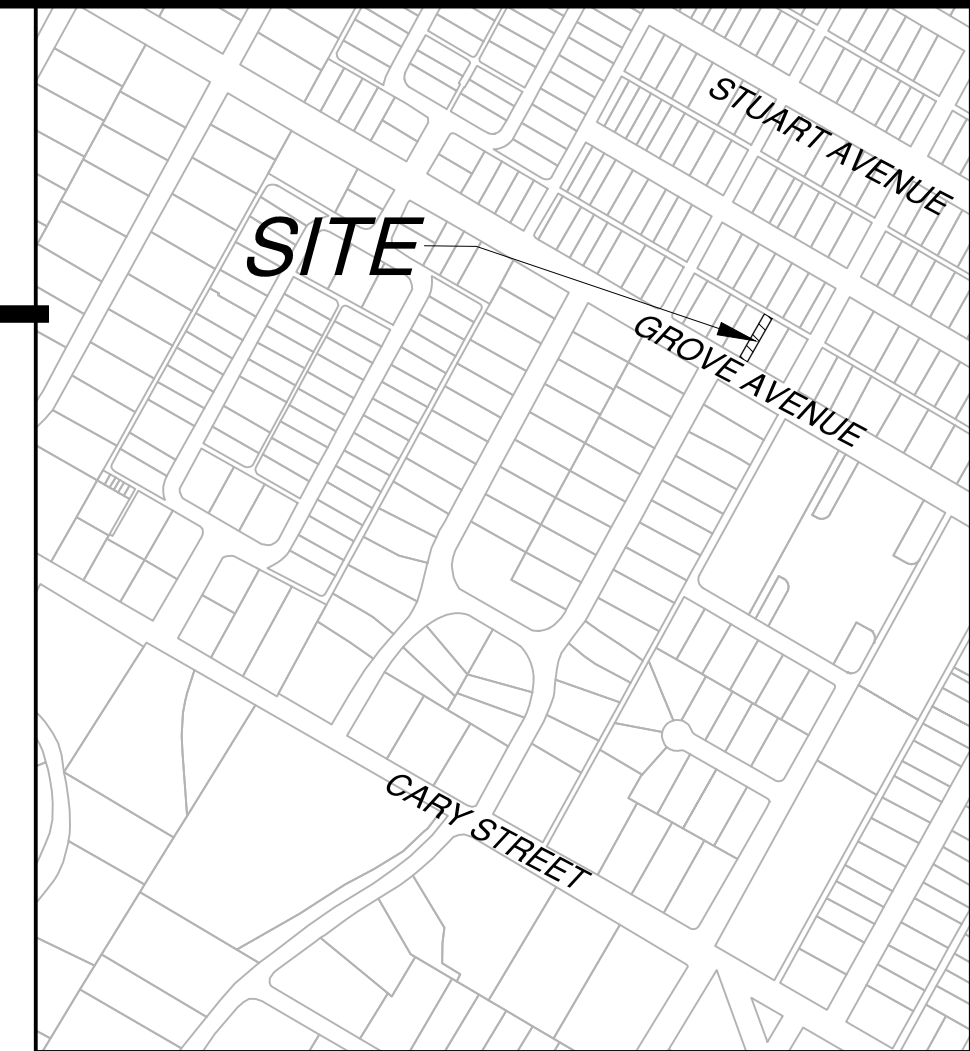


CITY OF RICHMOND SUBDIVISION NOTES

4704 GROVE AVENUE SPECIAL USE PERMIT REQUEST CITY OF RICHMOND, VIRGINIA



LOCATION MAP: 1" = 2000'

APPLICANT'S NAME: CAVA CAPITAL LLC

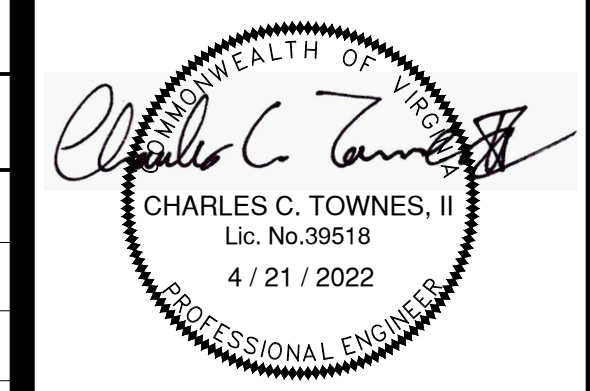
ZONING & CASE #: R-5

PLANNING COMMISSION APPROVAL DATE:

CITY APPROVAL:

- 1. EROSION CONTROL:
2. SEWER:
3. WATER:
4. ROAD & DRAINAGE:

townes consulting engineers, planners, land surveyors
2463 boulevard
colonial heights, va 23834
telephone: 804.520.9015
facsimile: 804.520.9016
email: cctownes@townespc.com



4704 GROVE AVENUE SPECIAL USE PERMIT REQUEST CITY OF RICHMOND, VIRGINIA COVER SHEET

DATE: APRIL 11, 2022
SCALE: N/A
PROJECT NUMBER: 20210666
DESIGN TEAM: CHARLES C. TOWNES, II, P.E., L.S. PROJECT MANAGER, T.S.G. DRAWN BY:

Table with columns: REV., DATE, ITEM. Row 1: 1, 4/21/2022, CLIENT COMMENTS

This drawing and the design shown is the property of townes, pc. The reproduction, copying, or other use of this drawing without written consent is prohibited and any infringement will be subject to legal action. © 2022 townes, pc

SHEET C-1

REQUIRED UTILITY NOTES

- 1. ALL MATERIALS FOR SEWER & WATER SYSTEMS SHOWN SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE LOCAL AGENCY APPLICABLE AT THE TIME OF NOTICE TO PROCEED.
2. WATER LINES ARE TO BE CLASS 150 PIPE WITH CAST IRON FITTINGS WITH RING-TIGHT BELL CONFORMING TO AS2110 AND AWWA C-100.
3. ALL WATER LINES TO EXTEND A MINIMUM OF ONE (1) SECTION PAST VALVE BEFORE CAPPING.
4. CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-552-7001) BEFORE BEGINNING ANY EXCAVATION.
5. FOR TYPICAL DETAILS OF WATER IMPROVEMENTS, SEE APPURTENANCE STANDARDS BY THE CITY OF RICHMOND WATER & SEWER SPECIFICATIONS & PROCEDURES.
6. FIRE HYDRANTS TO BE THREADED ACCORDING TO CITY OF RICHMOND FIRE DEPARTMENT REQUIREMENTS.
7. MINIMUM CLEAR COVER OVER TOP OF PIPE SHALL BE 3'-6".
8. BEFORE CONSTRUCTION OF THIS WATER LINE CAN BEGIN, THE ENGINEER MUST CERTIFY IN WRITING THAT THE ROADS ARE WITHIN 6" OF THE FINAL SUB-GRADE.
9. ALL WATER SERVICES TO BE TYPE K COPPER, DRAWN TUBING, NO JOINTS.
10. CONTRACTOR SHALL ACQUIRE ANY HIGHWAY PERMITS PRIOR TO CONSTRUCTION AND FORWARD COPIES TO THE CITY.
11. CONTRACTOR SHALL INSTALL ALL WATER SERVICE CONNECTIONS AND METER BOXES.
12. USE THRUST BLOCKS PER MANUFACTURERS RECOMMENDATION.
13. ALL WATER METERS WHOSE ELEVATION IS AT 122.00 OR BELOW WILL REQUIRE INDIVIDUAL PRESSURE REGULATORS TO BE INSTALLED ON THE CUSTOMERS SIDE OF THE WATER METER.
14. DATUM FOR ALL ELEVATIONS IS NAVD83.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT SANITARY SEWER SPECIFICATIONS OF THE CITY OF RICHMOND. ALL WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF RICHMOND INSPECTORS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROPER COUNTY OFFICIALS 48 HOURS PRIOR TO START OF WORK. A PRECONSTRUCTION MEETING BETWEEN CONTRACTOR AND ENGINEER WILL BE MANDATORY.
16. GRADE STAKES WILL BE SET BY TOWNES P.C. COPIES OF CUT SHEETS WILL BE SENT TO THE CITY OF RICHMOND.
17. PIPE STRENGTHS TO BE AS FOLLOWS:
A. PVC ASTM D3034, SDR - 35.
B. EXCEPT AS SHOWN ON PROFILE.
18. ALL MANHOLES TO BE PRECAST CONCRETE.
19. JOB SHALL BE BID ON A UNIT PRICE BASIS. ALL EXCAVATION SHALL BE UNCLASSIFIED.
20. EXISTING UTILITIES WHERE SHOWN, ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY ALL SUCH LOCATIONS BEFORE START OF WORK.
21. ALL PIPE BEDDING TO BE CLASS B EXCEPT AS SHOWN FOR PLASTIC PIPE.
22. ALL SANITARY SEWER LINES WITH LESS THAN 6" OF COVER WILL BE MADE OF DUCTILE IRON PIPE IF WITHIN A RIGHT OF WAY.

EROSION AND SEDIMENT CONTROL NOTES

- 1. Soil Erosion and Sediment Control shall be per the current edition of the Virginia Erosion and Sediment Control Handbook.
2. Sediment basins and traps, perimeter dikes, sediment barriers, and other measures intended to trap sediment on-site, must be constructed as a first step in grading and be made functional before upslope land disturbance takes place. Stabilization measures shall be applied to earthen structures such as dams, dikes, and diversions immediately after installation.
3. Permanent or temporary soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven (7) days to denuded areas that may not be at final grade, but will remain dormant (undisturbed) for longer than thirty (30) days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one (1) year.
4. During construction, soil stockpiles shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site, as well as soil intentionally transported from the site.
5. All storm sewer inlets that are made functionally operable during construction, shall be protected so that sediment laden water cannot enter the conveyance systems without first being filtered or otherwise treated to remove sediment.
6. The Department of Planning shall make a continuing review and evaluation of the erosion and sediment control methods used and the overall effectiveness of the erosion control program and shall direct changes to be made if deemed necessary.

LATITUDE: 37.5496655
LONGITUDE: -77.4071675
RECEIVING CHANNEL / WATERS: JAMES RIVER
VAH06 WATERSHED CODE: JL01

SITE SUMMARY AND NOTES

- 1. OWNER / DEVELOPER .....CAVA CAPITAL LLC
2. PARCEL ID'S ..... W0190273012
3. SITE ADDRESS ..... 4704 GROVE AVENUE
4. ZONING ..... R-5 (RESIDENTIAL - SINGLE FAMILY)
5. SITE AREA .....0.075 ACRES
6. WATER ..... PUBLIC
7. SEWER ..... PUBLIC
8. THIS SITE IS LOCATED WITHIN A 100-YEAR FEMA DEFINED FLOOD PLAIN ZONE X PER COMMUNITY PANEL NUMBER 5101290009D, EFFECTIVE DATE APRIL 2, 2009.
9. THERE ARE NO WETLANDS LOCATED ON THIS SITE.
10. ALL PROPOSED UTILITIES ARE TO BE INSTALLED UNDERGROUND INCLUDING TELEPHONE, CATV, AND GAS.
11. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
12. CONSTRUCTION TRAFFIC INGRESS/EGRESS SHALL BE RESTRICTED TO FRONTAGE ROAD ENTRANCE ONLY.

SEEDING SCHEDULE

ALL CUT AND FILL SLOPES AND CHANNELSIDE SLOPES WHICH ARE NOT TO BE PAVED SHALL BE SEEDED UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH THE FOLLOWING:

- A. 100 LBS PER 1,000 SQ. FT. GROUND LIMESTONE OR EQUIVALENT
B. 20 LBS. OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQ. FT.
C. VARIETIES TO BE SEEDED:
1. SPRING SEEDING: MARCH 1 THROUGH APRIL 30; SPRING OATS (2.5 LBS. PER 1,000 SQ. FT.)
2. SUMMER SEEDING: MAY 1 THROUGH AUGUST 1; WEEPING LOVE GRASS AT (2 OZ. PER 1,000 SQ. FT. MIXED WITH 1 BUSHEL SAWDUST FOR UNIFORM SEEDING.
3. AUTUMN SEEDING: AUGUST 1 THROUGH NOVEMBER 15; TALL FESCUE (KY 31) AT (1.5 LBS. PER 1,000 SQ. FT.)

NOTE: THE "CITY INSPECTOR" FOR E & S ISSUES IS THE DIRECTOR OF PLANNING. THE "CITY INSPECTOR" FOR PUBLIC WORKS AND PUBLIC UTILITIES ISSUES IS THE DIRECTOR OF PUBLIC WORKS OR HIS REPRESENTATIVE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-05-00 EROSION AND SEDIMENT CONTROL REGULATIONS.
ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP ON CLEARING.
ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
ES-6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
ES-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
ES-8: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
ES-9: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

STATE AGENCIES SHALL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHOD USED AND THE EFFECTIVENESS OF THE EROSION CONTROL PLAN. THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MAY BE AMENDED BY THE PLAN APPROVING AUTHORITY IF ON-SITE INSPECTION INDICATES THAT THE APPROVED CONTROL MEASURES ARE NOT EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION OR BECAUSE OF CHANGED CIRCUMSTANCES THE PLAN CANNOT BE CARRIED OUT.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.

LEGEND

Legend table with columns: ROAD & DRAINAGE, SEWER, EROSION CONTROL. Includes symbols for culvert, drop inlet, manhole, ditch, contours, waterlines, valves, hydrants, fences, and traps.

PROJECT NAME

4704 GROVE AVENUE

CONTACT INFORMATION

DEVELOPER NAME: CAVA CAPITAL LLC

ADDRESS: 5310 MARKEL ROAD SUITE 104

RICHMOND, VIRGINIA 23230

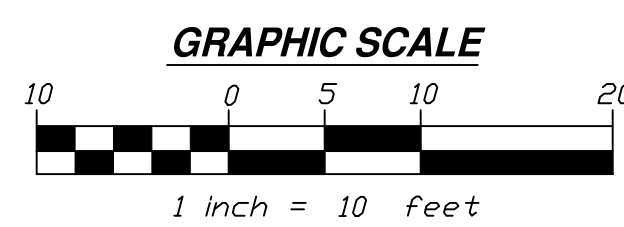
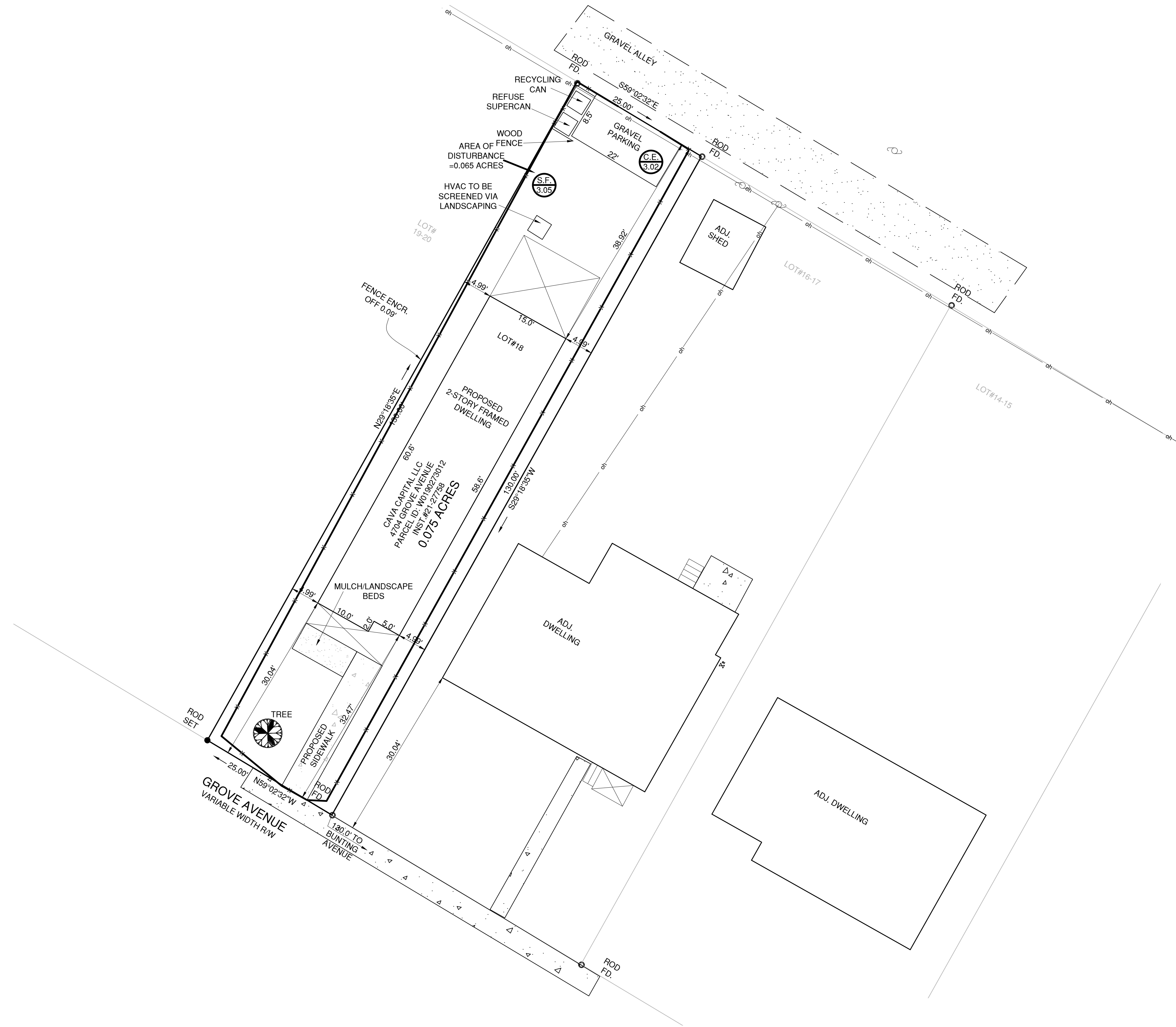
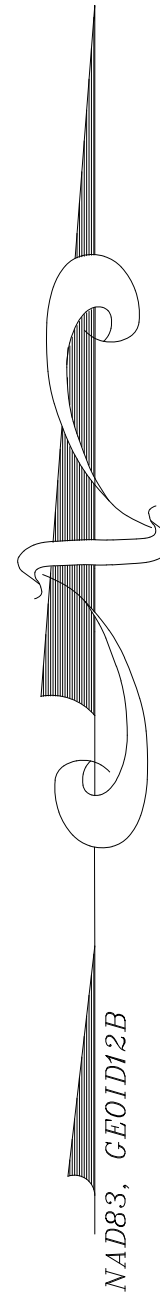
CONTACT PERSON: AMANDA SCHWARTZ

TELEPHONE: (804) 385-6587

FACSIMILE:

EMAIL:

\*NOTE: OPAQUE SCREENING TO BE PROVIDED UNLESS REAR YARD AND REFUSE AREA IS ENCLOSED WITH OPAQUE PRIVACY FENCE



2463 boulevard  
 colonial heights, va 23834  
 telephone: 804.520.9015  
 facsimile: 804.520.9016  
 email: cctownes@townespc.com

**townes**  
 consulting engineers, planners, land surveyors



**4704 GROVE AVENUE  
 SPECIAL USE PERMIT REQUEST  
 CITY OF RICHMOND, VIRGINIA**

SITE LAYOUT

DATE:  
 APRIL 11, 2022

SCALE:  
 1" = 10'

PROJECT NUMBER:  
 20210666

DESIGN TEAM:  
 CHARLES C. TOWNES, II, P.E., L.S.  
 PROJECT MANAGER  
 T.S.G.  
 DRAWN BY:

CHECKED BY:

REVISIONS:

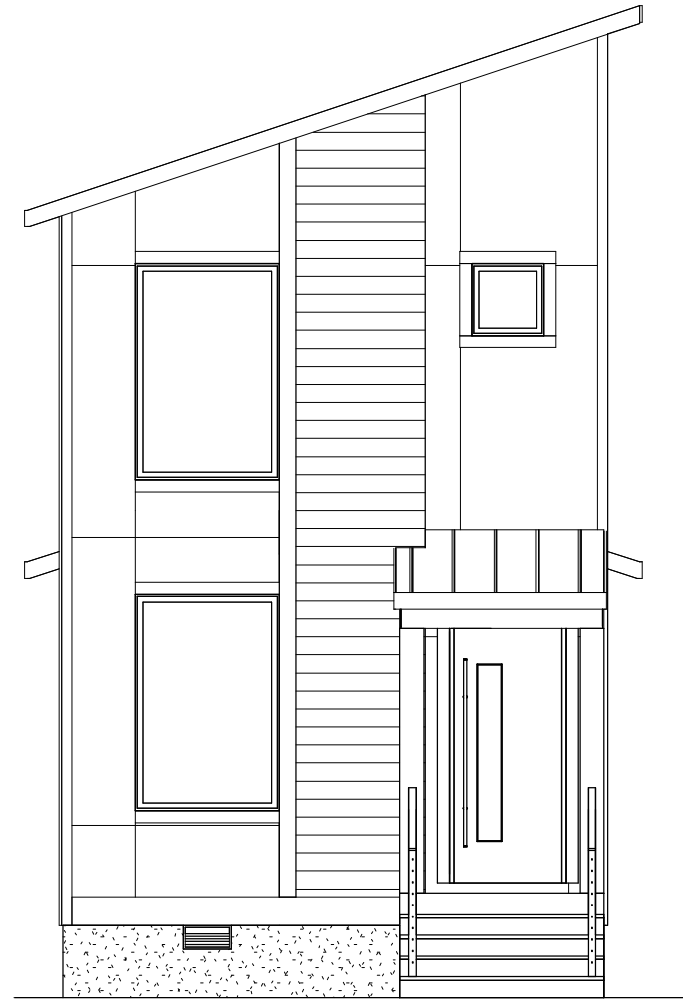
REV.	DATE	ITEM
1	4/21/2022	CLIENT COMMENTS

This drawing and the design shown is the property of townes, pc. The reproduction, copying, or other use of this drawing without written consent is prohibited and any infringement will be subject to legal action.  
 © 2022 townes, pc

# CAVA COMPANIES

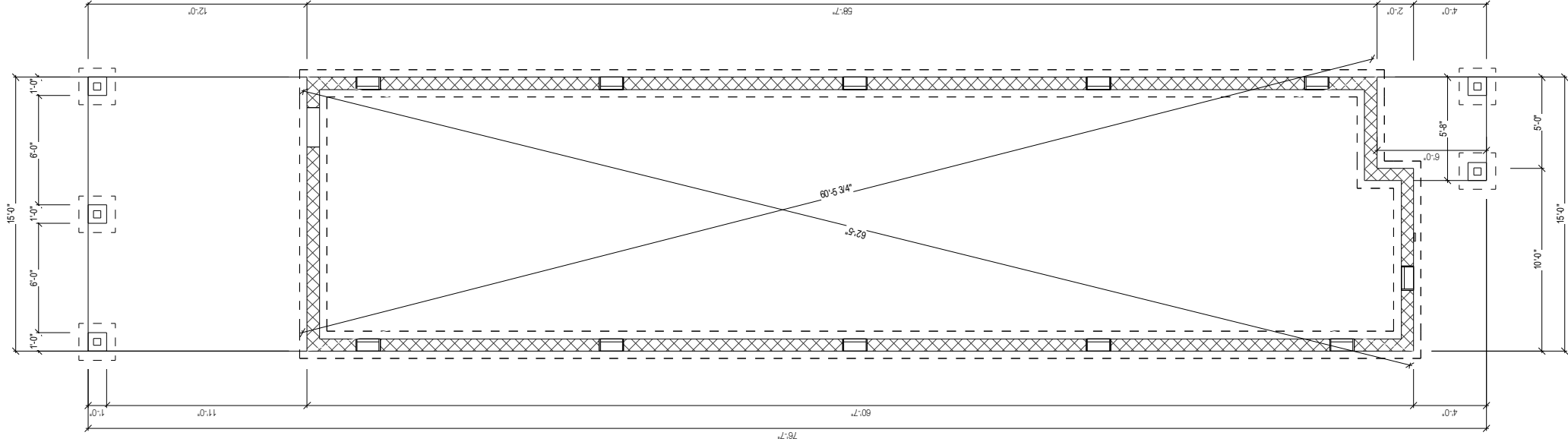
## AREA CALCULATIONS

<b>Heated Area</b>	
1st Floor Livable	905 SF
2nd Floor Livable	899 SF
	1804 SF
<b>Unheated Area</b>	
Front Porch	32 SF
Rear Porch	180 SF
	212 SF
<b>Total</b>	<b>2016 SF</b>



**COPYRIGHT NOTICE**

APPROVAL SET  
NOT FOR CONSTRUCTION

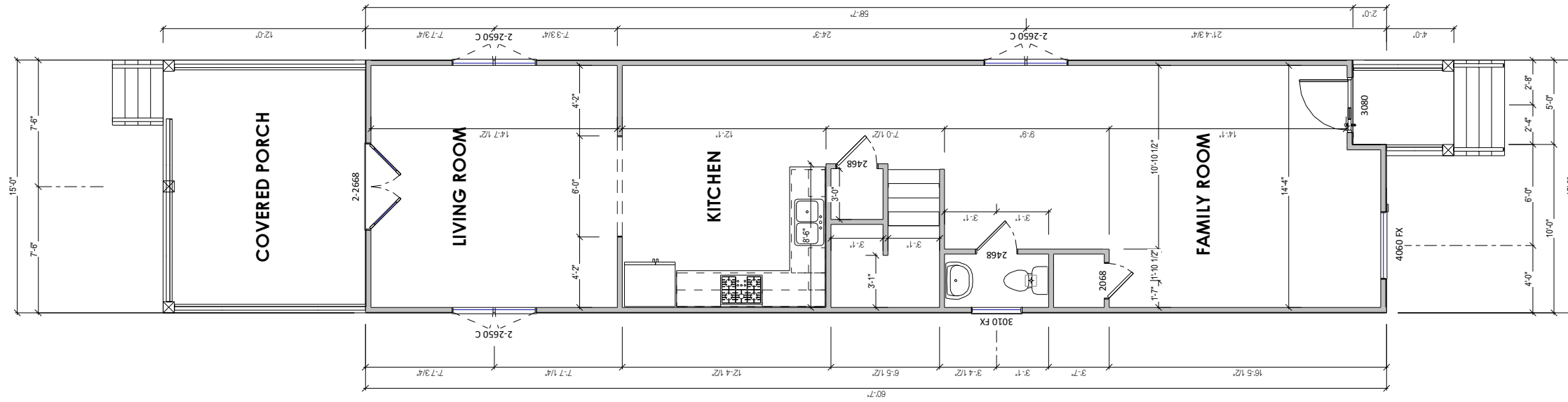


**1 FOUNDATION PLAN**  
A-1 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

© Copyright 2022  
 This Drawings and Design in-whole or in-part shall not be reproduced or copied without written permission from Cava Companies.



PROJECT	NEW CONSTRUCTION	CLIENT	CAVA COMPANIES
	SHEET	Foundation	ADDRESS 4704 GROVE
ISSUE DATE		8/25/22	
DRAWN BY		PINNACLE DESIGN	
SHEET NUMBER		A-1	

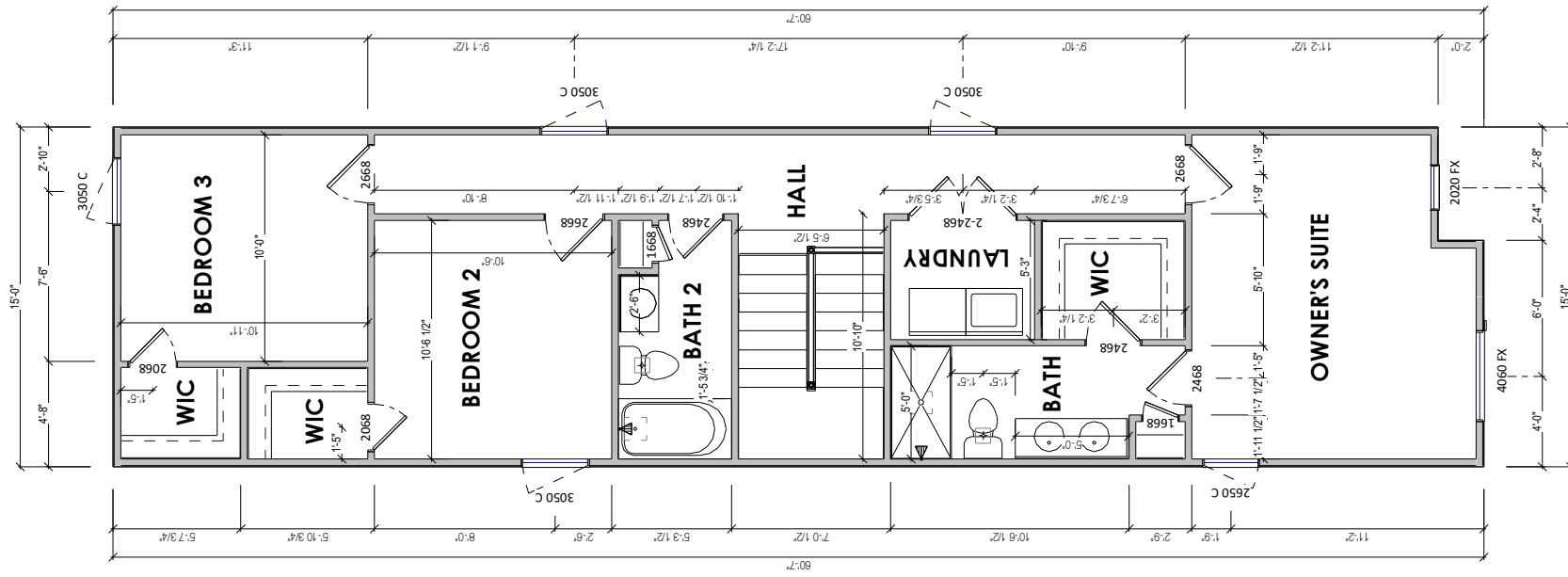


**1 1ST FLOOR PLAN**  
A-2 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

© Copyright 2022  
 This Drawings and Design in-whole or in-part shall not be reproduced or copied without written permission from Cava Companies.



PROJECT	NEW CONSTRUCTION	CLIENT	CAVA COMPANIES
	SHEET	1st Floor Plan	ADDRESS
ISSUE DATE	8/25/22		
DRAWN BY	PINNACLE DESIGN		
SHEET NUMBER	A-2		

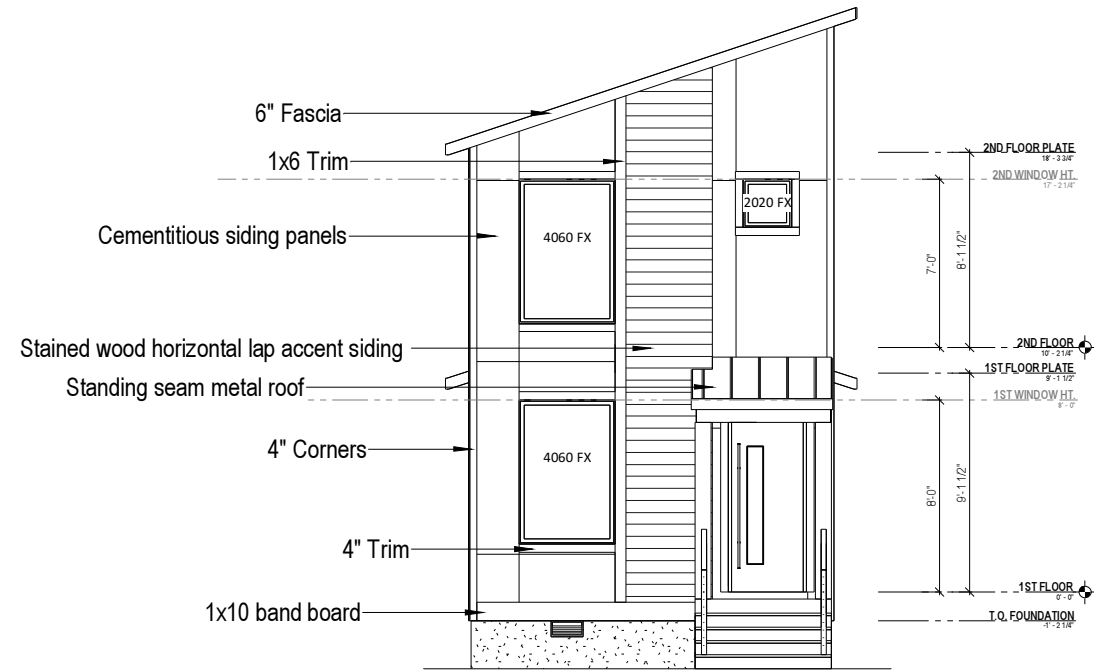


**1 2ND FLOOR PLAN**  
A-3 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

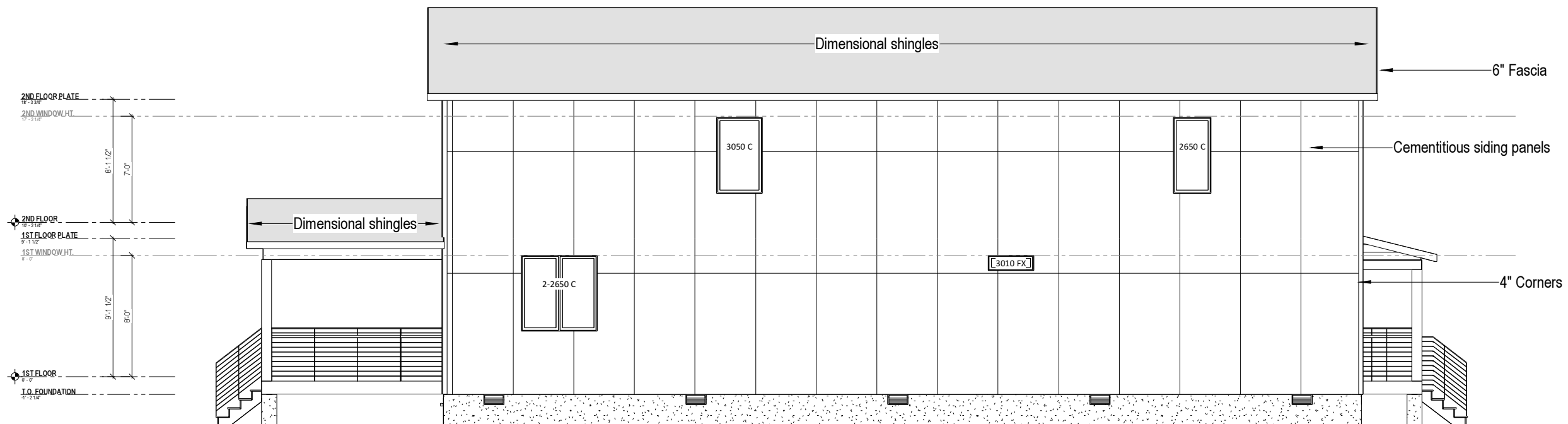
© Copyright 2022  
 This Drawings and Design in-whole or in-part shall not be reproduced or copied without written permission from Cava Companies.



PROJECT	NEW CONSTRUCTION	CLIENT	CAVA COMPANIES
	SHEET	2nd Floor Plan	ADDRESS
ISSUE DATE		8/25/22	
DRAWN BY		PINNACLE DESIGN	
SHEET NUMBER		A-3	



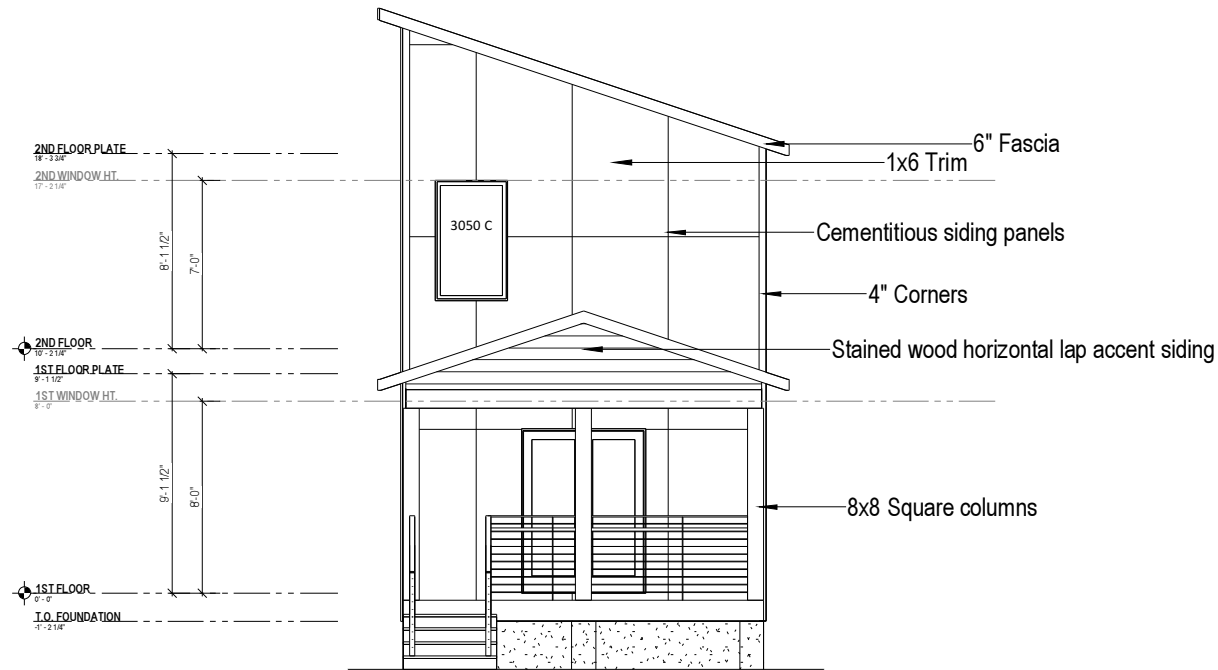
**1 FRONT VIEW**  
 A-5 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



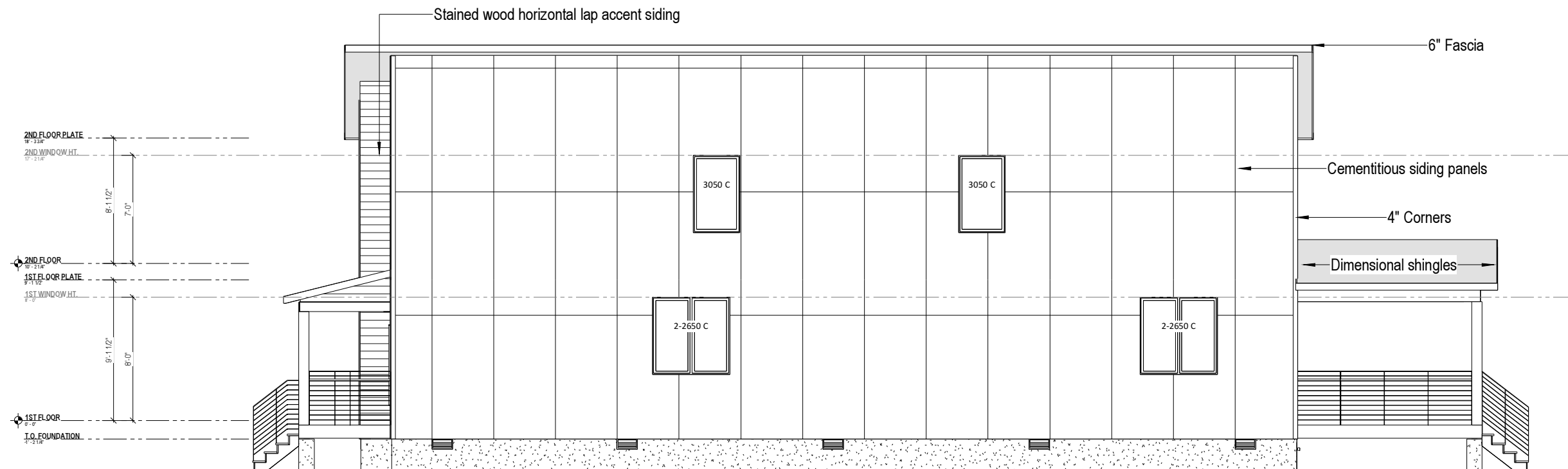
**2 LEFT VIEW**  
 A-5 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

© Copyright 2022  
 This Drawings and Design in-whole or in-part shall not be reproduced or copied without written permission from Cava Companies.

CLIENT	<b>CAVA COMPANIES</b>
ADDRESS	4704 GROVE
PROJECT	<b>NEW CONSTRUCTION</b>
SHEET	Elevations
ISSUE DATE	8/25/22
DRAWN BY	PINNACLE DESIGN
SHEET NUMBER	A-5



**1 REAR VIEW**  
A-6 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



**2 RIGHT VIEW**  
A-6 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

© Copyright 2022  
This Drawings and Design in-whole or in-part shall not be reproduced or copied without written permission from Cava Companies.

CLIENT	<b>CAVA COMPANIES</b>
ADDRESS	<b>4704 GROVE</b>
PROJECT	<b>NEW CONSTRUCTION</b>
SHEET	<b>Elevations</b>
ISSUE DATE	<b>8/25/22</b>
DRAWN BY	<b>PINNACLE DESIGN</b>
SHEET NUMBER	<b>A-6</b>





DOOR SCHEDULE				
Type	Count	Comments	Heat Transfer Coefficient (U)	Solar Heat Gain Coefficient

3080 EXT FRONT DOOR	1			
Door_Exterior Double Swing Full Lite 2668	1			
Door_Interior Double Swing 2468	1			
Door_Interior Single Swing 1868	2			
Door_Interior Single Swing 2068	3			
Door_Interior Single Swing 2468	5			
Door_Interior Single Swing 2668	3			
Door_Interior Single Swing - Access Door 2030	1			

Grand total: 17

FIRST FLOOR WINDOW SCHEDULE				
Type	Count	Comments	Heat Transfer Coefficient (U)	Solar Heat Gain Coefficient

Vent_Foundation 16"x8"	11			
Window_Casement 2650	1			
Window_Casement 3050	4			
Window_Fixed 2020	1			
Window_Fixed 3010	1			
Window_Fixed 4060	2			
Window_Twin Casement 2650	3			

Grand total: 23

© Copyright 2022

This Drawings and Design in-whole or in-part shall not be reproduced or copied without written permission from Cava Companies.

CLIENT	<b>CAVA COMPANIES</b>	
	ADDRESS	4704 GROVE
PROJECT	<b>NEW CONSTRUCTION</b>	
SHEET	Door and Window Schedule	

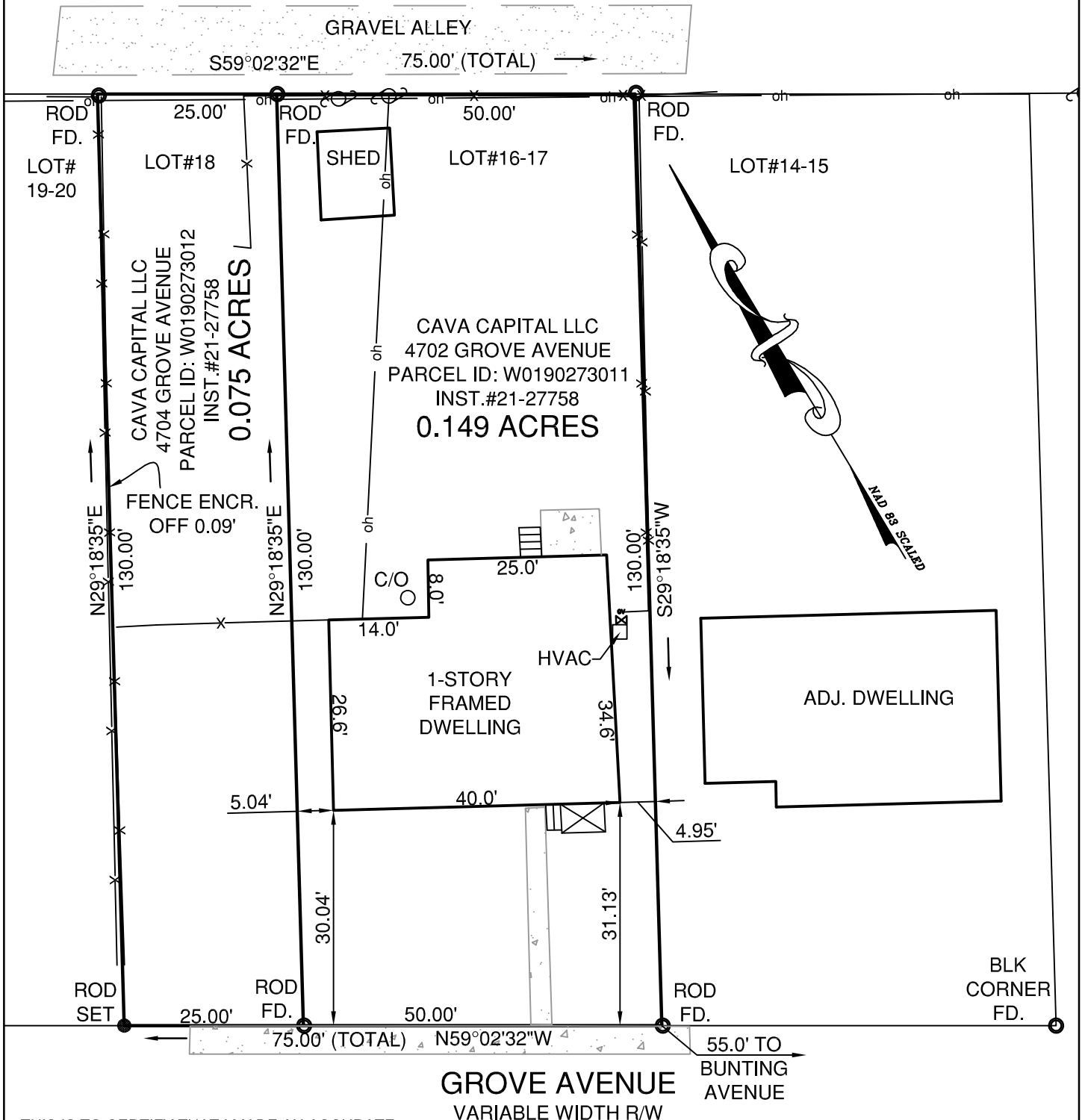
ISSUE DATE	8/25/22
DRAWN BY	<b>PINNACLE DESIGN</b>
SHEET NUMBER	<b>A-6.00</b>

THIS PROPERTY IS LOCATED IN ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL #5101290009D, EFFECTIVE DATE APRIL 2, 2009.

THIS SURVEY WAS MADE FOR THE PURPOSE OF IDENTIFYING LEGAL BOUNDARIES AND DOES NOT PURPORT TO IDENTIFY ENVIRONMENTAL FEATURES THAT AN ENVIRONMENTAL ASSESSMENT MIGHT IDENTIFY.

THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD OR OTHER PERTINENT FACTS THAT A CURRENT TITLE REPORT MIGHT IDENTIFY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

REFERENCE PLAT: PLAT OF COLONIAL PLACE ANNEX. DATED JULY 16, 1912 BY T. CRAWFORD REDD & BRO.



THIS IS TO CERTIFY THAT I MADE AN ACCURATE FIELD SURVEY ON OCTOBER 6, 2021. ALL VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON AND THAT THERE ARE NO VISIBLE ENCROACHMENTS OTHER THAN SHOWN.

*Charles C. Townes, II*  
 COMMONWEALTH OF VIRGINIA  
 CHARLES C. TOWNES, II  
 Lic. No. 2803  
 10/11/2021  
 LAND SURVEYOR

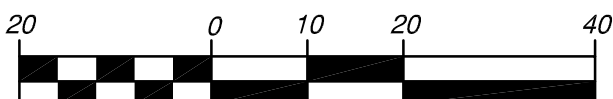
PLAT SHOWING  
 PHYSICAL IMPROVEMENTS OF  
 LOT 16-18, BLOCK 9,  
 COLONIAL PLACE ANNEX  
 SUBDIVISION

FOR  
 CAVA CAPITAL, LLC

CITY OF RICHMOND, VIRGINIA

DATE: OCTOBER 11, 2021 SCALE: 1"=20'

GRAPHIC SCALE



1 inch = 20 feet



**townes**

consulting engineers, planners, and land surveyors

DRAWN BY: TSG

CHECKED BY:

2463 boulevard  
 colonial heights, va 23834  
 telephone: 804.520.9015  
 facsimile: 804.520.9016  
 email: cctownes@townespc.com

ATTN: AMANDA SCHWARTZ