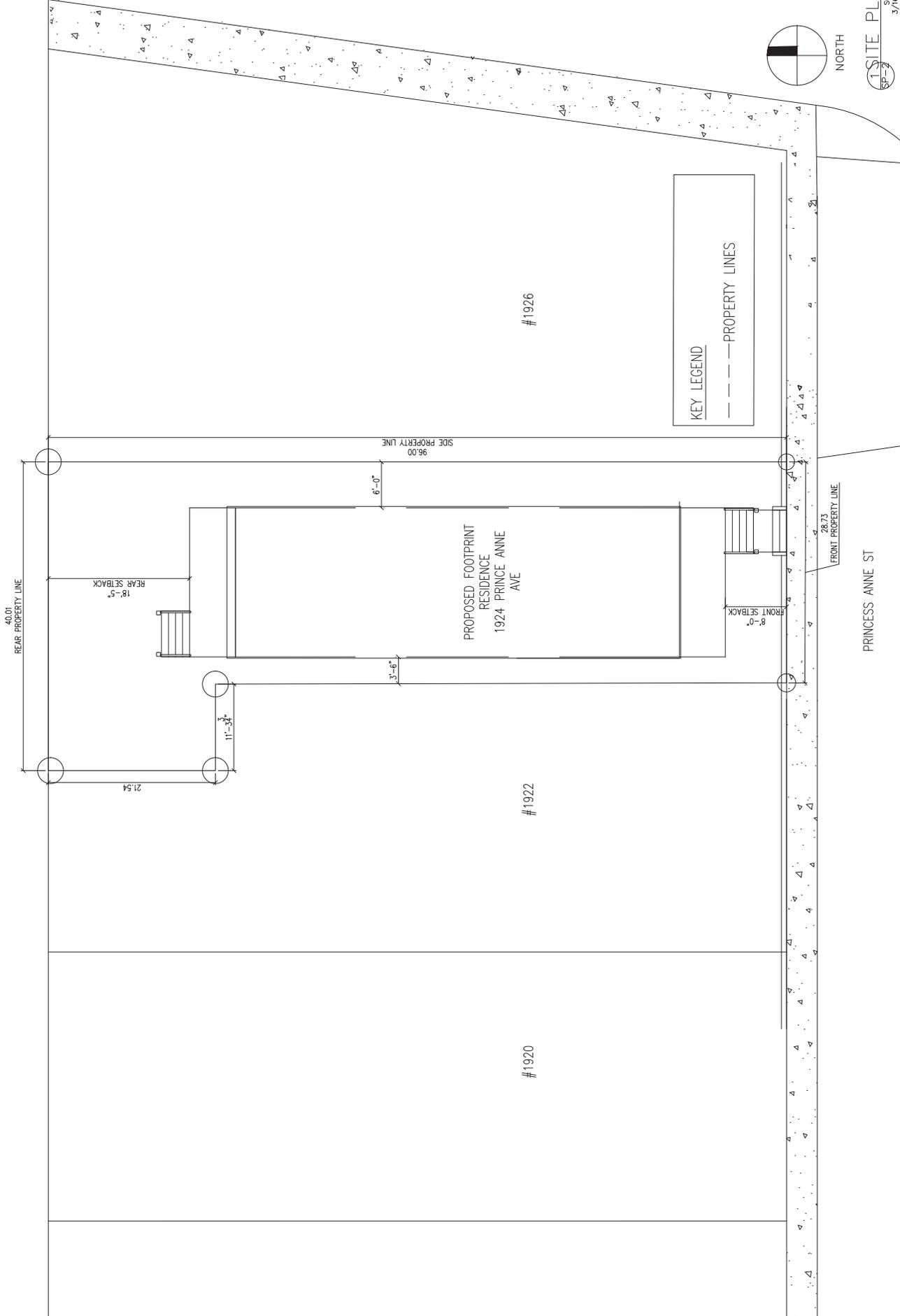
PLAN REVISIONS DATES

SITE PLAN

SHEET
SP-1
SCALE: 3/16"=1'-0"



1 SITE PLAN
SCALE: 3/16"=1'-0"





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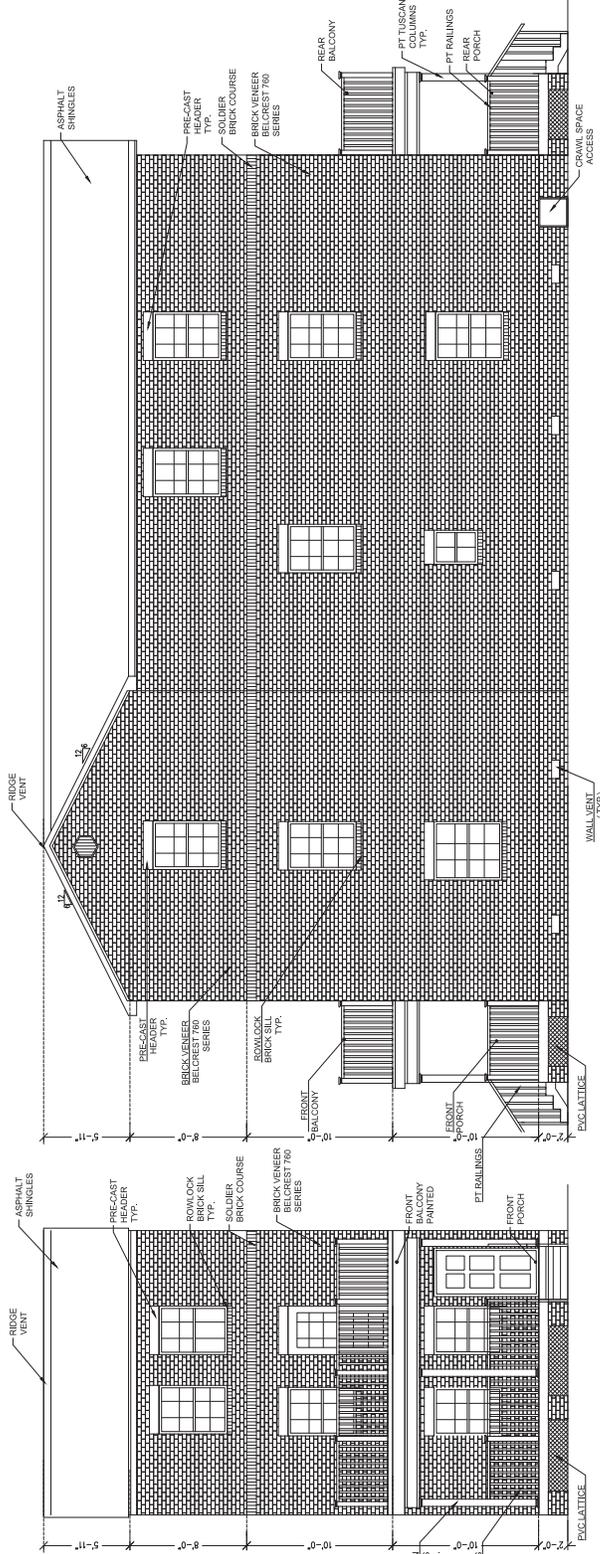
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PLAN REVISIONS DATES

ELEVATIONS

SHEET
A-2
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

Belcrest 760



Manufacturer
The Belden Brick Company

DESCRIPTION
Range of dark red, dusty tan, and black with cross sets in a sandmold texture.



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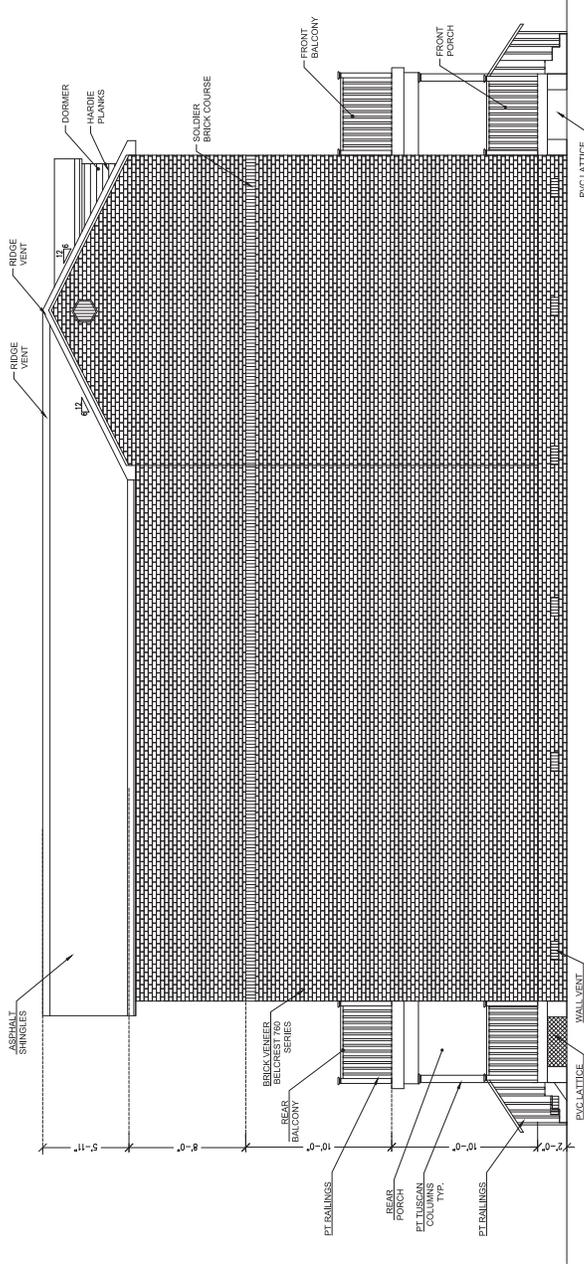
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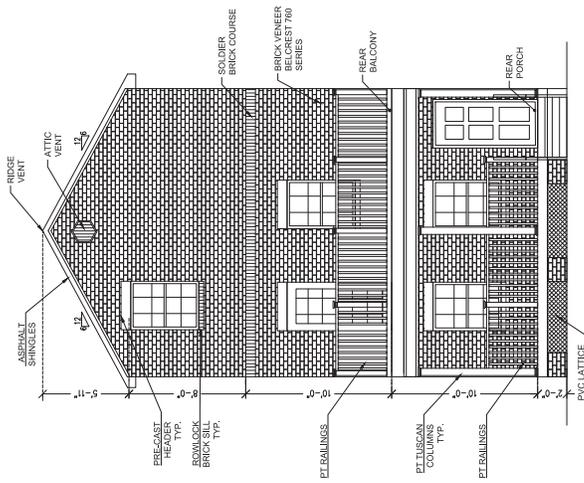
PLAN REVISIONS DATES

ELEVATIONS

SHEET
A-3
SCALE: 1/4"=1'-0"



2 LEFT ELEVATION
SCALE: 1/4"=1'-0"



1 REAR ELEVATION
SCALE: 1/4"=1'-0"

Belcrest 760



Manufacturer
The Belden Brick Company

DESCRIPTION
Range of dark red, dusty tan, and black with cross sets in a sandmold texture