

INTRODUCED: January 12, 2026

AN ORDINANCE No. 2026-024

To authorize the special use of the property known as 401 West Marshall Street for the purpose of one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, upon certain terms and conditions.

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Patron – Mayor Avula (By Request)

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Approved as to form and legality  
by the City Attorney

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PUBLIC HEARING: FEB 9 2026 AT 6 P.M.

WHEREAS, the owner of the property known as 401 West Marshall Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, which use, among other things, is not currently allowed by sections 30-412.1, 30-412.5, concerning yards, and 30-412.6, concerning lot coverage, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: \_\_\_\_\_ NOES: \_\_\_\_\_ ABSTAIN: \_\_\_\_\_

ADOPTED: \_\_\_\_\_ REJECTED: \_\_\_\_\_ STRICKEN: \_\_\_\_\_

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or  
(vi) interfere with adequate light and air.

**§ 2. Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 401 West Marshall Street and identified as Tax Parcel No. N000-0206/009 in the 2026 records of the City Assessor, being more particularly shown on a survey entitled “Plat of Division, #401 W. Marshall Street, City of Richmond, Virginia,” prepared by Shadrach & Associates LLC, and dated August 5, 2025, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the for the purpose of one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Plat of Division, #401 W. Marshall Street, City of Richmond, Virginia,” prepared by Shadrach & Associates LLC, and dated August 5, 2025, and “Three Story Triplex,” prepared by Christopher Rea, dated March 29, 2025, and last revised July 30, 2025, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

**§ 3. Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) Notwithstanding anything in Ordinance No. 82-252-239, adopted October 25, 1982, to the contrary, the Special Use of the Property shall be as one single-family detached dwelling and a multifamily dwelling containing no more than three dwelling units, substantially as shown on the Plans.

(b) No off-street parking shall be required for the Special Use.

(c) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.

(d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans, subject to the conditions set forth in the Certificate of Appropriateness issued by the Commission of Architectural Review, dated January 30, 2025, in response to Application No. COA-160046-2025.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Prior to the issuance of a building permit for the Special Use, the establishment of no more than two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

**§ 4. Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

**§ 5. General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

**§ 6. Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building

Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

# City of Richmond

## Intracity Correspondence

### O&R Transmittal

**DATE:** December 3, 2025

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Dr. Danny Avula, Mayor (by request)

(This in no way reflects a recommendation on behalf of the Mayor)

**THROUGH:** Odie Donald II, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, DCAO for Economic Development and Planning

**FROM:** Kevin J. Vonck, Director of Planning & Development Review

**RE:** To authorize the special use of the property known as 401 West Marshall Street for the purpose of one single-family detached dwelling and a multi-family building containing up to three dwelling units, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_\_

**PURPOSE:** The applicant is requesting a special use permit to authorize the construction of a new multi-family building with three dwelling units. The existing single-family detached dwelling on the property is to remain. The current zoning for the property is R-6 Single-Family Attached Residential. This zoning district does not permit multi-family buildings. A Special Use Permit is therefore necessary to proceed with this request.

**BACKGROUND:** The property is located in the Jackson Ward neighborhood and historic district on the corner of West Marshall Street and North Monroe Street. The property is currently a 4,304 square foot (0.09 acre) parcel of land improved with a two-story single-family detached dwelling. The City's Richmond 300 Master Plan designates the future land use of the subject parcel as Neighborhood Mixed-Use, which is defined as existing or new highly walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses.

**Intensity:** Building heights are generally two to four stories. Buildings taller than four stories may be found along major streets. Parcels are generally between 1,500 and 5,000 sq. ft.

**Primary Uses:** Single-family houses, accessory dwelling units, duplexes, small multi-family buildings (typically 3-10 units), and open space.

**Secondary Uses:** Large multifamily buildings (10+units), retail/office/personal service, institutional, cultural, and government.

The current zoning for the property is R-6 Single-Family Attached Residential. The density proposed is four units upon 0.09 acres or 44 units per acre.

**COMMUNITY ENGAGEMENT:** The Historic Jackson Ward Civic Association was notified of the application; additional community notification will take place after introduction.

**STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL:** Richmond 300 Master Plan

**FISCAL IMPACT:** \$800 application fee.

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** January 12, 2026

**CITY COUNCIL PUBLIC HEARING DATE:** February 9, 2026

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** Planning Commission February 3, 2026

**AFFECTED AGENCIES:** Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**ATTACHMENTS:** Draft Ordinance, Authorization from Property Owner, Applicant's Report, Plans, Survey

**STAFF:**

Alyson Oliver, Program and Operations Supervisor, Land Use Administration (Room 511) 646-3709

Shaianna Trump, Planner Associate, Land Use Administration (Room 511) 646-7319



**CITY OF RICHMOND, VA**  
**Department of Planning and Development Review**  
**Land Use Administration Division**  
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

**AUTHORIZATION FROM PROPERTY OWNER**

TO BE COMPLETED BY THE APPLICANT  
Applicant must complete ALL items

HOME/SITE ADDRESS: 401 W Marshall St APARTMENT NO/SUITE \_\_\_\_\_  
APPLICANT'S NAME: Jeffrey Sadler EMAIL ADDRESS: [REDACTED]  
BUSINESS NAME (IF APPLICABLE): n/a  
SUBJECT PROPERTY OR PROPERTIES: 401 W Marshall St

**APPLICATION REQUESTED**

- Plan of Development (New or Amendment)
- Wireless Plan of Development (New or Amendment)
- Special Use Permit (New or Amendment)
- Rezoning or Conditional Rezoning
- Certificate of Appropriateness (Conceptual, Administrative Approval, Final)
- Community Unit Plan (Final, Preliminary, and/or Amendment)
- Subdivision (Preliminary or Final Plat Correction or Extension)

TO BE COMPLETED BY THE AUTHORIZED OWNER  
Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: Jeffrey W Sadler  
PROPERTY OWNER ADDRESS: 4443 Knob Road  
PROPERTY OWNER EMAIL ADDRESS: [REDACTED]  
PROPERTY OWNER PHONE NUMBER: 804-400-6872  
Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.



CITY OF RICHMOND, VA  
Department of Planning and Development Review  
Land Use Administration Division  
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT  
Applicant must complete ALL items

HOME/SITE ADDRESS: 401 W Marshall St APARTMENT NO/SUITE \_\_\_\_\_

APPLICANT'S NAME: Jeffrey Sadler EMAIL ADDRESS: [REDACTED]

BUSINESS NAME (IF APPLICABLE): n/a

SUBJECT PROPERTY OR PROPERTIES: 401 W Marshall St

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TO BE COMPLETED BY THE AUTHORIZED OWNER  
Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: Kirstie E Hein

PROPERTY OWNER ADDRESS: 4443 Knob Road

PROPERTY OWNER EMAIL ADDRESS: [REDACTED]

PROPERTY OWNER PHONE NUMBER: 804-931-0141

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.

**DATE: August 8, 2025**

**PREPARED BY: Jeffrey Sadler (Property Owner)**

**Background:**

401 West Marshall Street is located in Jackson Ward and zoned R-6. Currently, there is a white frame house (c1852) and a vacant lot where a house of similar age stood until the early-mid 1970s. This vacant lot is now used as a "side yard" for 401 W Marshall St.

The parcel is now a double frontage parcel, as several of the lots were assembled and subdivided 40-50 years ago. This process removed rear alley access to what was 403 W Marshall St when it was combined with 401 W Marshall Street.

Mr. Sadler, the applicant, has owned the property since 2005 and lived in the house at 401 W Marshall Street from 2005-2008. The house has been continuously rented since 2008.

**Plans:**

Given that Richmond has been identified as having a housing shortage, Mr. Sadler wishes to expand the household capacity of the parcel 4 fold by building a stacked tri-plex on what is now the vacant side yard. This will eventually result in a sub-division, re-establishing the vacant portion of 401 W Marshall Street as 403 West Marshall Street.

This new construction tri-plex will also fill a "missing tooth" of the streetscape replacing the house that stood on this spot until it was removed ~50 years ago. The infill tri-plex design has been approved for a Certificate of Appropriateness from CAR.

**Request:**

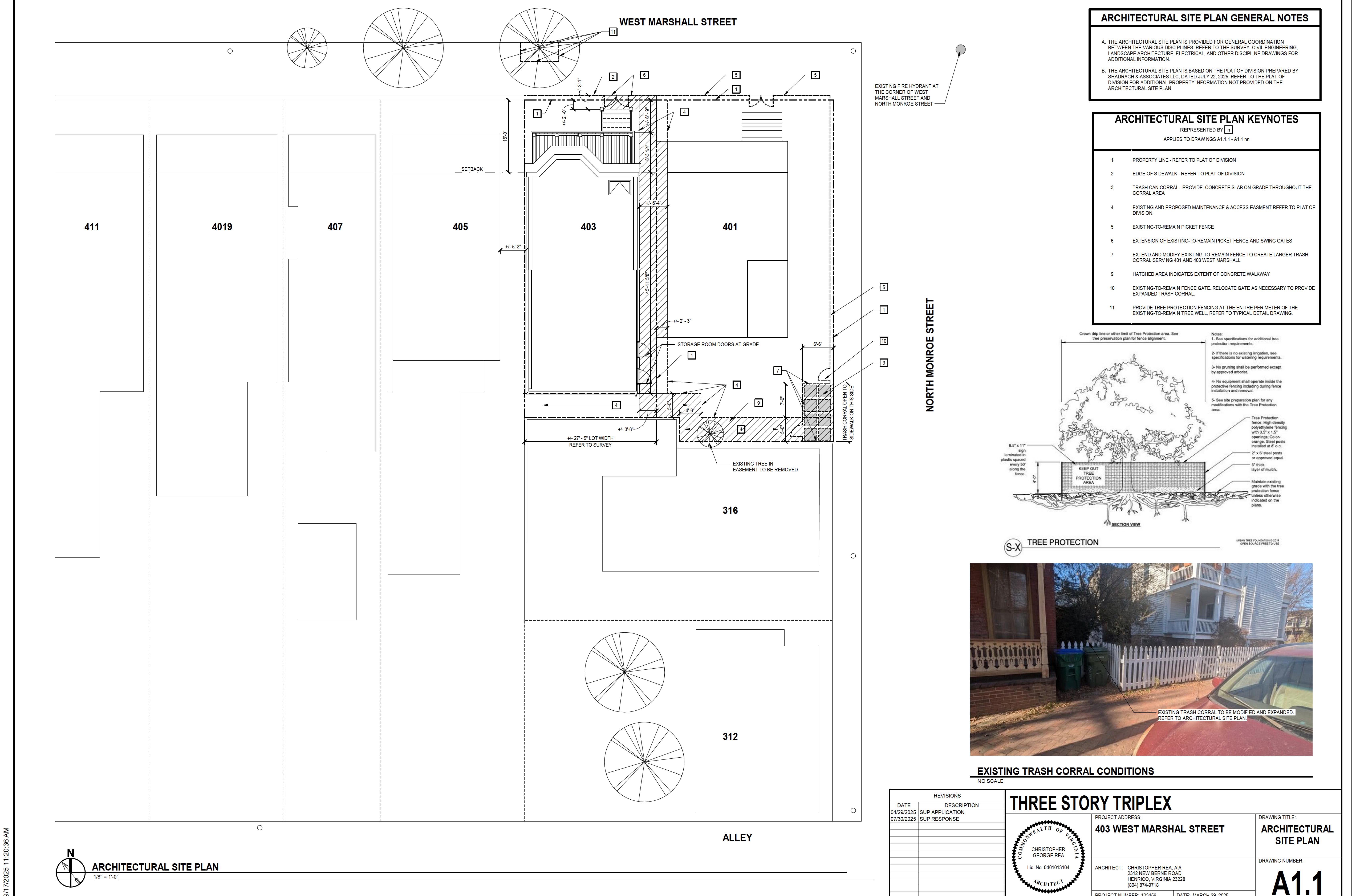
The applicant is requesting a Special Use Permit to allow this property to be constructed, as current zoning requires conditions that would make nearly every existing house in Jackson Ward illegal to be built today. These requirements include 50+ ft of frontage, and set-backs from neighbors that are not in keeping with the dense nature of the neighborhood.

Having owned the property for 20 years, the applicant has seen the neighborhood change and residential demand increase. With VCU's continued expansion in the area, the demand for housing in the neighborhood is likely to continue to increase. The parcel's location one block from the Pulse and proximity to the downtown professional district, state offices, City Hall, the arts district, and VCU Medical Center make these apartments ideal for car-less living.

Additionally, the stacked nature of the apartments should allow for three households to live using less energy consumption than two SFO households.

The building is estimated to be worth \$750,000-\$900,000 upon completion, adding \$8,000 - \$10,000 in tax revenue to the City budget in the first year, and well over \$100,000 in the first ten years after it is built. It will also add water & sewer service to the city, adding additional revenues.





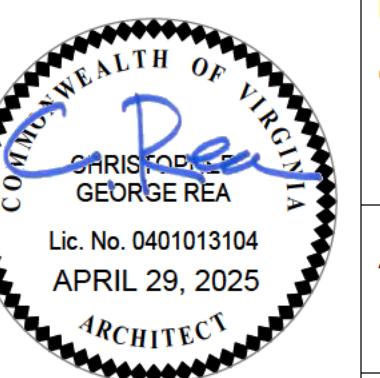
## ARCHITECTURAL ABBREVIATIONS

A-PT	ACCENT PAINT	FN	FINISHED	PSI	POUNDS PER SQUARE INCH
ABS	A R BARRIER SYSTEM	FLR	FLOOR	PT	PAINT
ABV	ABOVE	FLRG	FLOORING	PTN	PARTITION
ACP	ACOUSTICAL CEILING PANEL	FO	FACE OF	PTS	PNEUMATIC TUBE SYSTEM
ACT	ACOUSTICAL CEILING TILE	FRM	FRAME	PVC	POLYVINYL CHLORIDE
ACW	ALUMINUM CLAD WINDOW	FRP	F BERGLASS REINFORCED PLASTIC	PVMT	PAVEMENT
ADJ	ADJUSTABLE	FRT	FIRE RETARDANT TREATED	PVWC	PERFORATED VINYL WALL COVERING
AFF	ABOVE FINISHED FLOOR	FT	FOOT, FEET	QSM	QUARTZ SURFACING MATERIAL
AHJ	AUTHORITY HAVING JURISDICTION	FTG	FOOTING	QT	QUARRY TILE
AHU	A R HANDLING UNIT	FURN	FURNITURE	QTY	QUANTITY
ALT	ALTERNATE	FVC	FIRE VALVE CABINET	R	RISER, RADIUS
ALUM	ALUMINUM	FWC	FABRIC WALL COVERING	R/W	RIGHT OF WAY
AP	ACCESS PANEL	GA	GAUGE	RAD	RADIUS
APC	ARCHITECTURAL PRECAST CONCRETE	GAL	GALLON	RAF	RESILIENT ATHLETIC FLOORING
ARC	ABUSE RESISTANT COATING	GALV	GALVANIZED	RB	RESILIENT BASE
AS	ALUMINUM STOREFRONT	GB	GYPSUM BOARD	RCP	REFLECTED CEILING PLAN
AUTO	AUTOMATIC	GB-AR	GYPSUM BOARD - ABUSE RESISTANT	RD	ROOF DRAIN
AVG	AVERAGE	GB-IR	GYPSUM BOARD - IMPACT RESISTANT	REFG	REFRIGERATOR
AW	ALUMINUM WINDOW	GB-S	GYPSUM BOARD - SECURITY	REFN	REINFORCING, REINFORCE(D)
AWC	ACOUSTICAL WALL COVERING	GFRC	GLASS FIBER REINFORCED CONCRETE	REM	RECESSED ENTRY MAT
AWP	ACOUSTICAL WALL PANEL	GFRG	GLASS FIBER REINFORCED GYPSUM	REQ'D	REQUIRED
BD	BOARD	GL	GLASS, GLAZING	RES	RESILIOUS FLOORING
BF	BARRIER FREE (ADA or A117.1)	GL-BLK	GLASS BLOCK	RFT	RUBBER FLOOR TILE
BLDG	BUILDING	GPM	GALLONS PER MINUTE	RH	RIGHT HAND
BLKG	BLOCKING	GRT	GROUT	RL	RAIL LEADER
BOT	BOTTOM	GSFT	GLAZED STRUCTURAL FACING TILE	RM	ROOM
BRG	BEARING	GT	GLASS TILE	RO	ROUGH OPENING
BWN	BETWEEN	GWT	GLAZED WALL TILE	RSF	RUBBER SHEET FLOORING
BUR	BUILT-UP ROOF	GYP	GYPSUM	RSR	REINVENT STAIR RISER
C	CARPET	H	HIGH	RST	REINVENT STAIR TREAD
C-TILE	CARPET TILE	HB	HOSE BIBB	RT	RIGHT
CAB	CABINET	HBD	HARDBOARD	RTU	ROOFTOP UNIT
CB	CHALKBOARD	HDC	HOLD DOWN CLIPS	SAB	SOUND ATTENUATION BLANKET
CCTV	CLOSED CIRCUIT TELEVISION	HDNR	HARDENER	SC-PLK	SECURITY CEILING PLANK
CEM	CEMENT	HDWD	HARDWOOD	SC-PNL	SECURITY CEILING PANEL
CFSF-NS	COLD FORMED STEEL FRAMING, NON-STRUCTURAL	HDWR	HARDWARE	SCH	SCHEDULE
CFSF-S	COLD FORMED STEEL FRAMING, STRUCTURAL	HM	HOLLOW METAL	SF	SQUARE FEET / FOOT
CG	CORNER GUARD	HORIZ	HORIZONTAL	SFRM	SPRAYED FIRE RESISTANT MATERIAL
CI	CONTINUOUS INSULATION	HPC	HIGH PERFORMANCE COATINGS	SHM	SECURITY HOLLOW METAL
CIPC	CAST IN PLACE CONCRETE	HPFP	HIGH PERFORMANCE FLOOR PAINT	SHTG	SHEATHING
CJ	CONTROL JOINT	HT	HEIGHT	SIM	SIMILAR
CL	CLOSET	HVAC	HEATING, VENTILATING, AIR CONDITIONING	SPEC	SPECIFICATION
CLG	CEILING	D	INSIDE DIAMETER	SPF	SPRAYED POLYURETHANE FOAM
CLR	CLEAR	N	INCH, INCHES	SPR	SPRINKLER
CM	CENT METER	NCL	INCLUDE, INCLUDING	SQ	SQUARE
CMBD	CEMENT BOARD	NFO	INFORMATION	SQ FT	SQUARE FEET / FOOT
CMU	CONCRETE MASONRY UNIT	NST	INSTALLATION	SRD	SECONDARY ROOF DRAIN
CMU-A	CONCRETE MASONRY UNIT - ACOUSTICAL	NSUL	INSULATION	SS	STAINLESS STEEL
CMU-GF	CONCRETE MASONRY UNIT - GROUND FACE	NT	INTERIOR	SSM	SOLID SURFACE MATERIAL
CMU-GLZ	CONCRETE MASONRY UNIT - GLAZED	RWC	IMPACT RESISTANT WALL COVERING	ST	STREET
CMU-SPLF	CONCRETE MASONRY UNIT - SPLIT FACE	IWB	INTERACTIVE WHITE BOARD	STC	SOUND TRANSMISSION COEFFICIENT
CO	CLEANOUT	JAN	JANITOR	STD	STANDARD
COL	COLUMN	JCT	JUNCTION	STL	STEEL
CONC	CONCRETE	JT	JOINT	STN	STONE
CONC-LH	CONCRETE WITH LIQUID HARDENER/SEALER	L	LENGTH/LONG	STRUCT	STRUCTURAL
CONC-PMT	CONCRETE WITH PIGMENT	LAB	LABORATORY	SUSP	SUSPENDED
CONC-POL	CONCRETE - POLISHED	LAHJ	LOCAL AUTHORITY HAVING JURISDICTION	SV	SHEET VINYL
CONC-SLR	CONCRETE WITH CURE & SEAL	LAM	LAMINATE	SWM	SECURITY WOVEN MESH / WOVEN ROD
CONC-ST	CONCRETE WITH STAIN	LAV	LAVATORY	SYM	SYMMETRICAL
CONST	CONSTRUCTION	LH	LEFT HAND	T	TREAD
CONT	CONTINUOUS	LIN	LINOLEUM	T&G	TONGUE & GROOVE
CONTR	CONTRACTOR	LKR	LOCKER	T.O.	TOP OF
CORR	CORRIDOR	LMC	LINEAR METAL CEILING	TB	TACKBOARD
CSMU	CAST STONE MASONRY UNIT	LPS	LAMINATE PANEL SYSTEM	TCF	TEXTILE COMPOSITE FLOORING
CT	CERAMIC TILE	LT	LIGHT	TEL	TELEPHONE
CTSK	COUNTERSINK, COUNTERSUNK	LVR	LOUVER	TERR-C	TERRAZZO CEMENTITIOUS
CU FT	CUBIC FEET / FOOT	M	METER	TERR-E	TERRAZZO EPOXY
CUST	CUSTODIAN / CUSTODIAL	MACH	MACHINE	TERR-R	TERRAZZO RUBBERIZED
CW	ALUMINUM CURTAIN WALL	MAS	MASONRY	THHD	THRESHOLD
CWFD	CEMENTITIOUS WOOD FIBER DECK	MATL	MATERIAL	THK	THICKNESS, THICK
D	DEPTH/DEEP	MAX	MAXIMUM	TOS	TOP OF STEEL
DBL	DOUBLE	MB	MARKERBOARD	TOW	TOP OF WALL
DEMO	DEMOLITION	MCM	METAL COMPOSITE MATERIAL	TS	TACK STRIP
DETE	DETENTION	MCP	METAL CEILING PANEL	TV	TELEVISION
DF	DRINKING FOUNTAIN	MDO	MEDIUM DENSITY OVERLAY	TYP	TYPICAL
DG	DOOR GRILLE	MECH	MECHANICAL	UC	UNDERCUT
DHM	DETENTION HOLLOW METAL	MED	MEDIUM	UG	UNDERGROUND
DIA	DIAMETER	MEMB	MEMBRANE	UH	UNIT HEATER
DIAG	DIAGONAL	MFR	MANUFACTURER	UNO	UNLESS NOTED (INDICATED) OTHERWISE
DIM	DIMENSION	MIF	MULTICOLOR INTERIOR FINISHING	VAT	VINYL ASBESTOS TILE
DIV	DIVISION	MIN	MINIMUM	VB	VAPOR BARRIER
DL	DOOR LOUVER	MIR	MIRROR	VCT	VINYL COMPOSITION TILE
DN	DOWN	MISC	MISCELLANEOUS	VDB	VISUAL DISPLAY BOARD
DP	DAMPROOFING	MLDG	MOLDING	VERT	VERTICAL
DR	DISPLAY RAIL	MO	MASONRY OPENING	VEST	VESTIBULE
DS	DOWNSPOUT	MPS	MANUAL PROJECTION SCREEN	VFCT	VINYL FREE COMPOSITION TILE
DTL	DETAIL	MR	MAP RAIL	VFWC	VINYL FREE WALLCOVERING
DWG	DRAWING	MT	MOUNT	VIF	VIEW IN FIELD
DWR	DRAWER	MTD	MOUNTED	VR	VAPOR RETARDER
EA	EACH	MTL	METAL	VT	VINYL TILE
EF	EXHAUST FAN	NA	NOT APPLICABLE	VTR	VENT THROUGH ROOF
EFS	EXTERIOR FINISH SYSTEM	NIC	NOT IN CONTRACT	VW	VINYL WINDOW
E FS	EXTERIOR INSULATION & FINISH SYSTEM	NO.	NUMBER	VWC	VINYL WALL COVERING
EJ	EXPANSION JOINT	NOM	NOMINAL	W	WIDE, WIDE
EL	ELEVATION	NRC	NOISE REDUCTION COEFFICIENT	W/	WITH
ELAS	ELASTOMERIC	NTS	NOT TO SCALE	W/O	WITHOUT
ELEC	ELECTRICAL	OC	ON CENTER	WC	WATER CLOSET
ELEV	ELEVATOR	OD	OUTSIDE DIAMETER	WD	WOOD
EMER	EMERGENCY	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	WDW	WINDOW
EPS	EXPANDED POLYSTYRENE	OPNG	OPENING	WP	WATERPROOFING
EPX	EPOXY	OPP HD	OPPOSITE HAND	WPT	WORKING POINT
EQ	EQUAL	OVHD	OVERHEAD	WSCT	WAIRNSCOT
EQUIP	EQUIPMENT	P-TILE	PORCELAIN TILE	WSF	WOOD SPORTS FLOORING
ETR	EXISTING TO REMAIN	PC	PRECAST	WT	WEIGHT
EVCT	ENHANCED VINYL COMPOSITION TILE	PERF	PERFORATED, PERFORATION(S)	WWF	WELDED WIRE FABRIC
EWC	ELECTRIC WATER COOLER	PER M	PER METER	XPS	EXTRUDED POLYSTYRENE
EX	EXISTING	PIP	POURED IN PLACE		
EXH	EXHAUST	PLAM	PLASTIC LAMINATE		
EXP	EXPANSION	PLAS	PLASTER		
EXPC	EXPOSED CONSTRUCTION	PLWD	PLASTIC LAMINATE WOOD		
EXT	EXTERIOR	PLYWD	PLYWOOD		
FAAF	FLUID APPLIED ATHLETIC FLOORING	PNL	PANEL, PANELING		
FD	FLOOR DRAIN	POLY	POLYETHYLENE		
FDN	FOUNDATION	PPS	POWER PROJECTION SCREEN		
FE	FIRE EXTINGUISHER	PPT	PRESSURE-OR PRESERVATIVE-TREATED		
FEB	FIRE EXTINGUISHER BRACKET	PR	PAIR		
FEC	FIRE EXTINGUISHER CABINET	PREFAB	PREFABRICATED		
FF	FINISHED FLOOR	PREFIN	PREFINISHED		
FGL	FIBERGLASS	PREP	PREPARE / PREPARATION		
FH	FIRE HYDRANT	PS	PROJECTION SCREEN		
FHC	FIRE HOSE CABINET	PSB	PENCIL SHARPENER BLOCK		
FHVC	FIRE HOSE VALVE CABINET	PSF	POUNDS PER SQUARE FOOT		

## DRAWING INDEX

GENERAL	
G0.1	COVER
ARCHITECTURAL	
A1.1	ARCHITECTURAL SITE PLAN
A2.1	FLOOR PLANS
A2 2	ROOF PLAN & 3D VIEW
A4.1	BUILDING ELEVATIONS
A4 2	CONTEXT IMAGE
A4 3	CONTEXT IMAGE
A5.1	WALL SECTIONS & DATA LS

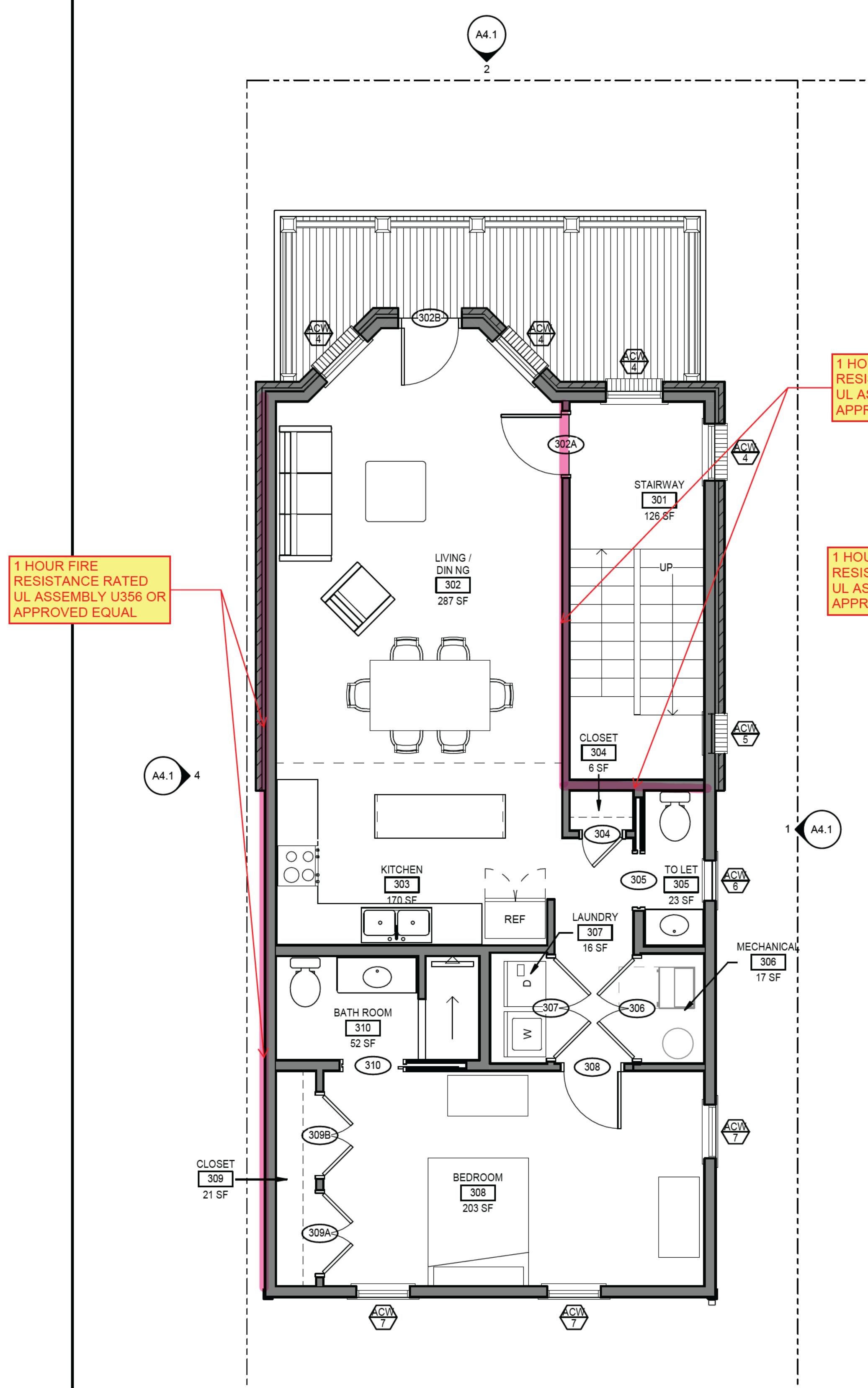
# THREE STORY TRIPLEX



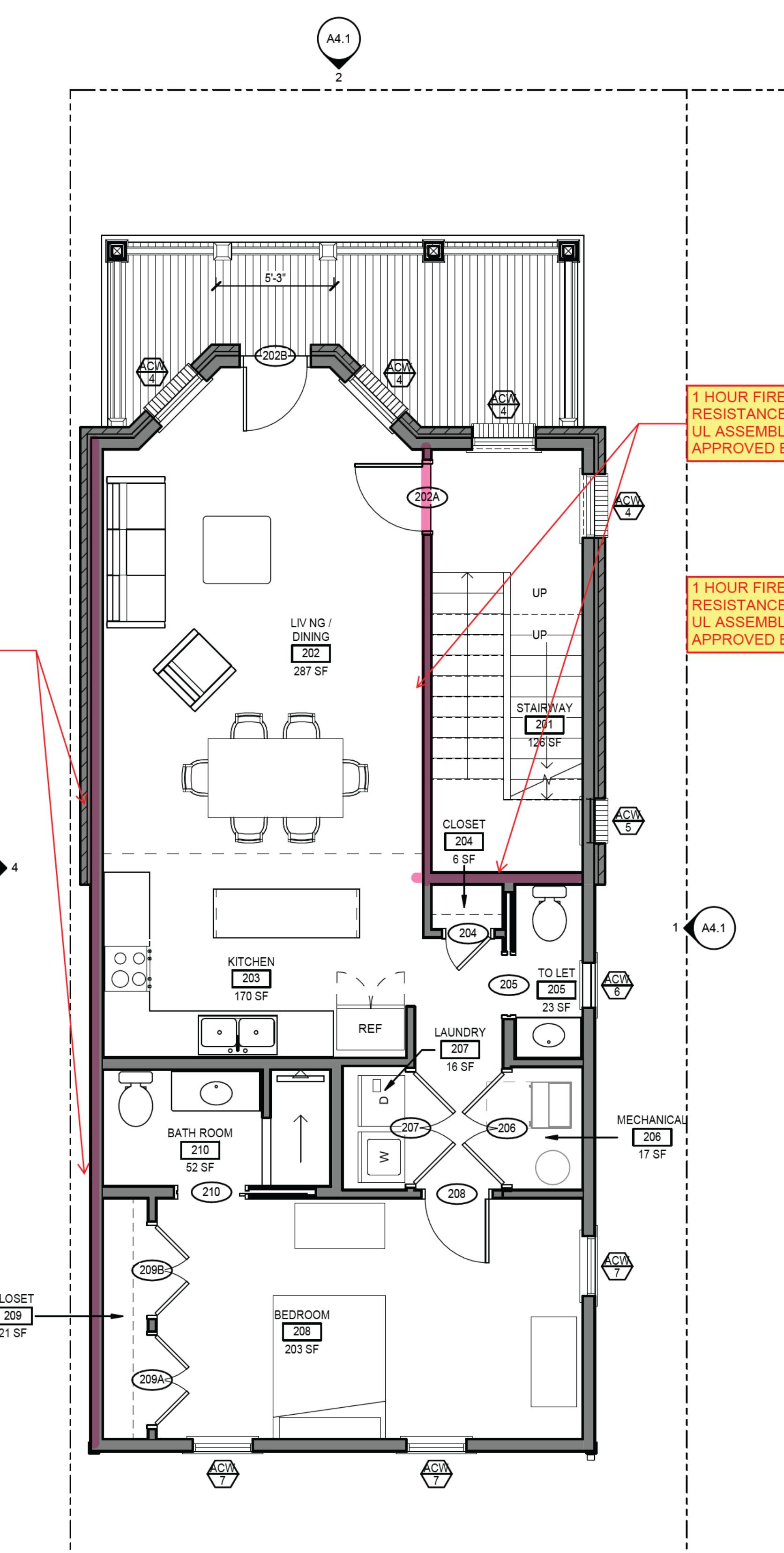
PROJECT ADDRESS:  
**103 WEST MARSHAL STREET**

DRAWING TITLE:  
**COVER**

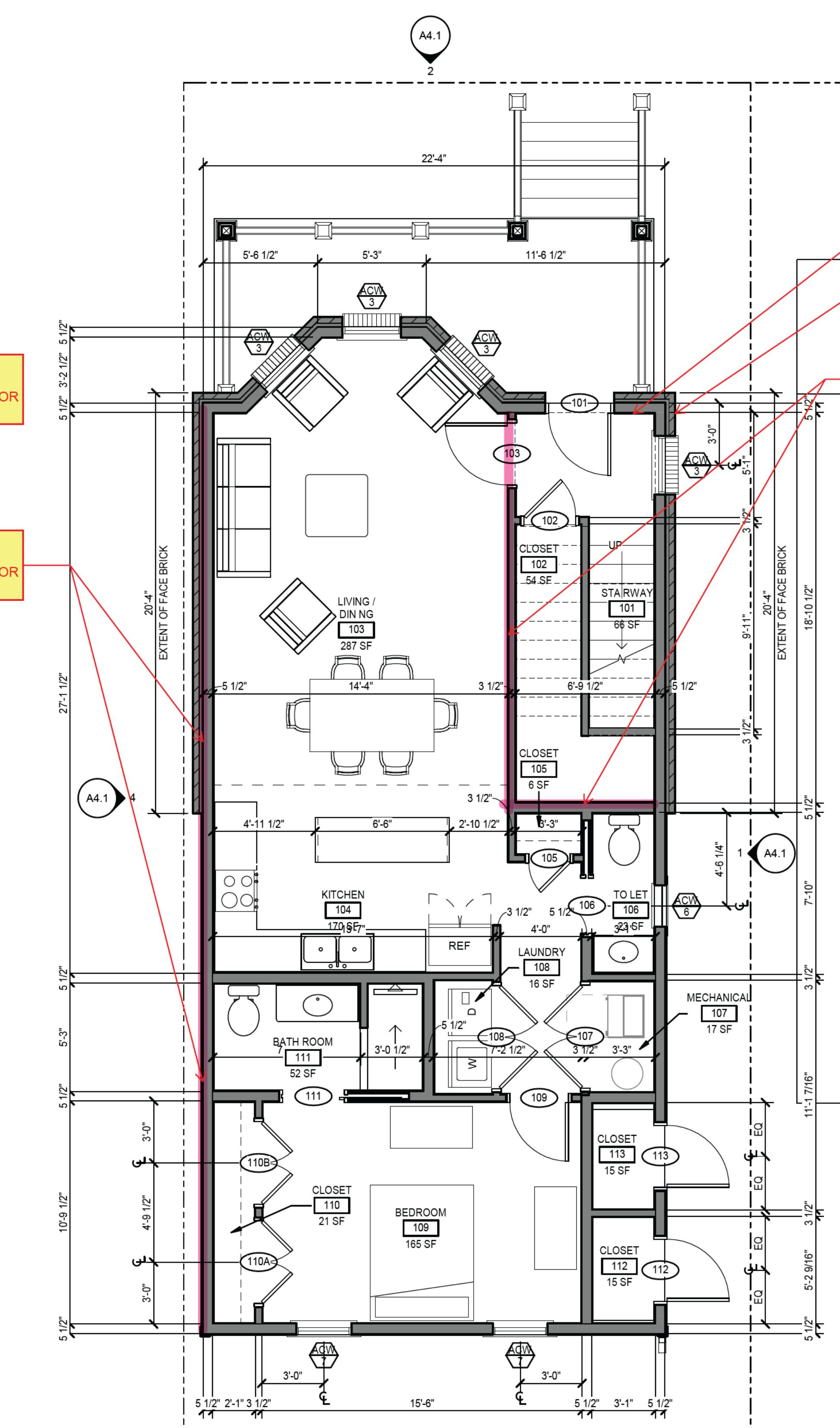
**G0.1**

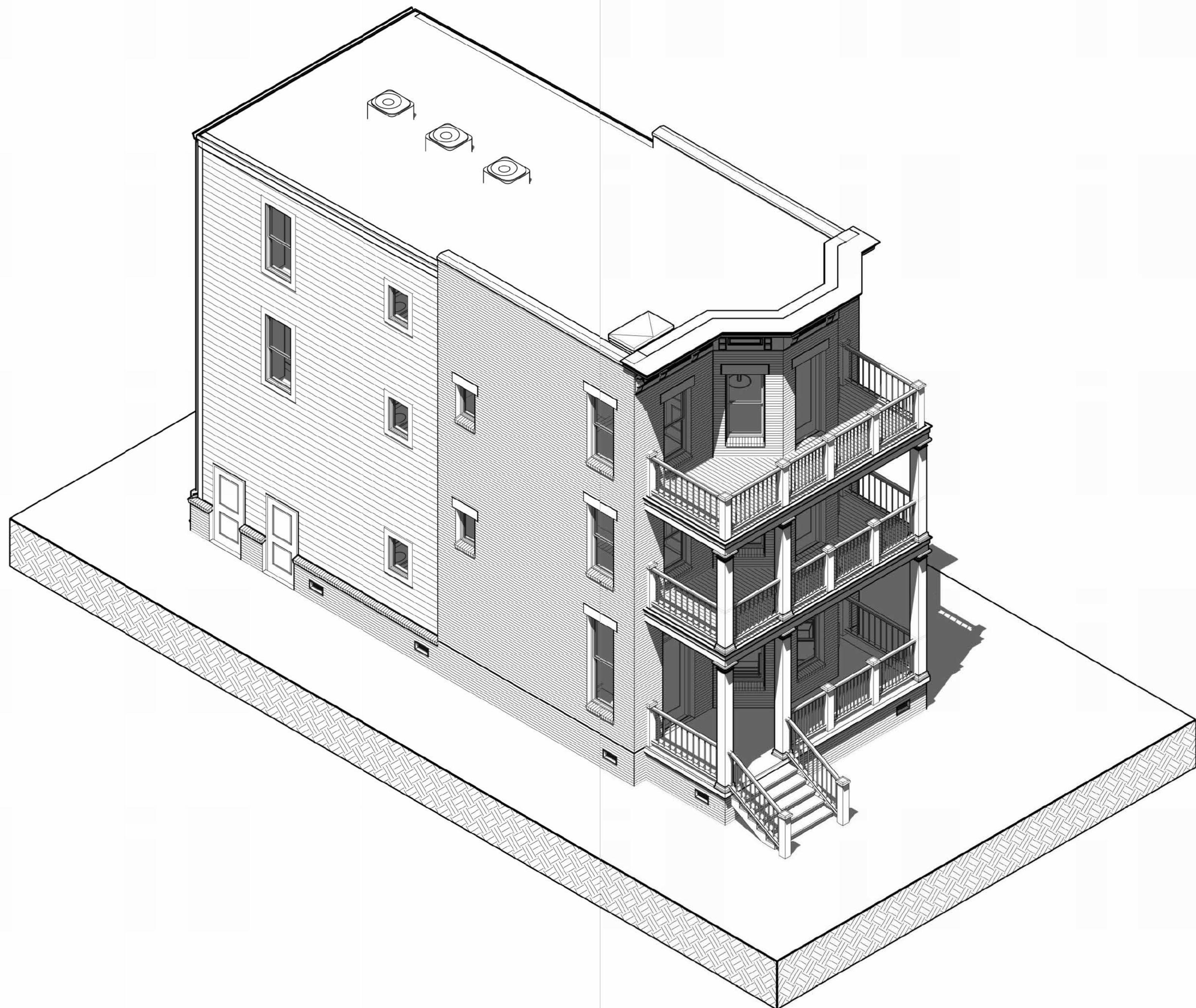


**N**  
 **THIRD FLOOR PLAN**  
1/4" = 1'-0"



A compass rose is located in the top left corner, with the letter 'N' at the top. To its right, the text 'SECOND FLOOR PLAN' is written in large, bold, black capital letters. Below the compass rose, the scale '1/4" = 1'-0"' is provided.





## AXONOMETRIC FROM NORTHEAST

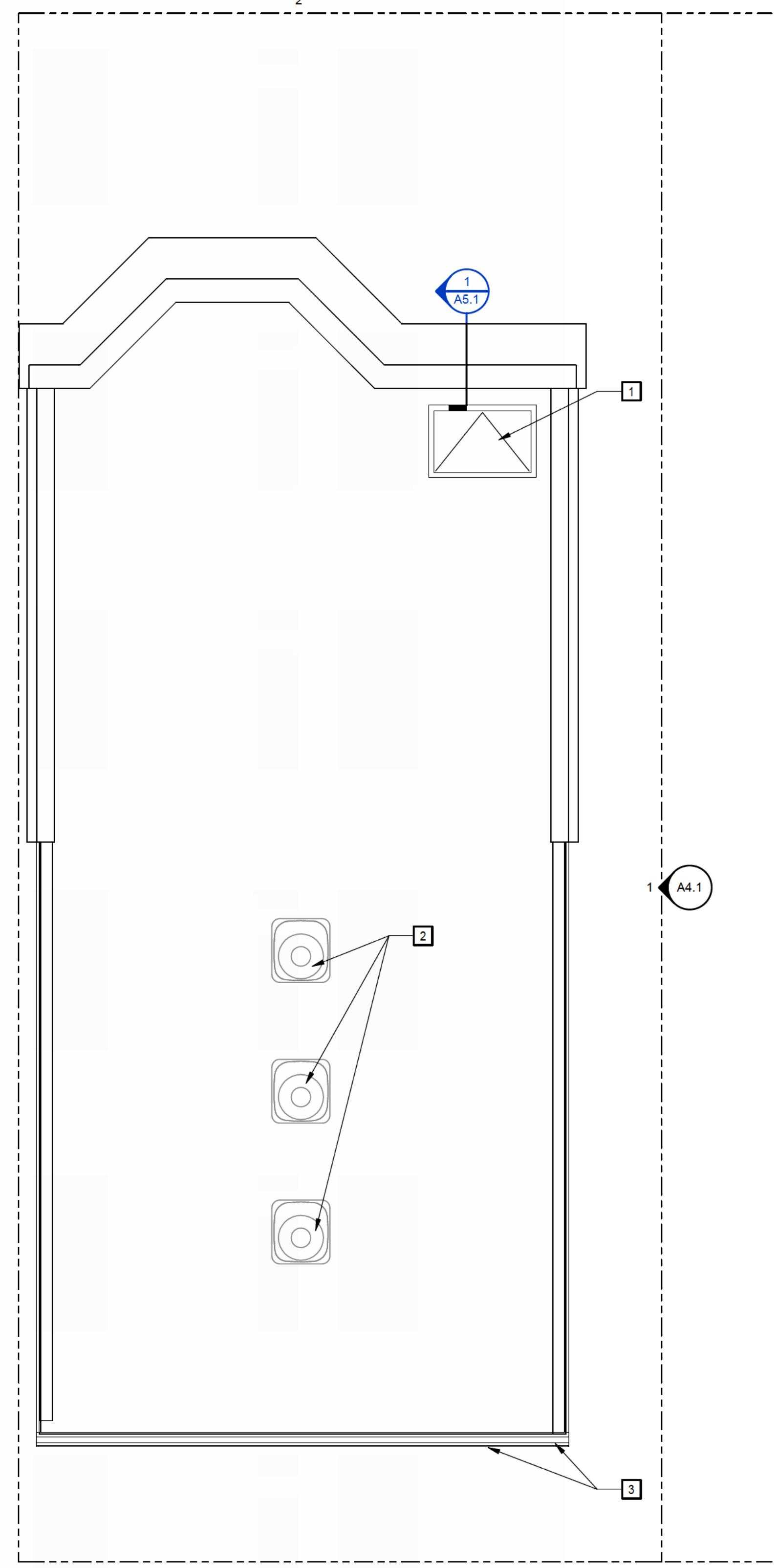
---

### NO SCALE



## ROOF PLAN

1/4" :



## **FLOOR PLAN KEYNOTES**

REPRESENTED BY  n

## IES TO DRAW NGS A2.1 - A2.nn

ROOF HATCH  
HVAC CONDENSER  
GUTTER AND DOWNSPOUT TO SPLASHBLOCK AT GRADE



# THREE STORY TRIPLEX

PROJECT ADDRESS:

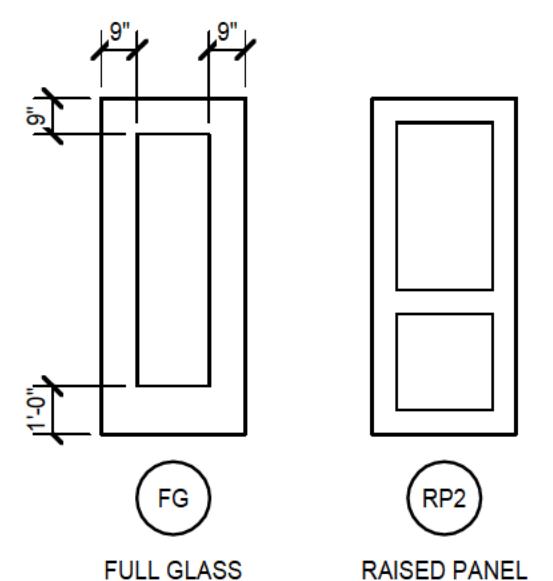
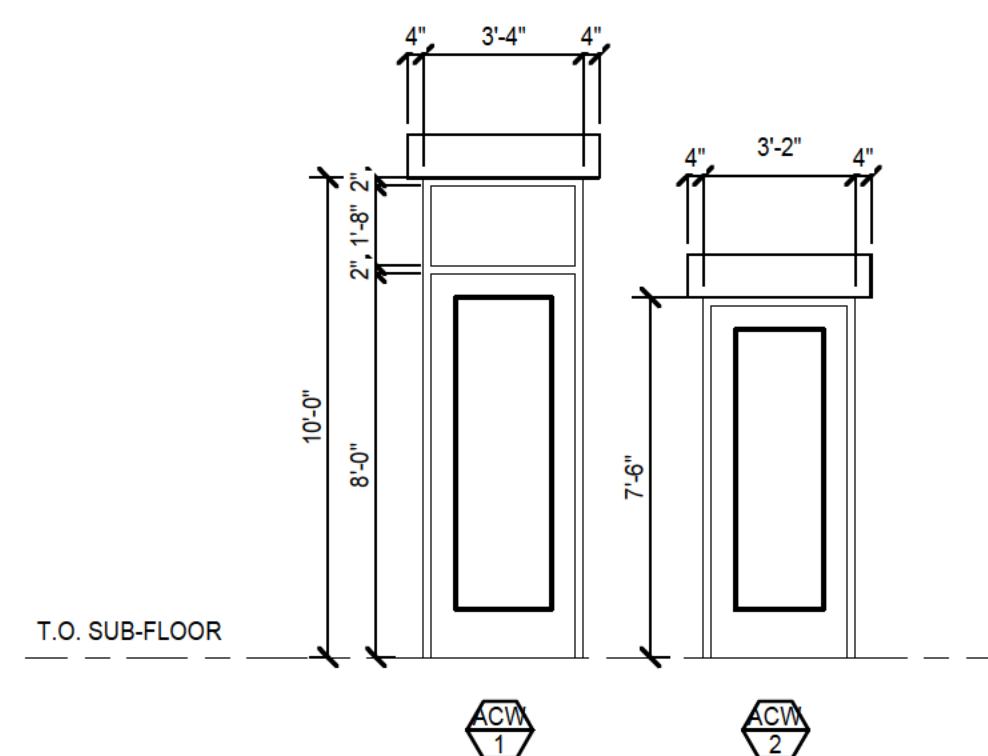
# DRAWING TITLE:

# ROOF PLAN & 3 VIEW

3/30/2025 5:40:57 PM

## GENERAL NOTES

- A. UNLESS INDICATED OTHERWISE, ALL DATA L NUMBERS N THE DOOR AND FRAME SCHEDULE FOR HEAD, JAMB AND SILL CONDITIONS REFER TO DRAWINGS A3 2.1 - A3.2.n.
- B. DOOR AND FRAME DATA LS INDICATE GENERAL CHARACTERISTICS OF DOOR AND FRAME SIZES AND COMPONENTS AND MAY NOT INDICATE EXACT F ELD CONDITIONS OR REQUIREMENTS. COORDINATE DATA LS WITH OTHER DRAW NGS AND SPECS TO DETERMINE ALL COMPONENTS (E.G., SEALANTS, ANCHORS, HARDWARE, LINTELS, CL PS) REQUIRED FOR COMPLETE AND FUNCTIONAL INSTALLATION.
- C. DOOR SWINGS ON FLOOR PLANS TAKE PRECEDENCE OVER SWINGS NDICATED ELSEWHERE (E.G., ELEVATIONS).

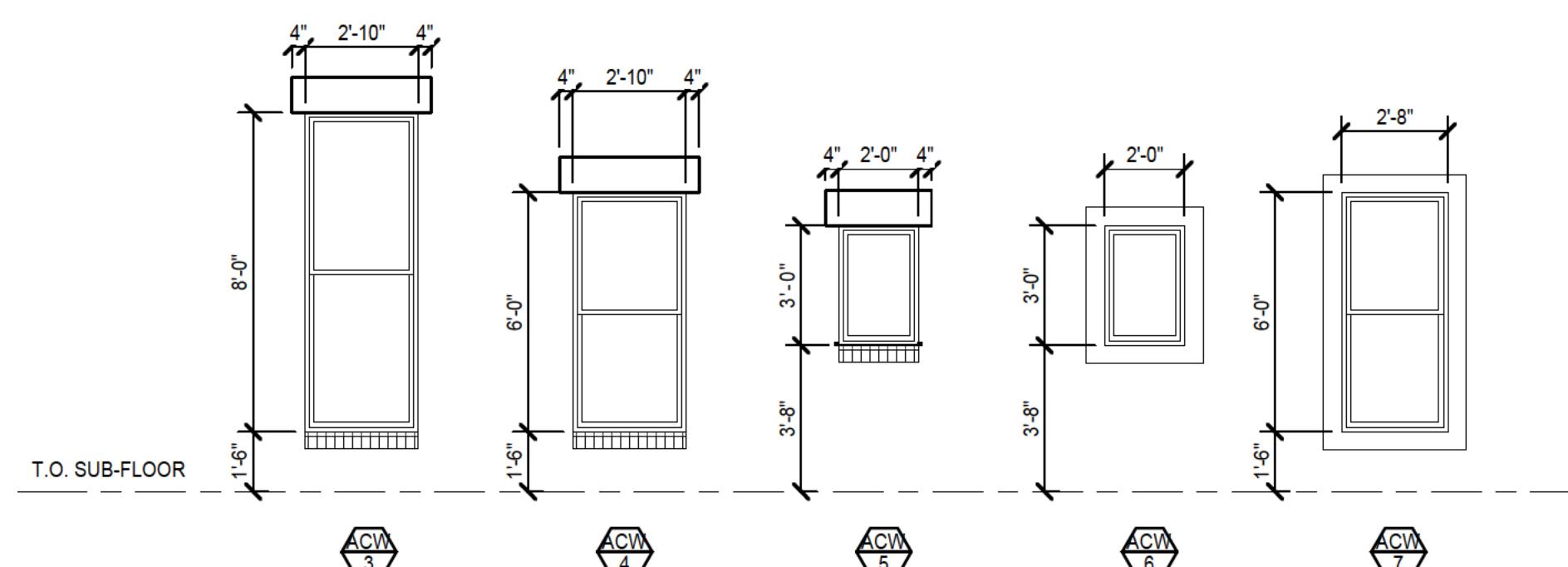


## DOOR FRAME TYPES

1/4" = 1 -0

## DOOR PANEL TYPES

1/4" = 1'



## DOOR FRAME TYPES

**1/4" = 1-0"**

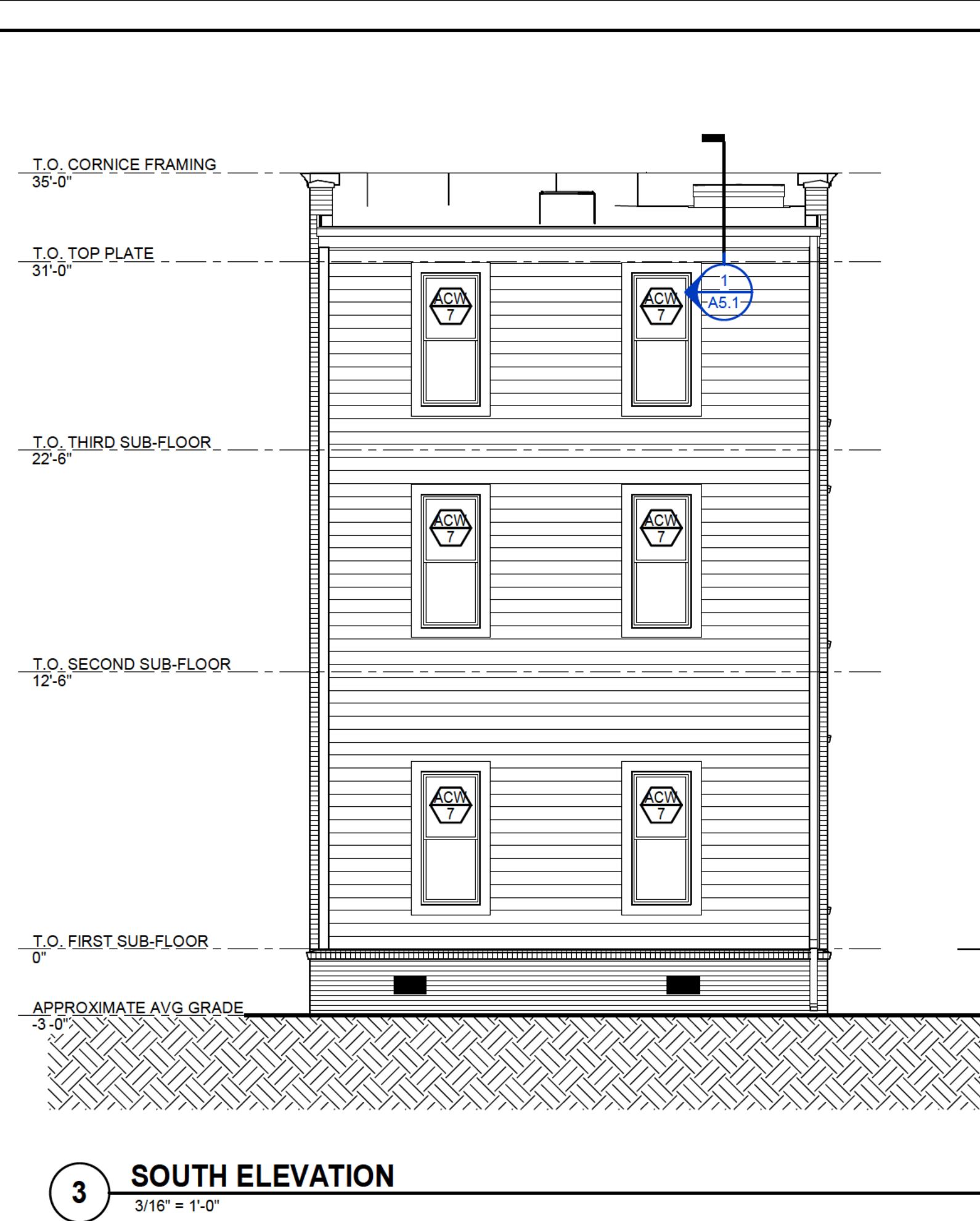
# THREE STORY TRIPLEX

PROJECT ADDRESS:

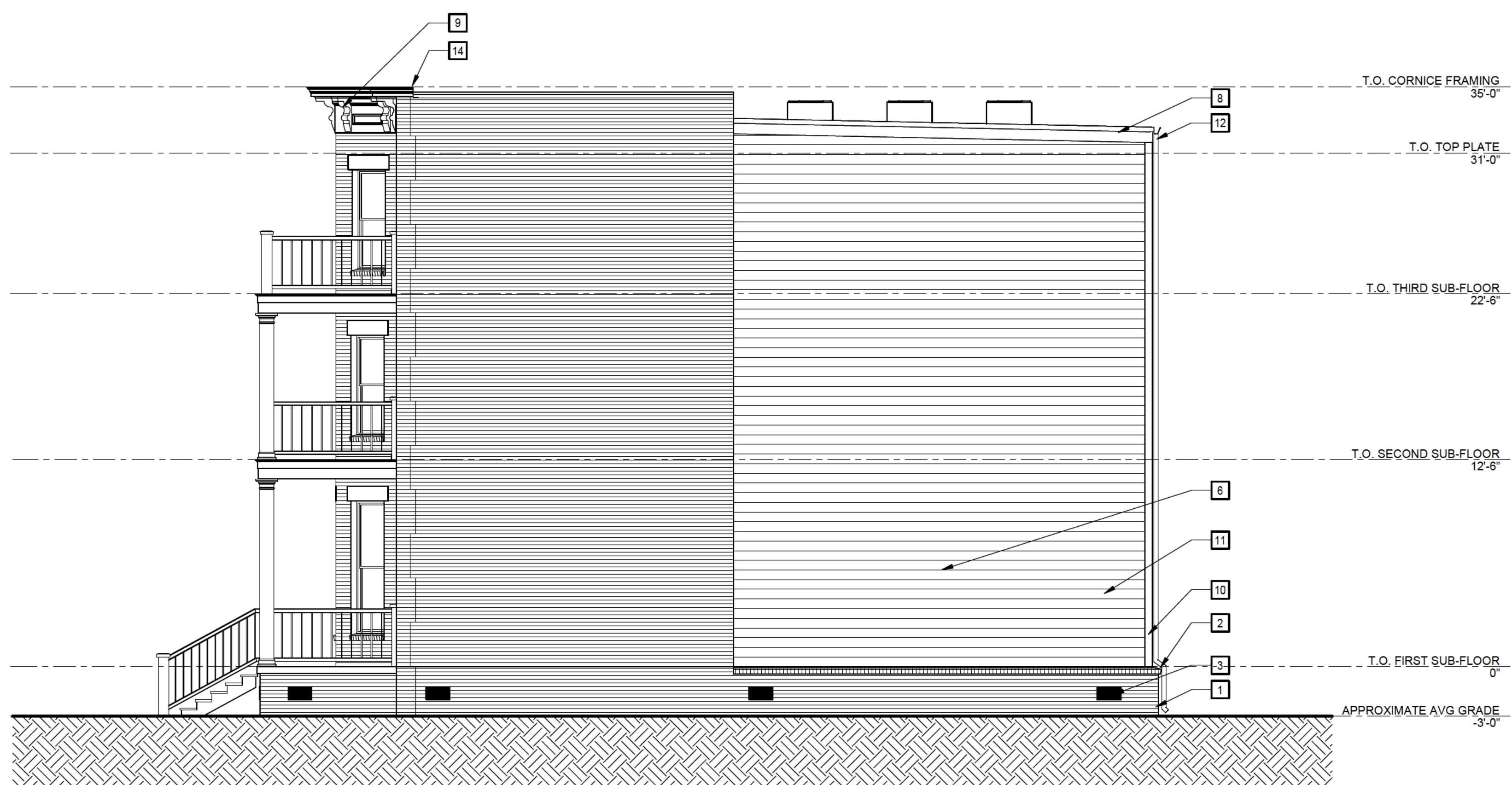
PROJECT ADDRESS: 102 WEST MARSHAL STREET

DRAWING TITLE:  
**DOOR AND FRAME  
SCHEDULE**

DRAWING NUMBER:



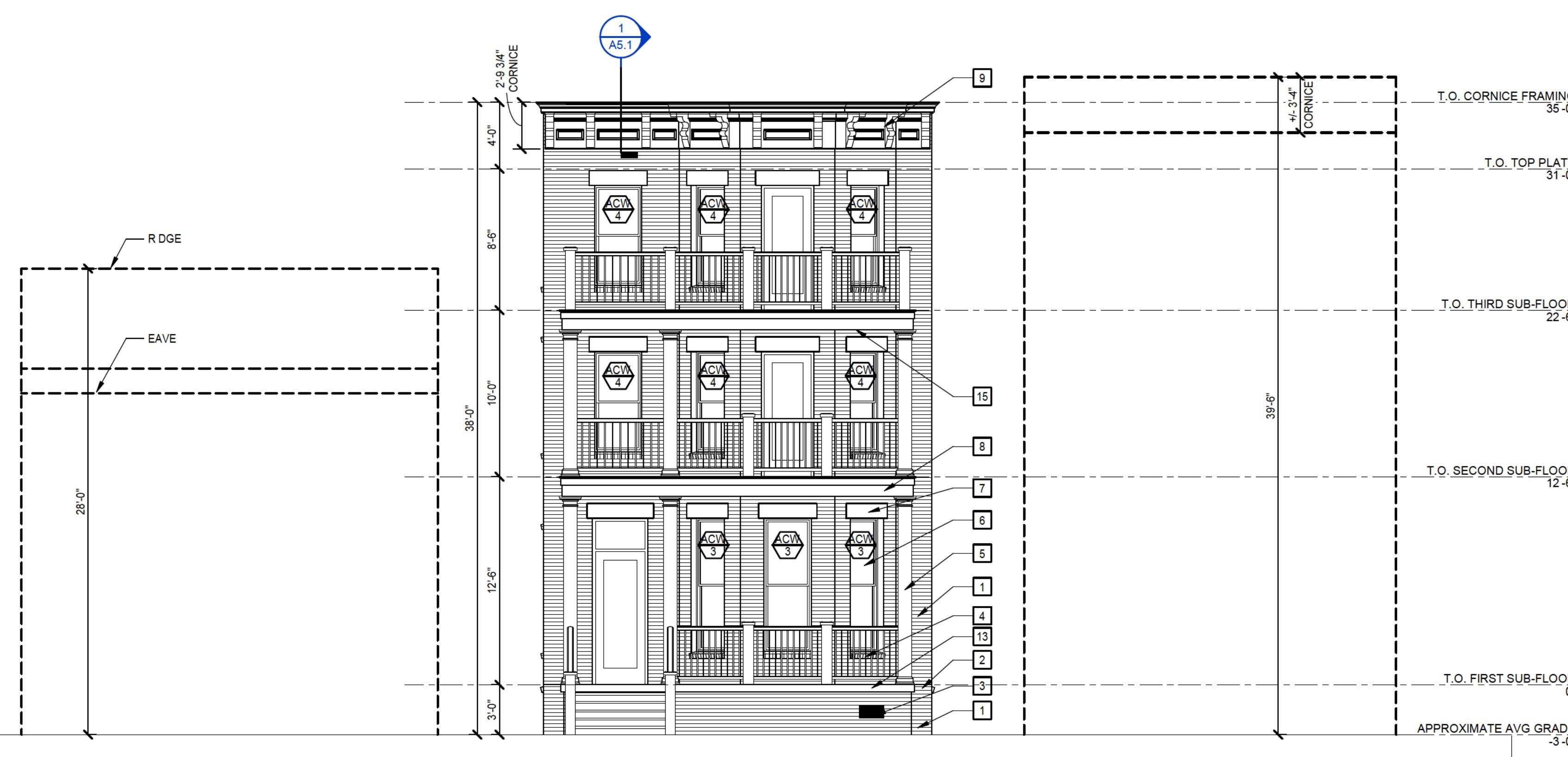
## 3 SOUTH ELEVATION



1 WEST ELEVATION



**1 EAST ELEVATION**



## 2 NORTH ELEVATION

# THREE STORY TRIPLEX

	PROJECT ADDRESS: <b>100 WEST MARSHAL STREET</b>
---	--

**DRAWING TITLE:**

## **ELEVATIONS**

DRAWING NUMBER

DRAWING NUMBER:

## A4.1





3/30/2025 5:40:59 PM

REVISIONS	
DATE	DESCRIPTION

**THREE STORY TRIPLEX**

PROJECT ADDRESS: **403 WEST MARSHAL STREET**

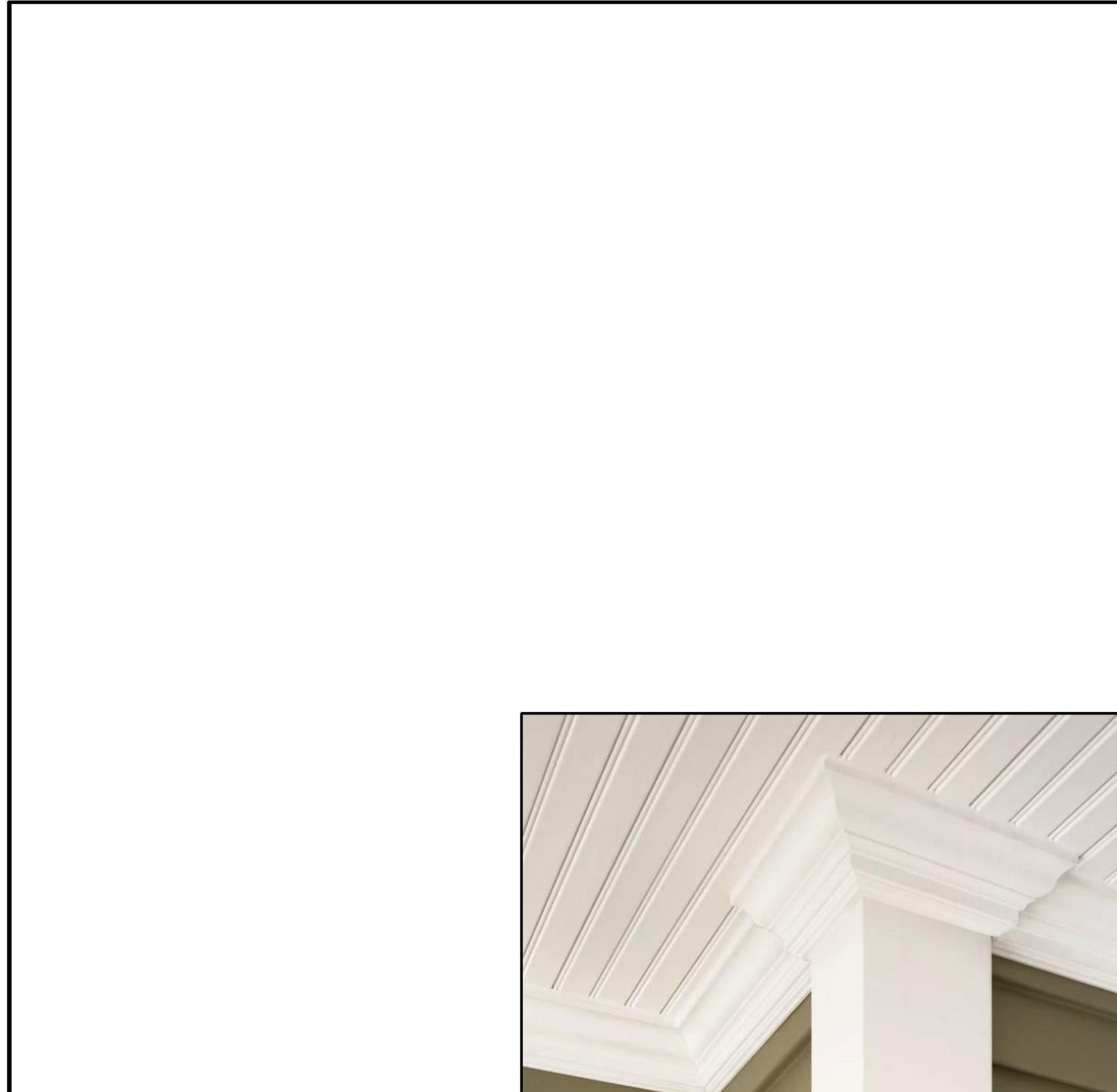
DRAWING TITLE: **CONTEXT IMAGE**

Christopher Rea, AIA  
Architect  
LIC. NO. 0401013104  
APRIL 29, 2025

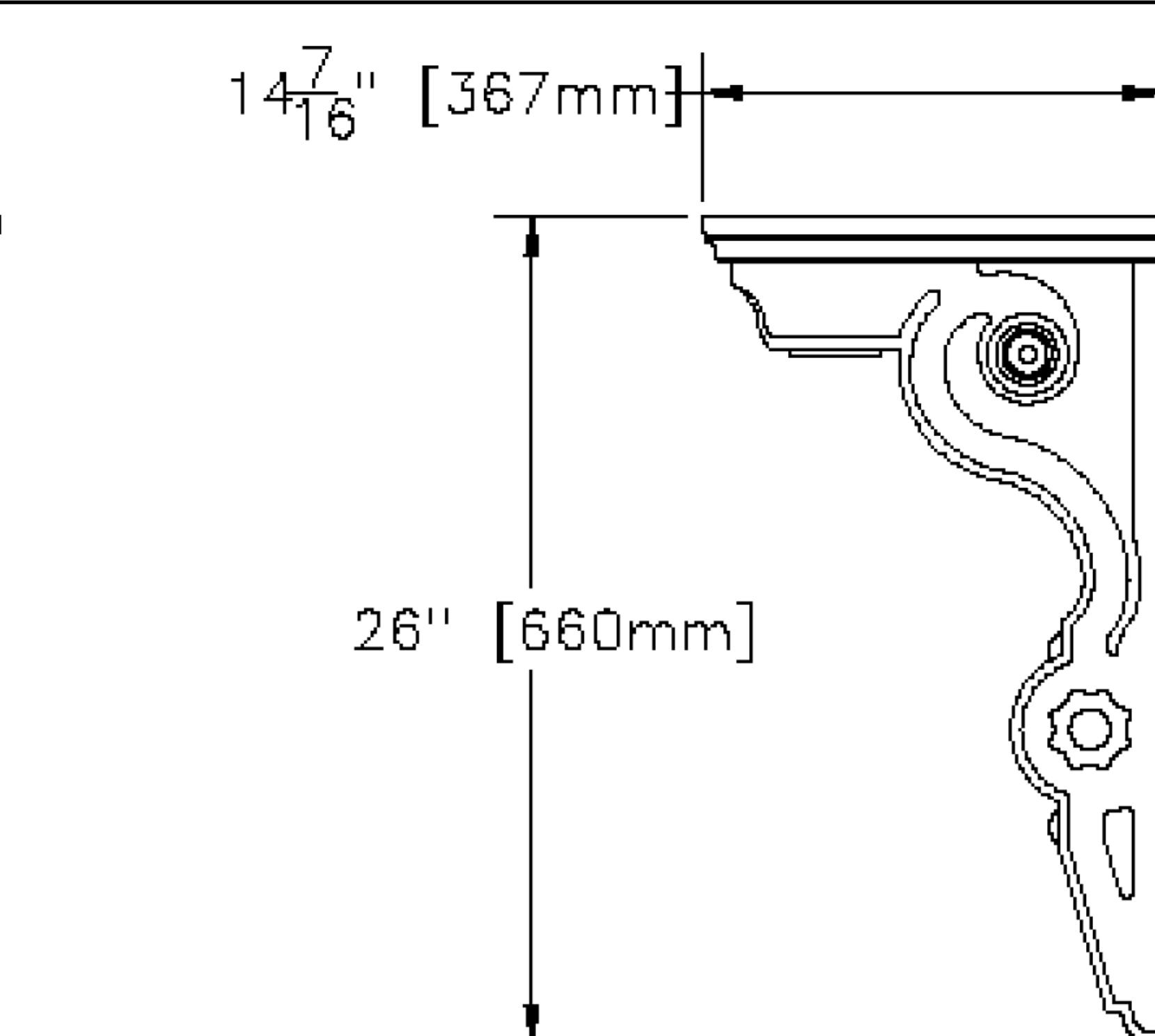
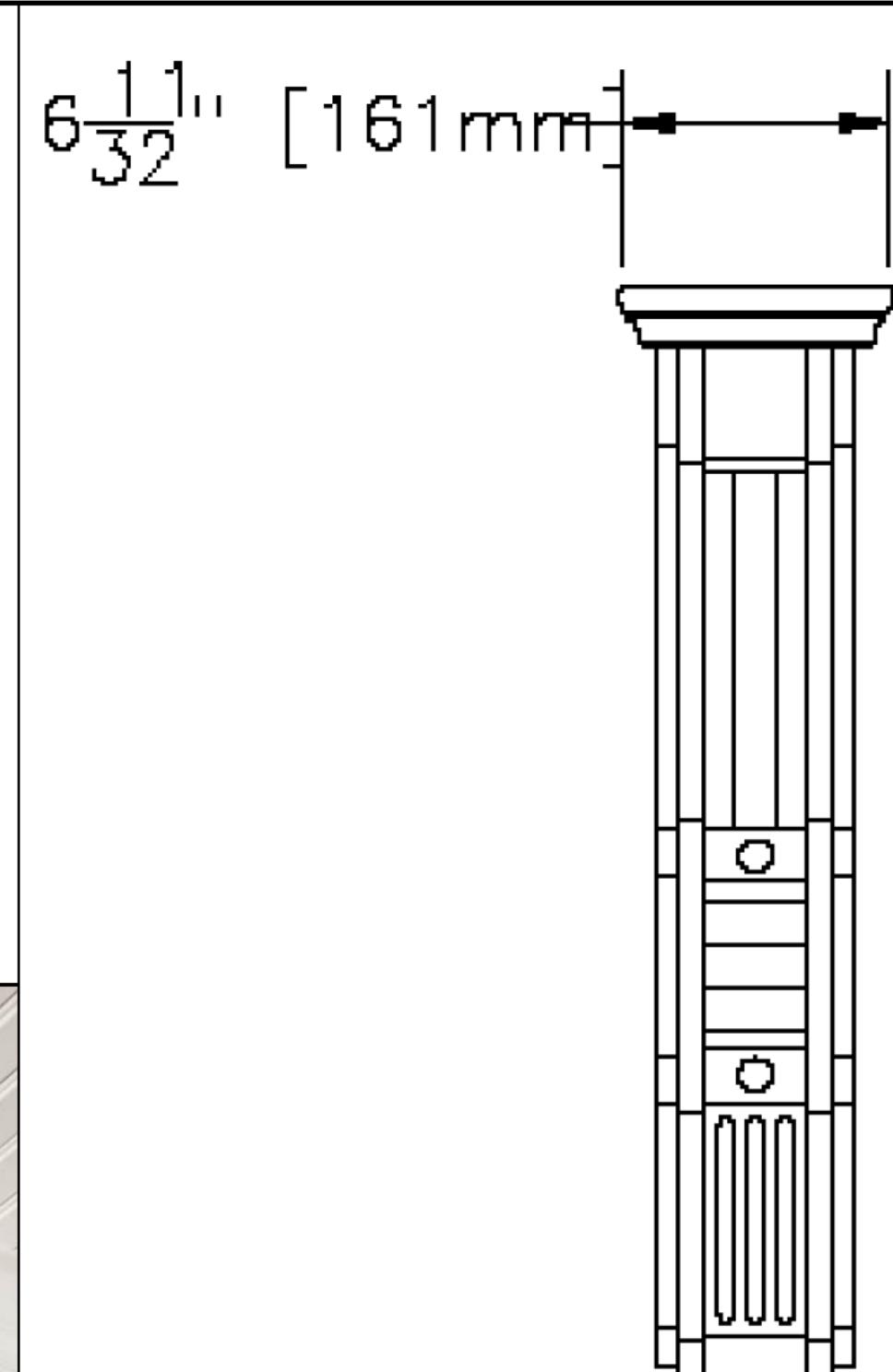
ARCHITECT: CHRISTOPHER REA, AIA  
2310 NEW BERNE ROAD  
HENRICO, VIRGINIA 23228  
(804) 874-9718

DRAWING NUMBER: **A4.3**

PROJECT NUMBER: 123456 | DATE: APRIL 29, 2025



CELLULAR PVC PORCH CEILING



BRACKET - NOT TO SCALE



CROWN MOULDING			
Part Code	MLD4535MP	Material	Polyurethane
Product Texture	Smooth	Weight	2
Pack Quantity	1/Pack	Length	10'
Height	6 3/4"	Projection	4 3/4"
Bottom Thickness			

BED MOULDING  
MLD649-16

LENGTH:	HEIGHT:	PROJECTION:
192"	2 1/8"	11 1/2"



BRACKET  
BKT14X26

WIDTH:	HEIGHT:	PROJECTION:
6 1/2"	26"	14 1/2"



DENTIL MOULDING  
MLD350-8

LENGTH:	HEIGHT:	PROJECTION:
99 3/4"	3 1/2"	7/8"



LIBERTY RS60275  
Graspable Flat Top

2-3/4" Liberty is our simple, beverage-friendly profile. This is a popular profile for both level and stair applications.



Interlock  
Connects

CONCRETE

ELI

CONCRETE

LIBERTY RS60350  
Flat Top with Character

3-1/2" Liberty is our decorative, beverage-friendly profile. This profile is predominantly used for level rail, in conjunction with 2-3/4" profile on stair applications.



Interlock  
Connects

CONCRETE

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CONCRETE

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NEWEL WRAPS

FABRICATED & EXTRUDED  
NEWEL WRAPS

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