



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 823 Mosby St. DATE: 08/27/2015
OWNER'S NAME: Mohammed Soltany TEL NO.: (202) 629-6601
AND ADDRESS: 2200 Cedar St EMAIL: SULTANY1987@gmail.com
CITY, STATE AND ZIP CODE: Richmond VA. 23223

ARCHITECT/CONTRACTOR'S NAME: Johannes Design TEL. NO.: (804) 358-4993
AND ADDRESS: 1901 W. Q ARY ST EMAIL: dave@johannesdesign.com
CITY, STATE AND ZIP CODE: Richmond VA 23220

Would you like to receive your staff report via email? Yes No

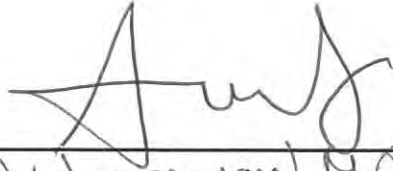
REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):
STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Signature of Owner or Authorized Agent: X 
Name of Owner or Authorized Agent (please print legibly): Mohammed Soltany

(Space below for staff use only)
Received by Commission Secretary 4:45pm APPLICATION NO. 15-120
RECEIVED
DATE AUG 27 2015 SCHEDULED FOR 9/22/2015
Note: CAR reviews all applications on a case-by-case basis.

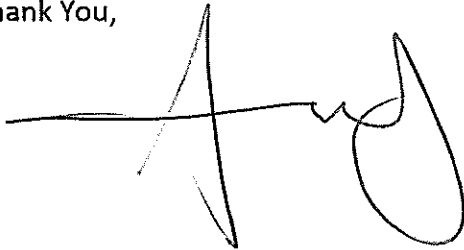
Summary of Work 823 Mosby St.

823 Mosby St. site plan located on the corner of O St. and Mosby St. this proposal will deal with phase one of the project which we will call Deck/Stair restoration. There will be three supporting documents A1, A2 and document 304. A1 will consist of notes, floor plans and a site plan. A2 will have plan details, framing details as well as framing, footing details. Finally, document 304 is a survey of the property showing boundaries and existing elevations, along with the parameters of the old existing deck that was attached to the building.

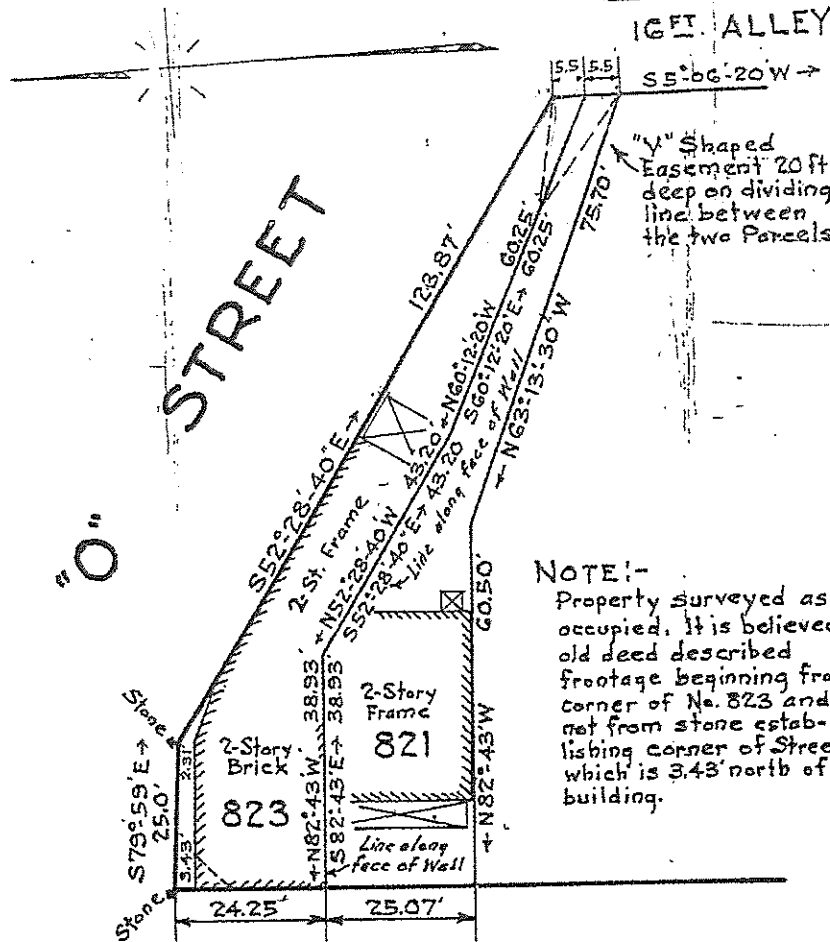
The proposed deck and stair restoration is a vital step in our project due to the fact that without it in place there is no access to the second floor back unit which can be seen from the drawings submitted. The survey document shows where the existing structure was and to what purpose it served; which was the access point for the back unit. The construction material will be wood and Richmond Rail will be the rail style to the proposed deck and stair restoration.

We hope that these plans will meet the standards of C.A.R. and hope to work within the guidelines of the Committee to move forward and complete our restoration project at 823 Mosby St.

Thank You,

A handwritten signature in black ink, appearing to read 'Mohammad Sultany', with a large, stylized initial 'M' and a long horizontal stroke extending to the left.

Mohammad Sultany



NOTE:-
 Property surveyed as occupied. It is believed old deed described frontage beginning from corner of No. 823 and not from stone establishing corner of Street, which is 3.43' north of building.

MOSBY STREET

Map showing two parcels of land with improvements thereon, Nos. 821 and 823, situated at the southeast corner of Mosby and 'O' Streets in the City of Richmond, Va.

Scale: - 1" = 20'

Aug. 30, 1948

WILLIAM M. LEWIS
 CERTIFIED SURVEYOR
 RICHMOND, VA.



N. B.: 42, p. 6.

City of Richmond—to-wit:

In the Office of the Court of Chancery for said City,
 the 8th day of October, 1948

This deed was presented, and, with the Certificate of Plat annexed, admitted

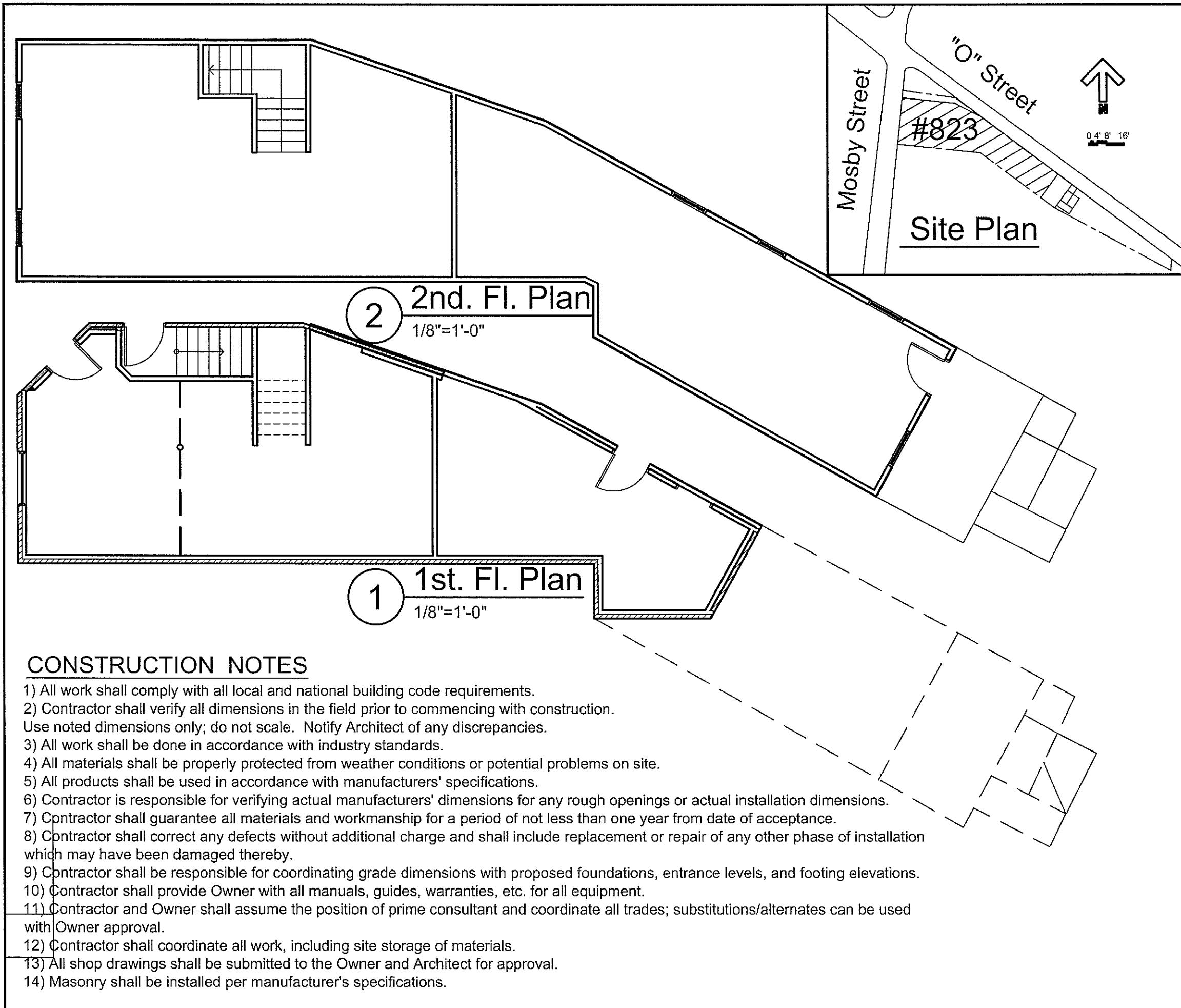
to record at 4 o'clock P. M.

Tax # 150

Teste:

[Signature]
 Clerk.

VERIFIED WHEN SPREAD



CONTENTS

A1 Notes, floor plans, site plan
 A2 Plan detail, framing plan, framing/footing details

SCOPE OF WORK

Install a new, free-standing second-story deck and stair for access to a single residential unit at an existing mixed use building.

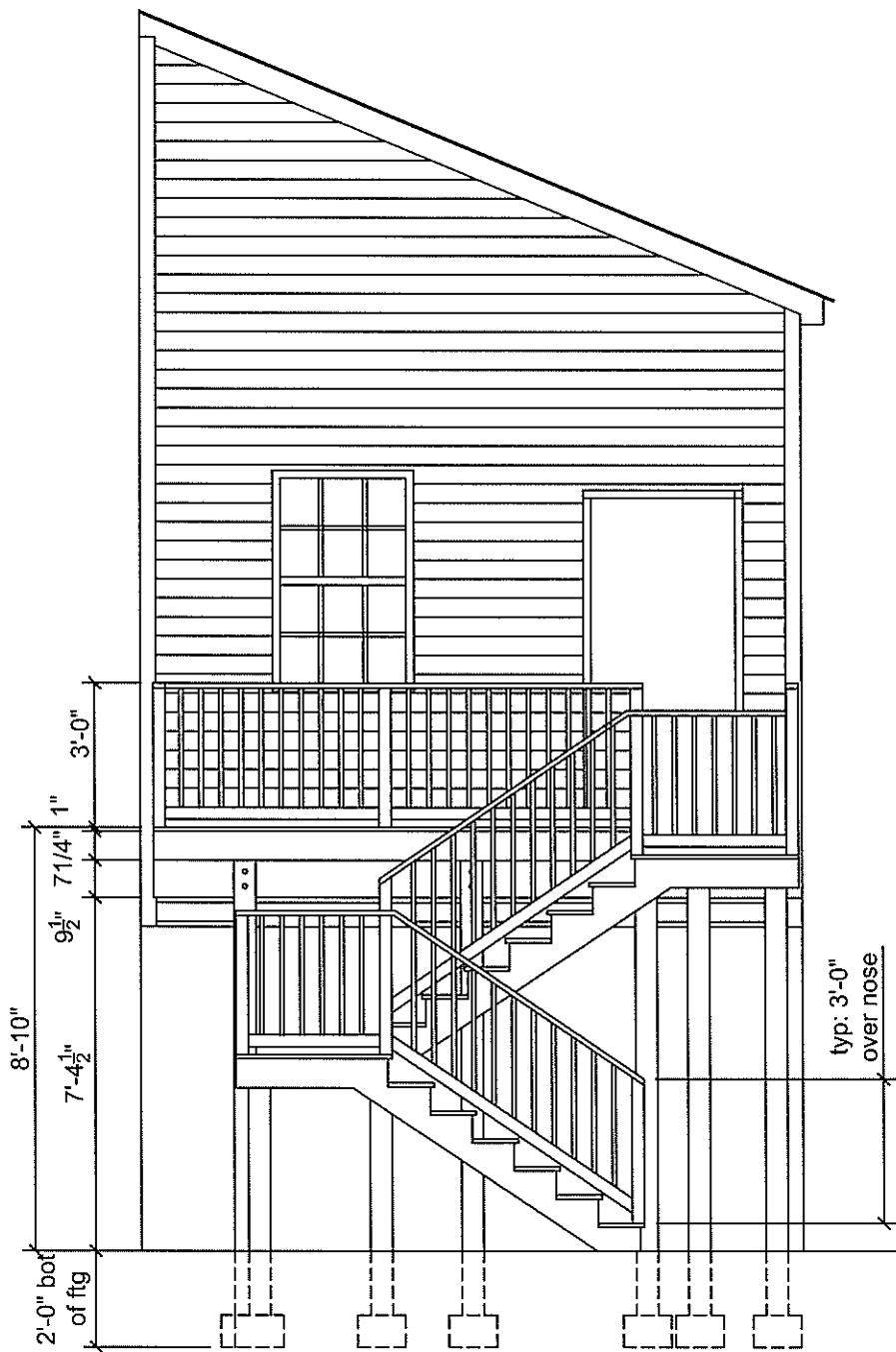
ZONING

R-63 Residential (Multi-family Urban)
 Setbacks required: Front/side/rear yard: 0'/5'/15'
 Lot coverage: 65% max. of not less than 4000sf lot; 2510.5sf existing lot: +/-1245sf 2nd fl. + 108sf deck + 71sf stair = 1422sf proposed ∴ ok @56%

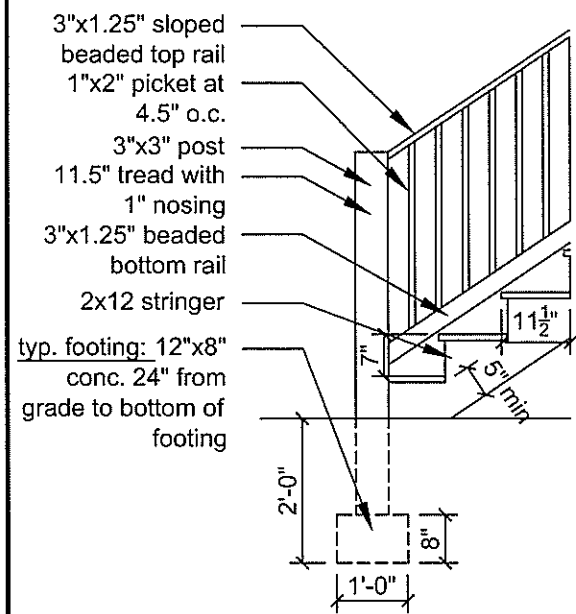
CONSTRUCTION NOTES

- 1) All work shall comply with all local and national building code requirements.
- 2) Contractor shall verify all dimensions in the field prior to commencing with construction. Use noted dimensions only; do not scale. Notify Architect of any discrepancies.
- 3) All work shall be done in accordance with industry standards.
- 4) All materials shall be properly protected from weather conditions or potential problems on site.
- 5) All products shall be used in accordance with manufacturers' specifications.
- 6) Contractor is responsible for verifying actual manufacturers' dimensions for any rough openings or actual installation dimensions.
- 7) Contractor shall guarantee all materials and workmanship for a period of not less than one year from date of acceptance.
- 8) Contractor shall correct any defects without additional charge and shall include replacement or repair of any other phase of installation which may have been damaged thereby.
- 9) Contractor shall be responsible for coordinating grade dimensions with proposed foundations, entrance levels, and footing elevations.
- 10) Contractor shall provide Owner with all manuals, guides, warranties, etc. for all equipment.
- 11) Contractor and Owner shall assume the position of prime consultant and coordinate all trades; substitutions/alternates can be used with Owner approval.
- 12) Contractor shall coordinate all work, including site storage of materials.
- 13) All shop drawings shall be submitted to the Owner and Architect for approval.
- 14) Masonry shall be installed per manufacturer's specifications.

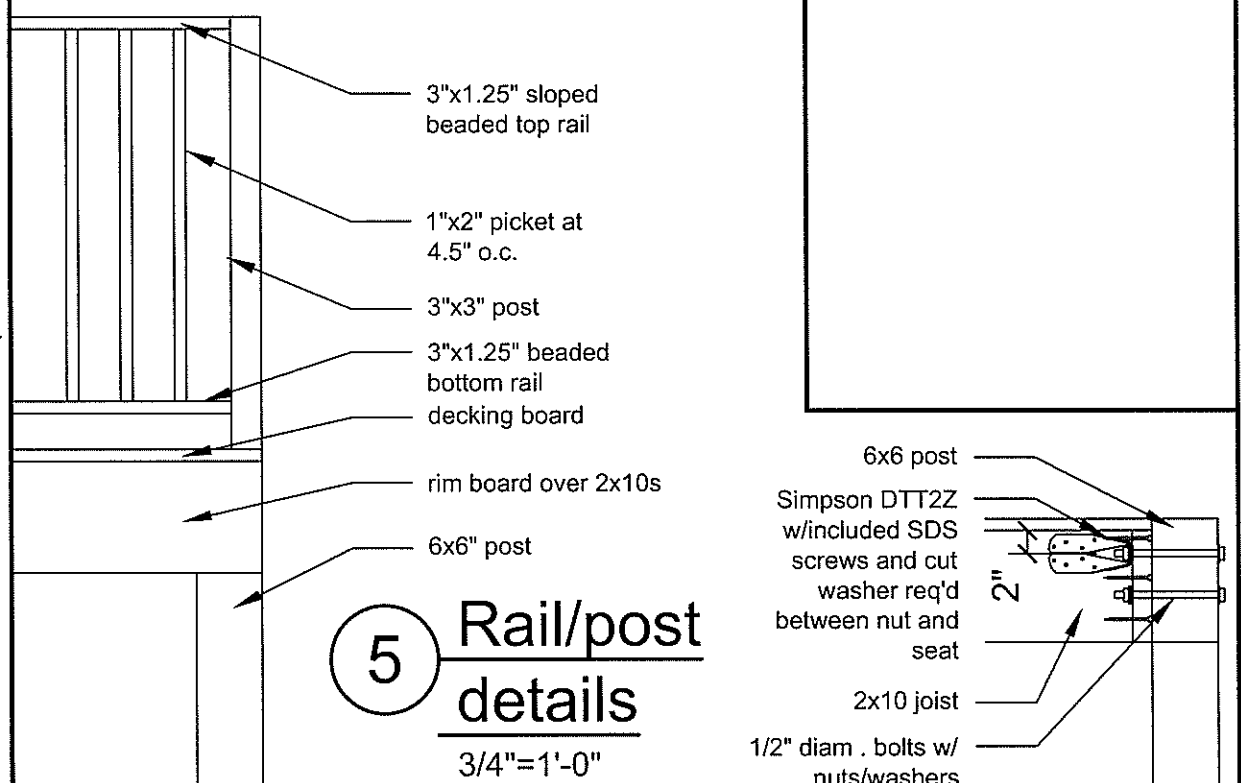
P 804.358.4993 F 804.358.8211
 1901 WEST CARY STREET RICHMOND, VA 23220
JOHANNAS DESIGN GROUP
 823 Mosby Street, Richmond, Virginia
 SHEET TITLE: notes, plans
 DATE: 8.18.15
 PROJECT NO: 1532
 SHEET NO.: **A1**



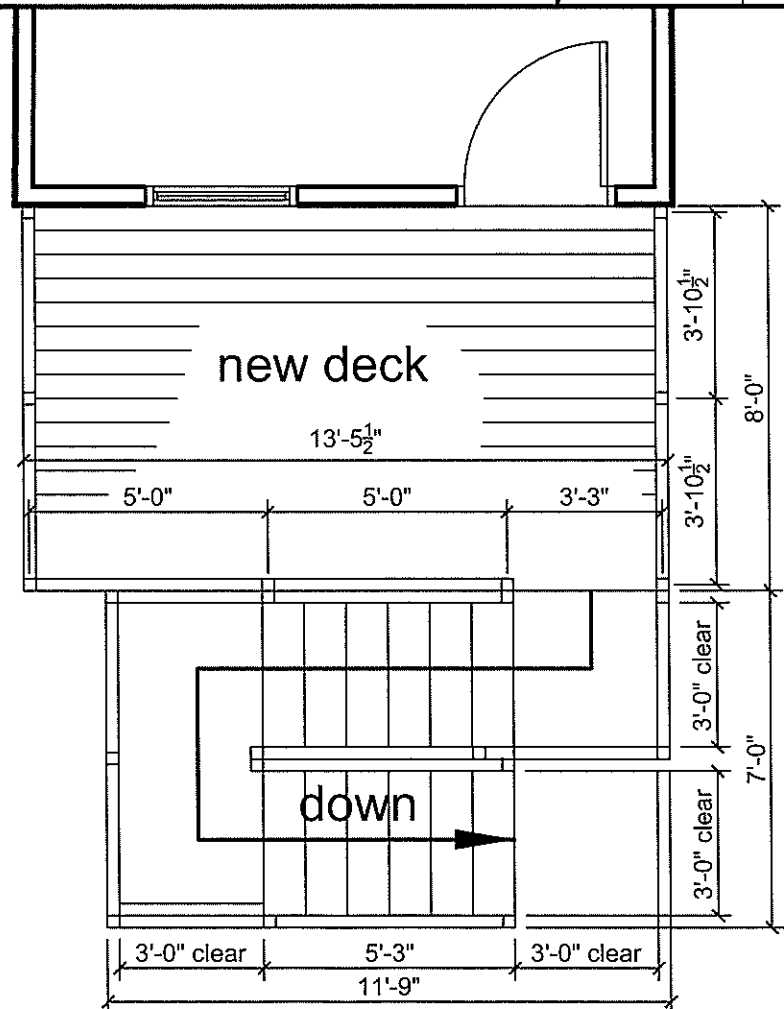
3 Rear elevation
1/4"=1'-0"



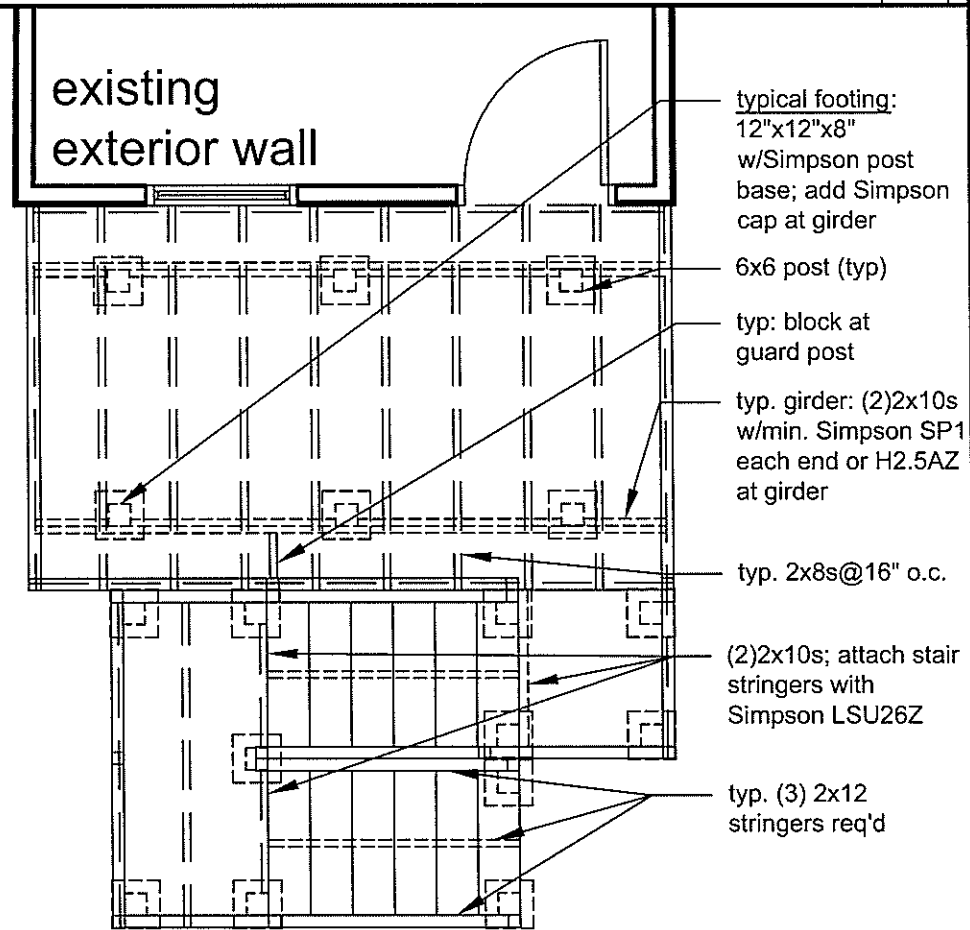
4 Stair detail
3/8"=1'-0"



5 Rail/post details
3/4"=1'-0"



2 Plan detail
1/4"=1'-0"



1 Framing/footing detail
1/4"=1'-0"

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REVISIONS	
SHEET TITLE Plan, framing/footing details	
DATE	8.18.15
PROJECT NO.	1532
SHEET NO.	A2

823 Mosby Street,
 Richmond, Virginia