

INTRODUCED: January 12, 2026

AN ORDINANCE No. 2026-024

To authorize the special use of the property known as 401 West Marshall Street for the purpose of one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, upon certain terms and conditions.

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 9 2026 AT 6 P.M.

WHEREAS, the owner of the property known as 401 West Marshall Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, which use, among other things, is not currently allowed by sections 30-412.1, 30-412.5, concerning yards, and 30-412.6, concerning lot coverage, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 401 West Marshall Street and identified as Tax Parcel No. N000-0206/009 in the 2026 records of the City Assessor, being more particularly shown on a survey entitled “Plat of Division, #401 W. Marshall Street, City of Richmond, Virginia,” prepared by Shadrach & Associates LLC, and dated August 5, 2025, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the for the purpose of one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Plat of Division, #401 W. Marshall Street, City of Richmond, Virginia,” prepared by Shadrach & Associates LLC, and dated August 5, 2025, and “Three Story Triplex,” prepared by Christopher Rea, dated March 29, 2025, and last revised July 30, 2025, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) Notwithstanding anything in Ordinance No. 82-252-239, adopted October 25, 1982, to the contrary, the Special Use of the Property shall be as one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, substantially as shown on the Plans.

(b) No off-street parking shall be required for the Special Use.

(c) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.

(d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans, subject to the conditions set forth in the Certificate of Appropriateness issued by the Commission of Architectural Review, dated January 30, 2025, in response to Application No. COA-160046-2025.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Prior to the issuance of a building permit for the Special Use, the establishment of no more than two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building

Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: December 3, 2025

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Odie Donald II, Chief Administrative Officer

THROUGH: Sharon L. Ebert, DCAO for Economic Development and Planning

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the property known as 401 West Marshall Street for the purpose of one single-family detached dwelling and a multi-family building containing up to three dwelling units, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: The applicant is requesting a special use permit to authorize the construction of a new multi-family building with three dwelling units. The existing single-family detached dwelling on the property is to remain. The current zoning for the property is R-6 Single-Family Attached Residential. This zoning district does not permit multi-family buildings. A Special Use Permit is therefore necessary to proceed with this request.

BACKGROUND: The property is located in the Jackson Ward neighborhood and historic district on the corner of West Marshall Street and North Monroe Street. The property is currently a 4,304 square foot (0.09 acre) parcel of land improved with a two-story single-family detached dwelling. The City's Richmond 300 Master Plan designates the future land use of the subject parcel as Neighborhood Mixed-Use, which is defined as existing or new highly walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses.

Intensity: Building heights are generally two to four stories. Buildings taller than four stories may be found along major streets. Parcels are generally between 1,500 and 5,000 sq. ft.

Primary Uses: Single-family houses, accessory dwelling units, duplexes, small multi-family buildings (typically 3-10 units), and open space.

Secondary Uses: Large multifamily buildings (10+units), retail/office/personal service, institutional, cultural, and government.

The current zoning for the property is R-6 Single-Family Attached Residential. The density proposed is four units upon 0.09 acres or 44 units per acre.

COMMUNITY ENGAGEMENT: The Historic Jackson Ward Civic Association was notified of the application; additional community notification will take place after introduction.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: Richmond 300 Master Plan

FISCAL IMPACT: \$800 application fee.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: January 12, 2026

CITY COUNCIL PUBLIC HEARING DATE: February 9, 2026

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission February 3, 2026

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Authorization from Property Owner, Applicant's Report, Plans, Survey

STAFF:

Alyson Oliver, Program and Operations Supervisor, Land Use Administration (Room 511) 646-3709

Shaianna Trump, Planner Associate, Land Use Administration (Room 511) 646-7319



CITY OF RICHMOND, VA
Department of Planning and Development Review
Land Use Administration Division
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT

Applicant must complete ALL items

HOME/SITE ADDRESS: 401 W Marshall St APARTMENT NO/SUITE _____

APPLICANT'S NAME: Jeffrey Sadler EMAIL ADDRESS: _____

BUSINESS NAME (IF APPLICABLE): n/a

SUBJECT PROPERTY OR PROPERTIES: 401 W Marshall St

APPLICATION REQUESTED

- ☐ Plan of Development (New or Amendment)
- ☐ Wireless Plan of Development (New or Amendment)
- ☒ Special Use Permit (New or Amendment)
- ☐ Rezoning or Conditional Rezoning
- ☐ Certificate of Appropriateness (Conceptual, Administrative Approval, Final)
- ☐ Community Unit Plan (Final, Preliminary, and/or Amendment)
- ☐ Subdivision (Preliminary or Final Plat Correction or Extension)

TO BE COMPLETED BY THE AUTHORIZED OWNER

Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: Jeffrey W Sadler

PROPERTY OWNER ADDRESS: 4443 Knob Road

PROPERTY OWNER EMAIL ADDRESS: _____

PROPERTY OWNER PHONE NUMBER: 804-400-6872

Property Owner Signature: _____

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.



CITY OF RICHMOND, VA
Department of Planning and Development Review
Land Use Administration Division
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT

Applicant must complete ALL items

HOME/SITE ADDRESS: 401 W Marshall St APARTMENT NO/SUITE _____

APPLICANT'S NAME: Jeffrey Sadler EMAIL ADDRESS: _____

BUSINESS NAME (IF APPLICABLE): n/a

SUBJECT PROPERTY OR PROPERTIES: 401 W Marshall St

APPLICATION REQUESTED

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TO BE COMPLETED BY THE AUTHORIZED OWNER

Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: Kirstie E Hein

PROPERTY OWNER ADDRESS: 4443 Knob Road

PROPERTY OWNER EMAIL ADDRESS: _____

PROPERTY OWNER PHONE NUMBER: 804-931-0141

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.

DATE: August 8, 2025

PREPARED BY: Jeffrey Sadler (Property Owner)



Background:

401 West Marshall Street is located in Jackson Ward and zoned R-6. Currently, there is a white frame house (c1852) and a vacant lot where a house of similar age stood until the early-mid 1970s. This vacant lot is now used as a “side yard” for 401 W Marshall St.

The parcel is now a double frontage parcel, as several of the lots were assembled and subdivided 40-50 years ago. This process removed rear alley access to what was 403 W Marshall St when it was combined with 401 W Marshall Street.

Mr. Sadler, the applicant, has owned the property since 2005 and lived in the house at 401 W Marshall Street from 2005-2008. The house has been continuously rented since 2008.

Plans:

Given that Richmond has been identified as having a housing shortage, Mr. Sadler wishes to expand the household capacity of the parcel 4 fold by building a stacked tri-plex on what is now the vacant side yard. This will eventually result in a sub-division, re-establishing the vacant portion of 401 W Marshall Street as 403 West Marshall Street.

This new construction tri-plex will also fill a “missing tooth” of the streetscape replacing the house that stood on this spot until it was removed ~50 years ago. The infill tri-plex design has been approved for a Certificate of Appropriateness from CAR.

Request:

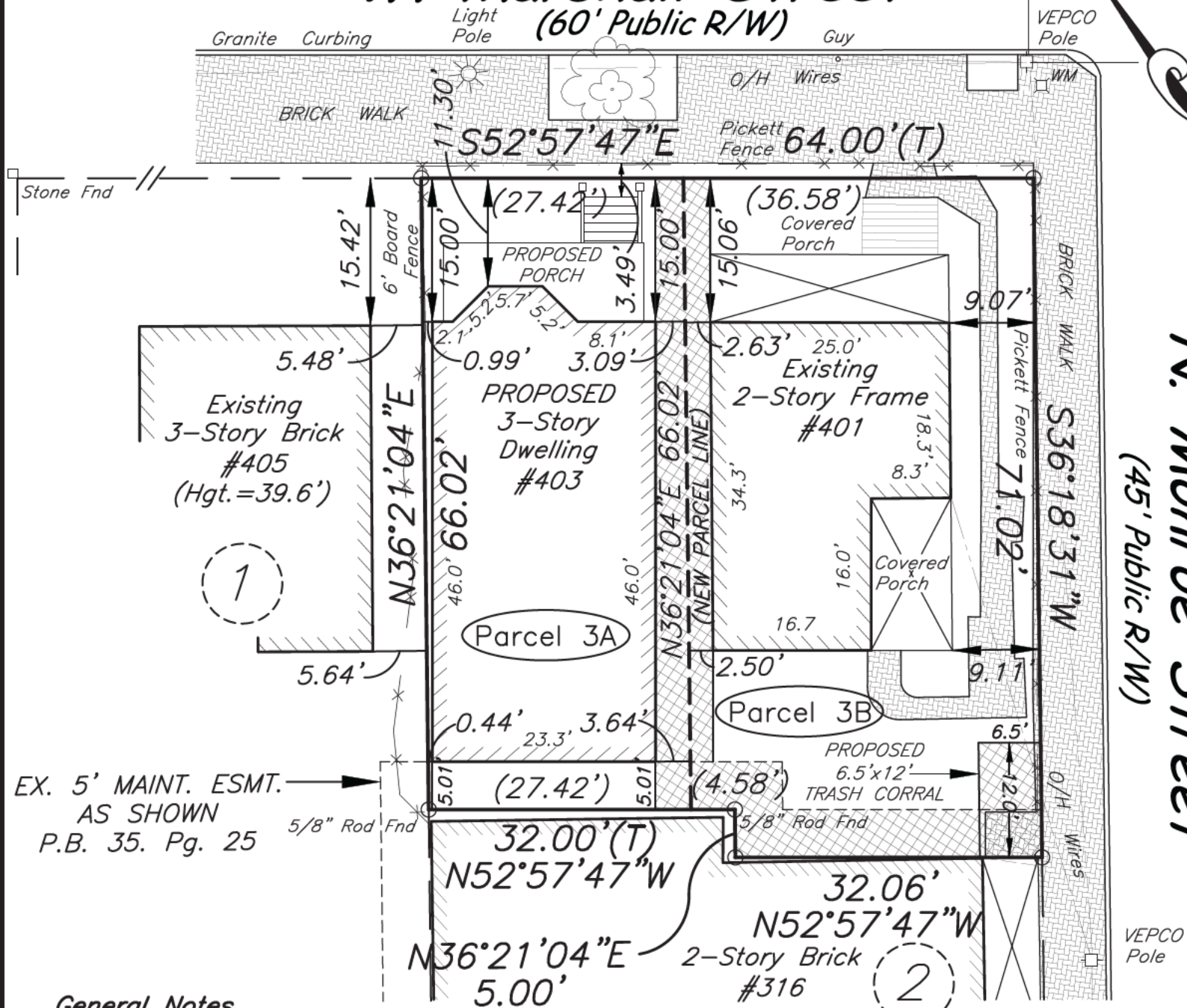
The applicant is requesting a Special Use Permit to allow this property to be constructed, as current zoning requires conditions that would make nearly every existing house in Jackson Ward illegal to be built today. These requirements include 50+ ft of frontage, and set-backs from neighbors that are not in keeping with the dense nature of the neighborhood.

Having owned the property for 20 years, the applicant has seen the neighborhood change and residential demand increase. With VCU’s continued expansion in the area, the demand for housing in the neighborhood is likely to continue to increase. The parcel’s location one block from the Pulse and proximity to the downtown professional district, state offices, City Hall, the arts district, and VCU Medical Center make these apartments ideal for car-less living.

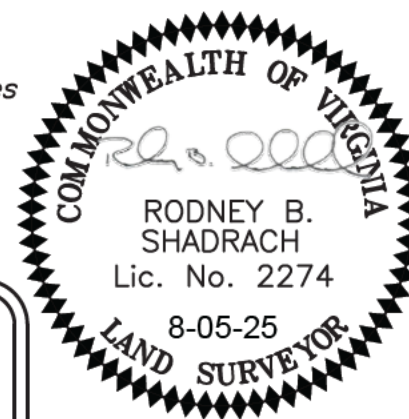
Additionally, the stacked nature of the apartments should allow for three households to live using less energy consumption than two SFO households.

The building is estimated to be worth \$750,000-\$900,000 upon completion, adding \$8,000 - \$10,000 in tax revenue to the City budget in the first year, and well over \$100,000 in the first ten years after it is built. It will also add water & sewer service to the city, adding additional revenues.

W. Marshall Street (60' Public R/W)



I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors and Certified Landscape Architects.



NEW LOT INFORMATION

Parcel 3A
0.0415 Ac. (1,809.98 Sq. Ft.)
Lot Coverage: 61%

Parcel 3B
0.0592 Ac. (2,577.05 Sq. Ft.)
Lot Coverage: 28%

Legal Reference:

Jeffrey W. & Kirstie H. Sadler
Parcel ID #N000-0206/009
Instrument No. 2005-14243
LOT 3 - ROBINSON'S PLAN
Plat Book 25, Page 25
#401 W. Marshall Street
0.1007 Ac. (4387.03 Sq. Ft.)

VARIABLE WIDTH MAINTENANCE
& ACCESS EASEMENT FOR
BENEFIT OF PARCELS 3A & 3B

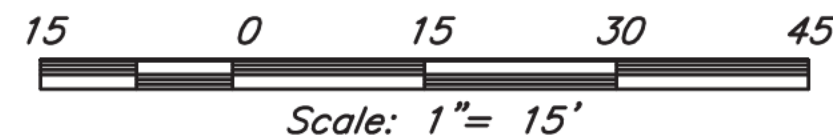
General Notes

1. This survey plat represents a current and accurate field transit survey of the premises shown hereon.
Date of last physical survey: December 15, 2023.
2. This survey was made without the benefit of a Title Report and therefore there may be encumbrances which are not reflected hereon.
3. The subject property is not located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Firmette #510129-0037-E, effective date July 8, 2025 (Zone X).
4. 5/8" Iron Rods or MAG Nails set at all corners unless otherwise shown hereon.

N/F MGP Property LLC
Parcel ID #N000-0206/008
Instrument No. 2013-25416
#405 W. Marshall Street

N/F Sean A. Urquhart
Parcel ID #N000-0206/012
Instrument No. 2005-14810
LOT 2, Robinson's Plan
#316 N. Monroe Street

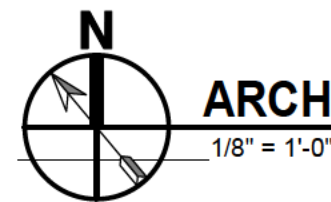
Plat of Division
#401 W. Marshall Street
City of Richmond, Virginia
Date: August 5, 2025



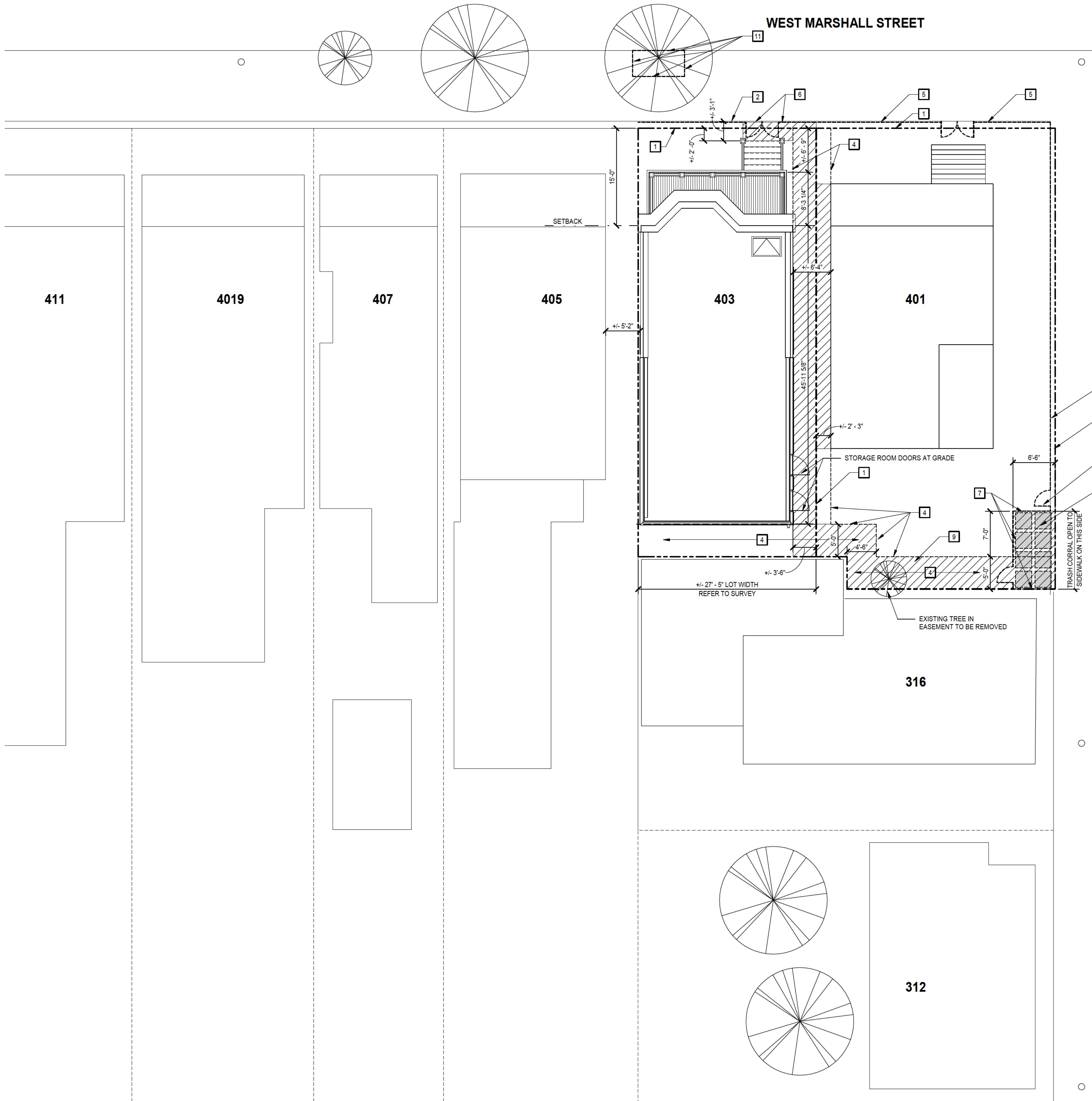
Shadrach & Associates LLC

LAND SURVEYING

430 Southlake Blvd., Suite 10-B • Richmond, Virginia 23236
Phone: (804)379-9300 • Email: rod@shadrachsveys.com



ARCHITECTURAL SITE PLAN



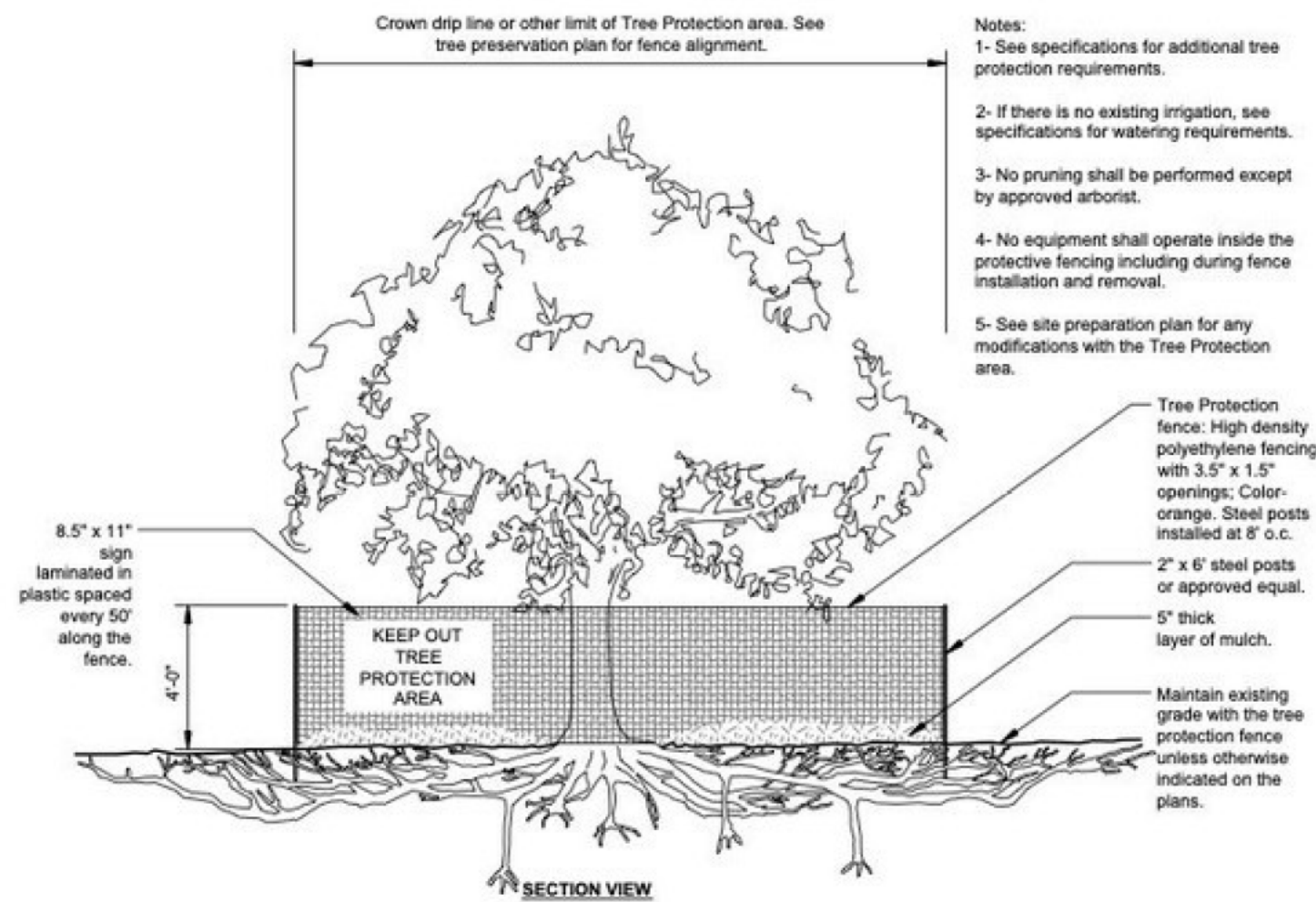
ARCHITECTURAL SITE PLAN GENERAL NOTES

- A. THE ARCHITECTURAL SITE PLAN IS PROVIDED FOR GENERAL COORDINATION BETWEEN THE VARIOUS DISCIPLINES. REFER TO THE SURVEY, CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, ELECTRICAL, AND OTHER DISCIPLINE DRAWINGS FOR ADDITIONAL INFORMATION.
- B. THE ARCHITECTURAL SITE PLAN IS BASED ON THE PLAT OF DIVISION PREPARED BY SHADRACH & ASSOCIATES LLC, DATED JULY 22, 2025. REFER TO THE PLAT OF DIVISION FOR ADDITIONAL PROPERTY INFORMATION NOT PROVIDED ON THE ARCHITECTURAL SITE PLAN.

ARCHITECTURAL SITE PLAN KEYNOTES

REPRESENTED BY [n]
APPLIES TO DRAW NGS A1.1.1 - A1.1.1n

- PROPERTY LINE - REFER TO PLAT OF DIVISION
- EDGE OF SIDEWALK - REFER TO PLAT OF DIVISION
- TRASH CAN CORRAL - PROVIDE CONCRETE SLAB ON GRADE THROUGHOUT THE CORRAL AREA
- EXISTING AND PROPOSED MAINTENANCE & ACCESS EASEMENT REFER TO PLAT OF DIVISION.
- EXISTING-TO-REMAIN PICKET FENCE
- EXTENSION OF EXISTING-TO-REMAIN PICKET FENCE AND SWING GATES
- EXTEND AND MODIFY EXISTING-TO-REMAIN FENCE TO CREATE LARGER TRASH CORRAL SERVING 401 AND 403 WEST MARSHALL
- HATCHED AREA INDICATES EXTENT OF CONCRETE WALKWAY
- EXISTING-TO-REMAIN FENCE GATE: RELOCATE GATE AS NECESSARY TO PROVIDE EXPANDED TRASH CORRAL.
- PROVIDE TREE PROTECTION FENCING AT THE ENTIRE PER METER OF THE EXISTING-TO-REMAIN TREE WELL. REFER TO TYPICAL DETAIL DRAWING.



TREE PROTECTION

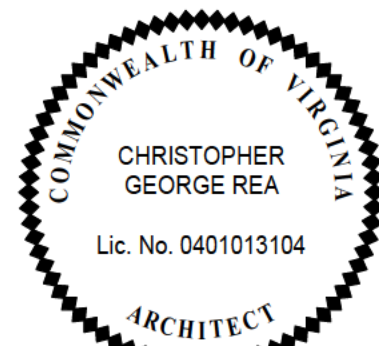


EXISTING TRASH CORRAL CONDITIONS

NO SCALE

REVISIONS	
DATE	DESCRIPTION
04/29/2025	SUP APPLICATION
07/30/2025	SUP RESPONSE

THREE STORY TRIPLEX



PROJECT ADDRESS:
403 WEST MARSHALL STREET

ARCHITECT: CHRISTOPHER REA, AIA
2312 NEW BERNE ROAD
HENRICO, VIRGINIA 23228
(804) 874-9718

PROJECT NUMBER: 123456

DATE: MARCH 29, 2025

DRAWING TITLE:
ARCHITECTURAL SITE PLAN


DRAWING NUMBER:

A1.1

ARCHITECTURAL ABBREVIATIONS

A-PT	ACCENT PAINT	F N	F NISHED	PSI	POUNDS PER SQUARE INCH
ABS	A R BARRIER SYSTEM	FLR	FLOOR	PT	PAINT
ABV	ABOVE	FLRG	FLOORING	PTN	PARTITION
ACP	ACOUSTICAL CEILING PANEL	FO	FACE OF	PTS	PNEUMATIC TUBE SYSTEM
ACT	ACOUSTICAL CEILING TILE	FRM	FRAME	PVC	POLYVINYL CHLOR DE
ACW	ALUMINUM CLAD WINDOW	FRP	F BERGLASS RE NFORCED PLASTIC	PVMT	PAVEMENT
ADJ	ADJUSTABLE	FRT	F RE RETARDANT TREATED	PWVC	PERFORATED V NYL WALL COVER NG
AFF	ABOVE F NISHED FLOOR	FT	FOOT, FEET	QSM	QUARTZ SURFACING MATERIAL
AHJ	AUTHORITY HAVING JURISDICTION	FTG	FOOTING	QT	QUARRY TILE
AHU	A R HANDLING UNIT	FURN	FURNITURE	QTY	QUANTITY
ALT	ALTERNATE	FVC	F RE VALVE CAB NET	R	RISER, RADIUS
ALUM	ALUMINUM	FWC	FABRIC WALL COVER NG	R/W	RIGHT OF WAY
AP	ACCESS PANEL	GA	GAUGE	RAD	RADIUS
APC	ARCHITECTURAL PRECAST CONCRETE	GAL	GALLON	RAF	RESILIENT ATHLETIC FLOORING
ARC	ABUSE RESISTANT COATING	GALV	GALVANIZED	RB	RESILIENT BASE
AS	ALUMINUM STOREFRONT	GB	GYPSPUM BOARD	RCP	REFLECTED CEILING PLAN
AUTO	AUTOMATIC	GB-AR	GYPSPUM BOARD - ABUSE RESISTANT	RD	ROOF DRAIN
AVG	AVERAGE	GB-IR	GYPSPUM BOARD - IMPACT RESISTANT	REFG	REFRIGERATOR
AW	ALUMINUM W NDOW	GB-S	GYPSPUM BOARD - SECURITY	RE NF	RE NFORC NG, REINFORCE(D)
AWC	ACOUSTICAL WALL COVER NG	GFRG	GLASS FIBER REINFORCED CONCRETE	REM	RECESSED ENTRY MAT
AWP	ACOUSTICAL WALL PANEL	GFRG	GLASS FIBER REINFORCED GYPSPUM	REQD	REQUIRED
BD	BOARD	GL	GLASS, GLAZ NG	RES	RES NIOUS FLOORING
BF	BARRIER FREE (ADA or A117.1)	GL-BLK	GLASS BLOCK	RFT	RUBBER FLOOR TILE
BLDG	BUILDING	GPM	GALLONS PER MINUTE	RH	RIGHT HAND
BLKG	BLOCKING	GRT	GROUT	RL	RA N LEADER
BOT	BOTTOM	GSFT	GLAZED STRUCTURAL FACING TILE	RM	ROOM
BRG	BEAR NG	GT	GLASS TILE	RO	ROUGH OPENING
BTWN	BETWEEN	GW	GLAZED WALL TILE	RSF	RUBBER SHEET FLOORING
BUR	BUILT-UP ROOF	GYP	GYPSPUM	RSR	RES LIENT STAIR RISER
C	CARPET	H	HIGH	RST	RES LIENT STAIR TREAD
C-TILE	CARPET TILE	HB	HOSE BIBB	RT	RIGHT
CAB	CABINET	HBD	HARDBOARD	RTU	ROOFTOP UNIT
CB	CHALKBOARD	HDC	HOLD DOWN CL PS	SAB	SOUND ATTENUATION BLANKET
CCTV	CLOSED C RCUIT TELEVISION	HDNR	HARDENER	SC-PLK	SECURITY CEILING PLANK
CEM	CEMENT	HDR	HARDWOOD	SC-RLN	SECURITY CEILING RISER
CFSF-NS	COLD FORMED STEEL FRAMING, NON-STRUCTURAL	HDWR	HARDWARE	SCH	SCHEDULE
CFSF-S	COLD FORMED STEEL FRAMING, STRUCTURAL	HM	HOLLOW METAL	SF	SQUARE FEET / FOOT
CG	CORNER GUARD	HORIZ	HORIZONTAL	SFRM	SPRAYED FIRE RESISTANT MATERIAL
CI	CONTINUOUS NSULATION	HPC	HIGH PERFORMANCE COATINGS	SHM	SECURITY HOLLOW METAL
CIPC	CAST IN PLACE CONCRETE	HPFP	HIGH PERFORMANCE FLOOR PA NT	SHTG	SHEATHING
CJ	CONTROL JOINT	HT	HEIGHT	SIM	SIMILAR
CL	CLOSET	HVAC	HEATING, VENTILATING, AIR CONDITIONING	SPEC	SPECIFICATION
CLG	CEILING	D	NSIDE DIAMETER	SPF	SPRAYED POLYURETHANE FOAM
CLR	CLEAR	N	NCH, NCHES	SPR NKLR	SPR NKLER
CM	CENT METER	NCL	NCLUDE, INCLUDING	SQ	SQUARE
CMBD	CEMENT BOARD	NFO	NFORMATION	SQ FT	SQUARE FEET / FOOT
CMU	CONCRETE MASONRY UNIT	NST	NSTALLATION	SRD	SECONDARY ROOF DRA N
CMU-A	CONCRETE MASONRY UNIT - ACOUSTICAL	NSUL	NSULATION	SS	STAINLESS STEEL
CMU-GF	CONCRETE MASONRY UNIT - GROUND FACE	NT	NTERIOR	SSM	SOLID SURFACE MATERIAL
CMU-GLZ	CONCRETE MASONRY UNIT - GLAZED	RWC	IMPACT RESISTANT WALL COVERING	ST	STREET
CMU-SPLF	CONCRETE MASONRY UNIT - SPLIT FACE	IWB	INTERACTIVE WHITE BOARD	STC	SOUND TRANSMISSION COEFFICIENT
CO	CLEANOUT	JAN	JANITOR	STD	STANDARD
COL	COLUMN	JCT	JUNCTION	STL	STEEL
CONC	CONCRETE	JT	JOINT	STN	STONE
CONC-LH	CONCRETE WITH LIQUID HARDENER/SEALER	L	LENGTH/ LONG	STRUCT	STRUCTURAL
CONC-PMT	CONCRETE WITH PIGMENT	LAB	LABORATORY	SUSP	SUSPENDED
CONC-POL	CONCRETE - POLISHED	LAHJ	LOCAL AUTHORITY HAVING JURISDICTION	SV	SHEET V NYL
CONC-SLR	CONCRETE WITH CURE & SEAL	LAM	LAM NATE	SWM	SECURITY WOVEN MESH / WOVEN ROD
CONC-ST	CONCRETE WITH STAIN	LAV	LAVATORY	SYM	SYMMETRICAL
CONST	CONSTRUCTION	LH	LEFT HAND	T	TREAD
CONT	CONTINUOUS	LIN	LINOLEUM	T&G	TONGUE & GROOVE
CONTR	CONTRACTOR	LKR	LOCKER	T.O.	TOP OF
CORR	CORRIDOR	LMC	LINEAR METAL CE LING	TB	TACKBOARD
CSMU	CAST STONE MASONRY UNIT	LPS	LAM NATE PANEL SYSTEM	TCF	TEXTILE COMPOSITE FLOORING
CT	CERAMIC TILE	LT	LIGHT	TEL	TELEPHONE
CTSK	COUNTERSINK, COUNTERSUNK	LVR	LOUVER	TERR-C	TERRAZZO CEMENTITIOUS
CU FT	CUBIC FEET / FOOT	M	METER	TERR-E	TERRAZZO EPOXY
CUST	CUSTODIAN / CUSTODIAL	MACH	MACHINE	TERR-R	TERRAZZO RUBBERIZED
CW	ALUMINUM CURTAIN WALL	MAS	MASONRY	THHD	THRESHOLD
CWFD	CEMENTITIOUS WOOD FIBER DECK	MATL	MATERIAL	THK	THICKNESS, THICK
D	DEPTH/DEEP	MAX	MAXIMUM	TOS	TOP OF STEEL
DBL	DOUBLE	MB	MARKERBOARD	TOW	TOP OF WALL
DEMO	DEMOLITION	MCM	METAL COMPOSITE MATERIAL	TS	TACK STRIP
DETE	DETENTION	MCP	METAL CEILING PANEL	TV	TELEVISION
DF	DR				

DRAWING INDEX	
GENERAL	
G0.1	COVER
ARCHITECTURAL	
A1.1	ARCHITECTURAL SITE PLAN
A2.1	FLOOR PLANS
A2.2	FLOOR PLAN & 3D VIEW
A4.1	BUILDING ELEVATIONS
A4.2	CONTEXT IMAGE
A4.3	CONTEXT IMAGE
A5.1	WALL SECTIONS & DETAILS

REVISIONS		THREE STORY TRIPLEX		
DATE	DESCRIPTION			
			PROJECT ADDRESS: 403 WEST MARSHAL STREET	DRAWING TITLE: COVER
			ARCHITECT: CHRISTOPHER REA, AIA 2312 NEW BERNE ROAD HENRICO, VIRGINIA 23228 (804) 874-9718	DRAWING NUMBER: G0.1
			PROJECT NUMBER: 123456	DATE: APRIL 29, 2025

1 HOUR FIRE
RESISTANCE RATED
UL ASSEMBLY U356 OR
APPROVED EQUAL

1 HOUR FIRE
RESISTANCE RATED
UL ASSEMBLY U305 OR
APPROVED EQUAL

1 HOUR FIRE
RESISTANCE RATED
UL ASSEMBLY U356 OR
APPROVED EQUAL

1 HOUR FIRE
RESISTANCE RATED
UL ASSEMBLY U305 OR
APPROVED EQUAL

1 HOUR FIRE
RESISTANCE RATED
UL ASSEMBLY U356 OR
APPROVED EQUAL

ALARM PANEL BOX

KNOX BOX

1 HOUR FIRE
RESISTANCE RATED
UL ASSEMBLY U305 OR
APPROVED EQUAL



THIRD FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"



FIRST FLOOR PLAN

1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

THREE STORY TRIPLEX

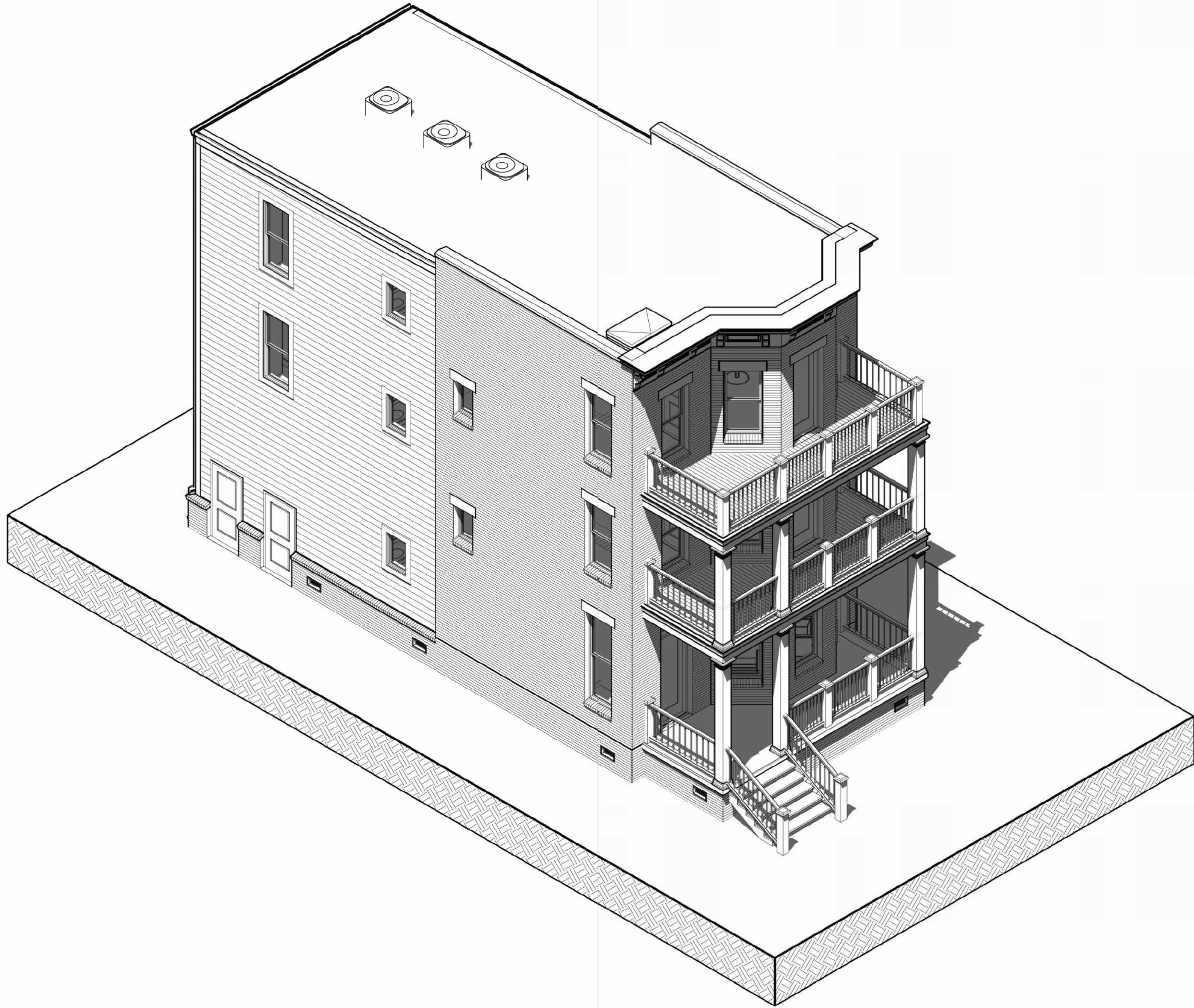
PROJECT ADDRESS:
403 WEST MARSHAL STREET

ARCHITECT: CHRISTOPHER REA, AIA
2312 NEW BERNE ROAD
HENRICO, VIRGINIA 23228
(804) 874-9718

PROJECT NUMBER: 123456

DRAWING TITLE:
FLOOR PLANS

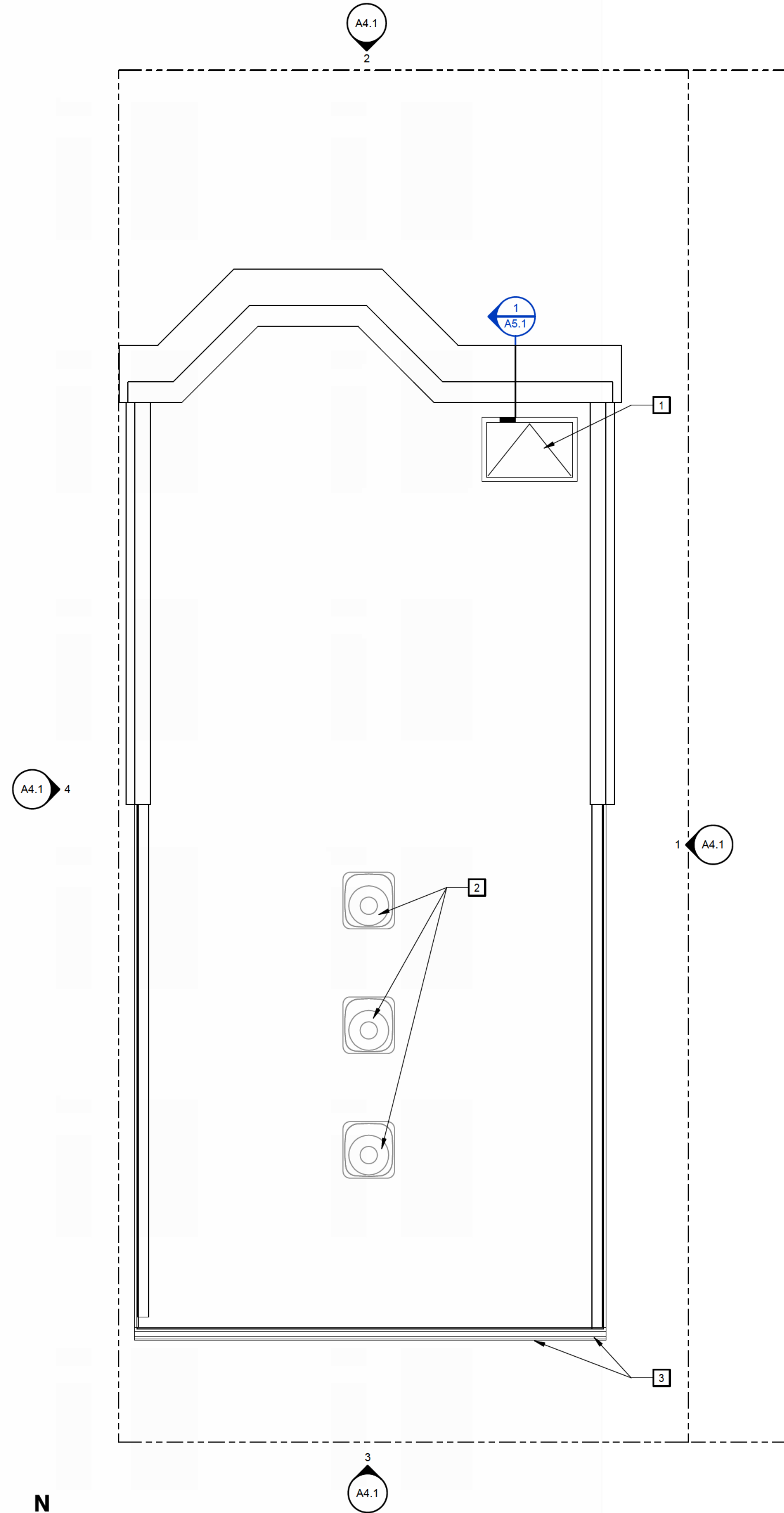
DRAWING NUMBER:
A2.1



AXONOMETRIC FROM NORTHEAST
NO SCALE



ROOF PLAN
1/4" = 1'-0"



FLOOR PLAN KEYNOTES

REPRESENTED BY **n**

APPLIES TO DRAW NGS A2.1 - A2.nn

- | | |
|---|--|
| 1 | ROOF HATCH |
| 2 | HVAC CONDENSER |
| 3 | GUTTER AND DOWNSPOUT TO SPLASHBLOCK AT GRADE |

REVISIONS	
DATE	DESCRIPTION

THREE STORY TRIPLEX



PROJECT ADDRESS:
403 WEST MARSHAL STREET

ARCHITECT: CHRISTOPHER REA, AIA
2312 NEW BERNE ROAD
HENRICO, VIRGINIA 23228
(804) 874-9718

PROJECT NUMBER: 123456

DATE: APRIL 29, 2025

DRAWING TITLE:
ROOF PLAN & 3D VIEW

DRAWING NUMBER:

A2.2

GENERAL NOTES

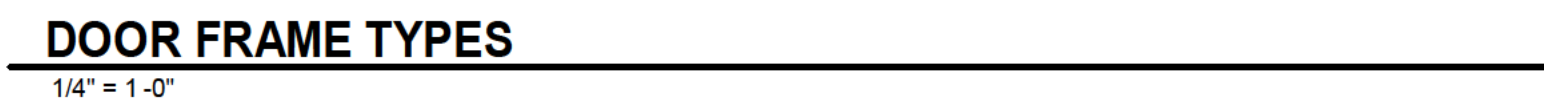
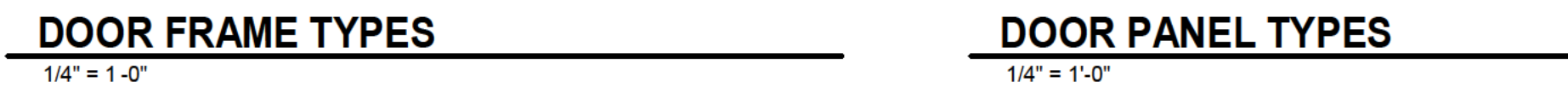
- A. UNLESS INDICATED OTHERWISE, ALL DETAIL NUMBERS IN THE DOOR AND FRAME SCHEDULE FOR HEAD, JAMB AND SILL CONDITIONS REFER TO DRAWINGS A3.2.1 - A3.2.n.
- B. DOOR AND FRAME DETAILS INDICATE GENERAL CHARACTERISTICS OF DOOR AND FRAME SIZES AND COMPONENTS AND MAY NOT INDICATE EXACT FIELD CONDITIONS OR REQUIREMENTS. COORDINATE DETAILS WITH OTHER DRAWINGS AND SPECS TO DETERMINE ALL COMPONENTS (E.G., SEALANTS, ANCHORS, HARDWARE, LINTELS, GLASS) REQUIRED FOR COMPLETE AND FUNCTIONAL INSTALLATION.
- C. DOOR SWINGS ON FLOOR PLANS TAKE PRECEDENCE OVER SWINGS INDICATED ELSEWHERE (E.G., ELEVATIONS).


A. UNLESS INDICATED OTHERWISE, ALL DETAIL NUMBERS IN THE DOOR AND FRAME SCHEDULE FOR HEAD, JAMB AND SILL CONDITIONS REFER TO DRAWINGS A3 2.1 - A3.2.n.

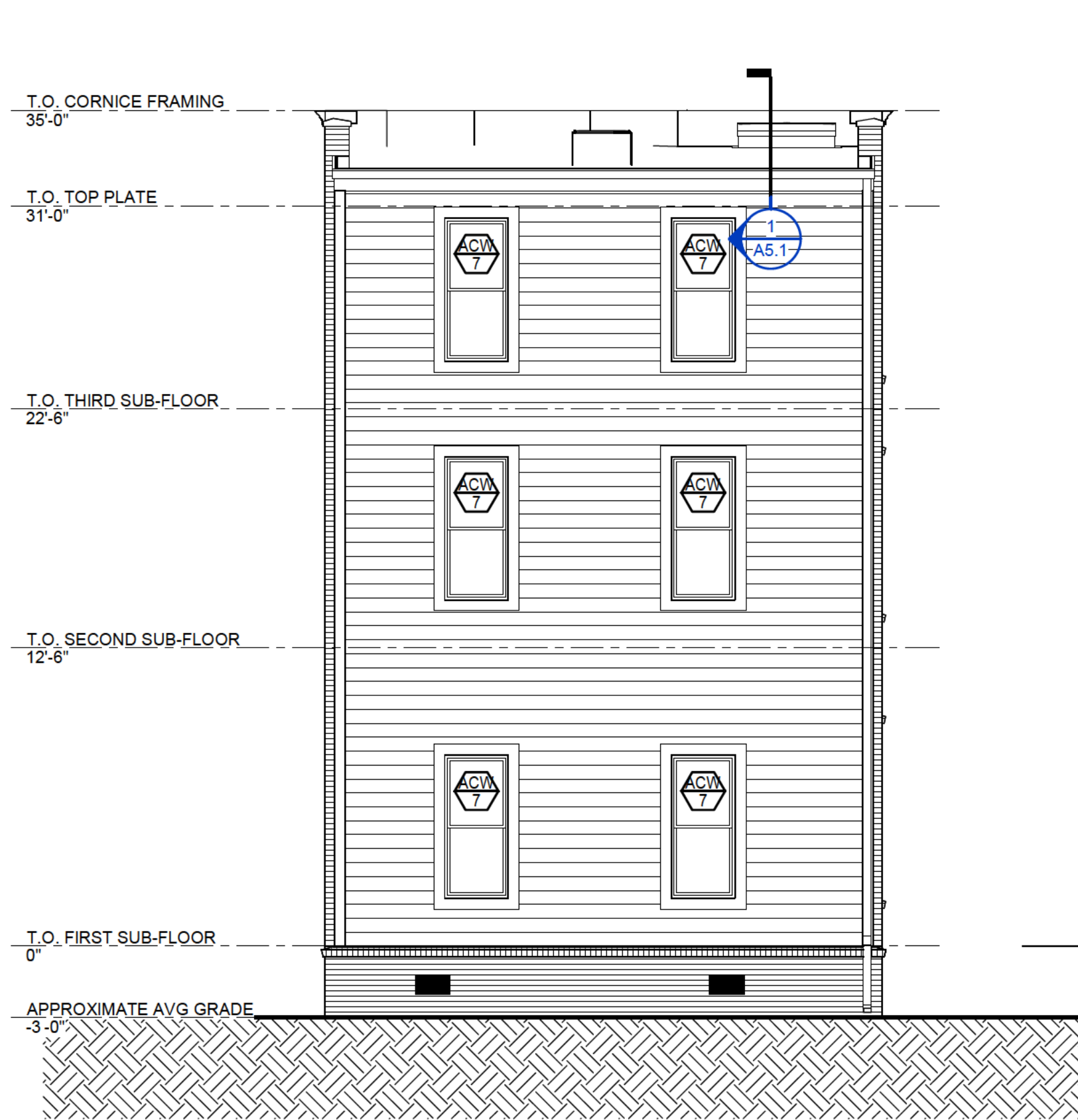
B. DOOR AND FRAME DETAILS INDICATE GENERAL CHARACTERISTICS OF DOOR AND FRAME SIZES AND COMPONENTS AND MAY NOT INDICATE EXACT FIELD CONDITIONS OR REQUIREMENTS. COORDINATE DETAIL SIZES WITH OTHER DRAWINGS AND SPECS TO DETERMINE ALL COMPONENTS (E.G. SEALANTS, ANCHORS, HARDWARE, LINTELS, CLIPS) REQUIRED FOR COMPLETE AND FUNCTIONAL INSTALLATION.

C. DOOR SWINGS ON FLOOR PLANS TAKE PRECEDENCE OVER SWINGS INDICATED ELSEWHERE (E.G., ELEVATIONS).

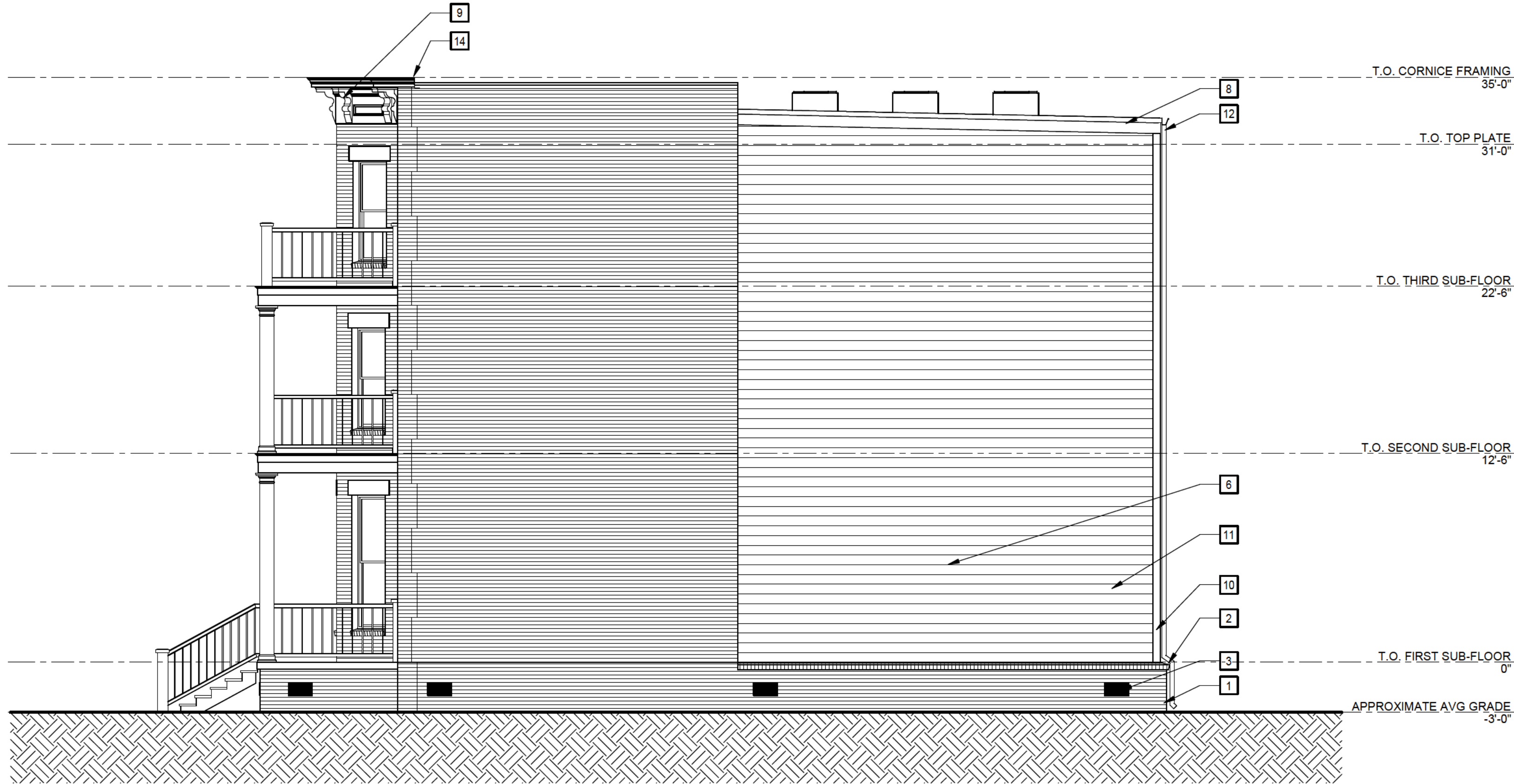
NUMBER	DOOR		DOOR			FRAME										FIRE RATING	NOTES
	TYPE	SIZE (NOMINAL)	MATL	LOUVER	UC	GLAZING TYPE	TYPE	NUMBER	SECTIONS	HEAD DETAIL	JAMB DETAIL	JAMB DETAIL	SILL DETAIL				
101	FG	3'-0" x 6'-0" x 1 3/4"	ACW	--	--	TEMP	FGL	1									
102	RP2	2'-6" x 6'-8" x 1 3/4"	WD	--	--	--											
103	RP2	3'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
105	RP2	2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
106	RP2	2'-6" x 6'-8" x 1 3/8"	WD	--	--	--											
107	RP2	PR 2'-6" x 6'-8" x 1 3/4"	WD	--	--	--											
108	RP2	PR 2'-6" x 6'-8" x 1 3/4"	WD	--	--	--											
109	RP2	2'-10" x 6'-8" x 1 3/4"	WD	--	--	--											
110A	RP2	PR 2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
110B	RP2	PR 2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
111	RP2	3'-0" x 6'-8" x 1 3/8"	WD	--	--	--											
112	RP2	3'-0" x 6'-8" x 1 3/4"	ACW	--	--	--											
113	RP2	3'-0" x 6'-8" x 1 3/4"	ACW	--	--	--											
202A	RP2	3'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
202B	FG	2'-10" x 7'-4" x 1 3/4"	ACW	--	--	TEMP	FGL	2									
204	RP2	2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
205	RP2	2'-8" x 6'-8" x 1 3/8"	WD	--	--	--											
206	RP2	PR 2'-6" x 6'-8" x 1 3/4"	WD	--	--	--											
207	RP2	PR 2'-6" x 6'-8" x 1 3/4"	WD	--	--	--											
208	RP2	2'-10" x 6'-8" x 1 3/4"	WD	--	--	--											
208A	RP2	PR 2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
208B	RP2	PR 2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
210	RP2	3'-0" x 6'-8" x 1 3/8"	WD	--	--	--											
302A	RP2	3'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
302B	FG	2'-10" x 7'-4" x 1 3/4"	ACW	--	--	TEMP	FGL	2									
304	RP2	2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
305	RP2	2'-8" x 6'-8" x 1 3/8"	WD	--	--	--											
306	RP2	PR 2'-6" x 6'-8" x 1 3/4"	WD	--	--	--											
307	RP2	PR 2'-6" x 6'-8" x 1 3/4"	WD	--	--	--											
308	RP2	2'-10" x 6'-8" x 1 3/4"	WD	--	--	--											
308A	RP2	PR 2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
308B	RP2	PR 2'-0" x 6'-8" x 1 3/4"	WD	--	--	--											
310	RP2	3'-0" x 6'-8" x 1 3/8"	WD	--	--	--											



REVISIONS		THREE STORY TRIPLEX		
DATE	DESCRIPTION			
			PROJECT ADDRESS: 403 WEST MARSHAL STREET	DRAWING TITLE: DOOR AND FRAME SCHEDULE
			ARCHITECT: CHRISTOPHER REA, AIA 2312 NEW BERNE ROAD HENRICO, VIRGINIA 23228 (804) 874-9718	DRAWING NUMBER: A3.1
		PROJECT NUMBER: 123456	DATE: APRIL 29, 2025	



3 SOUTH ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"

GENERAL NOTES

- A. ELEVATION ANNOTATIONS AND KEYNOTES ARE TYPICAL FOR BUILDING ELEVATIONS UNLESS INDICATED OTHERWISE.
- B. REFER TO THE ROOF PLAN FOR DOWNSPOUT LOCATIONS.
- C. FINISH GRADE INDICATED IS DIAGRAMMATIC. EXCEPT AT DOOR LANDINGS AND PATIOS, MAINTAIN 8" MINIMUM CLEAR FROM TOP OF GRADE TO FINISHED FLOOR. REFER TO CIVIL PLANS FOR GRADING.

BUILDING ELEVATION KEYNOTES

REPRESENTED BY [n]
APPLIES TO DRAWINGS A4.1 - A4.n

- | | |
|----|---|
| 1 | FACE BRICK |
| 2 | ROWLOCK WATERTABLE |
| 3 | 8" X 16" FOUNDATION VENT |
| 4 | REINFORCED CELLULAR PVC PICKET RAILING SYSTEM |
| 5 | 10" SQUARE SMOOTH FACED FIBER-CEMENT BOX COLUMN WITH POLYURETHANE MOULDINGS |
| 6 | DOUBLE-HUNG ALUMINUM-CLAD WOOD WINDOW |
| 7 | CAST STONE HEADER |
| 8 | SMOOTH FACED FIBER-CEMENT FASCIA |
| 9 | SMOOTH FACED FIBER-CEMENT CORNICE FASCIA WITH POLYURETHANE MOULDINGS, TRIM, AND ITALIANATE BRACKETS |
| 10 | FIBER-CEMENT CORNER BOARD |
| 11 | SMOOTH FACED FIBER-CEMENT LAP SIDING - 7" EXPOSURE |
| 12 | GUTTER AND DOWNSPOUT TO SPLASH-BLOCK AT GRADE |
| 13 | CONCRETE PORCH FLOOR |
| 14 | CAST STONE PARAPET CAP |
| 15 | CELLULAR PVC PORCH CEILING WITH BEAD-BOARD TEXTURE |



1 EAST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

THREE STORY TRIPLEX



PROJECT ADDRESS:
403 WEST MARSHAL STREET

ARCHITECT: CHRISTOPHER REA, AIA
2312 NEW BERNE ROAD
HENRICO, VIRGINIA 23228
(804) 874-9718

PROJECT NUMBER: 123456

DATE: APRIL 29, 2025

DRAWING TITLE:
BUILDING ELEVATIONS

DRAWING NUMBER:

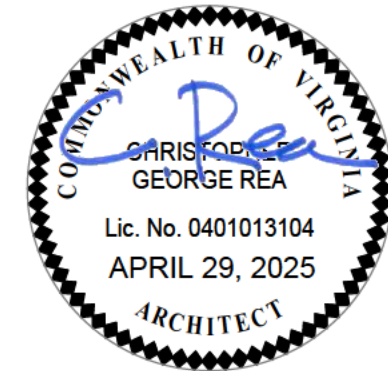
A4.1



3/30/2025 5:40:59 PM

REVISIONS	
DATE	DESCRIPTION

THREE STORY TRIPLEX



PROJECT ADDRESS:
403 WEST MARSHAL STREET

ARCHITECT: CHRISTOPHER REA, AIA
2312 NEW BERNE ROAD
HENRICO, VIRGINIA 23228
(804) 874-9718

PROJECT NUMBER: 123456

DATE: APRIL 29, 2025

DRAWING TITLE:
CONTEXT IMAGE

DRAWING NUMBER:

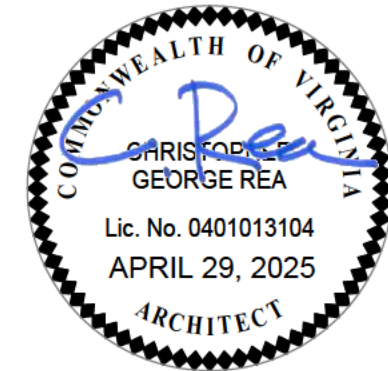
A4.2



3/30/2025 5:40:59 PM

REVISIONS	
DATE	DESCRIPTION

THREE STORY TRIPLEX



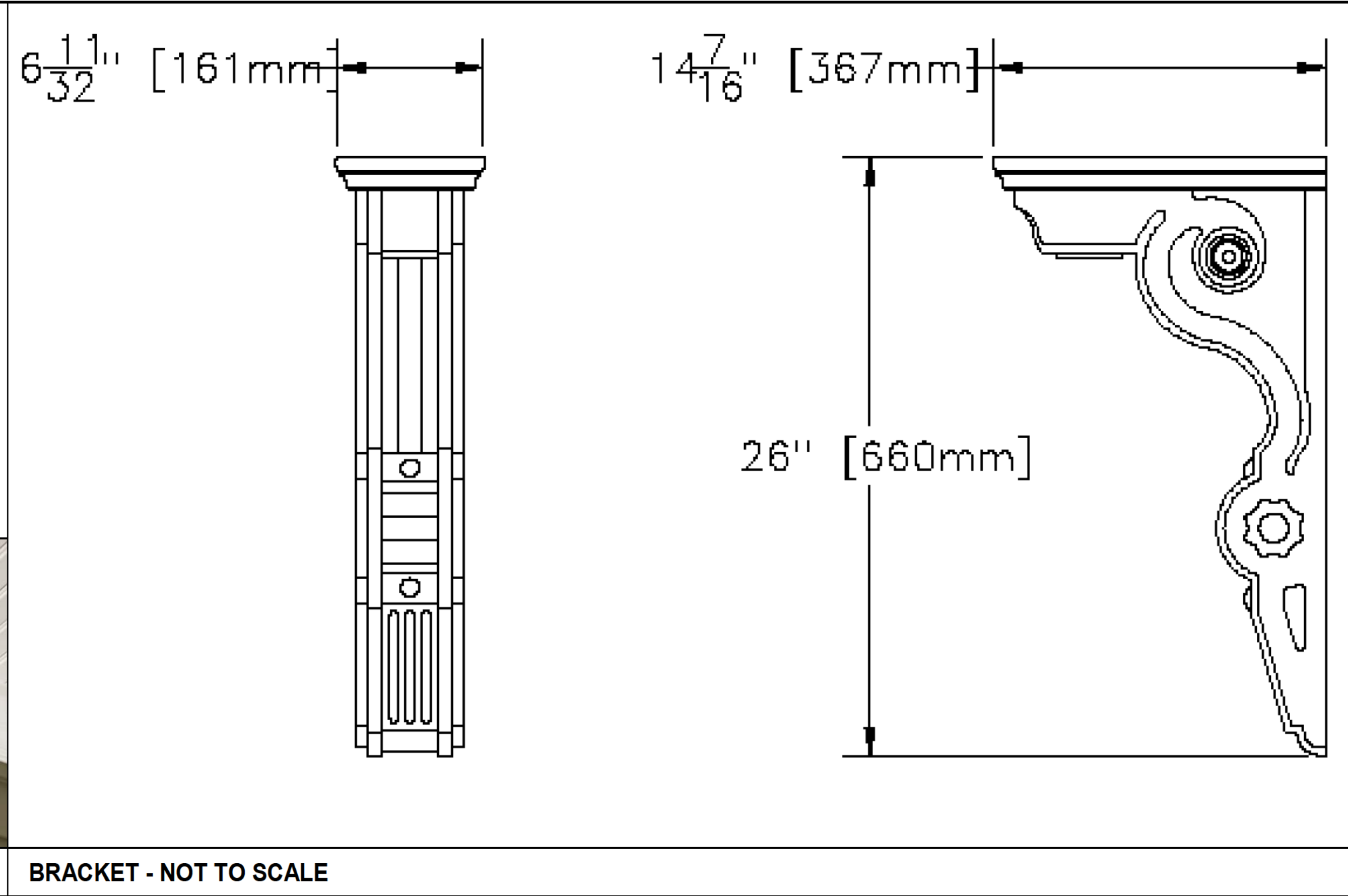
PROJECT ADDRESS:
403 WEST MARSHAL STREET

ARCHITECT: CHRISTOPHER REA, AIA
2312 NEW BERNE ROAD
HENRICO, VIRGINIA 23228
(804) 874-9718

PROJECT NUMBER: 123456 DATE: APRIL 29, 2025

DRAWING TITLE:
CONTEXT IMAGE

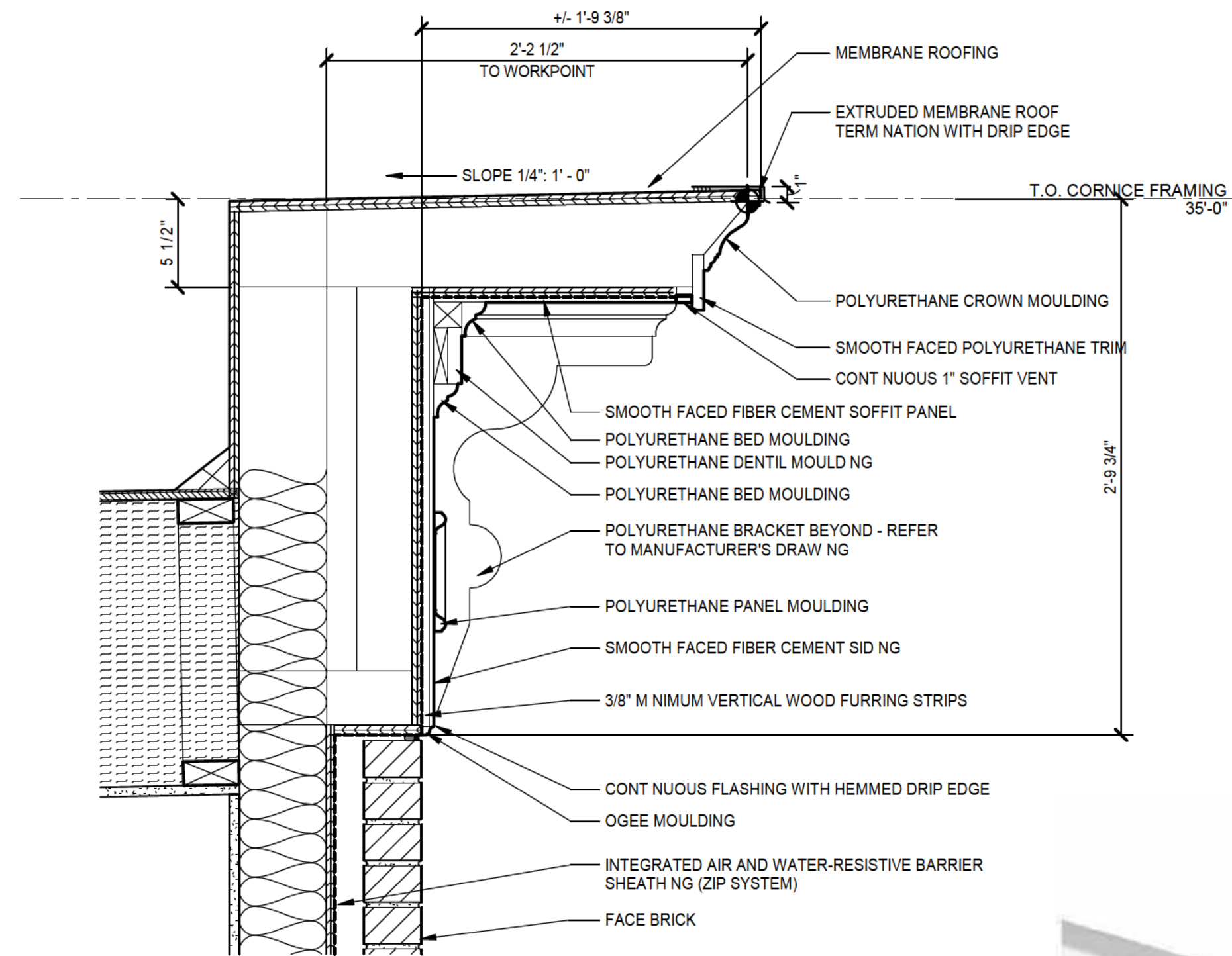
DRAWING NUMBER:
A4.3




BRACKET - NOT TO SCALE



APPLICATION PHOTO OF RAILING SYSTEM



1 CORNICE SECTION DETAIL
1 1/2" = 1'-0"

		PROJECT ADDRESS: 403 WEST MARSHAL STREET	DRAWING TITLE: WALL SECTIONS & DETAILS
ARCHITECT: CHRISTOPHER REA, AIA 2312 NEW BERNE ROAD HENRICO, VIRGINIA 23228 (804) 874-9718		DRAWING NUMBER: <div style="font-size: 48pt; font-weight: bold;">A5.1</div>	
PROJECT NUMBER: 123456	DATE: APRIL 29, 2025		