



DEPARTMENT OF  
**PLANNING AND  
DEVELOPMENT  
REVIEW**

**BOARD OF  
ZONING APPEALS**

June 8, 2026

Persaud Holdings LLC  
2100 E Parham Road #3181  
Richmond, VA 23228

Baker Development Resources  
530 East Main Street, Suite 600  
Richmond, VA 23219  
Attn: Syd Shoaf

To Whom It May Concern:

**RE: BZA 22-2026**

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, July 1, 2026 at 1:00 PM** in the 5<sup>th</sup> Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a lot split and building permits to construct two new single-family (detached) dwellings at 718 LINCOLN AVENUE (Tax Parcel Number N018-0427/027), located in an R-5 (Single-Family Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **773 156 866#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2026 drop-down, click meeting details for July 1, 2026 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at [Chuck.Davidson@rva.gov](mailto:Chuck.Davidson@rva.gov) for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 22-2026  
Page 2  
June 8, 2026

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in cursive script that reads "Roy W. Benbow".

Roy W. Benbow, Secretary  
Phone: (804) 240-2124  
E-mail: [Roy.Benbow@rva.gov](mailto:Roy.Benbow@rva.gov)

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Asset Management & Rentals Llc  
8331 Scott Pl  
Richmond, VA 23227

Brown Joshua D  
711 Maggie Walker Ave  
Richmond, VA 23222

Copeland Janet Kay Trustee  
Cooper Family Revocable Trust  
350 Waxwing Dr  
Richmond, VA 23227

Dandridge Anthony And Stella  
707 Maggie Walker Ave  
Richmond, VA 23222

Johnson Travis  
810 Lincoln Avenue  
Richmond, VA 23222

Jones Breanna West  
711 Lincoln Ave  
Richmond, VA 23222

Jones Sherri B  
804 Lincoln Ave  
Richmond, VA 23222

Ohlinger Einat Z  
708 Lincoln Ave  
Richmond, VA 23222

Opendoor Property Trust I  
1295 W Washington St #115  
Tempe, AZ 85255

Parson Eva H  
717 Lincoln Ave  
Richmond, VA 23222

Quarles Rosa M  
714 Lincoln Ave  
Richmond, VA 23222

Robertson Ryan T  
802 Lincoln Ave  
Richmond, VA 23222

Rva Rental Group Llc  
Po Box 25989  
Richmond, VA 23260

Sloan Emily Hannah  
805 Maggie Walker Ave  
Richmond, VA 23222

Thompson Gladys L  
803 Maggie Walker Ave  
Richmond, VA 23222

Toler Claude M  
715 Maggie Walker Ave  
Richmond, VA 23222

Williams Ervin  
716 Lincoln Ave  
Richmond, VA 23222

### City of Richmond, VA Report

Property Owner	
<b>Name:</b>	PERSAUD HOLDINGS LLC
<b>Mailing Address:</b>	2100 E PARHAM RD #3181 RICHMOND, VA 23228
<b>Parcel Use:</b>	R Garage/Outbuilding
<b>Neighborhood:</b>	207

Property Information	
<b>Property Address:</b>	718 Lincoln Ave
<b>PIN</b>	N0180427027
<b>Size:</b>	0.152 Acres, 6612.500 Square Feet
<b>Property Description:</b>	WASHTN PARK PTSL33-34 B12 &STRIP; 0057.50X0115.00 0000.000

Current Assessment			
Year	Land	Improvements	Total
2026	\$60,000	\$1,000	\$61,000

Deed Transfers					
Recordation Date	Book	Page	Deed Type	Consideration	Grantee
10/14/2022	ID2022	22709	BS	\$30,000	PERSAUD HOLDINGS LLC
3/1/2007	ID2007	7319	WD	\$0	LYNCH REAL ESTATE INC TRUSTEE
2/22/1995	00032	1159	N/A	\$0	SMITH LUCILLE E
4/4/1985	000036	00383	N/A	\$25,000	Not Available
5/25/1965	000000	00000	N/A	\$500	Not Available
1/1/1900	000000	00000	N/A	\$500	Not Available

Outbuildings			
Code	Description	Sub Code-Description	Size
UTLSHE	Utility Shed	Wood Frame	80.00 SF

<b>Assessment History</b>			
<b>Year</b>	<b>Land</b>	<b>Improvements</b>	<b>Total</b>
2025	\$60,000	\$1,000	\$61,000
2024	\$55,000	\$1,000	\$56,000
2023	\$55,000	\$1,000	\$56,000
2022	\$20,000	\$0	\$20,000
2021	\$15,000	\$0	\$15,000
2020	\$15,000	\$0	\$15,000
2019	\$15,000	\$0	\$15,000
2018	\$15,000	\$0	\$15,000
2017	\$15,000	\$0	\$15,000
2016	\$15,000	\$0	\$15,000
2015	\$15,000	\$0	\$15,000
2014	\$15,000	\$0	\$15,000
2013	\$24,000	\$0	\$24,000
2012	\$24,000	\$0	\$24,000
2011	\$24,000	\$0	\$24,000
2010	\$24,000	\$0	\$24,000
2009	\$23,500	\$0	\$23,500
2008	\$23,500	\$0	\$23,500
2007	\$21,000	\$0	\$21,000
2006	\$15,300	\$0	\$15,300
2005	\$13,500	\$0	\$13,500

**Map**

**Not a Legal Document**

Subject to terms and conditions  
[www.actDataScout.com](http://www.actDataScout.com)

**RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM**



**THE RICHMOND ZONING ADMINISTRATION OFFICE**  
**ROOM 110, CITY HALL, 900 EAST BROAD STREET**  
**RICHMOND, VIRGINIA 23219**  
**(804) 646-6340**

**TO BE COMPLETED BY THE APPLICANT**

**PROPERTY** Persaud Holdings LLC **PHONE: (Home)** ( ) \_\_\_\_\_ **(Mobile)** ( ) \_\_\_\_\_  
**OWNER:** 2100 E Parham Road #3181 **FAX: ( )** \_\_\_\_\_ **(Work)** ( ) \_\_\_\_\_  
**(Name/Address)** Richmond, VA 23228 **E-mail Address:** \_\_\_\_\_

**OWNER'S REPRESENTATIVE:**

**(Name/Address)** Baker Development Resources **PHONE: (Home)** ( ) \_\_\_\_\_ **(Mobile)** (804) 237-9130  
Syd Shoaf **FAX: ( )** \_\_\_\_\_ **(Work)** ( ) \_\_\_\_\_  
530 E Main Street, Suite 600 **E-mail Address:** \_\_\_\_\_  
Richmond, VA 23219

**TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE**

**PROPERTY ADDRESS(ES):** 718 Lincoln Avenue

**TYPE OF APPLICATION:**  **VARIANCE**  **SPECIAL EXCEPTION**  **OTHER** \_\_\_\_\_

**ZONING ORDINANCE SECTION NUMBERS(S):** 30-300, 30-410.4

**APPLICATION REQUIRED FOR:** A lot split to construct two detached single-family dwellings.

**TAX PARCEL NUMBER(S):** N018-0427/027 **ZONING DISTRICT:** R-5 Single Family Residential District.

**REQUEST DISAPPROVED FOR THE REASON THAT:** The lot width and area requirements are not met. A lot area of 6,000 square feet is required; 3,306.25 square feet is proposed for each lot. A lot width of 50 feet is required, 28.75 feet is proposed for each lot.

**DATE REQUEST DISAPPROVED:** May 12, 2026 **FEE WAIVER: YES**  **NO:**

**DATE FILED:** May 12, 2026 **TIME FILED:** 3:20 p.m. **PREPARED BY:** Tom McGalliard **RECEIPT NO.** BZAR-185347-2026

**AS CERTIFIED BY:** *William C. [Signature]* (ZONING ADMINSTRATOR)

**I BASE MY APPLICATION ON:**

**SECTION 17.20 PARAGRAPH(S)** \_\_\_\_\_ **OF THE CHARTER OF THE CITY OF RICHMOND**

**SECTION 15.2 -2309.2**  **OF THE CODE OF VIRGINIA** [OR]

**SECTION 1040.3 PARAGRAPH** 2 **OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND**

**TO BE COMPLETED BY APPLICANT**

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

**SIGNATURE OF OWNER OR AUTHORIZED AGENT:** *Syd Shoaf* **DATE:** 05/14/2026

**\*\*\* TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS \*\*\***

**CASE NUMBER:** BZA 22-2026 **HEARING DATE:** July 1, 2026 **AT** 1:00 **P.M.**





## BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at [PDRZoningAdministration@Richmondgov.com](mailto:PDRZoningAdministration@Richmondgov.com). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. [The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.](#)
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

**Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).**

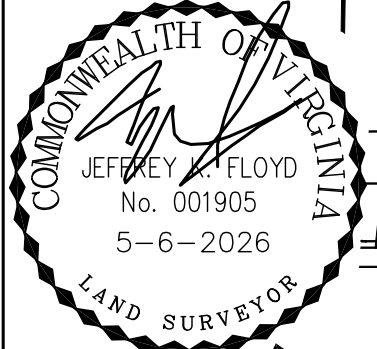
4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing.** The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: Syd Shoaf

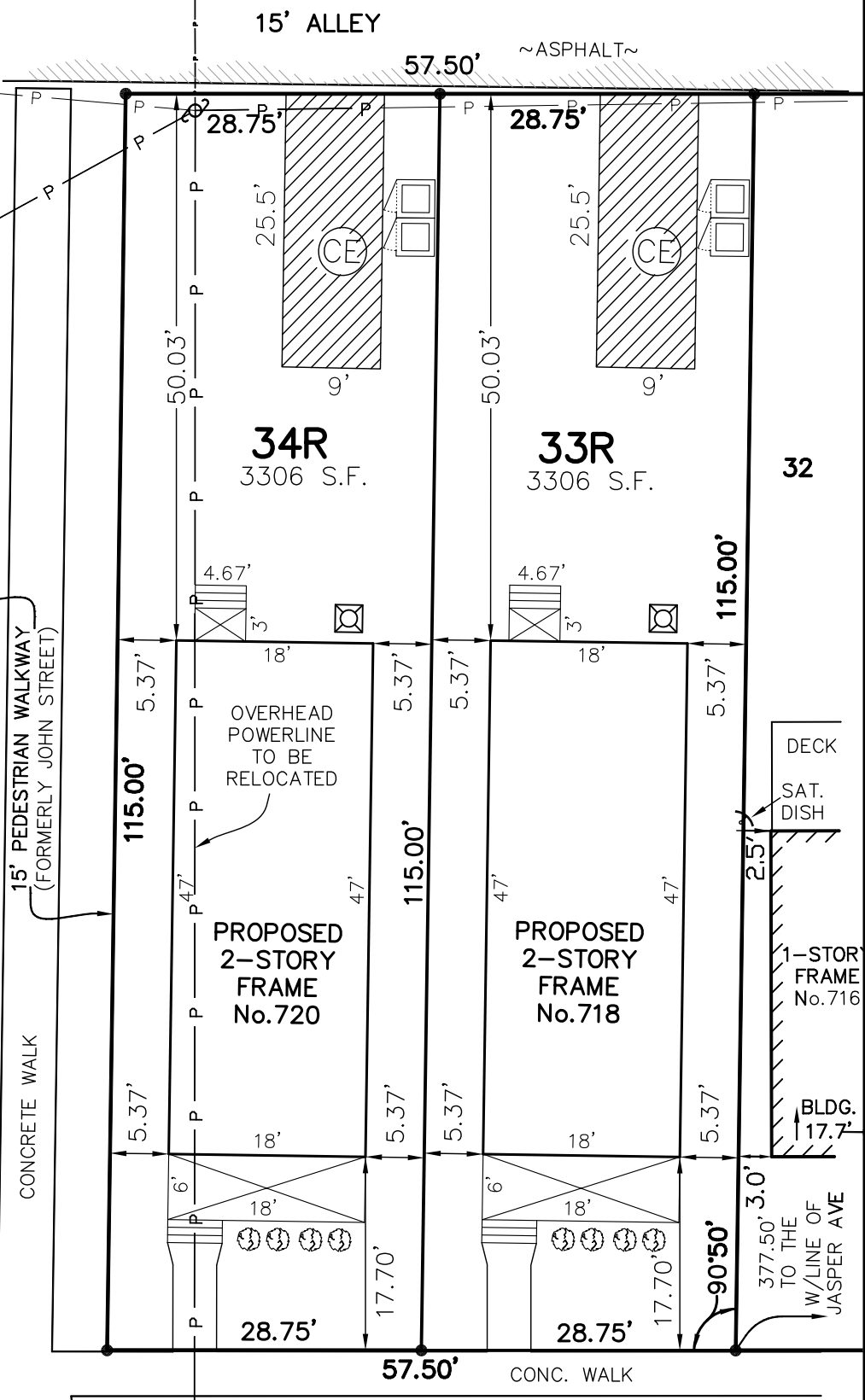


SCALED CITY  
BASELINE

- (CE) GRAVEL CONST. ENTRANCE & OFFSTREET PARKING SPACE
- MULCH BED WITH LANDSCAPING
- SUPER CANS WITH SCREENING < 5' TALL
- HVAC



**Virginia Surveys**  
 P.O. BOX 118  
 CHESTERFIELD, VA 23832  
 (804) 748-9481  
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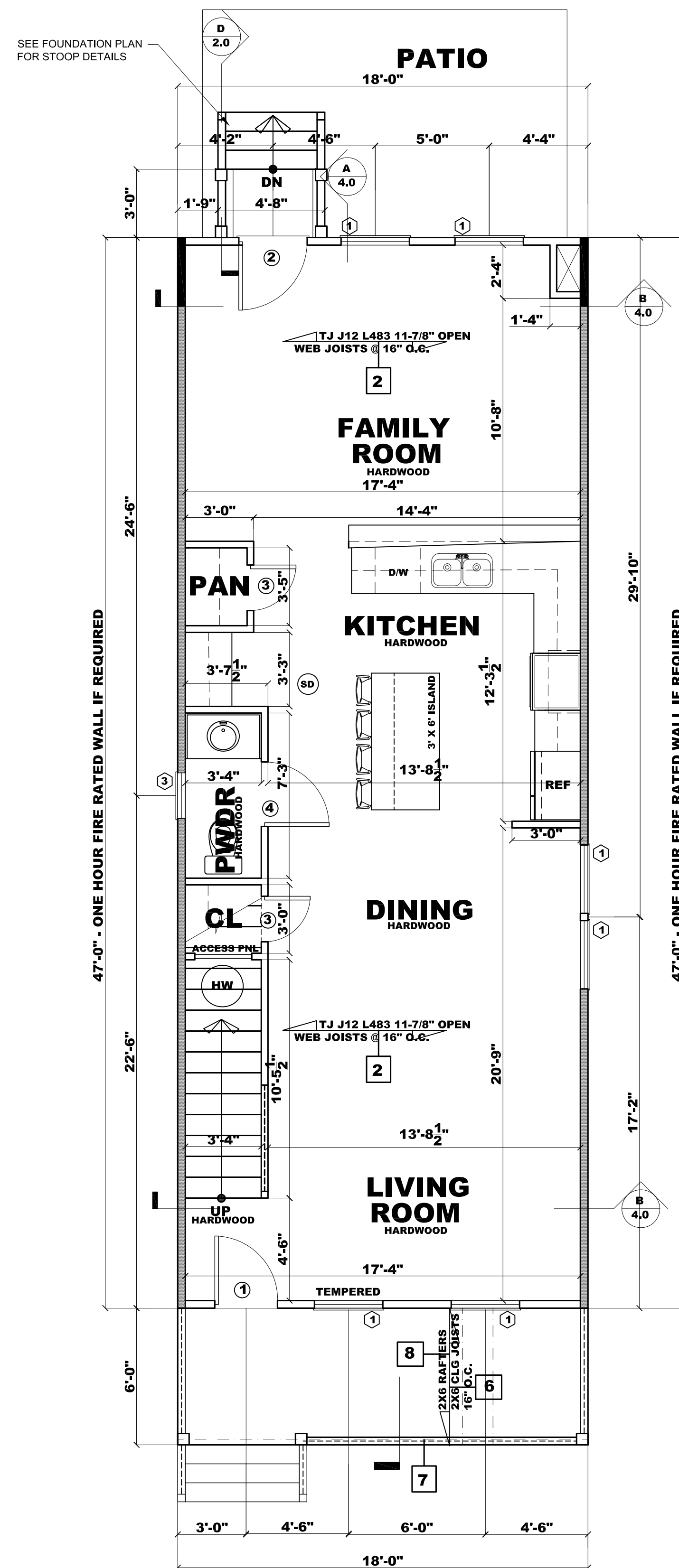


CURB P TREE ID: 4574 SMALL SITE VACANT

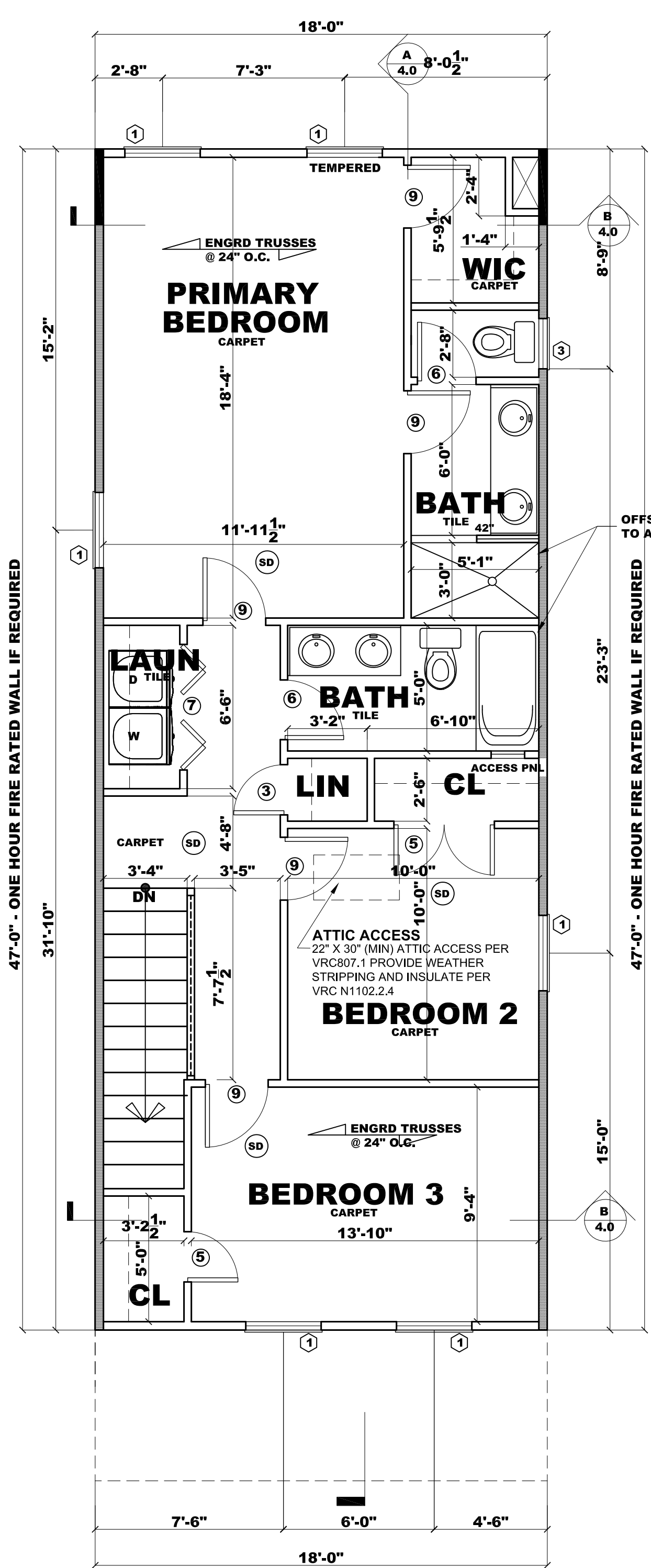
**LINCOLN AVENUE**  
 50' R/W

SKETCH SHOWING THE PROPOSED IMPROVEMENTS & REARRANGEMENT ON P/O LOTS 33 & 34, BLOCK "12" "WASHINGTON PARK" & 7.5' STRIP OF LAND, IN THE CITY OF RICHMOND, VA.

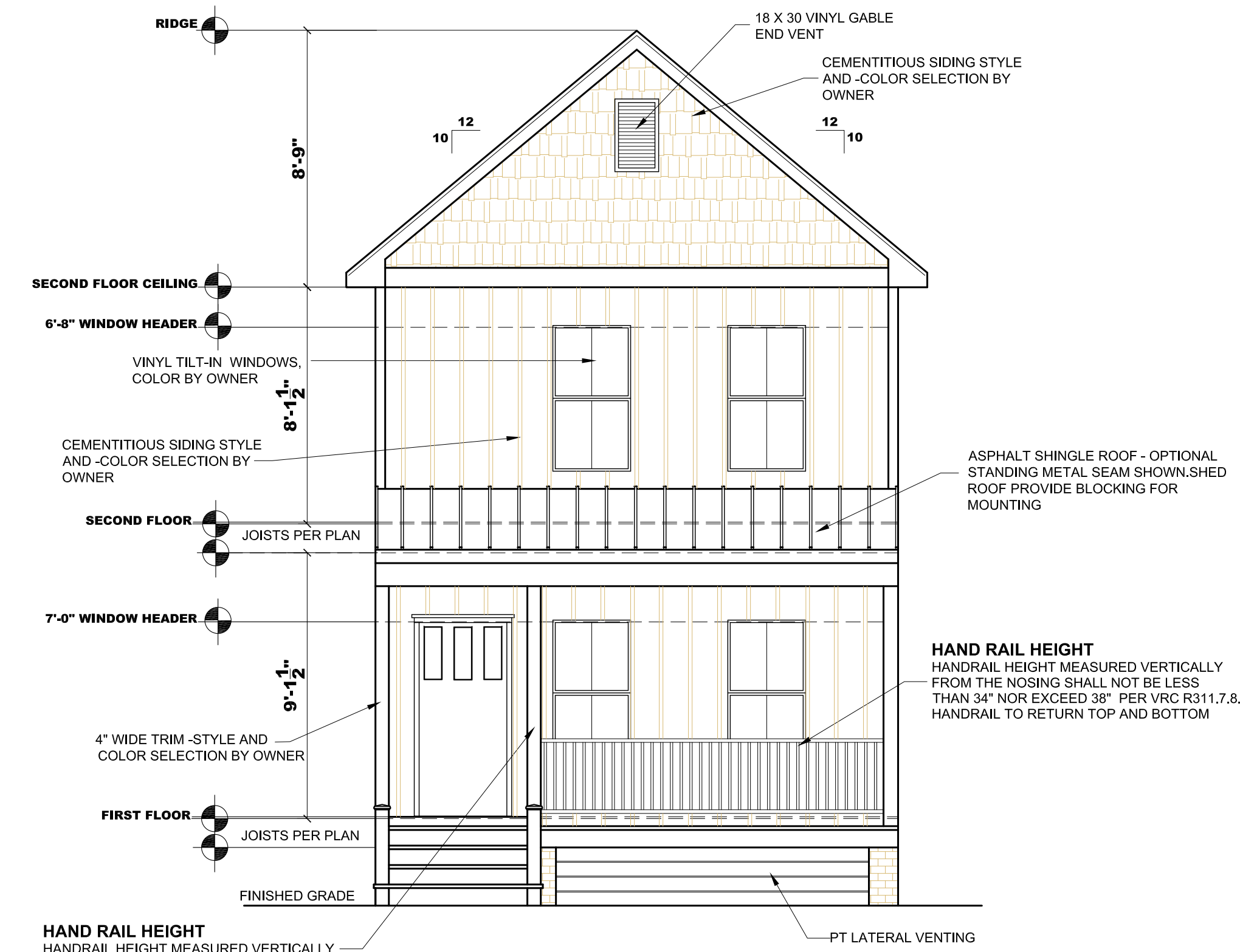
DATE: 5-6-2026  
 CERTIFIED BY JEFFREY K. FLOYD SCALE: 1"=15'  
 VIRGINIA CERTIFICATE NO. 001905 JOB NO. 260417226



**1**  
3.0 **FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2**  
3.0 **SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1**  
5.0 **FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	718 Lincoln Avenue

**PERSAUD HOLDINGS, LLC**  
**2100 E PARHAM ROAD, ST 3181**  
**RICHMOND, VIRGINIA 23227**

BZA PRESENTATION  
 718 LINCOLN AVENUE  
 RICHMOND, VIRGINIA

THIS FIRST AND SECOND FLOOR PLAN  
 AND FRONT ELEVATION

Project  
 Drawing No.  
**0.0**

# PROJECT DATA

## LIST OF DRAWINGS

- 1.0 SITE PLAN, CODE NOTES, LEGEND
- 2.0 FOUNDATION PLAN, ROOF PLAN AND DETAILS
- 3.0 FIRST AND SECOND FLOOR PLAN AND DETAILS
- 4.0 HOUSE SECTIONS AND WALL SECTION
- 5.0 ELEVATIONS
- 6.0 BRACED WALL PLANS AND CALCULATIONS

## CODE NOTES

- 2021 VIRGINIA UNIFORM BUILDING CODE  
2021 IRC
- 1.0 BUILDING USE GROUP: RESIDENTIAL - R3 SINGLE FAMILY DETACHED
  - 2.0 BUILDING AREA: FIRST FLOOR 840 SQ FT  
SECOND FLOOR 840 SQ FT  
HEATED SQ FT 1,680 SQ FT
  - 3.0 LOT SIZE - 30' X 115' = 3,450 SQ FT. ZONING ALLOWS 35% OF LOT SIZE FOR FOOTPRINT  
MAX FOOTPRINT SIZE IS 840 SQ FT. THIS PLAN REPRESENTS 24% OF LOT SQUARE FOOTAGE

## DESIGN LOADS

SNOW	25P.S.F.
DEAD LOAD	10P.S.F.
SEISMIC	0.5P.S.F.
WIND	90P.S.F.
LIVE (EXCEPT BEDROOMS)	40P.S.F.
DEAD	10P.S.F.
LIVE (BEDROOMS)	30P.S.F.
GARAGE	50P.S.F.
STAIRS	40P.S.F.

## NOTE

THESE DRAWINGS ARE INTENDED TO PORTRAY THE WORK SHOWN. THEY DO NOT SHOW EVERY CONSTRUCTION DETAIL. THE GENERAL CONTRACTOR BY TAKING ON THIS PROJECT, IS RESPONSIBLE FOR ALL CONSTRUCTION. THE G.C. ACKNOWLEDGES THAT HE IS EXPERIENCED WITH CONSTRUCTION OF THIS TYPE AND IS FULLY CAPABLE OF IMPLEMENTING SUCH WORK SO AS TO IMPLEMENT IT'S CONSTRUCTION AND COMPLETION IN A TIMELY MANNER.

# SCHEDULES

## WINDOW SCHEDULE

NO	SIZE	MAT'L	GRILLE	MODEL	EGRESS
1	3/0X5/0	VINYL	2/2	DH TILT-IN	YES
2	-	-	-	-	-
3	2/0X3/2	VINYL	2/2	DH TILT-IN	NO
4	-	-	-	-	-
5	-	-	-	-	-
6	-	-	-	-	-
7	-	-	-	-	-

STYLE AND SELECTION BY OWNER

2021 VRC SECTION N1102 (R402) BUILDING THERMAL ENVELOPE  
FENESTRATION U FACTOR = 0.30  
GLAZED FENESTRATION SHGC = 0.40

ALL DOOR AND WINDOW HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2 UNO

## DOOR SCHEDULE

DOOR	SIZE	TYPE
1	3/0X6/8	EXTERIOR METAL WITH VIEW WINDOWS
2	3/0X6/8	EXTERIOR METAL FULL LIGHT
3	2/0X6/8	INTERIOR FIVE PANEL
4	2/10X6/8	INTERIOR FIVE PANEL
5	(2)2/0X6/8	INTERIOR FIVE PANEL
6	2/4X6/8	INTERIOR FIVE PANEL
7	5/0X6/8	INTERIOR FIVE PANEL BI FOLD
8	2/8X6/8	EXTERIOR METAL - FULL LIGHT
9	2/6X6/8	INTERIOR FIVE PANEL
10	-	-

ALL DOOR HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

# LEGEND

	<b>BRICK VENEER</b>		<b>RECESSED CAN LIGHT</b>
	<b>C.M.U.</b>		<b>EXHAUST FAN</b>
	<b>NON-LOAD BEARING INTERIOR WALLS - 2X4 STUDS @ 24" O.C.</b>		<b>GARBAGE DISPOSAL</b>
	<b>EXTERIOR BRICK VENEER WITH 2X6 STUDS @ 16" O.C.</b>		<b>110VOLT RECEPTACLE</b>
	<b>"8 C.M.U. WALL AND FOOTING</b>		<b>GROUND FAULT INTERRUPTION</b>
	<b>SECTION DESIGNATION</b>		<b>WEATHER PROOF GROUND FAULT INTERRUPTION</b>
	<b>DOOR DESIGNATION</b>		<b>DRYER RECEPTACLE</b>
	<b>WINDOW DESIGNATION</b>		<b>RANGE RECEPTACLE</b>
	<b>LIGHT FIXTURE</b>		<b>TELEPHONE</b>
	<b>WALL MTD LIGHT FIXTURE</b>		<b>CABLE TELEVISION</b>
	<b>LIGHT FIXTURE</b>		<b>SWITCH @ 50" A.F.F.</b>
	<b>EXTERIOR DBL FLOOD LIGHT WITH MOTION SENSOR</b>		<b>3-WAY SWITCH @ 50" A.F.F.</b>
	<b>SURFACE MTD FLORESCENT NO. INDICATES LENGTH</b>		<b>SMOKE DETECTOR</b>
			<b>DOOR BELL TRANSFORMER</b>
			<b>RECESSED ELECTRICAL PANEL</b>
			<b>CEILING FAN - WHEN DASHED, ROUGH-IN AND PROVIDE BLANK COVER FOR FUTURE USE, OTHER WISE INSTALL WHERE SHOWN</b>

# STRUCTURAL SCHEDULE

NO	MEMBER NAME	RESULTS	CURRENT SOLUTION
1	FIRST FLOOR FLOOR JOISTS	PASSED	TRIM JOIST J12 L483 11-7/8" @ 16" O.C.
2	SECOND FLOOR FLOOR JOISTS	PASSED	TRIM JOIST J12 L483 11-7/8" @ 16" O.C.
3	STAIRCASE GIRDERS	PASSED	3 PIECE(S) 2X10 SOUTHERN PINE NO. 2
4	FRONT PORCH GIRDER	PASSED	2 PIECE(S) 2X10 SOUTHERN PINE NO. 2
5	FRONT PORCH FLOOR JOISTS	PASSED	1 PIECE(S) 2X8 SOUTHERN PINE NO. 2 @ 16" O.C.
6	FRONT PORCH CEILING JOISTS	PASSED	1 PIECE(S) 2X6 SOUTHERN PINE NO. 2 @ 16" O.C.
7	FRONT PORCH BEAM	PASSED	2 PIECE(S) 2X10 SOUTHERN PINE NO. 2
8	FRONT PORCH RAFTERS	PASSED	1 PIECE(S) 2X6 SOUTHERN PINE NO. 2 @ 16" O.C.
9	-	-	-
10	-	-	-
11	-	-	-
12	-	-	-
13	-	-	-
14	-	-	-
15	-	-	-
16	-	-	-
17	-	-	-
18	-	-	-
19	-	-	-
20	-	-	-

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	718 Lincoln Avenue



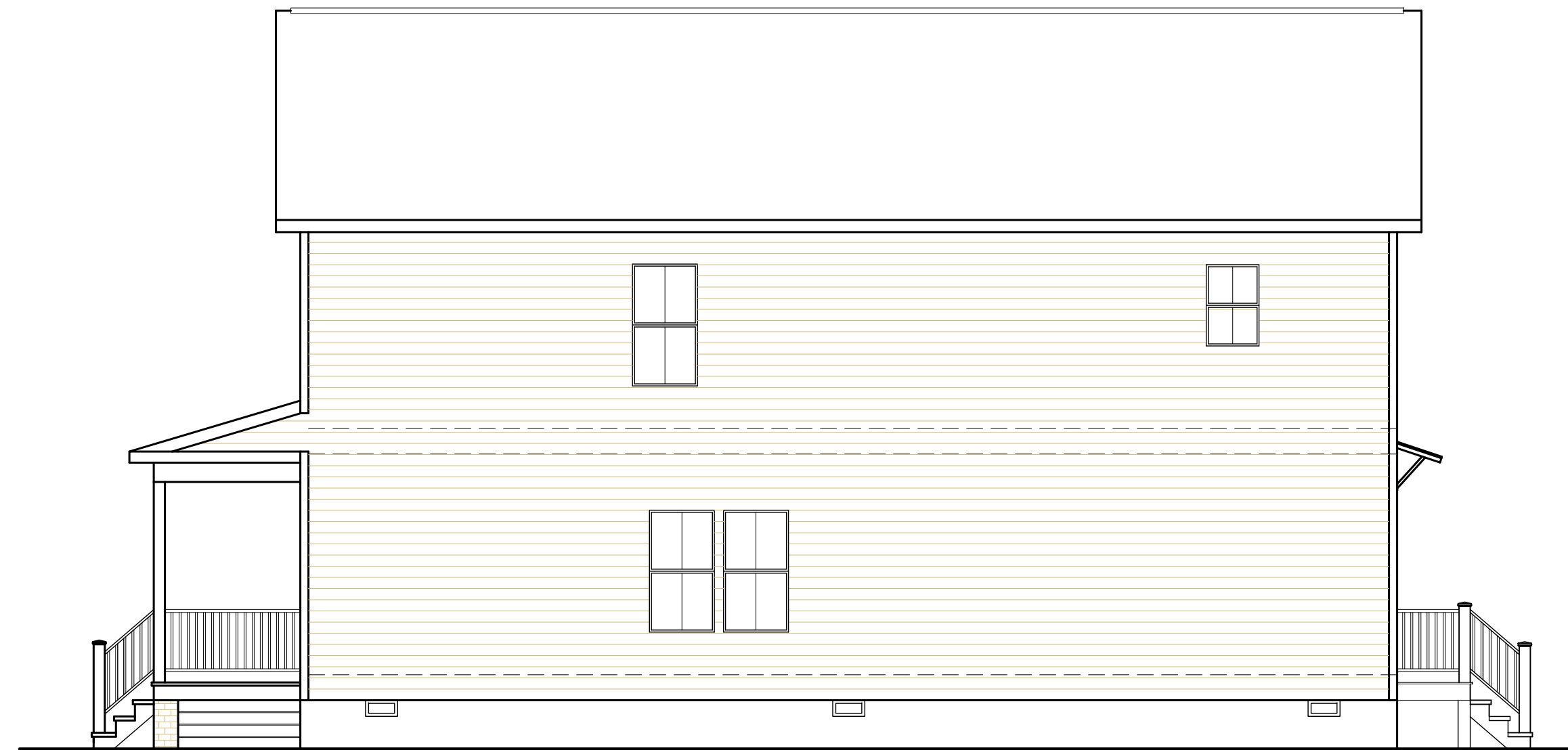
Residential Design Services  
11824 Longfellow Drive  
Midlothian, Virginia 23112  
804.334.7413

**PERSAUD HOLDINGS, LLC**  
**2100 E PARHAM ROAD, ST 3181**  
**RICHMOND, VIRGINIA 23227**

718 LINCOLN AVENUE  
RICHMOND, VIRGINIA

Project  
Title  
SITE PLAN, CODE NOTES AND FRONT ELEVATION

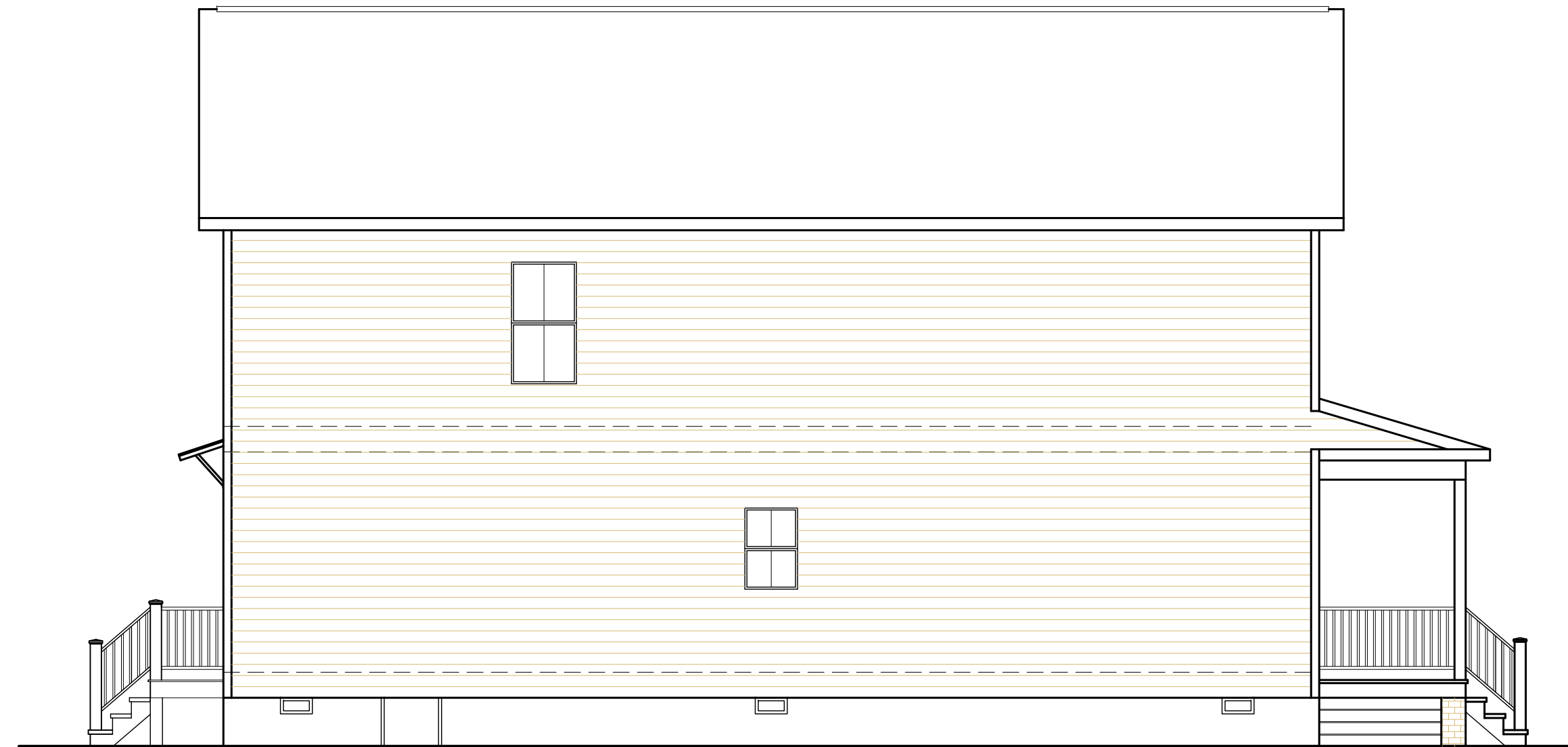
Drawing No.  
**1.0**



**4 RIGHT SIDE ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"



**1 FRONT ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"

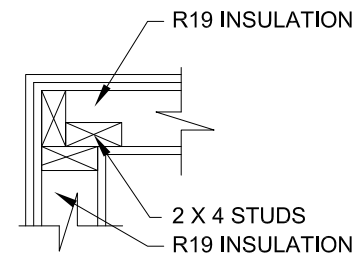


**3 LEFT SIDE ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"



**2 REAR ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"

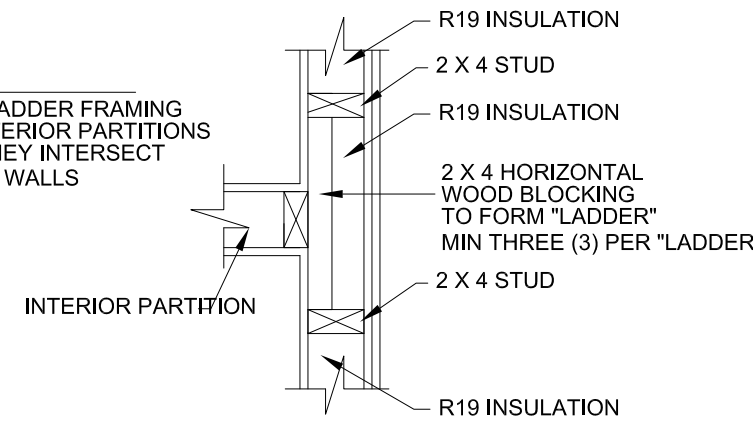
**NOTE:**  
USE THIS FRAMING DETAIL AT ALL CORNER CONDITIONS IN THE EXTERIOR WALL IN ORDER TO PROVIDE THE MOST EFFECTIVE INSULATION



**CORNER FRAMING DETAIL**

**A**  
3.0  
SCALE: 1" = 1'-0"

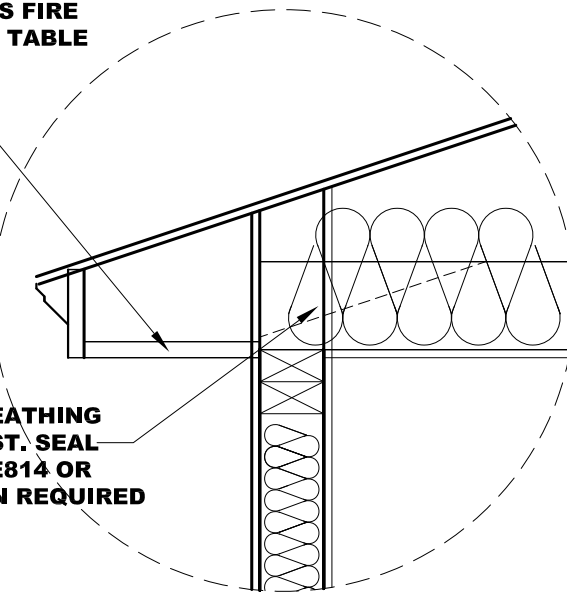
**NOTE:**  
TYPICAL LADDER FRAMING AT ALL INTERIOR PARTITIONS WHERE THEY INTERSECT EXTERIOR WALLS



**PLAN FRAMING DETAIL**

**B**  
3.0  
SCALE: 1" = 1'-0"

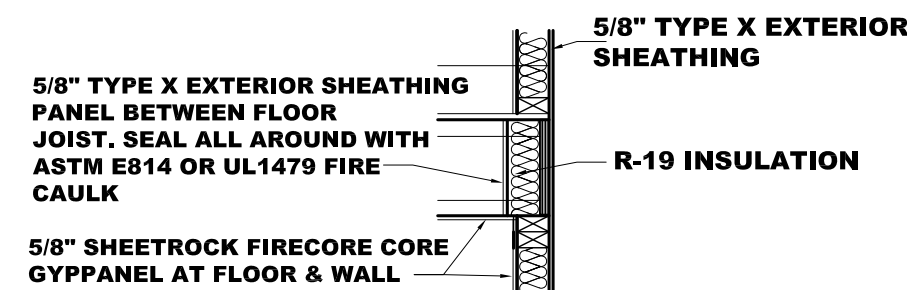
1/4" NON VENTED CEMENT BASE SOFFIT AS FIRE BLOCKING PER TABLE R302.1



5/8" TYPE X EXTERIOR SHEATHING GYP PANEL BETWEEN JOIST. SEAL ALL AROUND WITH ASTM E814 OR UL1479 FIRE CAULK (WHEN REQUIRED FOR FIRE RATED WALLS.)

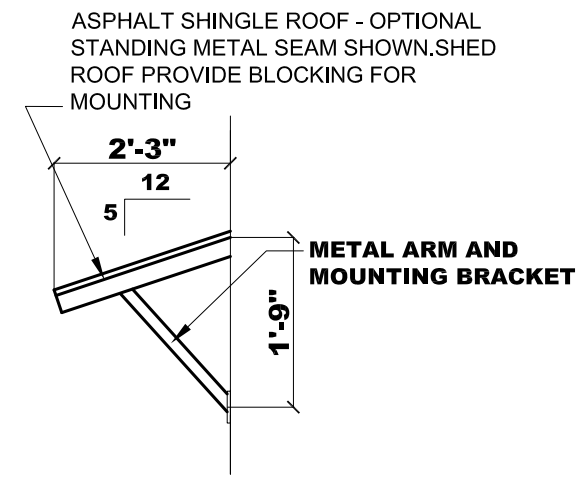
**OPTIONAL 1 HR RATED WALL AT EAVE - ALT A**

**E**  
3.0  
SCALE: 1/2" = 1'-0"

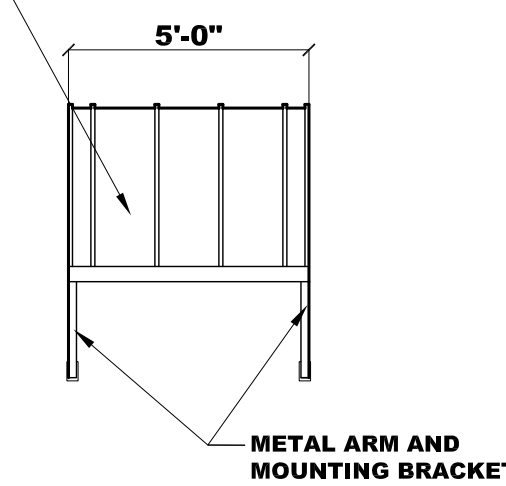


**ALTERNATE 1 HR RATED WALL**

**C**  
3.0  
SCALE: 1/2" = 1'-0"



ASPHALT SHINGLE ROOF - OPTIONAL STANDING METAL SEAM SHOWN. SHED ROOF PROVIDE BLOCKING FOR MOUNTING

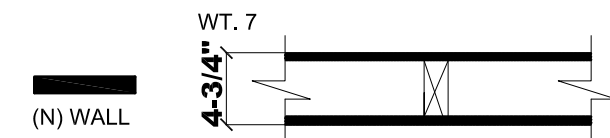


**AWNINGS**

**D**  
3.0  
SCALE: NTS

**OPTIONAL RATED WALL TYPES**

**UL DES U305, U314**

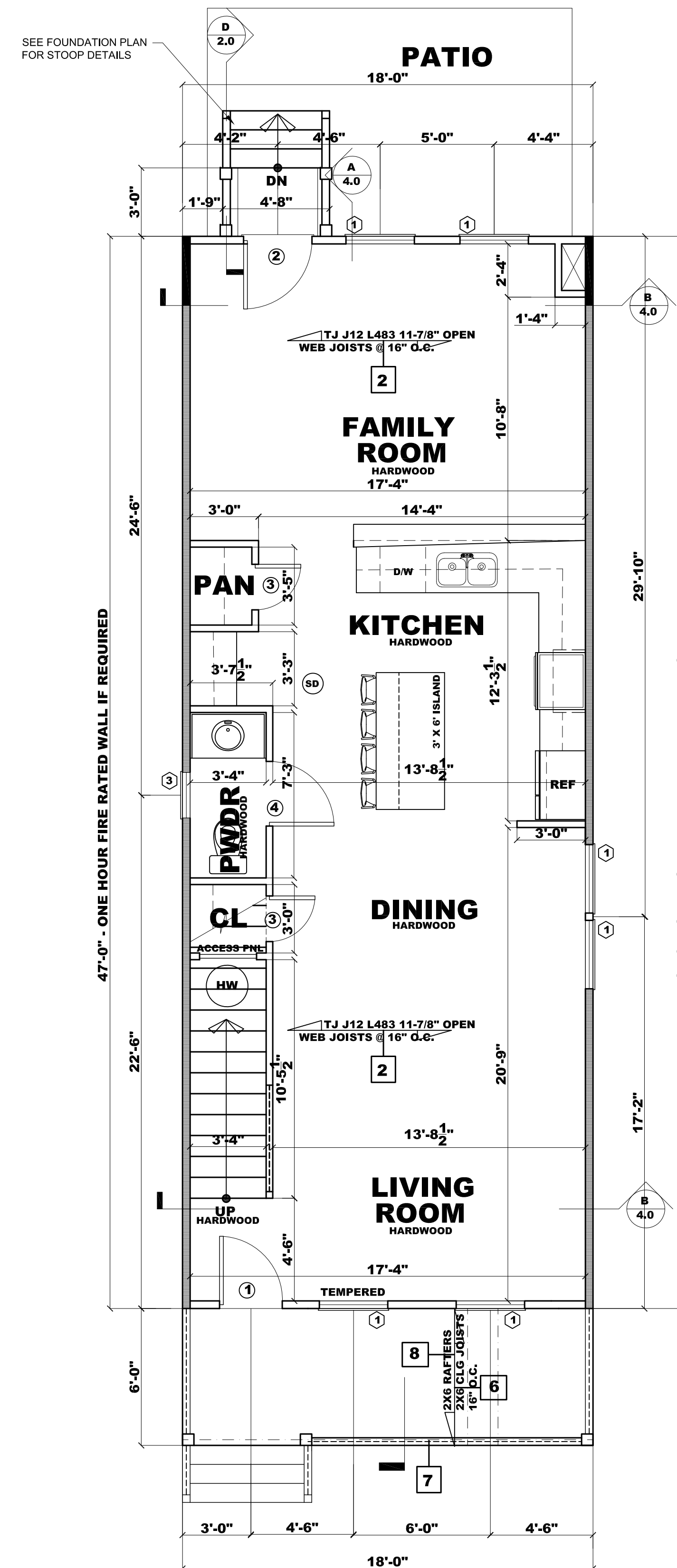


EXTERIOR SIDE: 5/8" DENSGLASS FIREGUARD SHEATHING OR TOUGHROCK FIREGUARD X SHEATHING APPLIED VERTICALLY OR HORIZONTALLY TO 2X4 WOOD STUDS 16" O.C. WITH 1-3/4" GALVANIZED ROOFING NAILS 7" O.C. EXTERIOR SURFACE COVERED WITH WEATHER EXPOSED CLADDING OR FINISH SYSTEM.

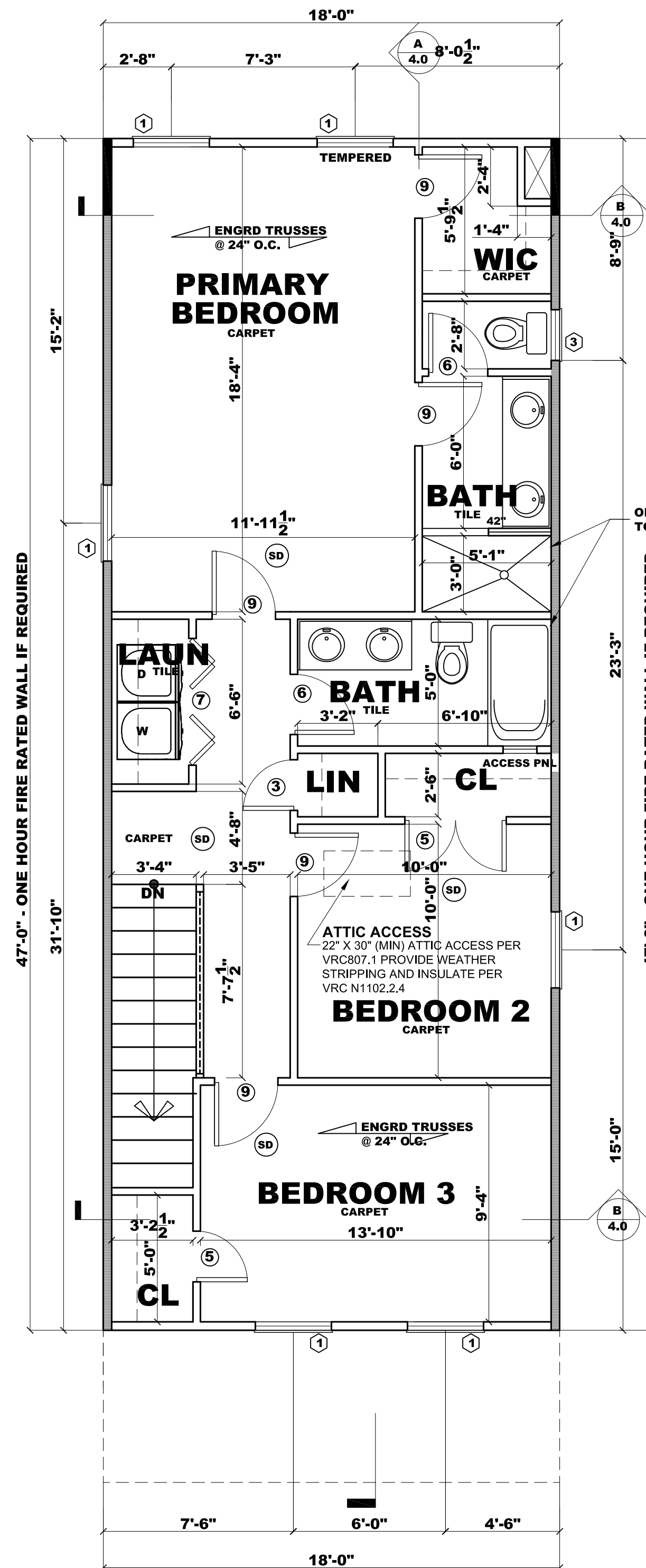
INTERIOR SIDE: ONE LAYER 5/8" TOUGHROCK FIREGUARD X PRODUCTS OR 5/8" DENSARMOR PLUS FIREGUARD GYPSUM PANELS APPLIED VERTICALLY OR HORIZONTALLY TO STUDS WITH 1-7/8" 6d COATED 7" O.C. STAGGER JOINTS EACH SIDE, ULC W301 ALLOWS VERTICAL APPLICATION ONLY.

5/8" SHEETROCK TYPE X EXTERIOR SHEATHING

(E) WALL W/ 5/8" FIRECORE GYP PANEL, INTERIOR SIDE



**1 FIRST FLOOR PLAN**  
3.0 SCALE: 1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
3.0 SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	718 Lincoln Avenue



Residential Design Services  
11924 Longfellow Drive  
Midlothian, Virginia 23112  
804.334.7413

**PERSAUD HOLDINGS, LLC**  
2100 E PARHAM ROAD, ST 3181  
RICHMOND, VIRGINIA 23227

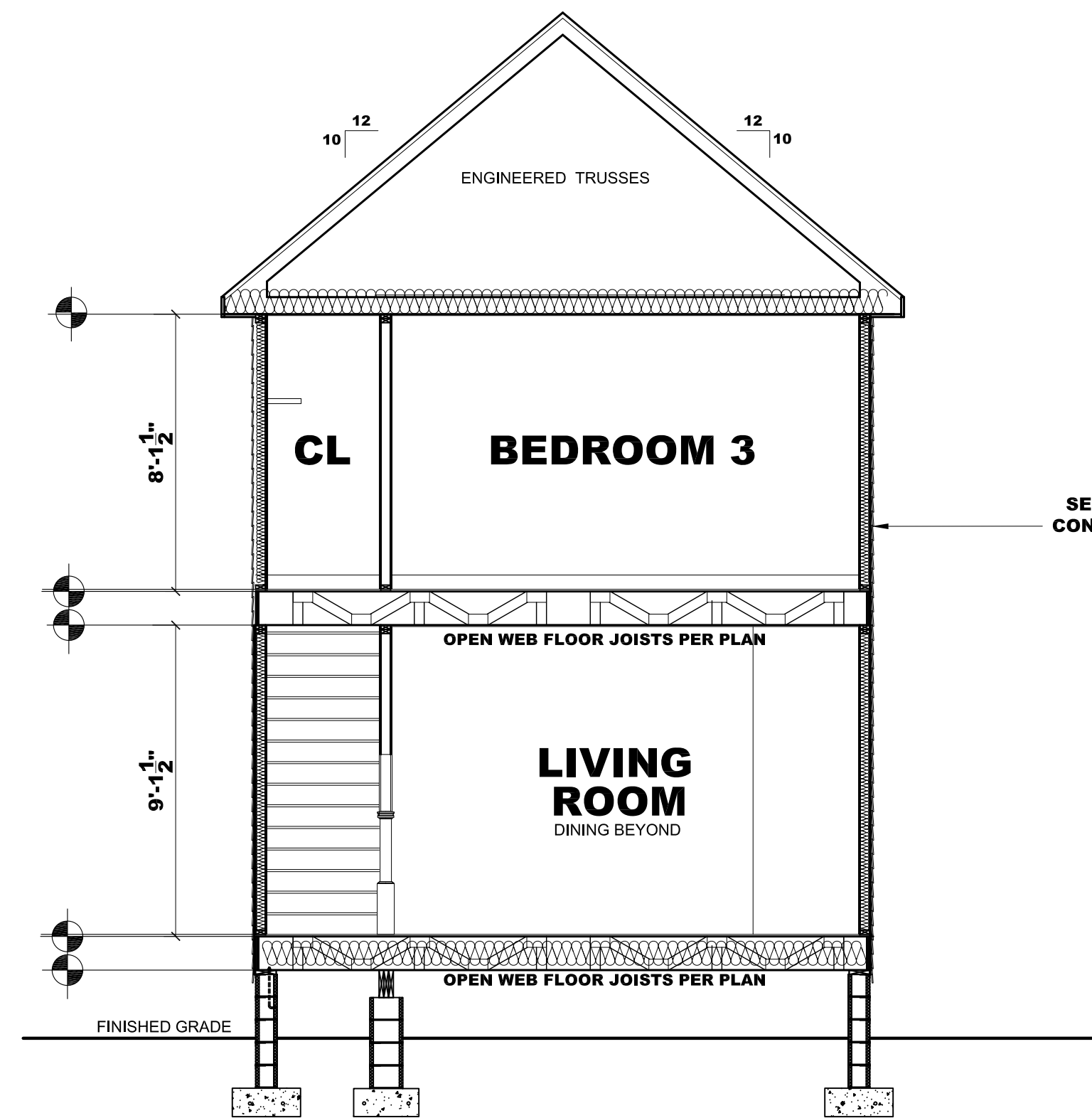
718 LINCOLN AVENUE  
RICHMOND, VIRGINIA

1ST & 2ND FLOOR PLAN & DETAILS

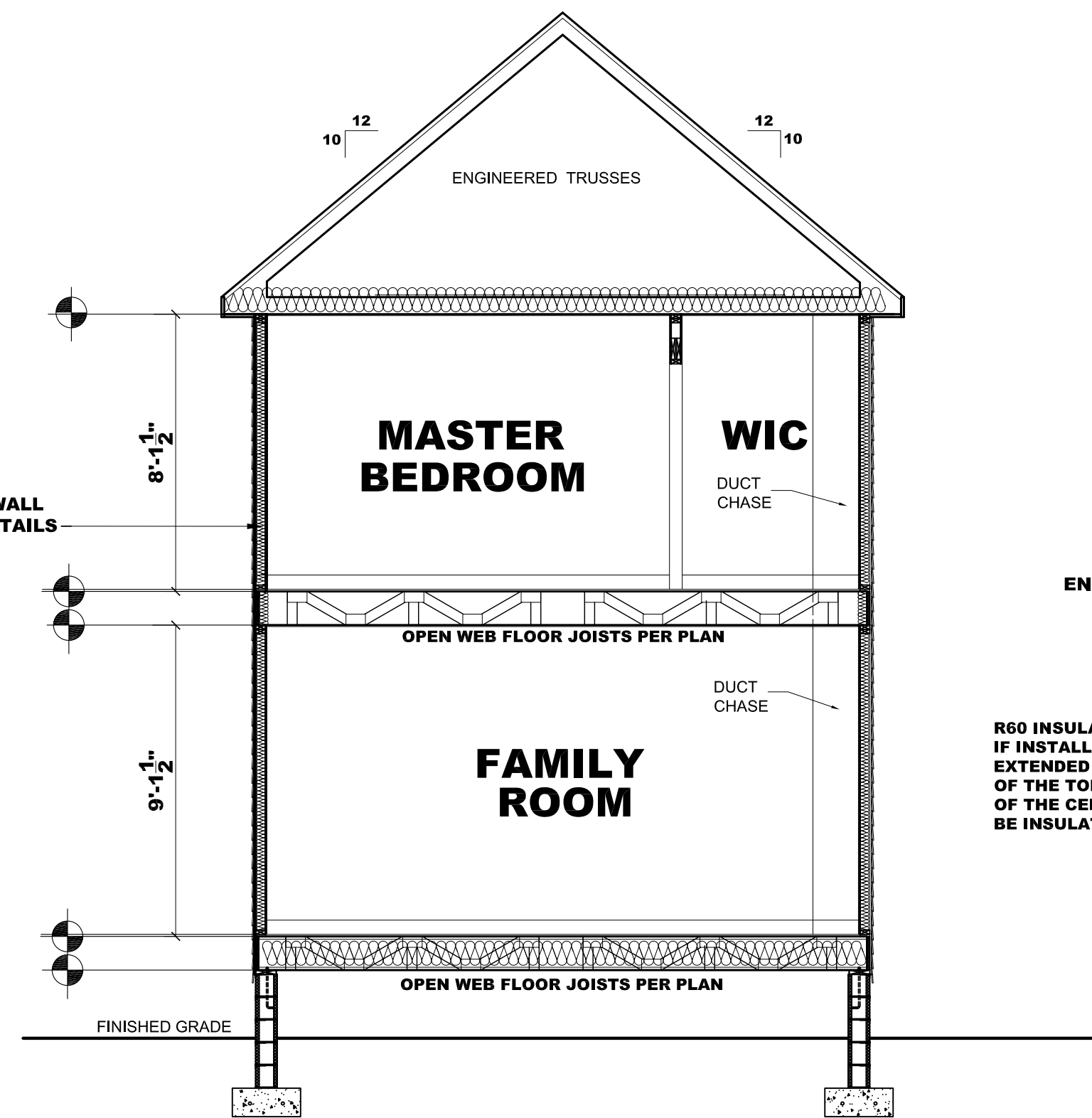
Project

Drawing No.

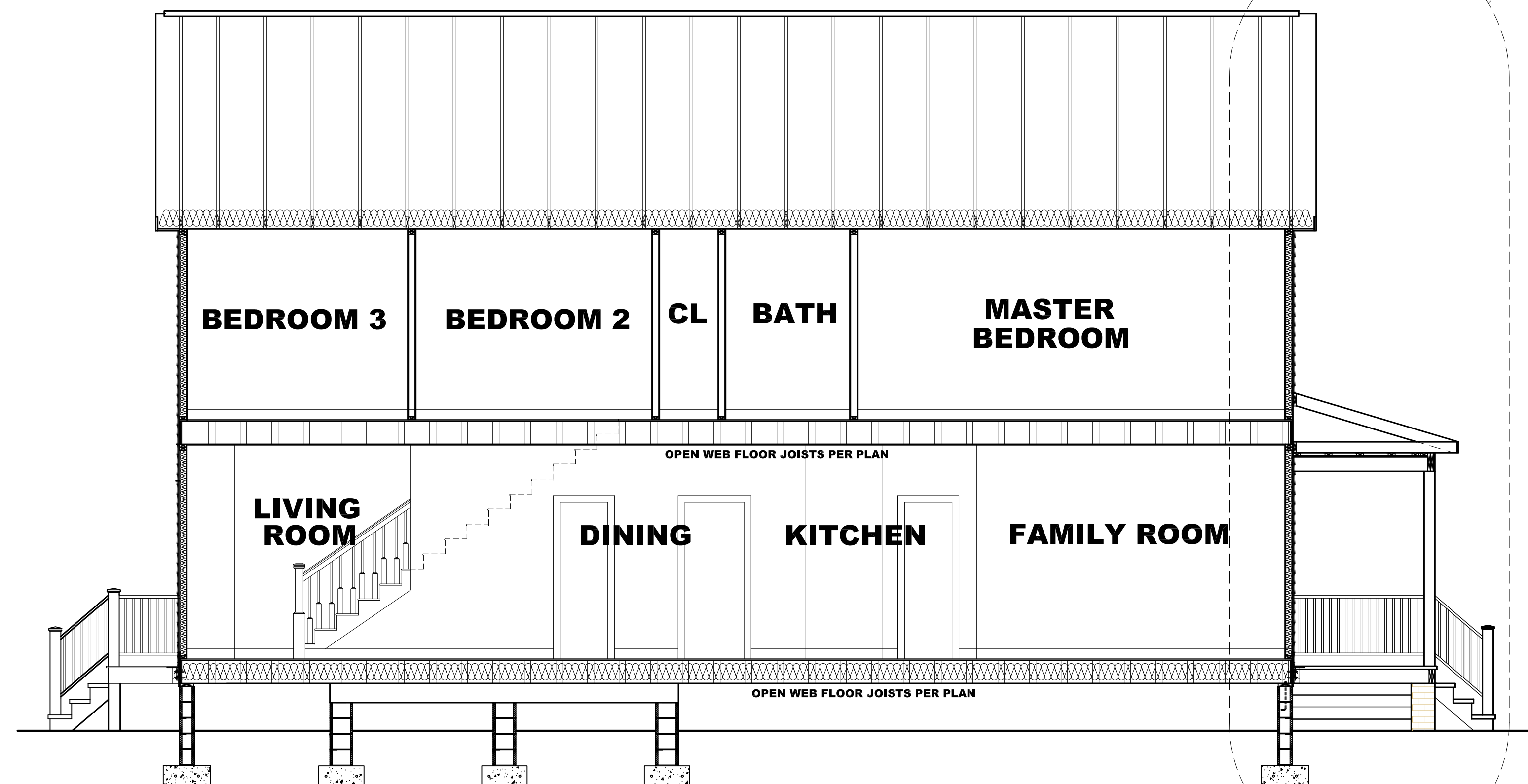
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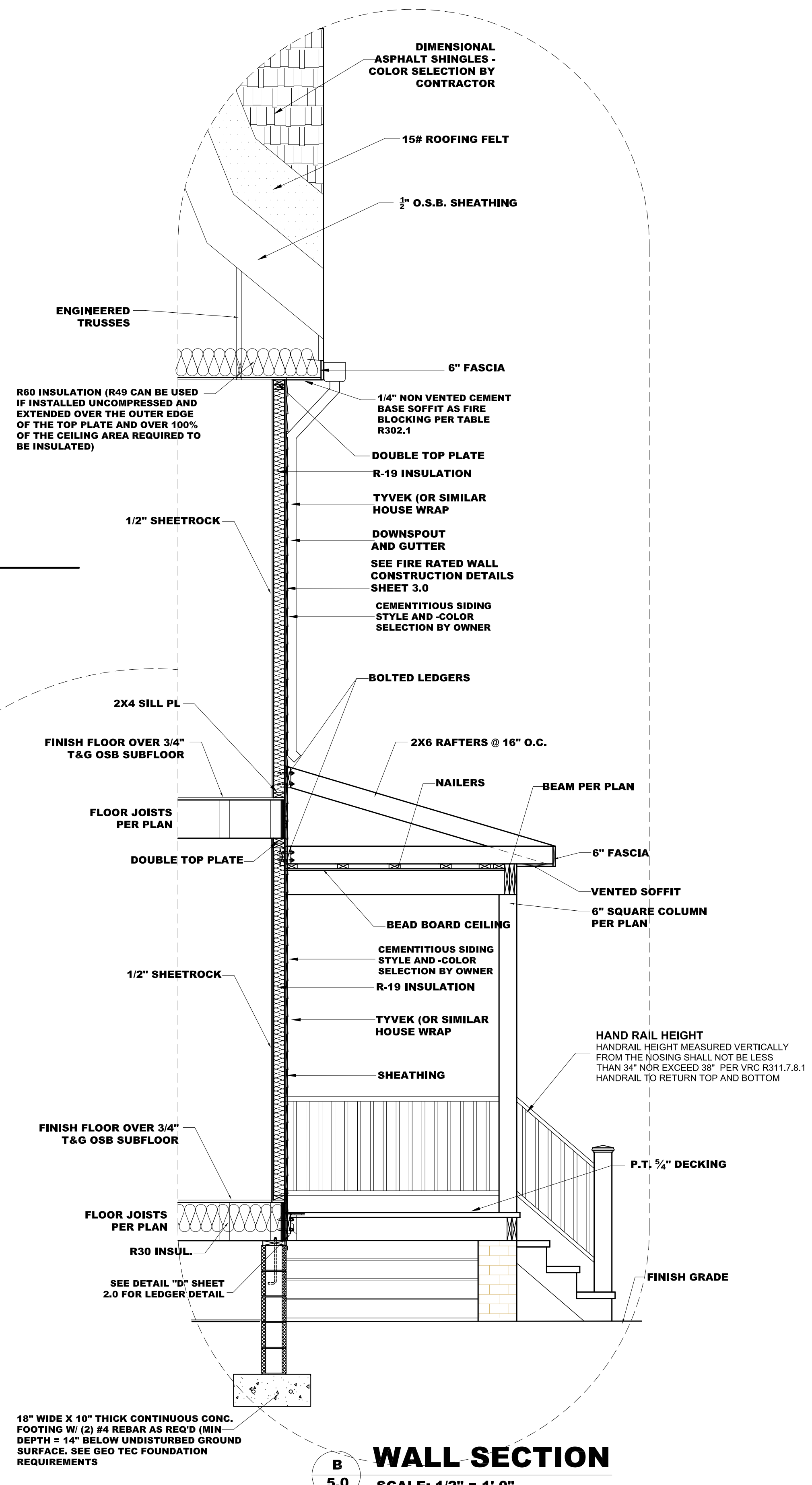
**A**  
4.0  
**SECTION THRU HOUSE**  
SCALE: 1/4" = 1'-0"



**C**  
4.0  
**SECTION THRU HOUSE**  
SCALE: 1/4" = 1'-0"



**B**  
4.0  
**SECTION THRU HOUSE**  
SCALE: 1/4" = 1'-0"



**B**  
5.0  
**WALL SECTION**  
SCALE: 1/2" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
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Date	05.11.2026
Project	718 Lincoln Avenue

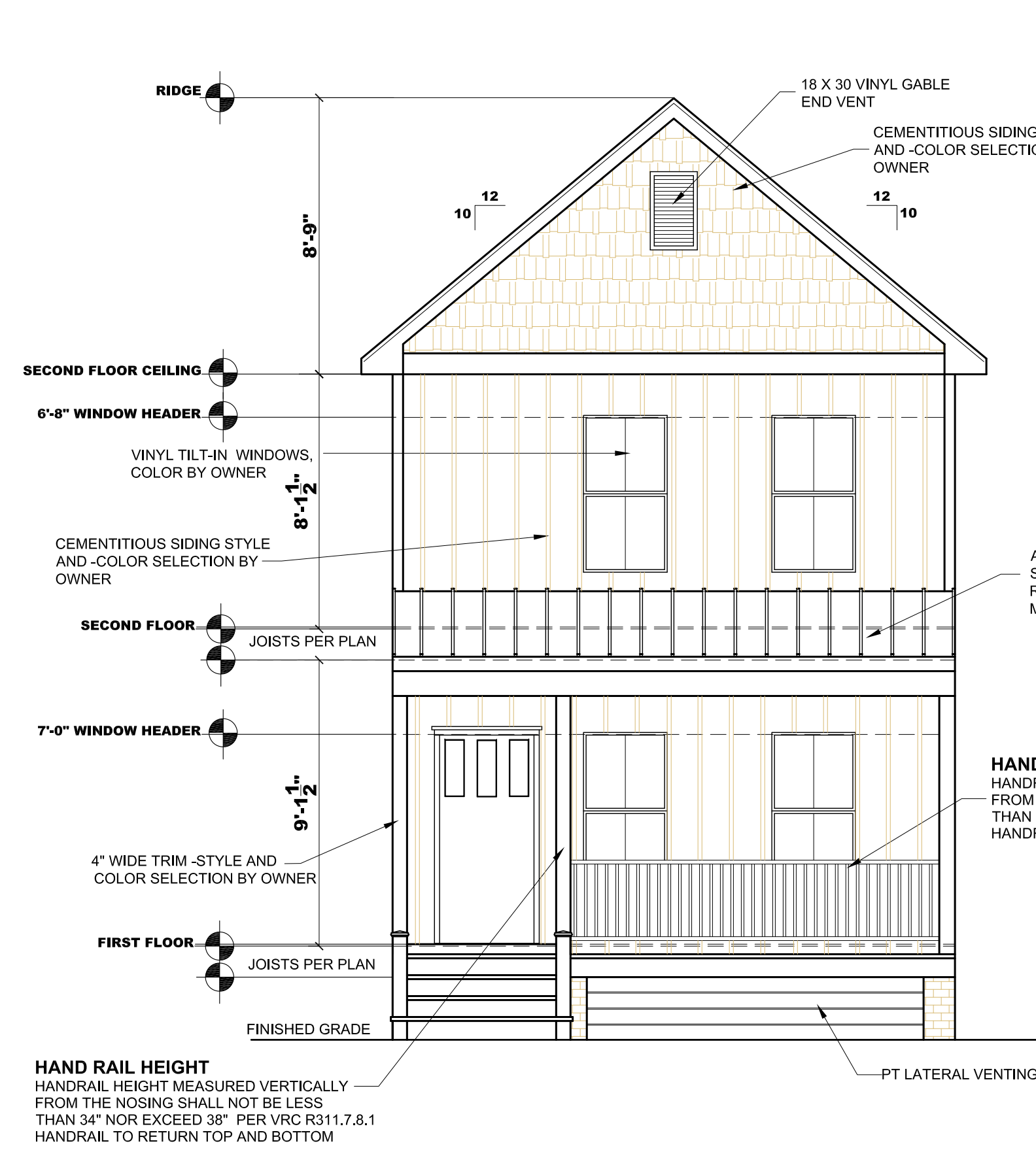


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2100 E PARHAM ROAD, ST 3181  
RICHMOND, VIRGINIA 23227

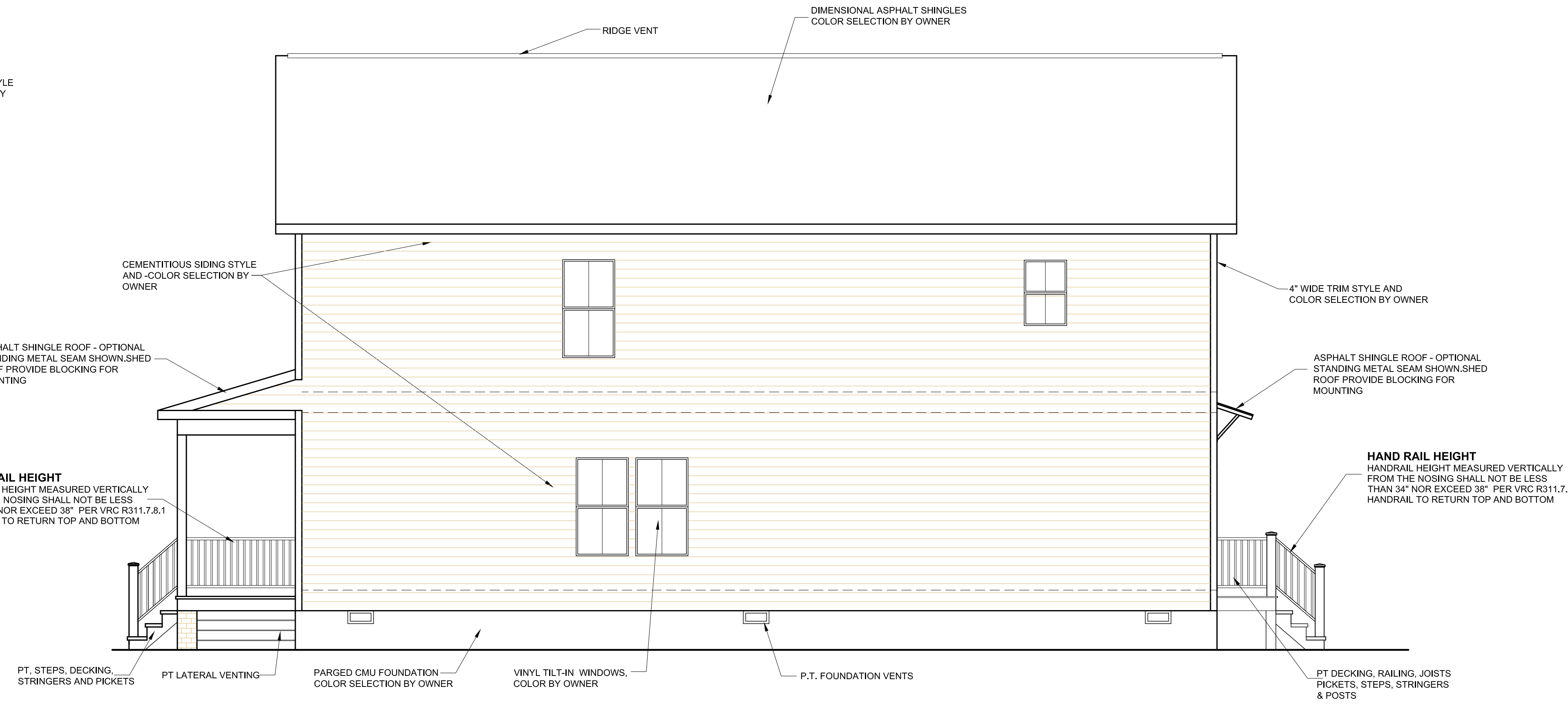
718 LINCOLN AVENUE  
RICHMOND, VIRGINIA

HOUSE SECTIONS AND  
WALL SECTION

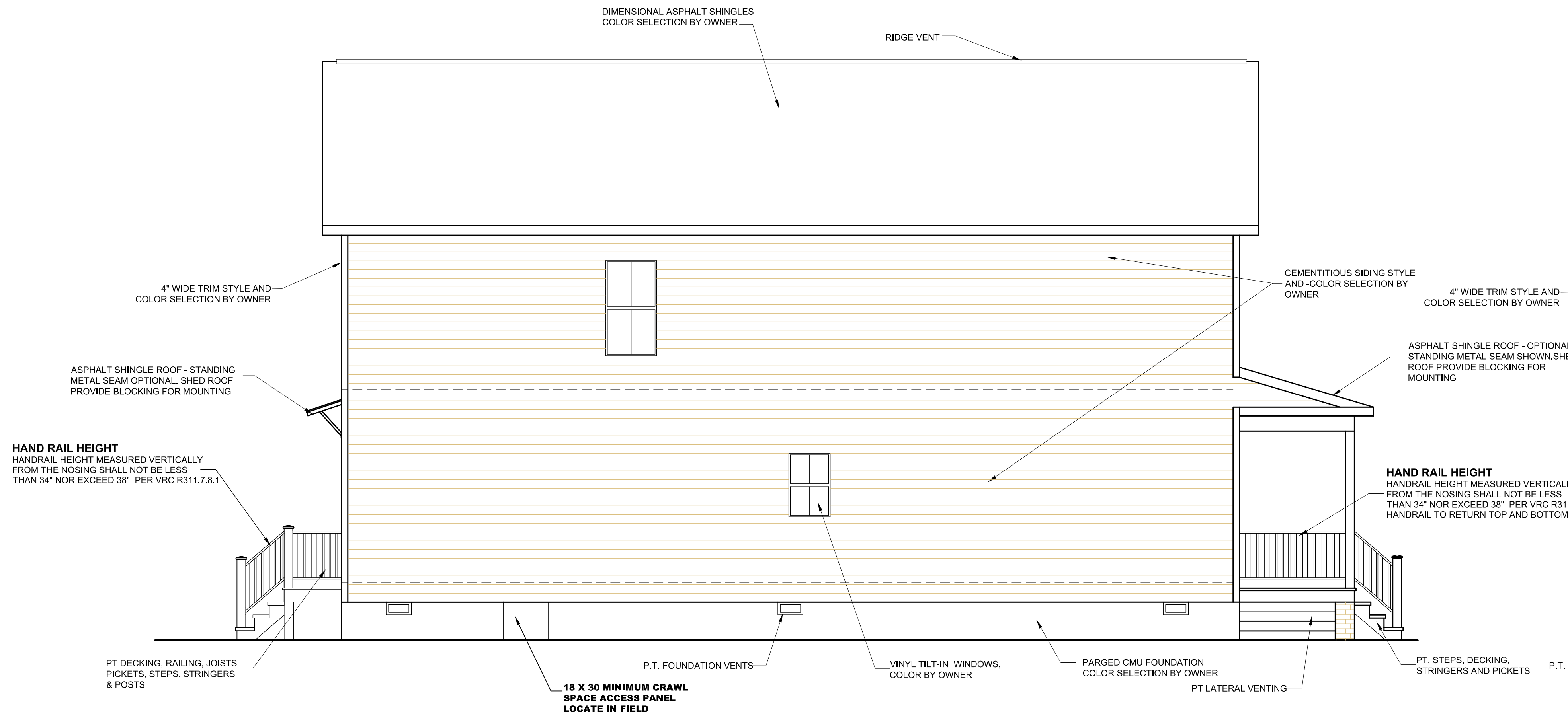
Project  
Drawing No.  
**4.0**



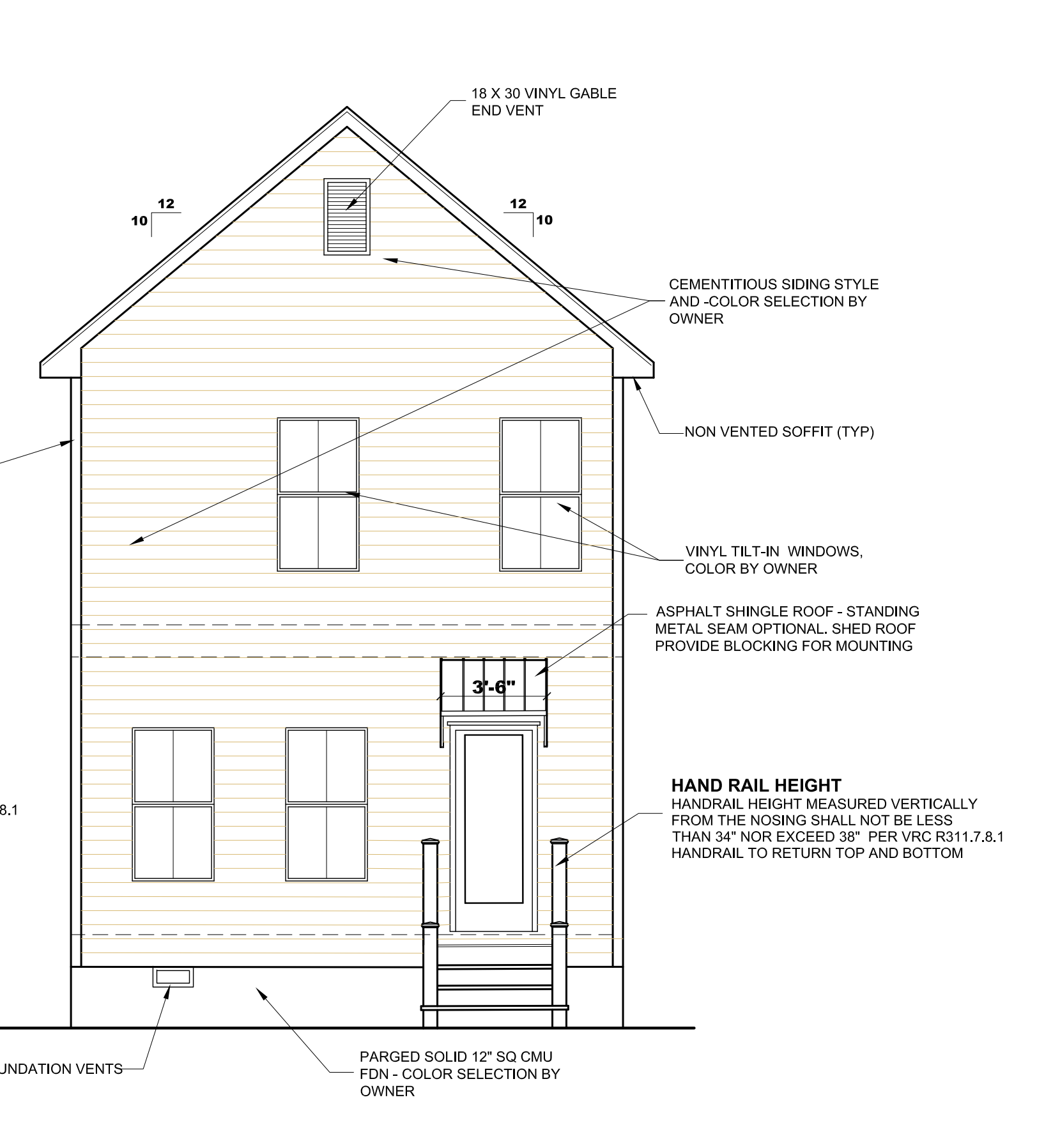
**1 FRONT ELEVATION**  
 5.0 SCALE: 1/4" = 1'-0"



**2 RIGHT SIDE ELEVATION**  
 5.0 SCALE: 1/4" = 1'-0"



**4 LEFT SIDE ELEVATION**  
 5.0 SCALE: 1/4" = 1'-0"



**3 REAR ELEVATION**  
 5.0 SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
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Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	718 Lincoln Avenue

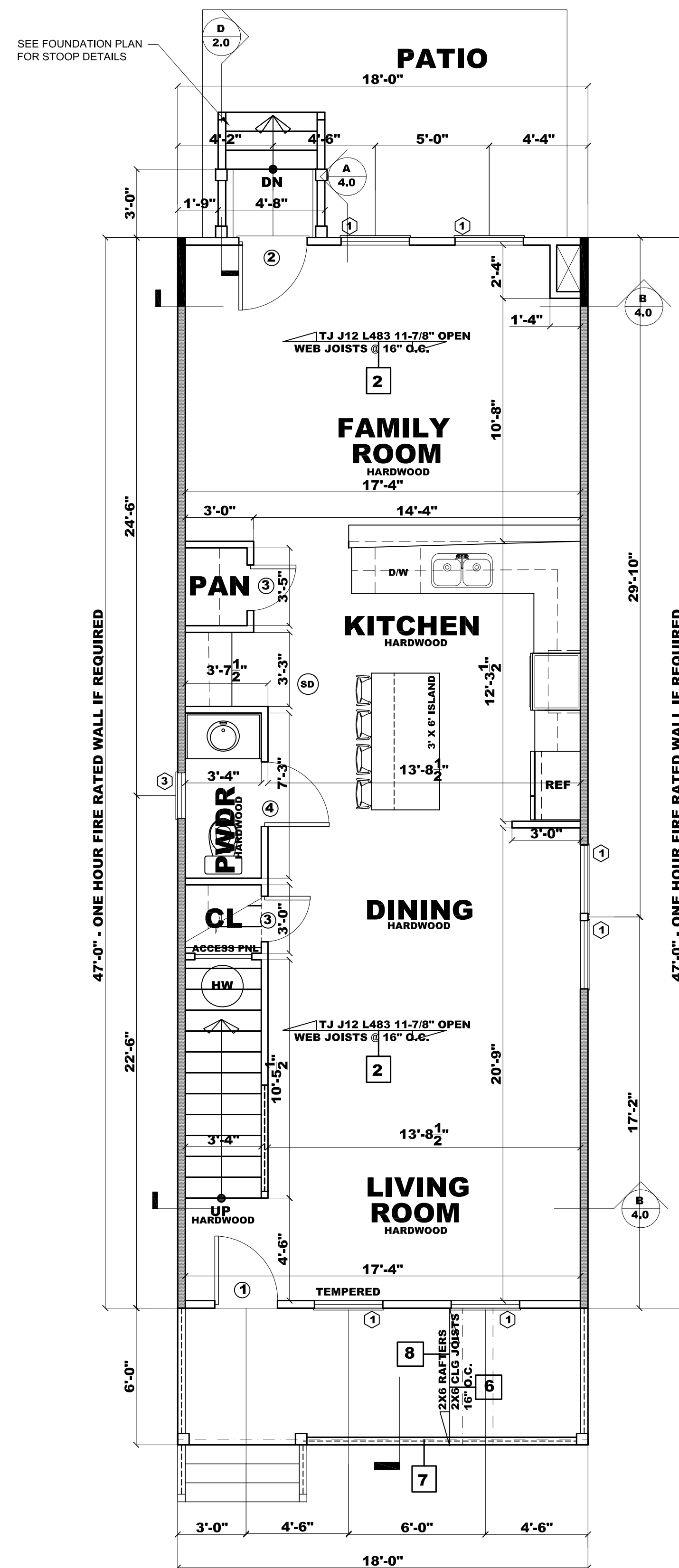


**PERSAUD HOLDINGS, LLC**  
**2100 E PARHAM ROAD, ST 3181**  
**RICHMOND, VIRGINIA 23227**

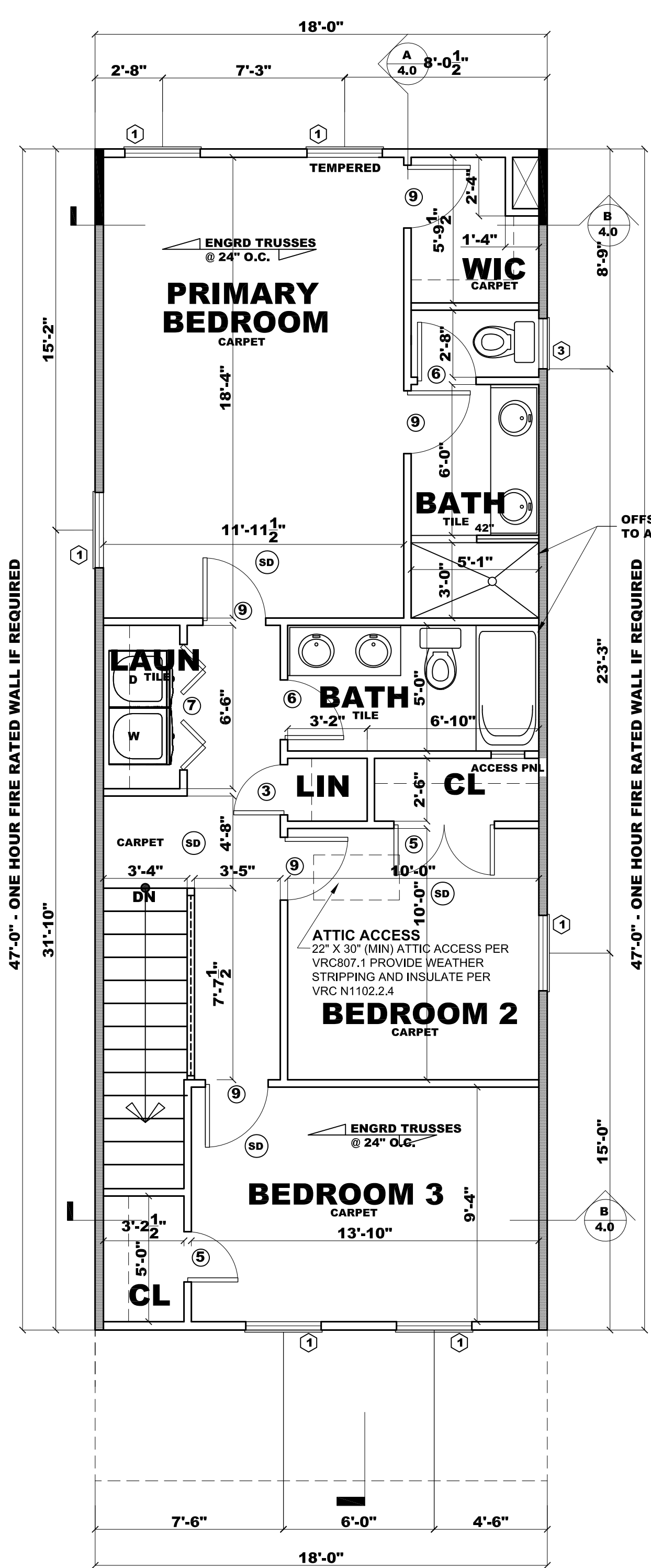
718 LINCOLN AVENUE  
 RICHMOND, VIRGINIA

ELEVATIONS

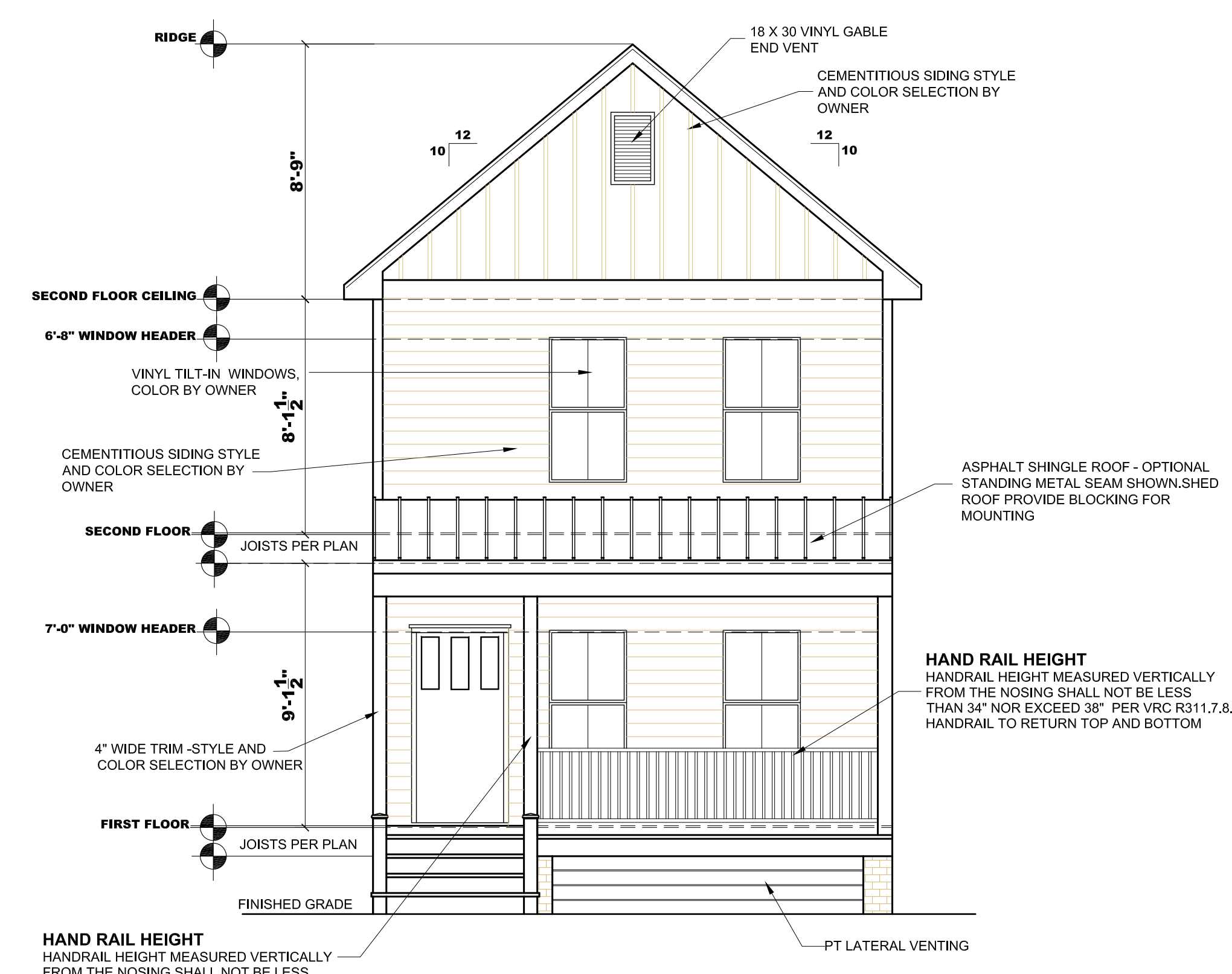
Project  
 Drawing No. **5.0**



**1**  
3.0 **FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2**  
3.0 **SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1**  
5.0 **FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	722 Lincoln Avenue



**PERSAUD HOLDINGS, LLC**  
**2100 E PARHAM ROAD, ST 3181**  
**RICHMOND, VIRGINIA 23227**

BZA PRESENTATION  
 722 LINCOLN AVENUE  
 RICHMOND, VIRGINIA

Project  
 Title  
**FIRST AND SECOND FLOOR PLAN AND FRONT ELEVATION**

Drawing No.  
**0.0**

# PROJECT DATA

## LIST OF DRAWINGS

- 1.0 SITE PLAN, CODE NOTES, LEGEND
- 2.0 FOUNDATION PLAN, ROOF PLAN AND DETAILS
- 3.0 FIRST AND SECOND FLOOR PLAN AND DETAILS
- 4.0 HOUSE SECTIONS AND WALL SECTION
- 5.0 ELEVATIONS
- 6.0 BRACED WALL PLANS AND CALCULATIONS

## CODE NOTES

- 2021 VIRGINIA UNIFORM BUILDING CODE  
2021 IRC
- 1.0 BUILDING USE GROUP: RESIDENTIAL - R3 SINGLE FAMILY DETACHED
  - 2.0 BUILDING AREA: FIRST FLOOR 840 SQ FT  
SECOND FLOOR 840 SQ FT  
HEATED SQ FT 1,680 SQ FT
  - 3.0 LOT SIZE - 30' X 115' = 3,450 SQ FT. ZONING ALLOWS 35% OF LOT SIZE FOR FOOTPRINT  
MAX FOOTPRINT SIZE IS 840 SQ FT. THIS PLAN REPRESENTS 24% OF LOT SQUARE  
FOOTAGE

## DESIGN LOADS

SNOW	25P.S.F.
DEAD LOAD	10P.S.F.
SEISMIC	0.5P.S.F.
WIND	90P.S.F.
LIVE (EXCEPT BEDROOMS)	40P.S.F.
DEAD	10P.S.F.
LIVE (BEDROOMS)	30P.S.F.
GARAGE	50P.S.F.
STAIRS	40P.S.F.

## NOTE

THESE DRAWINGS ARE INTENDED TO PORTRAY THE WORK SHOWN. THEY DO NOT SHOW EVERY CONSTRUCTION DETAIL. THE GENERAL CONTRACTOR BY TAKING ON THIS PROJECT, IS RESPONSIBLE FOR ALL CONSTRUCTION. THE G.C. ACKNOWLEDGES THAT HE IS EXPERIENCED WITH CONSTRUCTION OF THIS TYPE AND IS FULLY CAPABLE OF IMPLEMENTING SUCH WORK SO AS TO IMPLEMENT IT'S CONSTRUCTION AND COMPLETION IN A TIMELY MANNER.

# SCHEDULES

## WINDOW SCHEDULE

NO	SIZE	MAT'L	GRILLE	MODEL	EGRESS
1	3/0X5/0	VINYL	2/2	DH TILT-IN	YES
2	-	-	-	-	-
3	2/0X3/2	VINYL	2/2	DH TILT-IN	NO
4	-	-	-	-	-
5	-	-	-	-	-
6	-	-	-	-	-
7	-	-	-	-	-

STYLE AND SELECTION BY OWNER

2021 VRC SECTION N1102 (R402) BUILDING THERMAL ENVELOPE  
FENESTRATION U FACTOR = 0.30  
GLAZED FENESTRATION SHGC = 0.40

ALL DOOR AND WINDOW HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2 UNO

## DOOR SCHEDULE

DOOR	SIZE	TYPE
1	3/0X6/8	EXTERIOR METAL WITH VIEW WINDOWS
2	3/0X6/8	EXTERIOR METAL FULL LIGHT
3	2/0X6/8	INTERIOR FIVE PANEL
4	2/10X6/8	INTERIOR FIVE PANEL
5	(2)2/0X6/8	INTERIOR FIVE PANEL
6	2/4X6/8	INTERIOR FIVE PANEL
7	5/0X6/8	INTERIOR FIVE PANEL BI FOLD
8	2/8X6/8	EXTERIOR METAL - FULL LIGHT
9	2/6X6/8	INTERIOR FIVE PANEL
10	-	-

ALL DOOR HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

# LEGEND

	<b>BRICK VENEER</b>		<b>RECESSED CAN LIGHT</b>
	<b>C.M.U.</b>		<b>EXHAUST FAN</b>
	<b>NON-LOAD BEARING INTERIOR WALLS - 2X4 STUDS @ 24" O.C.</b>		<b>GARBAGE DISPOSAL</b>
	<b>EXTERIOR BRICK VENEER WITH 2X6 STUDS @ 16" O.C.</b>		<b>110VOLT RECEPTACLE</b>
	<b>"8 C.M.U. WALL AND FOOTING</b>		<b>GROUND FAULT INTERRUPTION</b>
	<b>SECTION DESIGNATION</b>		<b>WEATHER PROOF GROUND FAULT INTERRUPTION</b>
	<b>DOOR DESIGNATION</b>		<b>DRYER RECEPTACLE</b>
	<b>WINDOW DESIGNATION</b>		<b>RANGE RECEPTACLE</b>
	<b>LIGHT FIXTURE</b>		<b>TELEPHONE</b>
	<b>WALL MTD LIGHT FIXTURE</b>		<b>CABLE TELEVISION</b>
	<b>LIGHT FIXTURE</b>		<b>SWITCH @ 50" A.F.F.</b>
	<b>EXTERIOR DBL FLOOD LIGHT WITH MOTION SENSOR</b>		<b>3-WAY SWITCH @ 50" A.F.F.</b>
	<b>SURFACE MTD FLORESCENT NO. INDICATES LENGTH</b>		<b>SMOKE DETECTOR</b>
			<b>DOOR BELL TRANSFORMER</b>
			<b>RECESSED ELECTRICAL PANEL</b>
			<b>CEILING FAN - WHEN DASHED, ROUGH-IN AND PROVIDE BLANK COVER FOR FUTURE USE, OTHER WISE INSTALL WHERE SHOWN</b>

# STRUCTURAL SCHEDULE

NO	MEMBER NAME	RESULTS	CURRENT SOLUTION
1	FIRST FLOOR FLOOR JOISTS	PASSED	TRIM JOIST J12 L483 11-7/8" @ 16" O.C.
2	SECOND FLOOR FLOOR JOISTS	PASSED	TRIM JOIST J12 L483 11-7/8" @ 16" O.C.
3	STAIRCASE GIRDERS	PASSED	3 PIECE(S) 2X10 SOUTHERN PINE NO. 2
4	FRONT PORCH GIRDER	PASSED	2 PIECE(S) 2X10 SOUTHERN PINE NO. 2
5	FRONT PORCH FLOOR JOISTS	PASSED	1 PIECE(S) 2X8 SOUTHERN PINE NO. 2 @ 16" O.C.
6	FRONT PORCH CEILING JOISTS	PASSED	1 PIECE(S) 2X6 SOUTHERN PINE NO. 2 @ 16" O.C.
7	FRONT PORCH BEAM	PASSED	2 PIECE(S) 2X10 SOUTHERN PINE NO. 2
8	FRONT PORCH RAFTERS	PASSED	1 PIECE(S) 2X6 SOUTHERN PINE NO. 2 @ 16" O.C.
9	-	-	-
10	-	-	-
11	-	-	-
12	-	-	-
13	-	-	-
14	-	-	-
15	-	-	-
16	-	-	-
17	-	-	-
18	-	-	-
19	-	-	-
20	-	-	-

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	722 Lincoln Avenue



Residential Design Services  
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Midlothian, Virginia 23112  
804.334.7413

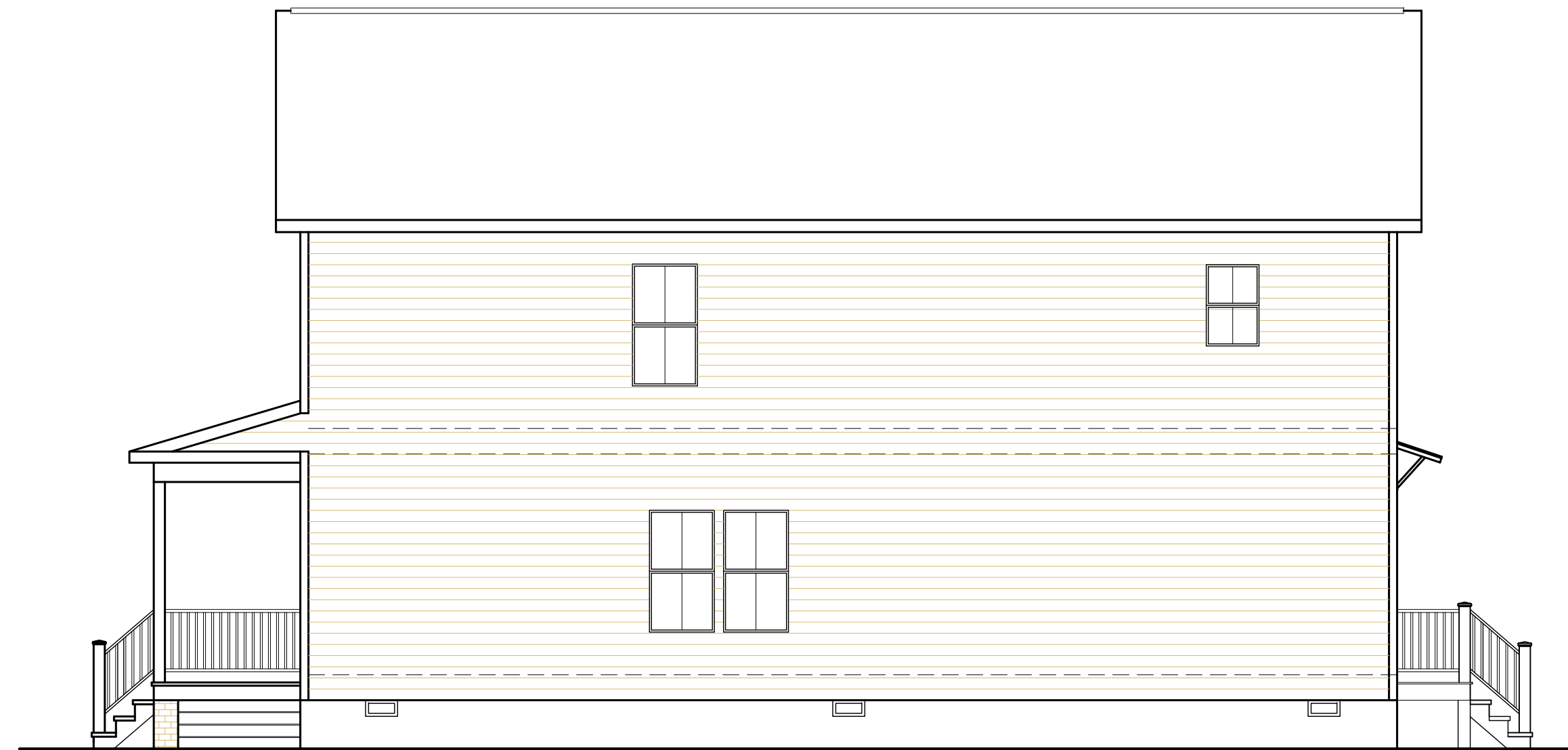
**PERSAUD HOLDINGS, LLC**  
**2100 E PARHAM ROAD, ST 3181**  
**RICHMOND, VIRGINIA 23227**

722 LINCOLN AVENUE  
RICHMOND, VIRGINIA

Project  
Title

722 LINCOLN AVENUE  
RICHMOND, VIRGINIA  
SITE PLAN, CODE NOTES AND  
FRONT ELEVATION

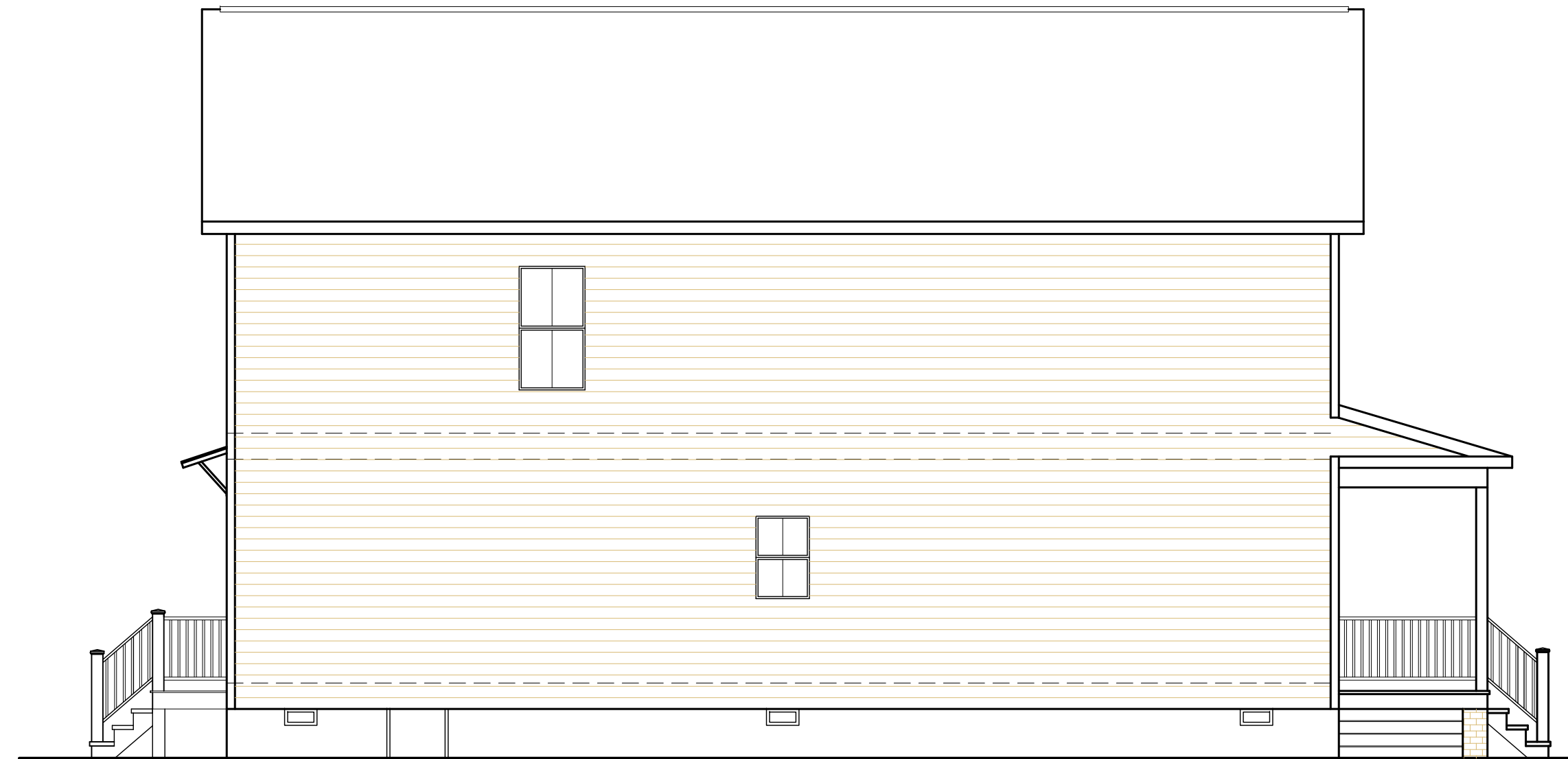
Drawing No.  
**1.0**



**4 RIGHT SIDE ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"



**1 FRONT ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"

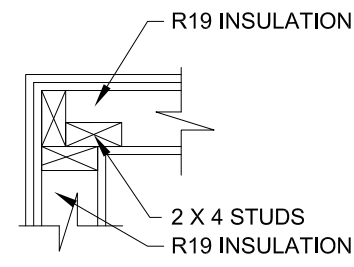


**3 LEFT SIDE ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"



**2 REAR ELEVATION**  
1.0 SCALE: 3/16" = 1'-0"

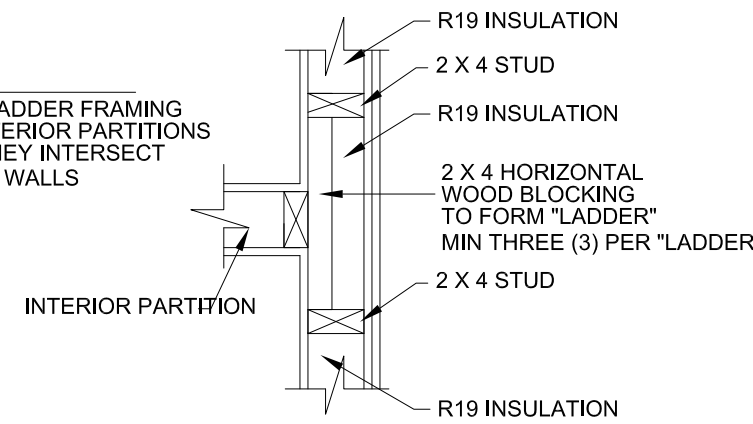
**NOTE:**  
USE THIS FRAMING DETAIL AT ALL CORNER CONDITIONS IN THE EXTERIOR WALL IN ORDER TO PROVIDE THE MOST EFFECTIVE INSULATION



**CORNER FRAMING DETAIL**

**A**  
3.0  
SCALE: 1" = 1'-0"

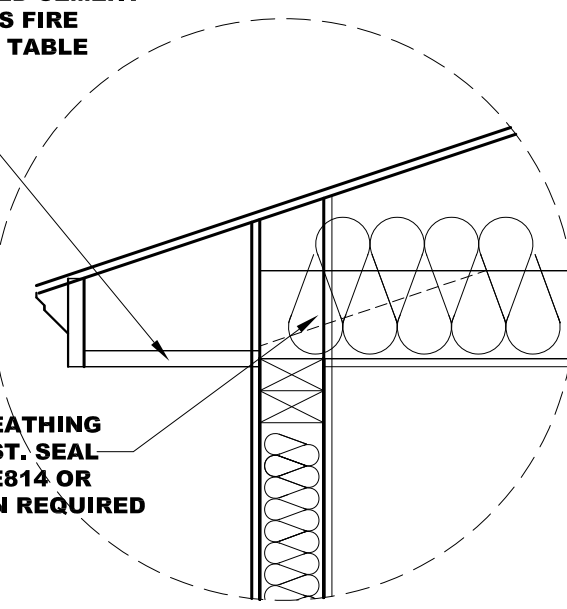
**NOTE:**  
TYPICAL LADDER FRAMING AT ALL INTERIOR PARTITIONS WHERE THEY INTERSECT EXTERIOR WALLS



**PLAN FRAMING DETAIL**

**B**  
3.0  
SCALE: 1" = 1'-0"

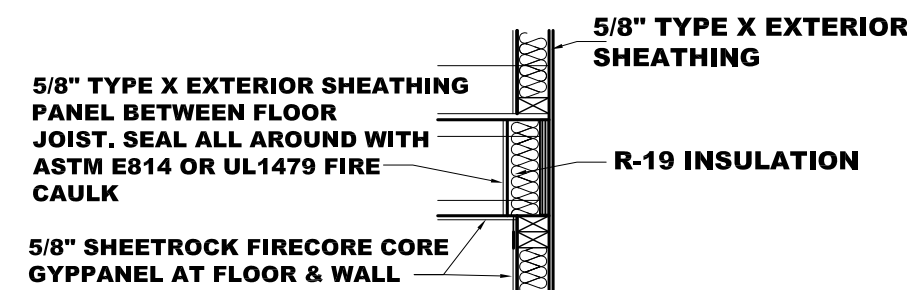
1/4" NON VENTED CEMENT BASE SOFFIT AS FIRE BLOCKING PER TABLE R302.1



5/8" TYPE X EXTERIOR SHEATHING GYP PANEL BETWEEN JOIST. SEAL ALL AROUND WITH ASTM E814 OR UL1479 FIRE CAULK (WHEN REQUIRED FOR FIRE RATED WALLS.)

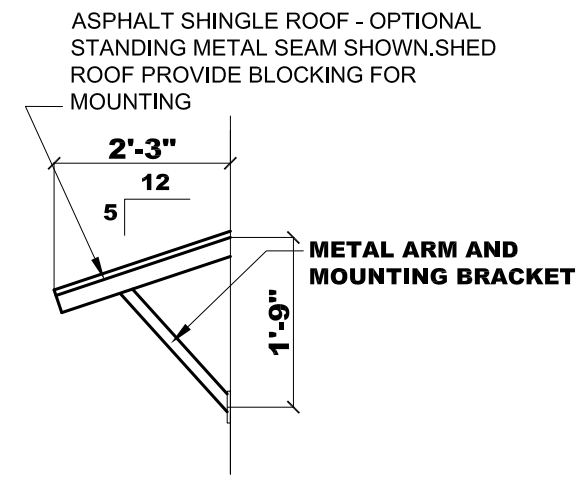
**OPTIONAL 1 HR RATED WALL AT EAVE - ALT A**

**E**  
3.0  
SCALE: 1/2" = 1'-0"

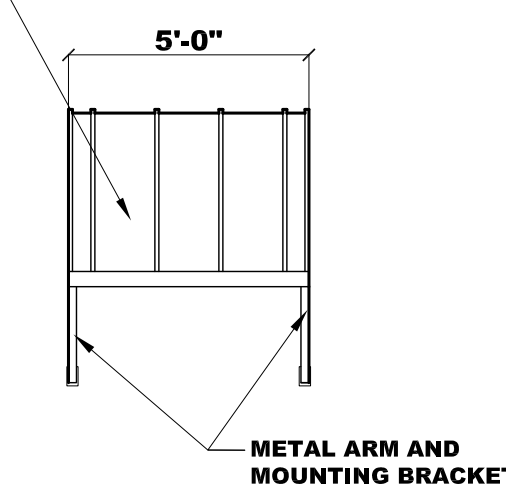


**ALTERNATE 1 HR RATED WALL**

**C**  
3.0  
SCALE: 1/2" = 1'-0"



ASPHALT SHINGLE ROOF - OPTIONAL STANDING METAL SEAM SHOWN. SHED ROOF PROVIDE BLOCKING FOR MOUNTING

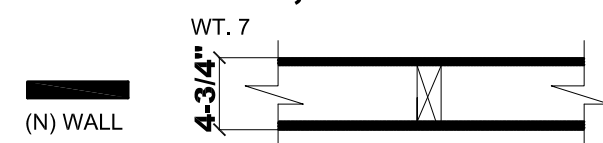


**AWNINGS**

**D**  
3.0  
SCALE: NTS

**OPTIONAL RATED WALL TYPES**

**UL DES U305, U314**

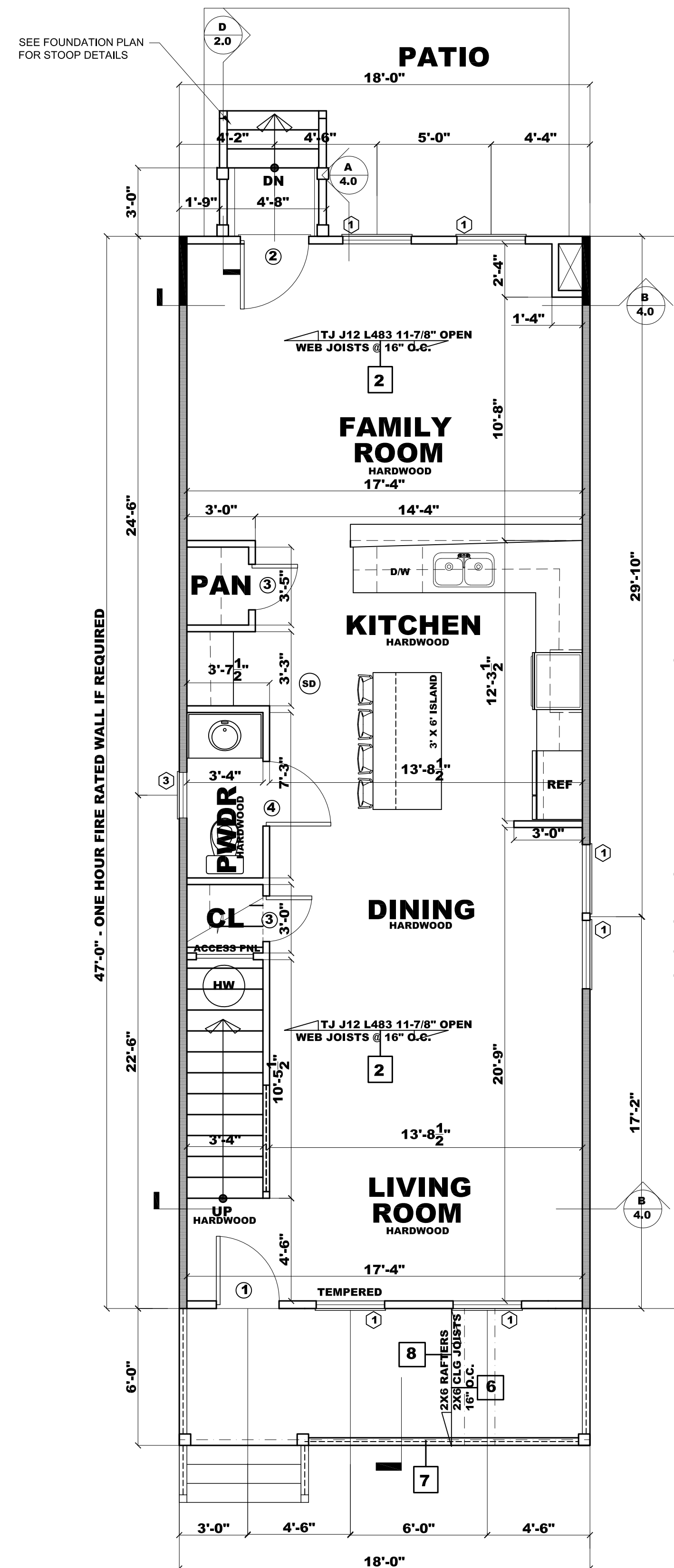


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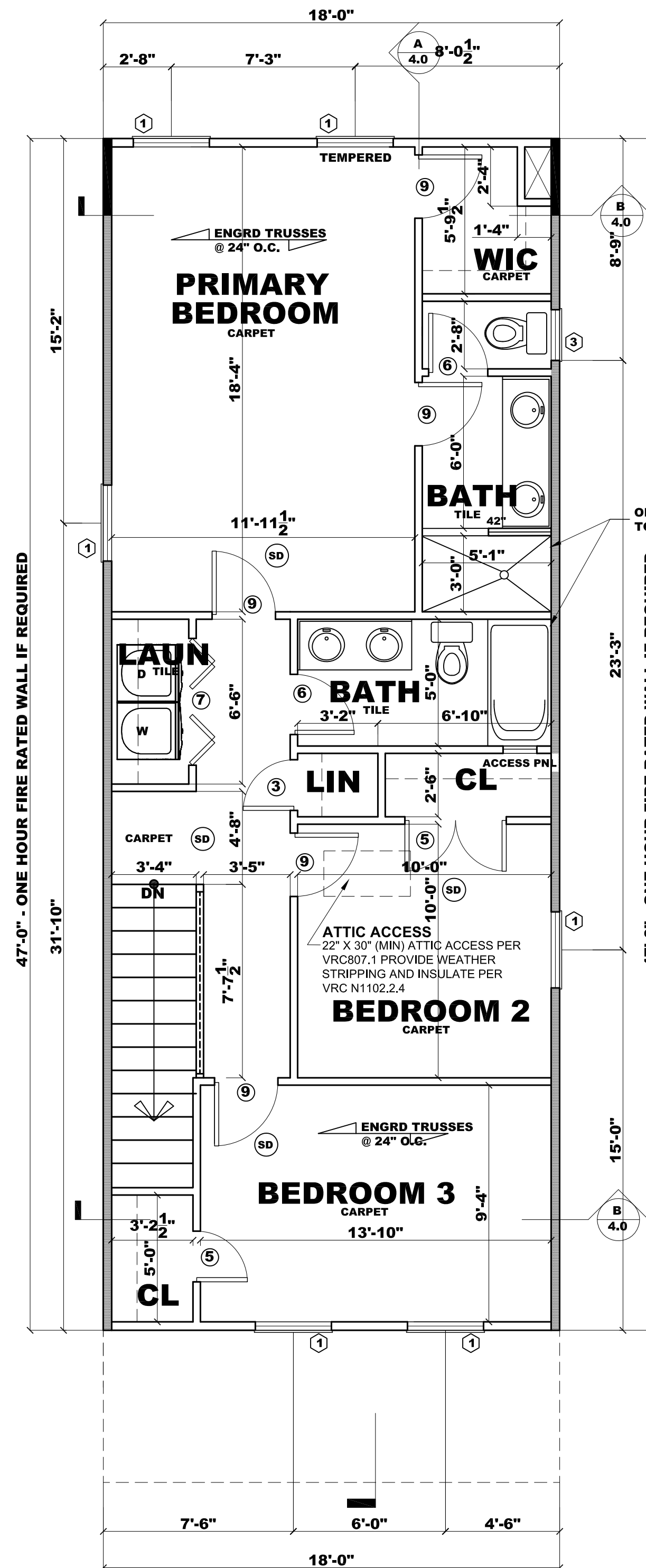
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5/8" SHEETROCK TYPE X EXTERIOR SHEATHING

(E) WALL W/ 5/8" FIRECORE GYP PANEL, INTERIOR SIDE



**1 FIRST FLOOR PLAN**  
3.0 SCALE: 1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
3.0 SCALE: 1/4" = 1'-0"

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	722 Lincoln Avenue



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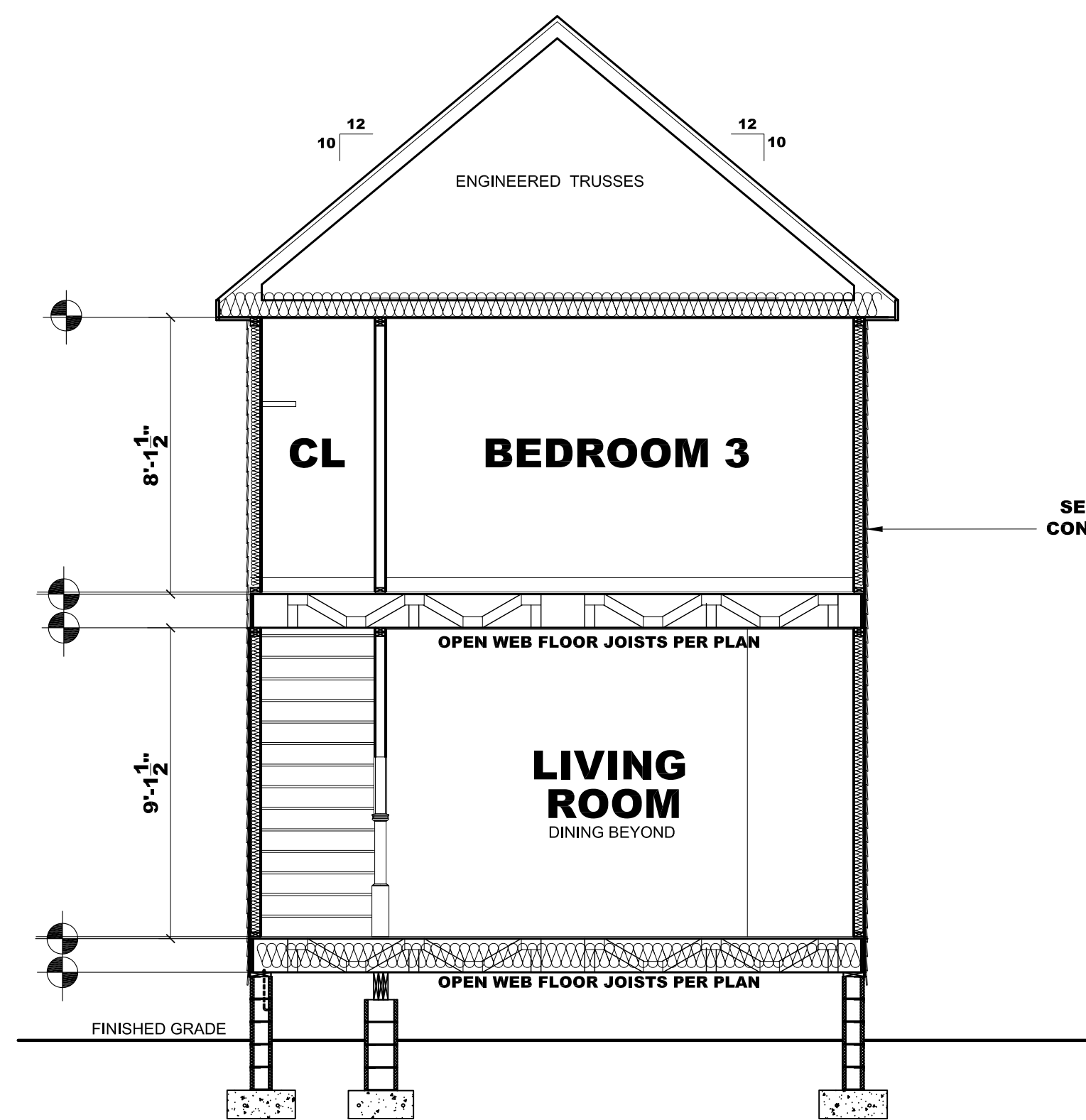
722 LINCOLN AVENUE  
RICHMOND, VIRGINIA

1ST & 2ND FLOOR PLAN & DETAILS

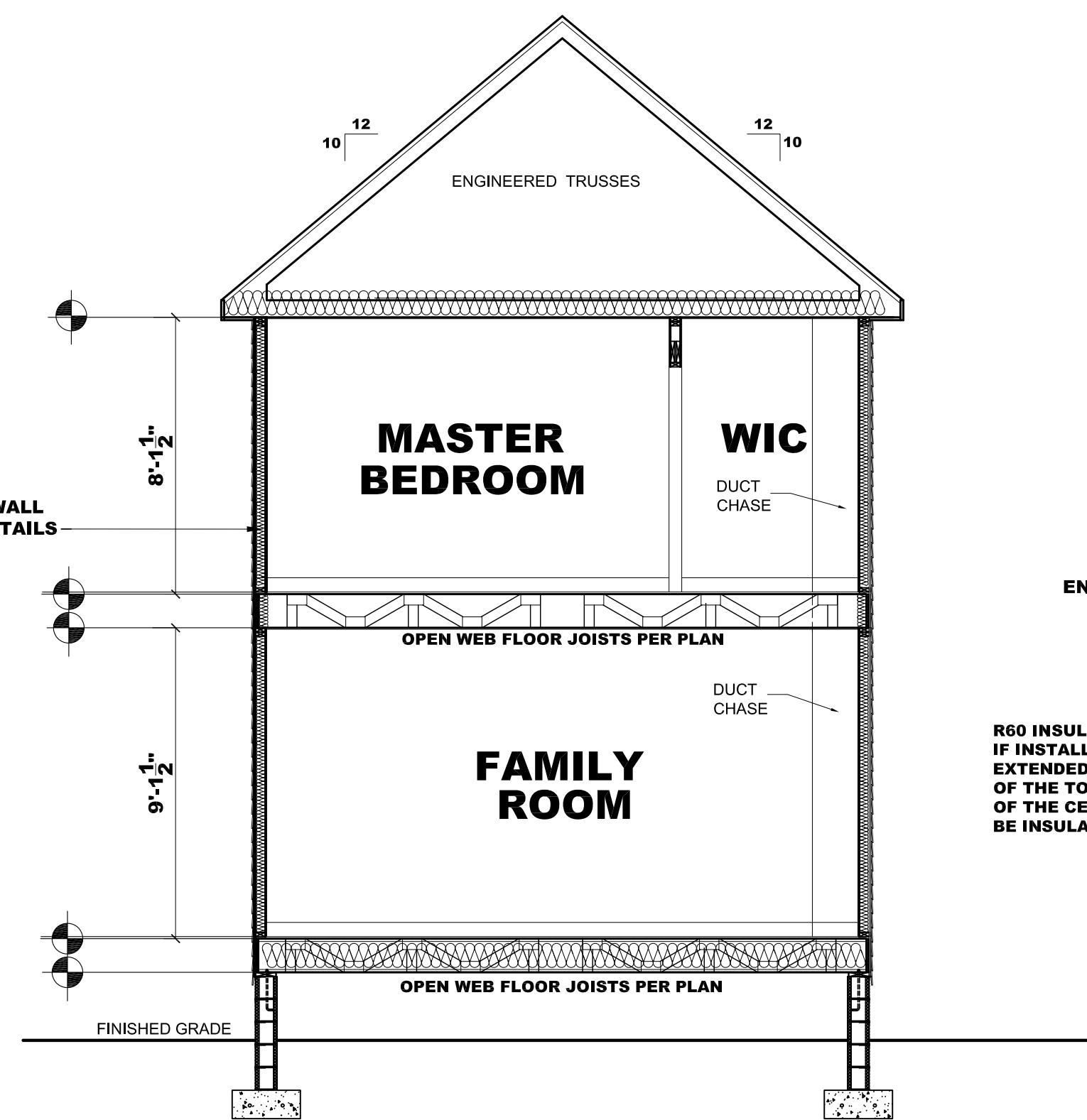
Project

Drawing No.

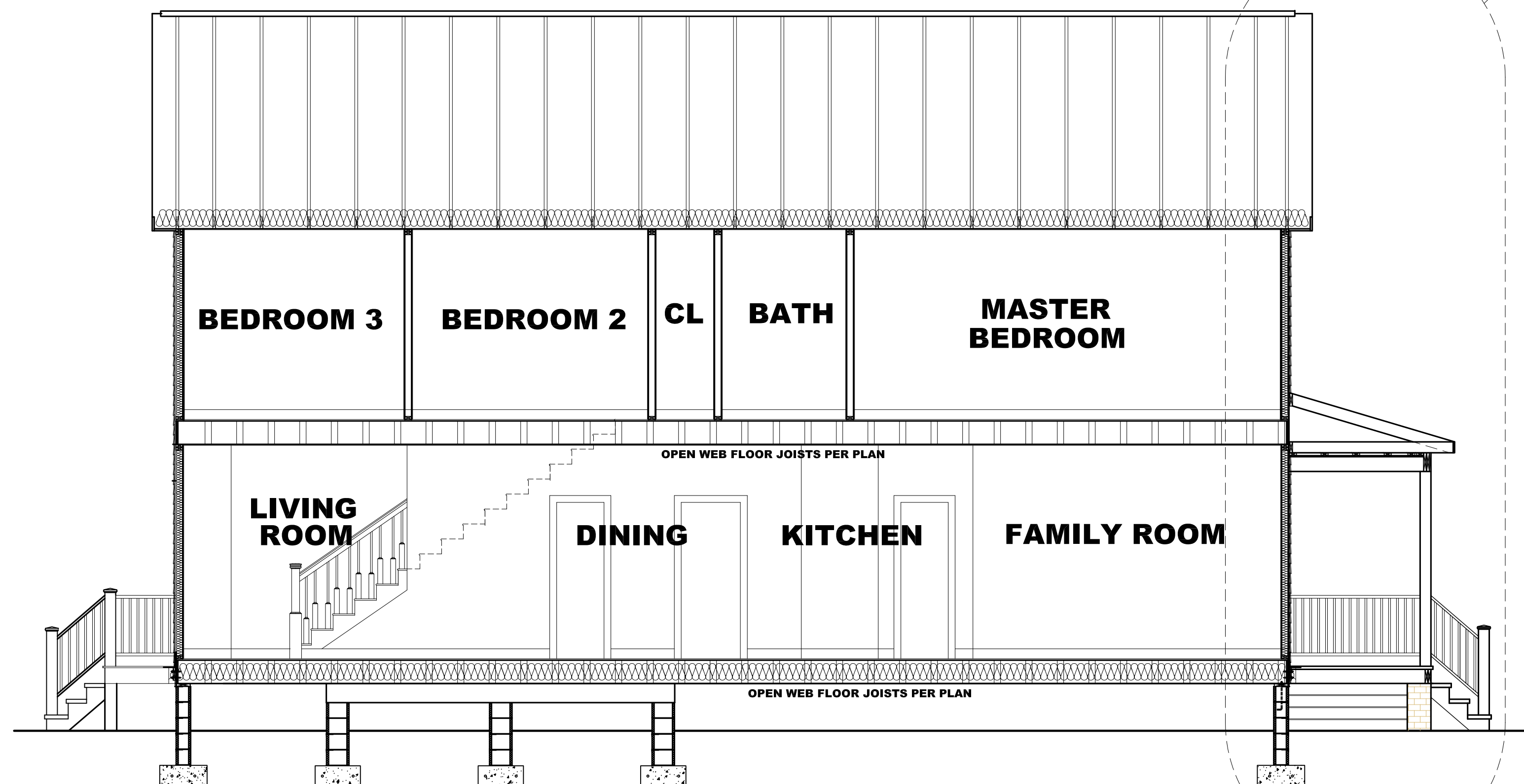
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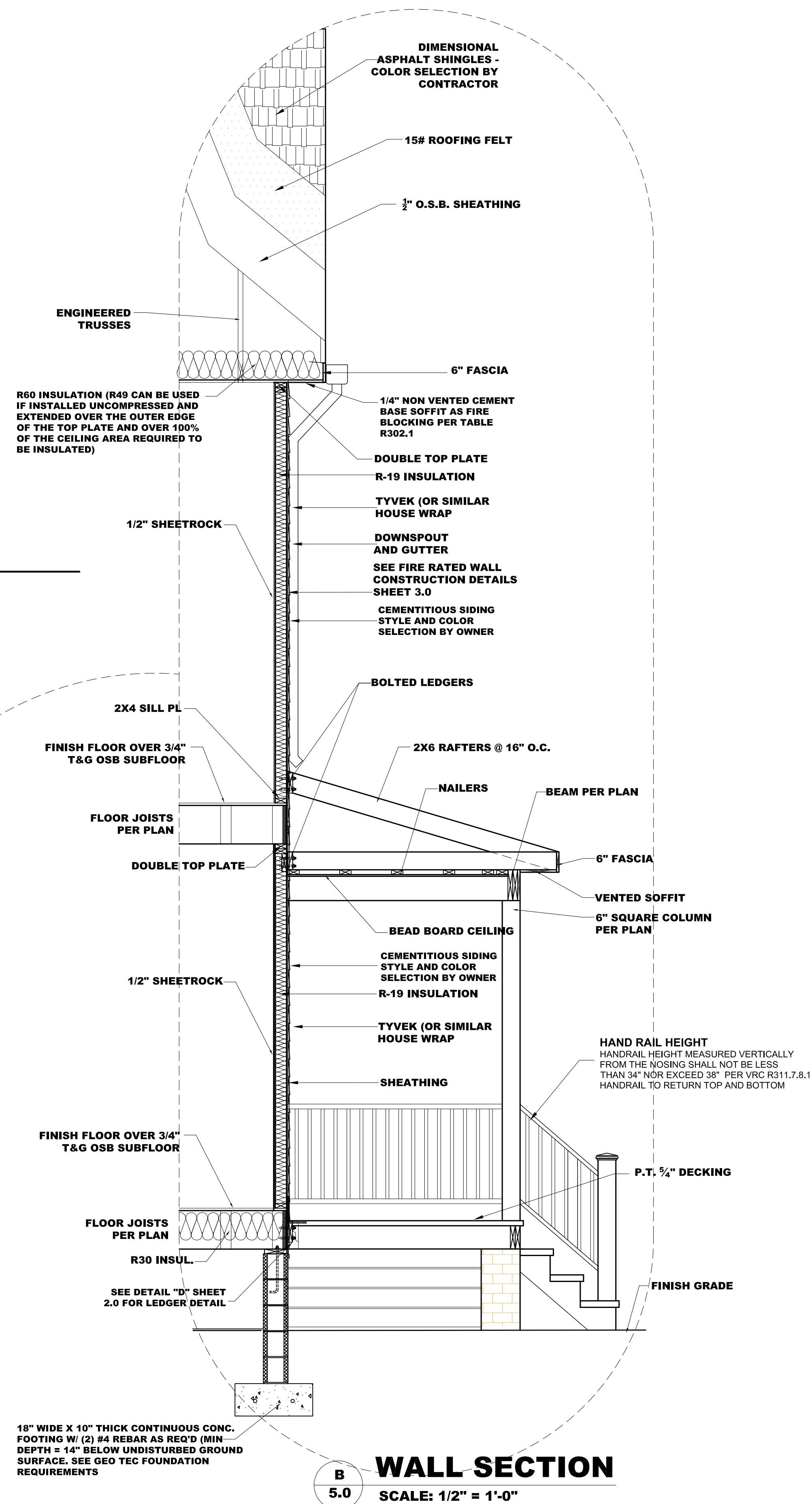
**A**  
4.0  
**SECTION THRU HOUSE**  
SCALE: 1/4" = 1'-0"



**C**  
4.0  
**SECTION THRU HOUSE**  
SCALE: 1/4" = 1'-0"



**B**  
4.0  
**SECTION THRU HOUSE**  
SCALE: 1/4" = 1'-0"



**B**  
5.0  
**WALL SECTION**  
SCALE: 1/2" = 1'-0"

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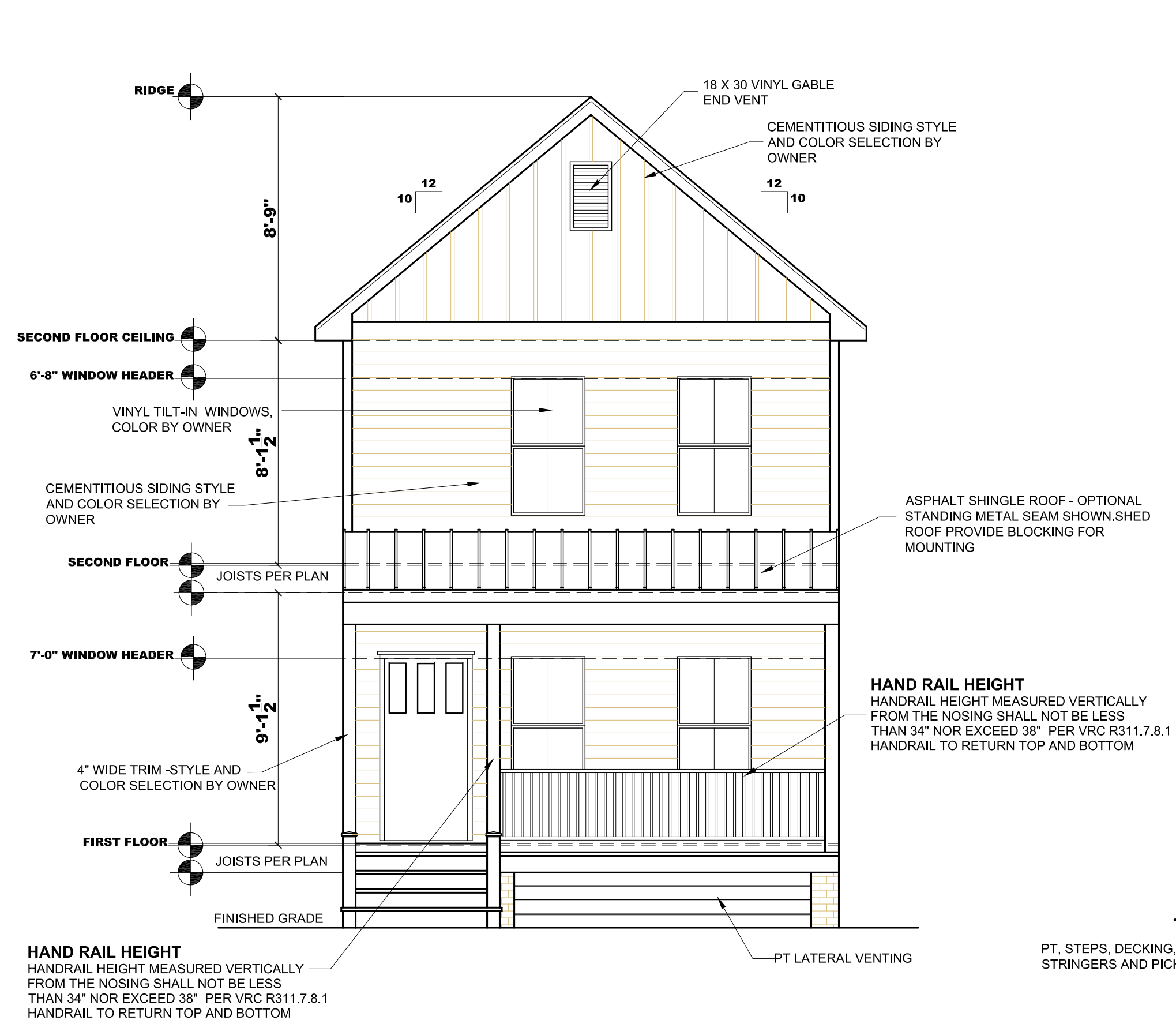


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RICHMOND, VIRGINIA 23227

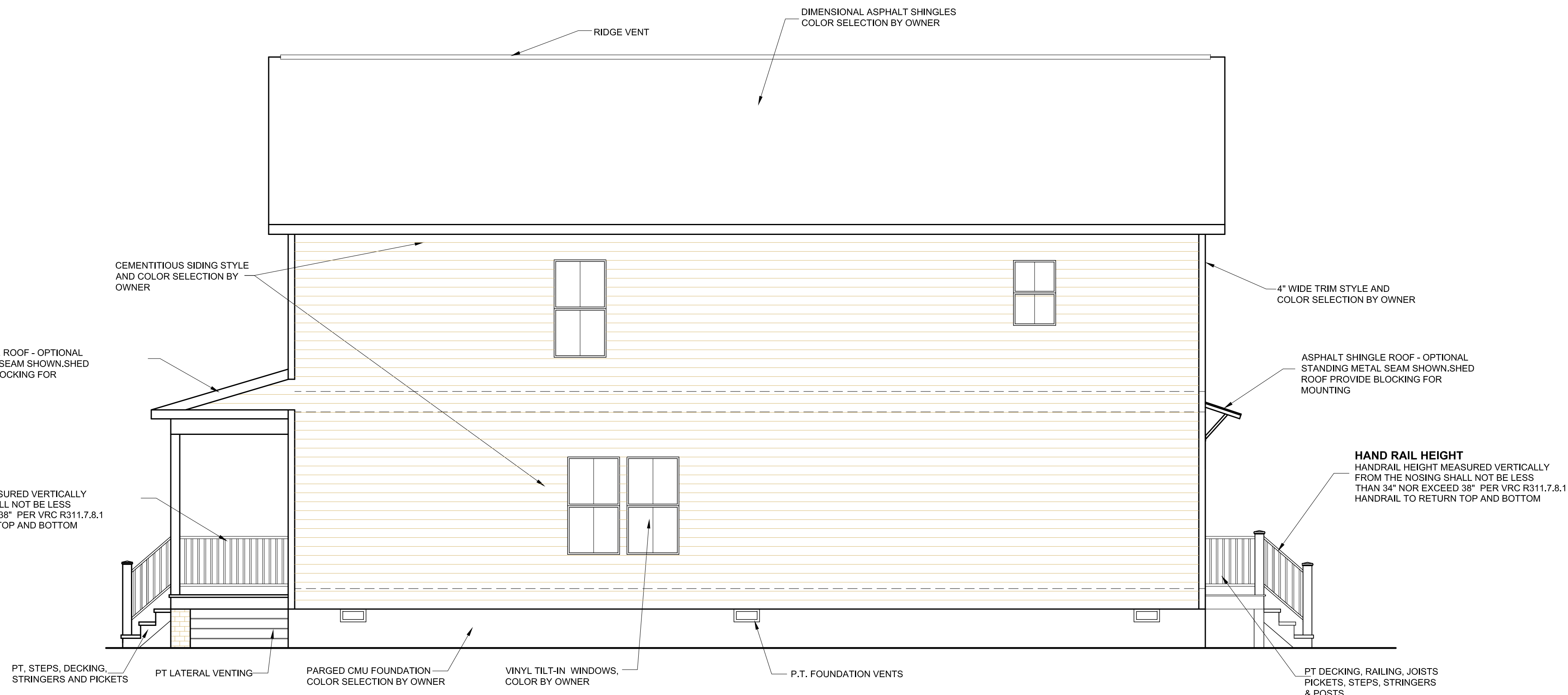
722 LINCOLN AVENUE  
RICHMOND, VIRGINIA

HOUSE SECTIONS AND  
WALL SECTION

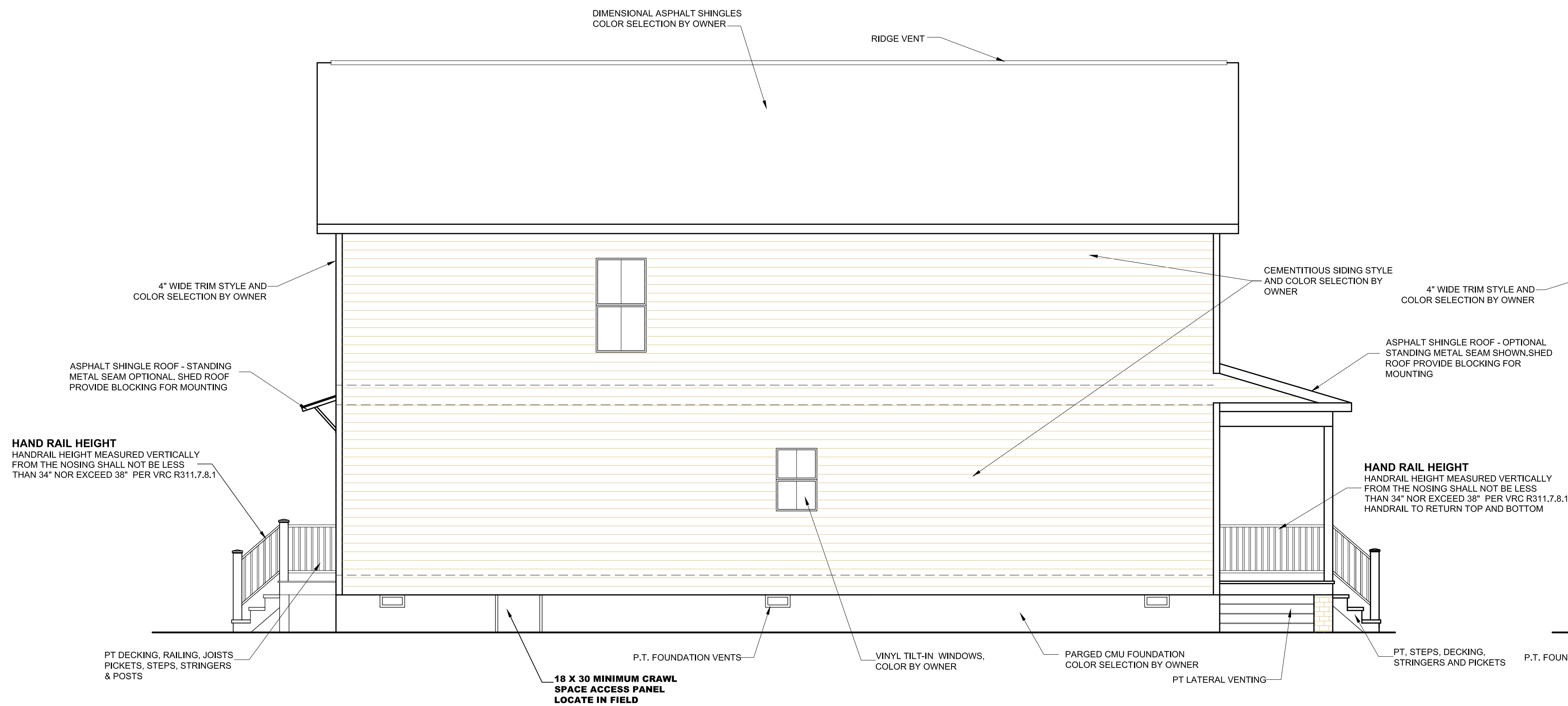
Project  
Drawing No.  
**4.0**



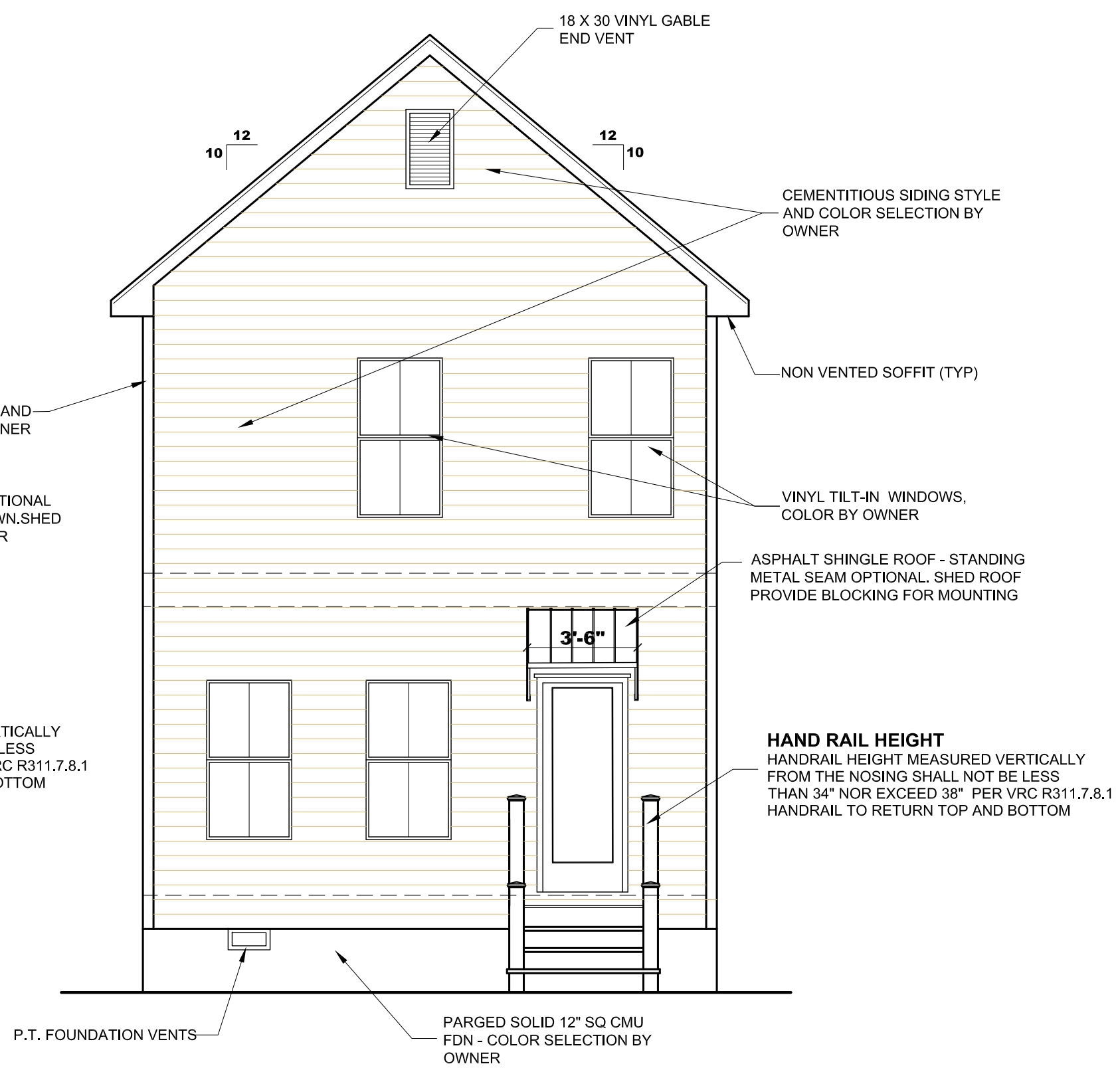
**1 FRONT ELEVATION**  
**5.0 SCALE: 1/4" = 1'-0"**



**2 RIGHT SIDE ELEVATION**  
**5.0 SCALE: 1/4" = 1'-0"**



**4 LEFT SIDE ELEVATION**  
**5.0 SCALE: 1/4" = 1'-0"**



**3 REAR ELEVATION**  
**5.0 SCALE: 1/4" = 1'-0"**

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Persaud Properties, LLC
Coordinator	D. Trevor Persaud
Date	05.11.2026
Project	722 Lincoln Avenue



**PERSAUD HOLDINGS, LLC**  
**2100 E PARHAM ROAD, ST 3181**  
**RICHMOND, VIRGINIA 23227**

722 LINCOLN AVENUE  
 RICHMOND, VIRGINIA

ELEVATIONS

Project  
 Drawing No.  
**5.0**

715 Lincoln Ave

Richmond, Virginia

Google Street View

Sep 2022 See more dates

Share

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Google Maps

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## CITY OF RICHMOND

DEPARTMENT OF  
PLANNING AND DEVELOPMENT REVIEW  
ZONING ADMINISTRATION

December 8, 2022

D. Trevor Persaud  
Persaud Holdings, LLC  
2100 East Parham Road, Suite 3181  
Richmond, Virginia 23227

**RE: 718 Lincoln Avenue**  
Tax Map: N018-0427/027

Dear Mr. Persaud:

Thank you for your request for a *Zoning Confirmation Letter* regarding the above referenced property. In response to your request, as of the date of this letter, be advised of the following:

The subject property is located within an R-5 (Single-Family Residential) zoning district. The current R-5 District requires a minimum lot area of not less than six thousand square feet (6,000 SF) and a minimum lot width of not less than fifty feet (50') for single-family detached dwellings. According to City Assessor's records, the subject property has a road frontage of 57.5 feet along Lincoln Avenue and a lot depth of one hundred fifteen feet (115'), which results in a lot area of 6,612.5 square feet (0.152 Acres). The subject Tax Parcel is currently unimproved.

According to an October 5, 2022, Deed (most current), the subject property has conveyed as "All those certain lots, pieces or parcels of land, lying and being in the City of Richmond, Virginia, being designated as Part of Lot 34 and Lot 33 in Block 12 on the Plan of Washington Park, plat of which is recorded in Plat Book 10, page 43, in the Clerk's Office, Circuit Court, Henrico County, Virginia, and being designated as Parcel 1 on Plat of survey by Chas. H. Fleet & Assocs., Engineer & Surveyors, dated march 21, 1985, entitled, Plat of Property Situated On The Northern Line Of Lincoln Avenue and West of Corbin Street...Being the same real estate conveyed...". Two (2) independent lots of record are being described by this deed.

According to a March 28, 1985, Deed, the subject property had conveyed as "Parcel No. I: All those certain lots, pieces or parcels of land, lying and being in the City of Richmond, Virginia, being designated as part of Lots 33 and 34 in Block 12 on the Plan of Washington Park...Being a part of the same property (Lot 33) conveyed...by deed...dated November 21, 1958...also being a part of the same property (Lot 34) conveyed...by deed...dated May 13, 1965...Also being the 7.5' strip of land acquired from the City of Richmond, Virginia by Ordinance No. 76-38-45 and accepted by grantees March 8, 1977...and...Parcel No. II: All those certain lots, pieces or parcels of land lying and being with improvements thereon known as No. 716 Lincoln Avenue, being designated as part of Lots 31 and 32 in Block 12, on the Plan of Washington Park...Being a part of the same property conveyed...". According to the aforementioned 1985, Survey Plat, by Chas. H. Fleet & Associates, Parcel No. I (718 Lincoln Avenue) and Parcel II (716 Lincoln Avenue) were under common ownership at that time.

Trevor Persaud  
RE: 718 Lincoln Avenue  
December 8, 2022  
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According to City records, widening of streets and alleys for this area were included within the "Washington Park" Conservation Program", which resulted in the current lot depth of the subject property to one hundred fifteen feet (115'), from a lot depth of one hundred twenty feet (120'), which was originally platted.

According to City records, at its meeting on September 15, 1975, the City of Richmond's Planning Commission voted unanimously to approve plans for the narrowing of the John Street right-of-way. The plans called for reducing the right-of-way from thirty to fifteen feet and providing a pedestrian walkway lined with trees within the remaining area. The project was part of the master plan for redevelopment of Washington Park. On March 8, 1976, the City Council of Richmond adopted an Ordinance (No. 76-38-45) to narrow a portion of John Street between Oak Park Avenue and an alley north of Maggie Walker Avenue. According to the aforementioned 1985, Deed, a portion of the surplus property (7.5' strip of land) was deeded and consolidated into the subject property.

As proposed, your intent is to determine how many independent lots currently exist in the existing Tax Parcel as described by deeds for future single-family detached development fronting on Lincoln Avenue. The subject Tax Parcel is deeded as two (2) independent lots of record and has been since, at least 1942. According to a November 12, 1912, Subdivision Map, by T. Crawford Redd & Bro., entitled, "Washington Park", the old subdivision Lot 33 and Lot 34 are shown as having lot widths of twenty-five feet (25') each. According to the aforementioned 1985, Survey Plat, the existing single-family dwelling (#716) was constructed on Parcel II (Lots 31 and 32) and Parcel 1 had historically been used as a side yard which contained an accessory building (shed) for the main building when the two (2) Tax Parcels were under common ownership. The accessory building has since been demolished. As per Section 30-1220 of the Zoning Ordinance, a lot is defined as "a single lot of record or a combination of contiguous lots of record". Therefore, the shed resulted in the combination of the aforementioned subdivision Lot 33 with the adjacent Tax Parcel N018-0427/025 (716 Lincoln Avenue) into one (1) lot for zoning purposes. Therefore, once parcels are combined, any subsequent division thereof must be done in compliance with applicable zoning regulations. Be advised, according to City records and deeds, Lot 34 has not been encumbered with improvements and is considered one (1) independent lot of record. Without a current survey of the subject property, this Office cannot determine the current configuration of Lot 34 after the consolidation of the 7.5' strip.

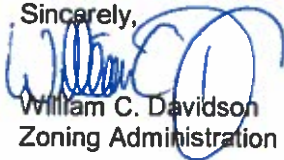
In summary, the subject property (Lot's 33 and 34) currently exceeds the minimum lot area and lot width requirements for the R-5 District, so the construction of one (1) single-family detached dwelling on the existing Tax Parcel would be permitted. Option 2: Splitting the subject property and placing the old subdivision Lot 34 on its own separate deed for the construction of a new single-family detached dwelling would be permitted. Option 3: Since the minimum lot area and lot width requirements would not be met for the old subdivision Lot 33 to be considered buildable, then requesting and obtaining special approval from the Board of Zoning Appeals (BZA) or a Special Use Permit (SUP) may be a possibility. Be advised, it may be difficult to obtain approval from the BZA unless you can prove the proposed lot(s) are consistent with the predominant lot areas and lot widths and uses within the block(s). For information concerning the BZA process, please contact the Zoning Administration Office at 646-6340. For information concerning the SUP process, please contact the Land Use Administration Office at 646-6304.

Trevor Persaud  
RE: 718 Lincoln Avenue  
December 8, 2022  
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**You are hereby advised that you have thirty (30) days from this notice in which to appeal this decision to the Board of Zoning Appeals, in accordance with §15.2-2311 of the Code of Virginia and §17.19 of the Richmond City Charter, or this decision shall be final and unappealable. Such appeal must be in writing and must be filed with the Secretary to the Board of Zoning Appeals. Said appeal shall indicate in specific terms the grounds for the appeal and must be accompanied by a filing fee of two hundred fifty dollars (\$250.00).**

I hope this information is sufficient. Should you have any additional questions, please contact Senior Planner David Duckhardt by email at [david.duckhardt@rva.gov](mailto:david.duckhardt@rva.gov) or by telephone at (804) 646-6917.

Sincerely,



William C. Davidson  
Zoning Administration

5031

DEED OF BARGAIN AND SALE

BOOK 36 PAGE 383

THIS DEED, made this 28th day of March, 1985, by and between HORACE A. ASHE and RUTH E. ASHE, his wife, parties of the first part; and HOWARD V. SMITH, SR. and LUCILLE E. SMITH, his wife, parties of the second part.

W I T N E S S E T H :

That for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations, the receipt of which is hereby acknowledged, the said parties of the first part do hereby grant and convey with General Warranty of Title, unto the said parties of the second part the following described property as tenants by the entireties with the right of survivorship as at common law.

PARCEL NO. I

ALL those certain lots, pieces or parcels of land, lying and being in the City of Richmond, Virginia, being designated as part of Lots 33 and 34 in Block 12 on the Plan of Washington Park, plat of which is recorded in Plat Book 10, page 43 in the Clerk's Office, Circuit Court, Henrico County, Virginia, and being designated as Parcel 1 on plat of survey by Chas. H. Fleet & Assocs., Engineer & Surveyors, dated March 21, 1985, a copy of which is attached to and made a part of the deed herein, to be recorded simultaneously herewith, Clerk's Office, Circuit Court, City of Richmond, Virginia and to which plat reference is hereby made for a more particular metes and bounds description of said property.

BEING a part of the same property (Lot 33) conveyed to Horace A. Ashe, by deed from Clayton E. Powell and Mary T. Powell, his wife, dated November 17, 1958, recorded November 21, 1958, Clerk's Office, Circuit Court, Division I, City of Richmond, Virginia in Deed Book 589-D, page 535; also Being a part of the same property (Lot 34) conveyed to Horace A. Ashe, by deed from W. S. Cudlipp, Jr. Special Commissioner, dated May 13, 1965, recorded May 25, 1965, Clerk's Office, Circuit Court, Division I, City of Richmond, Virginia in Deed Book 631-D, page 83. Also being the 7.5' strip of land acquired from the City of Richmond, Virginia by Ordinance No. 76-38-45 and accepted by grantees March 8, 1977.

PARCEL NO. II

ALL those certain lots, pieces or parcels of land lying and being with improvements thereon known as No. 716 Lincoln Avenue, being designated as part of Lots 31 and 32 in Block 12, on the Plan of Washington Park, plat of which is recorded in Plat Book 10, page 43, in the Clerk's Office of the Circuit Court of Henrico County, Virginia; and being designated as Parcel 2 on a plat of survey by Chas. H. Fleet & Associates, Engineer & Surveyors, dated March 21, 1985, a copy of which is attached to and made a part of the deed herein, to be recorded simultaneously herewith, Clerk's Office, Circuit Court, City of Richmond, Virginia, and to which plat reference is hereby made for a more particular metes and bounds description of said property.

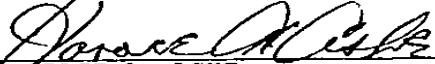
BEING a part of the same property conveyed to Horace A. Ashe, by deed from Clayton E. Powell and Mary T. Powell, his wife, dated November 17, 1958, recorded November 21, 1958, Clerk's Office, Circuit Court, Division I, City of Richmond, Virginia in Deed Book 589-D, page 535.


This conveyance is made subject, however, to any conditions, restrictions and easements of record to the extent that they may be applicable to the property hereby conveyed.

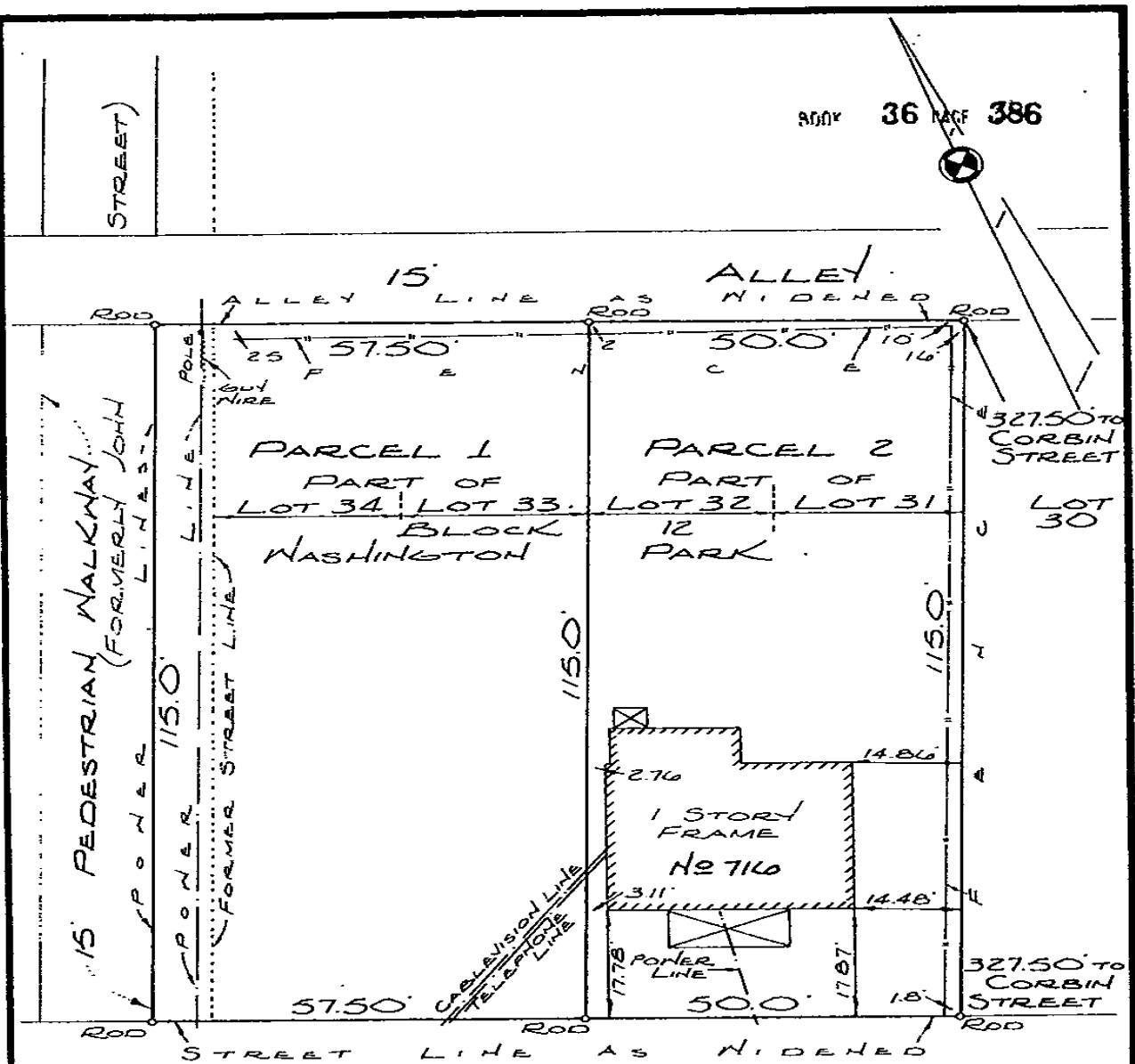
Whenever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall include all other genders.

Except as herein stated, the parties of the first part covenant that they have the right to convey the said property to the parties of the second part; that they have done no act to encumber the said property; that the grantees shall have quiet possession of the said real estate, free from all encumbrances; and that they, the parties of the first part, will execute such further assurances of the said real estate as may be requisite.

WITNESS the following signatures and seals:

 (SEAL)  
HORACE A. ASHE

 (SEAL)  
RUTH E. ASHE



15' PEDESTRIAN WALKWAY  
(FORMERLY JOHN LINCOLN WALKWAY)

PARCEL 1  
PART OF  
LOT 34  
BLOCK  
WASHINGTON

PARCEL 2  
PART OF  
LOT 32 LOT 31  
BLOCK  
PARK

1 STORY  
FRAME  
No 710

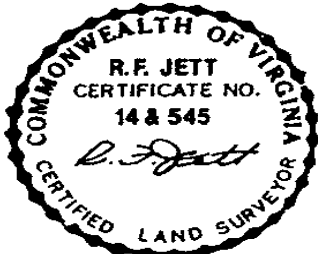
# LINCOLN AVENUE

PLAT OF PROPERTY SITUATED  
ON THE NORTHERN LINE OF  
LINCOLN AVENUE AND WEST  
OF CORBIN STREET.

RICHMOND, VA.

MARCH 21, 1985

SCALE 1" = 20'



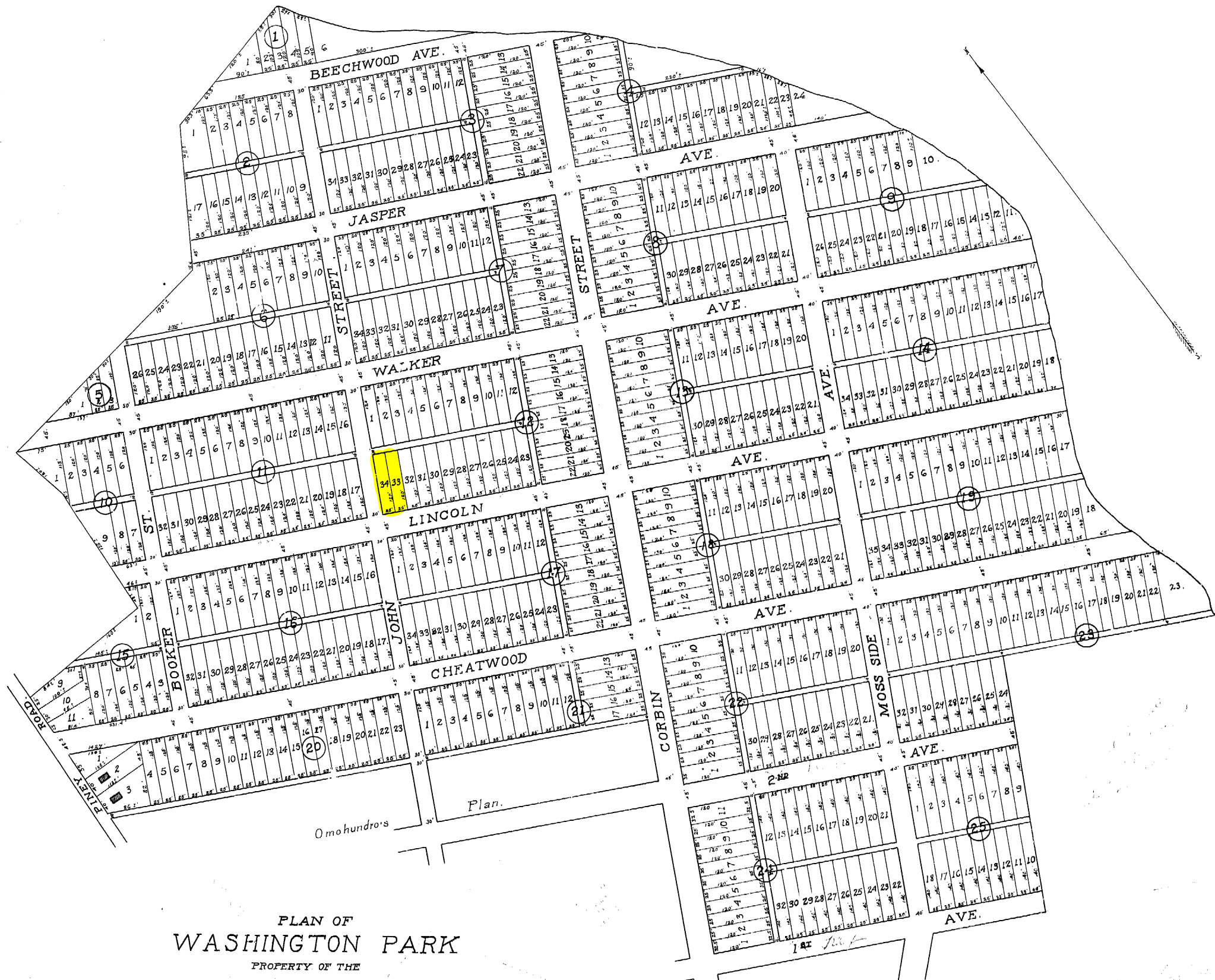
CHAS. H. FLEET & ASSOCS.  
ENGINEER & SURVEYORS  
RICHMOND, VA.

CERTIFICATION  
This is to certify that on 3-21-85  
we made an accurate field survey of the premises  
shown hereon, that all improvements and visible  
easements are shown hereon, that there are no en-  
croachments by improvements either from adjoining  
premises or from subject premises upon adjoining  
premises other than as shown hereon.

*R.F. Jett*

BK 389-84

FILE WASHINGTON PARK



PLAN OF  
**WASHINGTON PARK**

PROPERTY OF THE  
 WASHINGTON PARK LAND CORP.

SEPTEMBER 20, 1912. T. CRAWFORD REDD & BRO.  
 REVISED, NOV. 12, 1912. SURVEYORS & ENGINEERS.

{Traced from P.B. 10 page 45 H.C.C.  
 Nov. 3 1916. W.M.H.}