



# Commission for Architectural Review

## Application for Certificate of Appropriateness

900 E. Broad Street, Room 510  
Richmond, VA 23219 | (804)-646-6569  
[www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review)



### Property (location of work)

Address: 535 Mosby Street, Richmond, VA 23223

Historic District: Union Hill

### Applicant Information ☒ Billing Contact

Name: Greg Shron

Email: greg@centercreekhomes.com

Phone: 804-362-7727

Company: Center Creek Homes

Mailing Address: 11 S. 12th St. #115

Richmond, VA 23219

Applicant Type: ☒ Owner ☐ Agent ☐ Lessee

☐ Architect ☐ Contractor

Other (specify): \_\_\_\_\_

### Owner Information ☒ Billing Contact

☒ Same as Applicant

Name: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**\*\*Owner must sign at the bottom of this page\*\***

### Project Information

Project Type: ☐ Alteration ☐ Demolition ☒ New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

535 Mosby Street will be an detached single family home located near the intersection of Cedar and Mosby. It will be a two story structure with a recessed front porch. There will be 1023 SF on the first floor and 1086 SF on the second floor, for a total of 2109 SF. The facade will be a composition of cementitious siding.

### Acknowledgement of Responsibility

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner

Date 8-25-2022



# CERTIFICATE OF APPROPRIATENESS

## NEW CONSTRUCTION CHECKLIST

**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 535 Mosby Street, Richmond, VA

### NEW BUILDING TYPE

- ☒ single-family residence
- ☐ multi-family residence
- ☐ commercial building
- ☐ mixed use building
- ☐ institutional building
- ☐ garage
- ☐ accessory structure
- ☐ other

### DRAWINGS (refer to required drawing guidelines)

- ☒ floor plans
- ☒ elevations (all sides)
- ☒ roof plan
- ☒ list of windows and doors, including size, material, design
- ☒ context drawing showing adjacent buildings
- ☒ perspective
- ☒ site plan
- ☒ legal plat of survey

### WRITTEN DESCRIPTION

- ☒ describe new structure including levels, foundation, siding, windows, doors, roof and details
- ☒ state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- ☒ material description; attach specification sheets if necessary

### PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☒ site as seen from street, from front and corners, include neighboring properties



## **535 Mosby Street**

**ONE SINGLE-FAMILY DETACHED RESIDENCE**

**UNION HILL HISTORIC DISTRICT**

**RICHMOND COMMISSION OF ARCHITECTURAL REVIEW - CONCEPT SUBMISSION**

**PREPARED: AUG 25, 2022**

**APPLICANT: CENTER CREEK HOMES c/o Greg Shron**

### **PROJECT DESCRIPTION:**

The submission includes a single, detached, 2-story, 2,109 square-foot single-family home on a 2,246 square-foot vacant lot at 535 Mosby Street. The property is an irregular, almost triangular, lot in the Union Hill Historic District, zoned R-63. Our proposed height is below the district's maximum height of 35'-0".

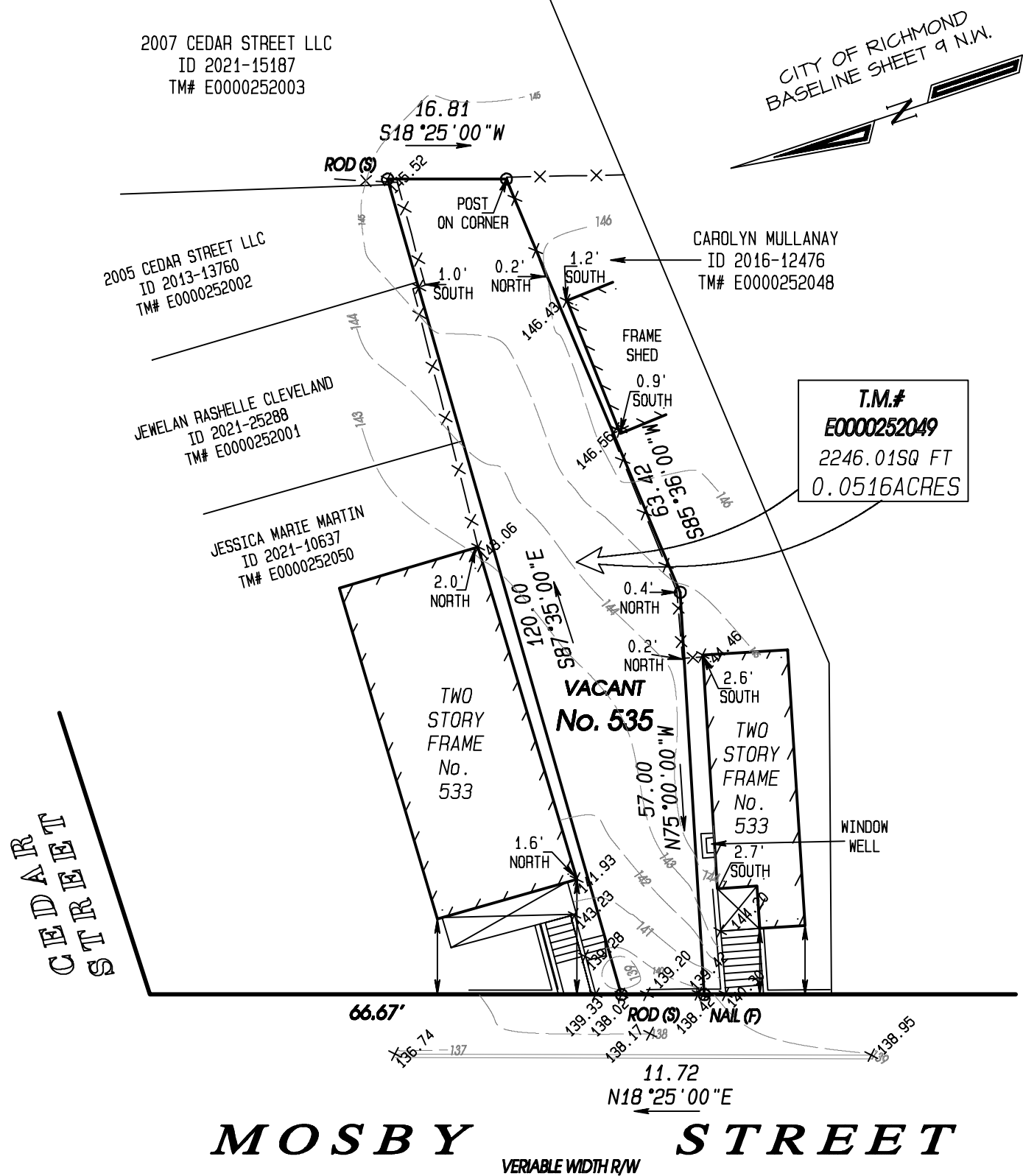
The exterior of the home is contemporary but shares similar massing and materials to the contributing structures that neighbor it. Union Hill is characterized by modest detached and semi-detached single-family homes of wood construction. Homes typically have a full-width front porch and shallow pitch roof, often in the Italianate style with a cornice and no visible roof line at the façade.

Union Hill is also defined by its dramatic topography, and this lot is no exception. There is a strong grade change up from Mosby Street, and side-to-side on the lot. The design includes concrete stairs up from the street to a recessed full-width concrete front porch. Our lot is very narrow along the Mosby Street frontage (under 12'), making it advantageous to push the front of the house, defined by the second story overhang, to the maximum rear setback to gain width at the entry. This also allows us to achieve a closer parallel relationship to the entries of the neighboring properties.

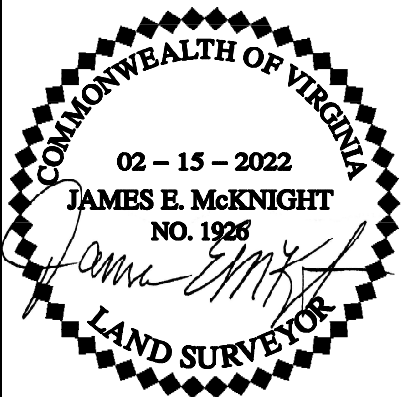
This house will be slab on grade, with wood framing and dark gray painted smooth fiber-cement panel siding in a varied design. The design includes a jog in the front façade creating a distinctive bay at the porch and second floor overhang. We have accentuated this bay with smooth panel siding with horizontal reveals at 2'-0", like an exaggerated version of the horizontal lap siding wrapping the main body of the house. The porch columns are stained wood with industrial style mounts at top and bottom, complemented by a stained wood porch ceiling. The low-slope roof will be concealed by a modest parapet.

We look forward to working with the CAR and staff towards approval for this project.

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".  
CURRENT OWNER: H BOBBY, JR & ANTONE EXUM DUHART ID 97-17653  
VERTICAL DATUM REFERENCED FROM CITY OF RICHMOND GIS.  
PLAT REFERENCE: PLAT BY WILLIAM M LEWS, JANUARY 22, 1945 - DB 448C PG 31



PLAT SHOWING IMPROVEMENTS ON No. 535 MOSBY STREET,  
IN THE CITY OF RICHMOND, VIRGINIA.



THIS IS TO CERTIFY THAT ON FEBRUARY 15, 2022, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS. SCALE: 1" = 20'



201 TWIN RIDGE LANE  
RICHMOND, VIRGINIA 23235  
TELEPHONE (804) 320-2646

JOB NUMBER: 90045335



**PROJECT CONTACTS:**  
DEVELOPER:  
CCRH HOLDINGS LLC  
C/O CENTER CREEK HOMES  
GREG SHRON  
804-362-7727  
  
ARCHITECT:  
CHRIS WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

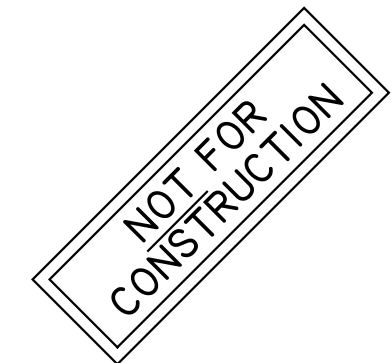
NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD  
**535 MOSBY ST. HOUSE**  
535 MOSBY STREET  
RICHMOND, VIRGINIA 23223

NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD

# 535 MOSBY ST. HOUSE

535 MOSBY STREET  
RICHMOND, VIRGINIA 23223

DRAWING INDEX	
DRAWINGS	
NO.	SHEET TITLE
CS	COVER SHEET
XI.I	SITE PHOTOS
CI.I	ARCHITECTURAL SITE PLAN
AI.I	FIRST & SECOND FLOOR PLANS
A2.0	RENDERINGS
A2.1	FRONT & REAR EXTERIOR ELEVATIONS & EXTERIOR FINISH SCHEDULE
A2.2	LEFT & RIGHT SIDE EXTERIOR ELEVATIONS



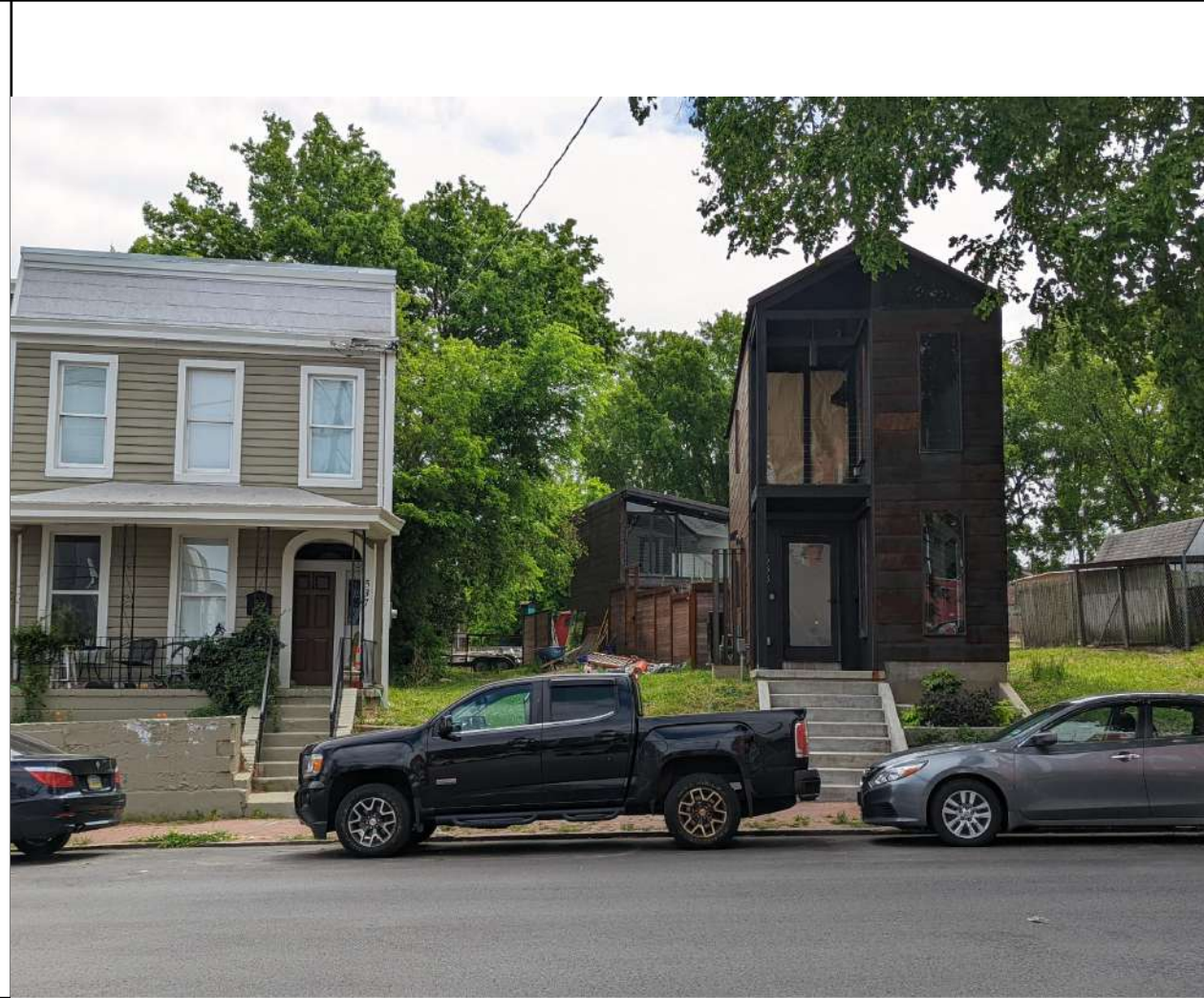
SET/REVISION:  
C.A.R. CONCEPTUAL  
REVIEW SET  
  
DATE/MARK:  
08.26.2022

COVER SHEET  
**CS**

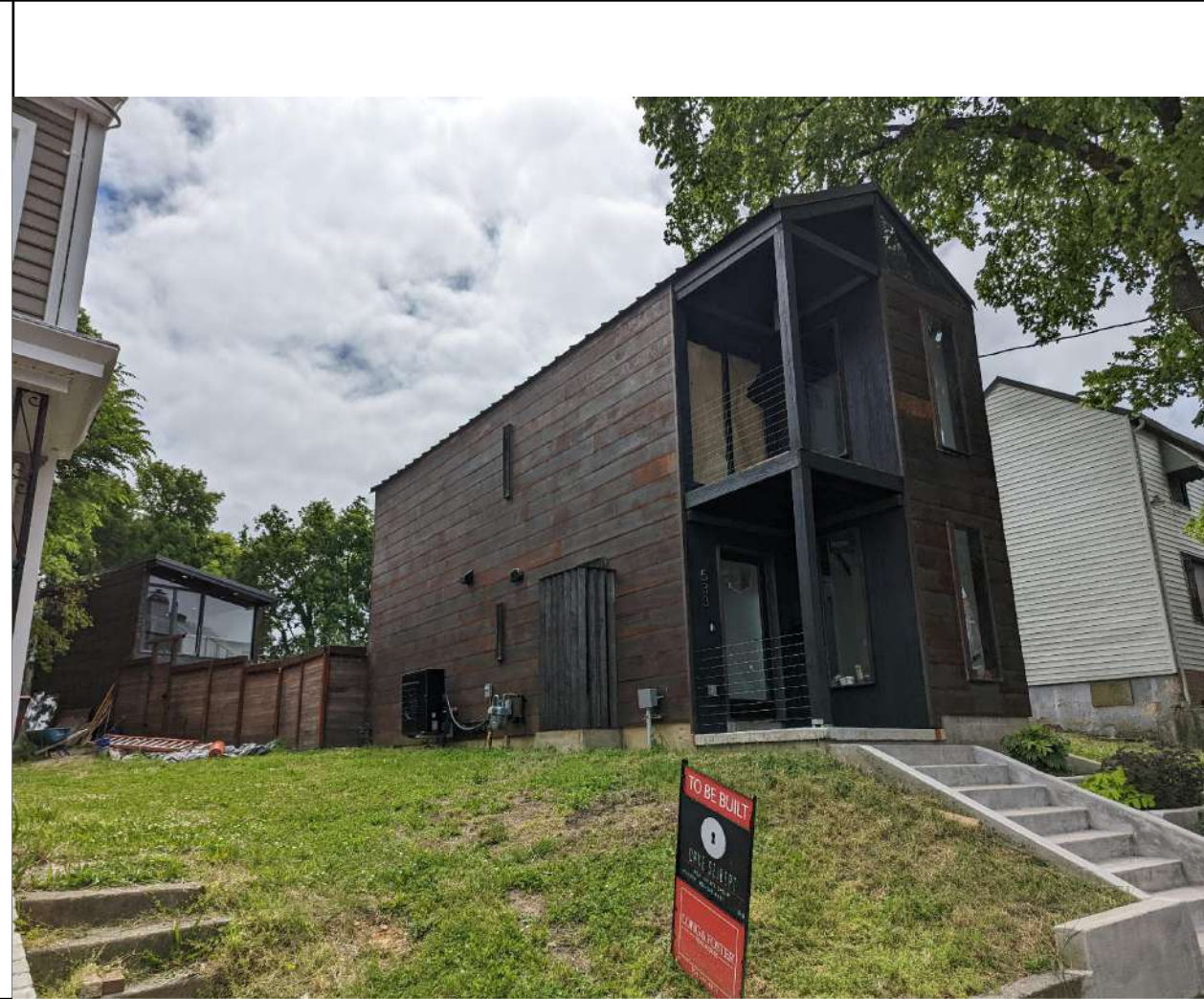




537 MOSBY ST. - NEIGHBOR TO LEFT



535 MOSBY ST. - PROJECT SITE



533 MOSBY ST. - NEIGHBOR TO RIGHT



BUILDING ACROSS MOSBY ST.



PROJECT LOT CLOSEUP



REAR VIEW OF PROJECT LOT



NORTH END OF PROJECT BLOCK



529 & 525 MOSBY ST.



SOUTH END OF PROJECT BLOCK



PROJECT CONTACTS:  
DEVELOPER:  
CCRII HOLDINGS LLC  
C/O CENTER CREEK HOMES  
GREG SHRON  
804-362-7727  
ARCHITECT:  
CHRIS WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

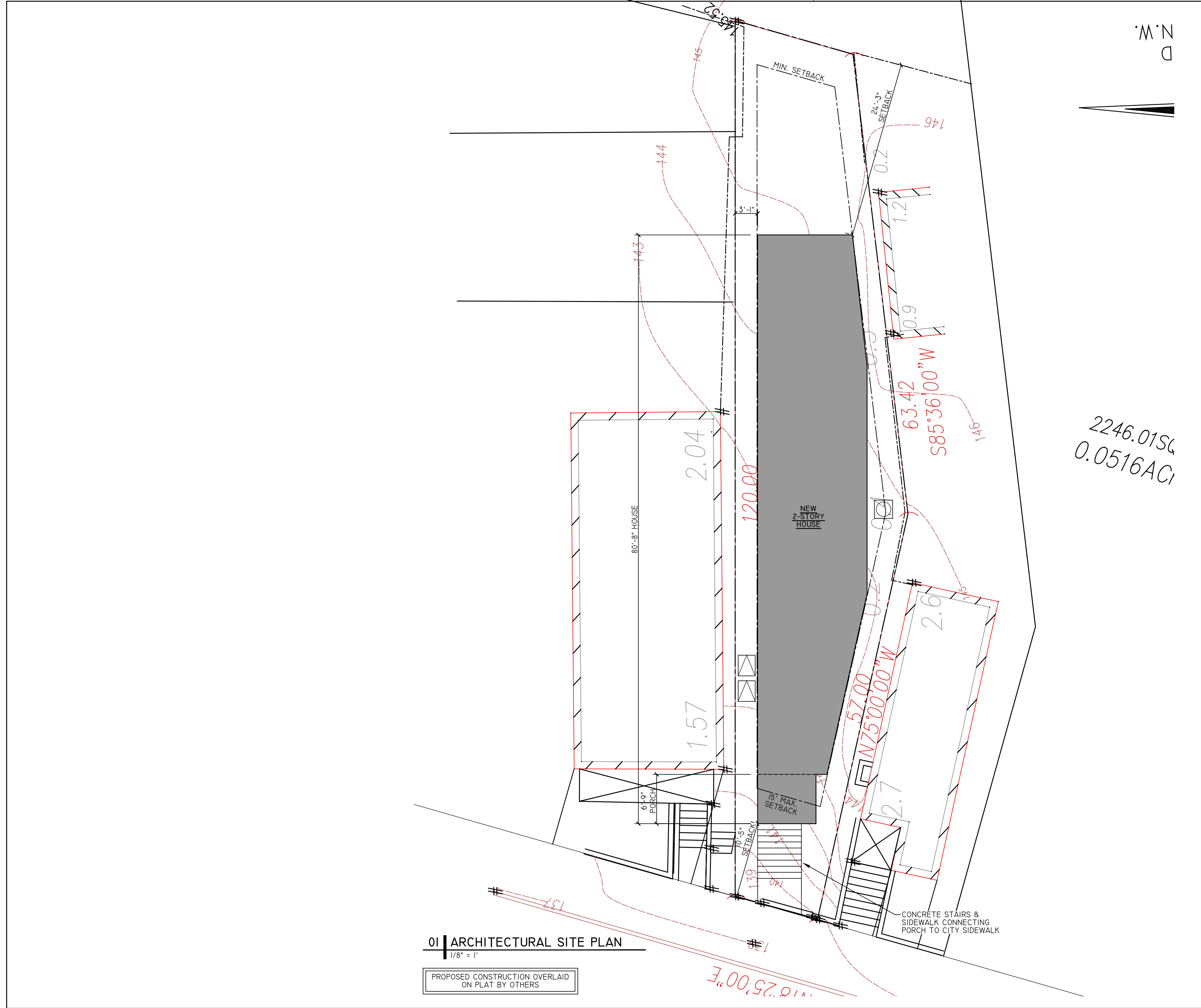
NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD  
**535 MOSBY ST. HOUSE**  
535 MOSBY STREET  
RICHMOND, VIRGINIA 23223



SET/REVISION:  
C.A.R. CONCEPTUAL  
REVIEW SET  
DATE/MARK:  
08.26.2022

SITE PHOTOS  
**XI.1**





PROJECT CONTACTS:

DEVELOPER:  
CCRII HOLDINGS LLC  
C/O CENTER CREEK HOMES  
GREG SHRON  
804-362-7727

ARCHITECT:  
CHRIS WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD

**535 MOSBY ST. HOUSE**

535 MOSBY STREET  
RICHMOND, VIRGINIA 23223

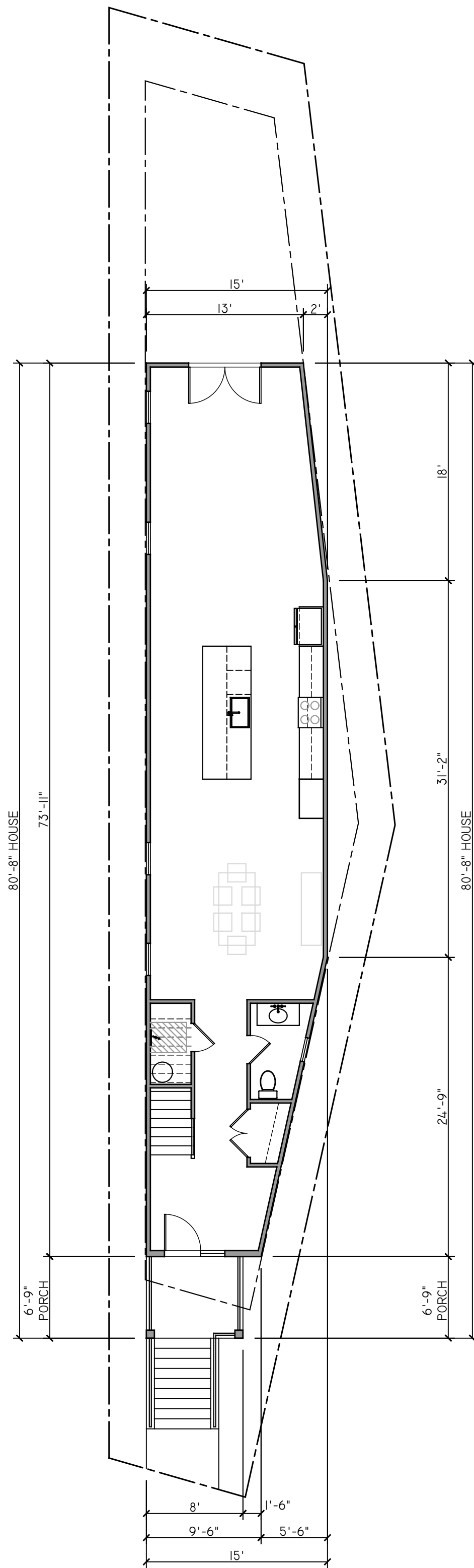
NOT FOR  
CONSTRUCTION

SET/REVISION:  
C.A.R. CONCEPTUAL  
REVIEW SET

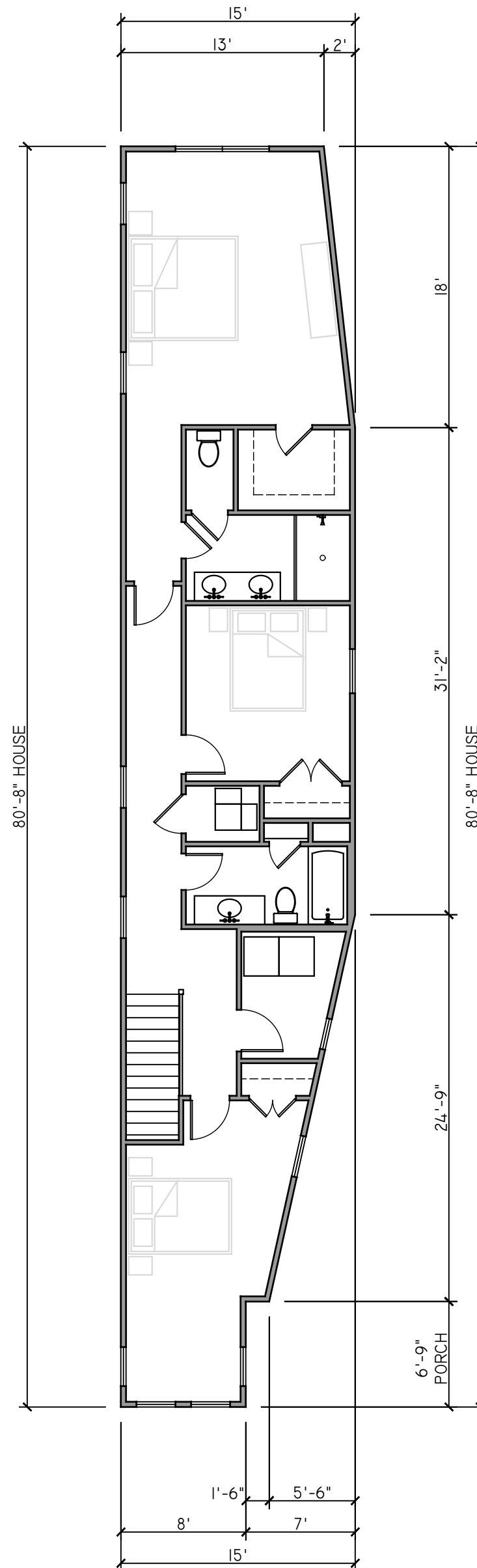
DATE/MARK:  
08.26.2022

ARCHITECTURAL  
SITE PLAN

**CI.1**



01 | FIRST FLOOR PLAN  
1/8" = 1'

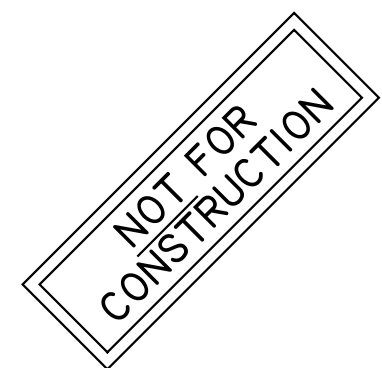


02 | SECOND FLOOR PLAN  
1/8" = 1'



PROJECT CONTACTS:  
DEVELOPER:  
CCRII HOLDINGS LLC  
C/O CENTER CREEK HOMES  
GREG SHRON  
804-362-7727  
ARCHITECT:  
CHRIS WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD  
**535 MOSBY ST. HOUSE**  
535 MOSBY STREET  
RICHMOND, VIRGINIA 23223



SET/REVISION:  
C.A.R. CONCEPTUAL  
REVIEW SET  
DATE/MARK:  
08.26.2022

FIRST & SECOND  
FLOOR PLANS

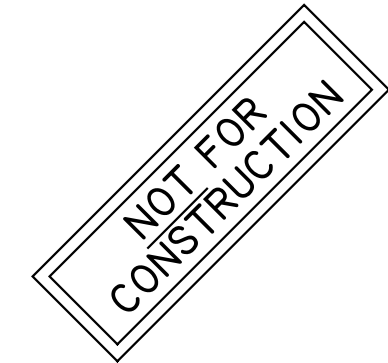
AI.1





**PROJECT CONTACTS:**  
DEVELOPER:  
CCRH HOLDINGS LLC  
C/O CENTER CREEK HOMES  
GREG SHRON  
804-362-7727  
ARCHITECT:  
CHRIS WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD  
**535 MOSBY ST. HOUSE**  
535 MOSBY STREET  
RICHMOND, VIRGINIA 23223



SET/REVISION:  
C.A.R. CONCEPTUAL  
REVIEW SET  
DATE/MARK:  
08.26.2022

RENDERINGS  
**A2.0**



PROJECT CONTACTS:

DEVELOPER:  
CCRII HOLDINGS LLC  
C/O CENTER CREEK HOMES  
GREG SHRON  
804-362-7727

ARCHITECT:  
CHRIS WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD

535 MOSBY ST. HOUSE

535 MOSBY STREET  
RICHMOND, VIRGINIA 23223

NOT FOR  
CONSTRUCTION

SET/REVISION:  
C.A.R. CONCEPTUAL  
REVIEW SET

DATE/MARK:  
08.26.2022

FRONT & REAR  
EXTERIOR ELEVATIONS

A2.1

EXTERIOR FINISH SCHEDULE

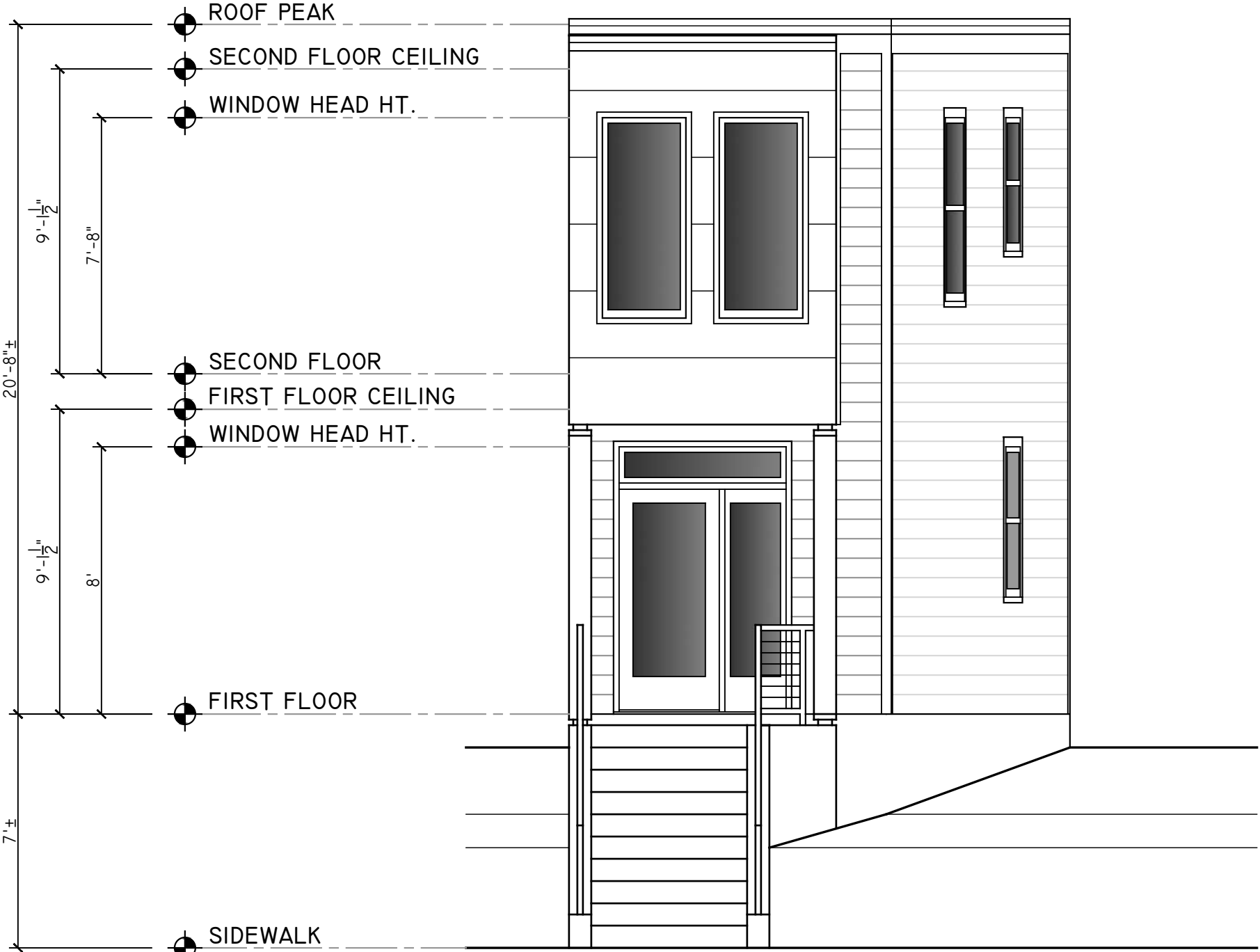
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PAVED FOUNDATION	THRU-COLOR GRAY/BLACK
02	CONCRETE FRONT PORCH/STAIRS/RETAINING WALLS	NATURAL CONCRETE
03	FIBER-CEMENT FLAT PANELS	IRON GRAY OR SIMILAR
04	FIBER-CEMENT LAP SIDING	IRON GRAY OR SIMILAR
05	COMPOSITE TRIM- SEE WALL SECTION	PAINTED TO MATCH SIDING
06	WOOD PORCH CEILING	NATURAL OR STAINED WOOD
07	ALUMINUM FLASHING	FACTORY BLACK
08	WOOD & GLASS ENTRY DOORS	PAINTED PER DEVELOPER
09	WINDOWS - SEE FLOOR PLANS FOR SIZES	PREFINISHED BLACK
10	FRONT PORCH COLUMN - ENGINEERED WOOD	NATURAL/STAINED PSL
11	FRONT PORCH HORIZONTAL METAL RAILING WITH HANDRAIL	PREFINISHED BLACK
12	TPO ROOF	FACTORY WHITE

EXTERIOR FINISH NOTES:  
1. ALL EXTERIOR MATERIALS, COLORS, & FINISHES SHALL BE APPROVED BY C.A.R..  
2. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS U.N.O..  
3. GRADES SHOWN APPROXIMATE. V.I.F..  
4. SEE SPECIFICATIONS BY OWNER.  
5. VERIFY ALL MATERIAL & COLOR SELECTIONS WITH DEVELOPER.



02 | REAR ELEVATION

1/4" = 1'



01 | FRONT ELEVATION

1/4" = 1'



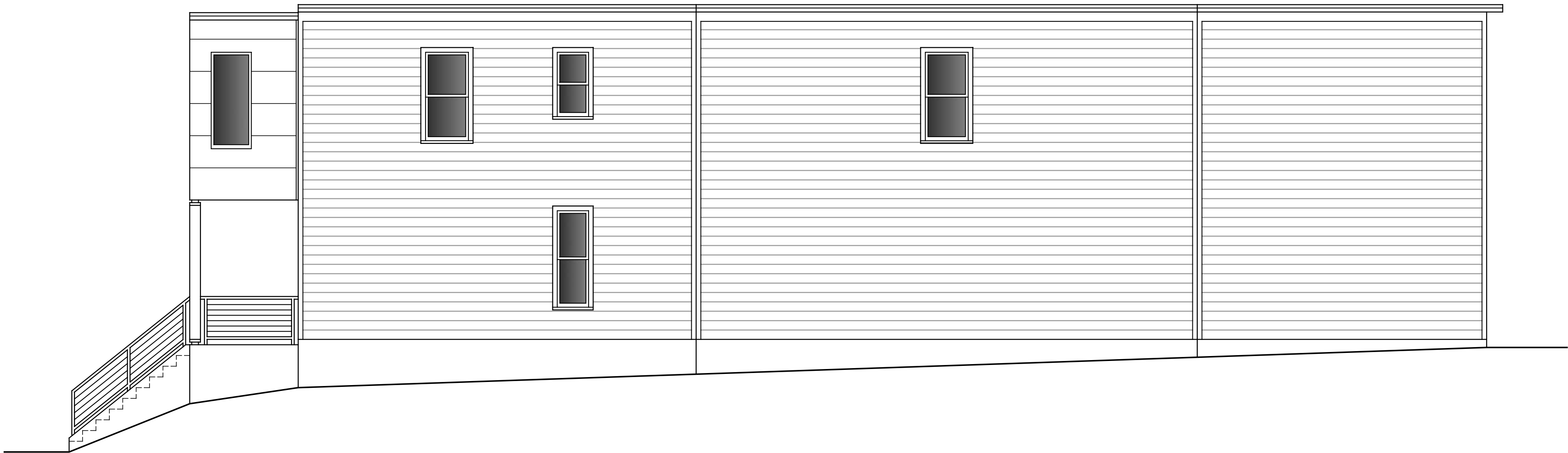
PROJECT CONTACTS:  
DEVELOPER:  
CCRII HOLDINGS LLC  
C/O CENTER CREEK HOMES  
GREG SHRON  
804-362-7727  
ARCHITECT:  
CHRIS WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

NEW SINGLE-FAMILY DETACHED HOUSE  
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD  
**535 MOSBY ST. HOUSE**  
535 MOSBY STREET  
RICHMOND, VIRGINIA 23223

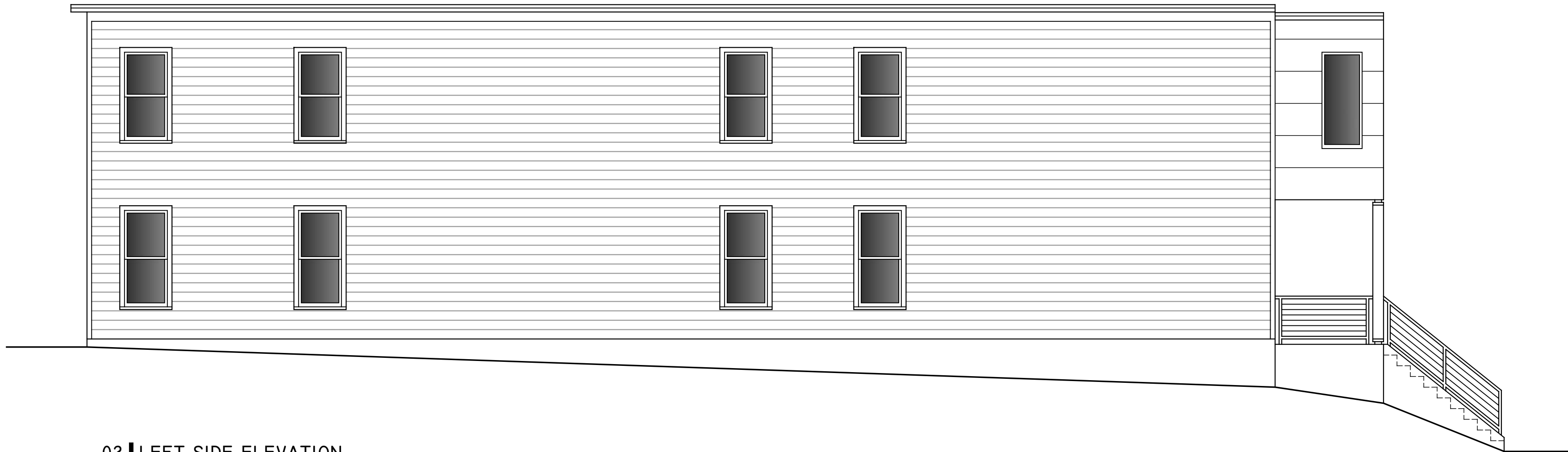
NOT FOR  
CONSTRUCTION

SET/REVISION:  
C.A.R. CONCEPTUAL  
REVIEW SET  
DATE/MARK:  
08.26.2022

LEFT & RIGHT SIDE  
EXTERIOR ELEVATIONS  
**A2.2**



01 | RIGHT SIDE ELEVATION  
3/16" = 1'



02 | LEFT SIDE ELEVATION  
3/16" = 1'