



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review

Land Use Administration Division

900 E. Broad Street, Room 511

Richmond, Virginia 23219

(804) 646-6304

<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: _____ Date: _____

Parcel I.D. #: _____ Fee: _____

Total area of affected site in acres: _____

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: _____

Richmond 300 Land Use Designation: _____

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Lot division to construct one (1) new single-family detached dwelling fronting Groveland Avenue

Existing Use: _____

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _(_____) _____ Fax: _(_____) _____

Email: _____

Property Owner: _____

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _(_____) _____ Fax: _(_____) _____

Email: _____

Property Owner Signature: _____

Anthony J. Spence

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

March 21st, 2023

*Special Use Permit Request
3112 Woodcliff Avenue, Richmond, Virginia
Map Reference Number: N000-1055/012*

Submitted to:	City of Richmond Department of Planning and Development Review Land Use Administration 900 East Broad Street, Suite 511 Richmond, Virginia 23219
Submitted by:	Baker Development Resources 530 East Main Street, Suite 730 Richmond, VA 23219

Introduction

The applicant is requesting a special use permit (the "SUP") for the property known as 3112 Woodcliff Avenue (the "Property"). The SUP would authorize the division of the parcel and the construction of one new single-family detached dwelling. While that use is permitted by the underlying R-5 Single Family Residential zoning district, a number of the applicable feature requirements cannot be met. Therefore, the SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is a "through lot" that shares frontage on Groveland and Woodcliff Avenues between their intersections with Craigie Avenue and Highland View Avenue. It is referenced by the City Assessor with a tax parcel number of N000-1055/012, is 30 feet in width and 140 feet in depth, and is currently improved with a "four square" dwelling fronting onto Woodcliff Avenue. According to the City Assessor's records, the Property is comprised of two original subdivision lots, being Lots 194 and 206 of the original Highland Terrace subdivision ("the Subdivision") from the early 1900s. These lots were configured back-to-back, with one fronting on Woodcliff Avenue and the other fronting on Groveland Avenue.



The lot pattern in the vicinity includes through lots as well as lots fronting on either Woodcliff or Groveland Avenues according to the original subdivision layout. Properties in the block are occupied with a combination of single- and two-family dwellings. Immediately to the north of the subject Property, the parcels at 3111 Groveland and 3114 Woodcliff, which are occupied with single-family detached dwellings, offer an example of the proposed back-to-back parcel layout.

Moving towards the nearby corridors of Brookland Park Boulevard to the south and Meadowbridge Road to the east, there are a variety of residential densities. These commercial corridors themselves are both within walking distance and include a variety of commercial, residential, office, mixed-use and institutional uses.

EXISTING ZONING

The Property and the surrounding properties are zoned R-5 Single-Family Residential, which permits single-family detached dwellings. The majority of properties in the immediate vicinity do not conform to the R-5 feature requirements such as lot area, lot width, and setbacks. In many cases, properties in the vicinity also do not meet the use requirements, that are applicable to this district, as demonstrated by the two-family dwelling in the block.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, including:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options."
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to "Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers."
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to "Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city."
- Amend the Zoning Ordinance to allow accessory dwelling units in all residential zones to allow for in-law apartments. (Inclusive Housing)
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to "Increase the number of mixed-income communities along enhanced transit corridors."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to "Encourage more housing types throughout the city and greater density along enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance. "
- Page 159 (Thriving Environment Chapter) Objective 15.1 to "Reduce air pollution related to transportation."

- a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards”
- Page 100 (High Quality Places Chapter), Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

Proposal

PURPOSE OF REQUEST

The SUP would permit the division of the Property into two lots and the construction of a new single-family detached dwelling fronting on to Groveland Avenue. The existing single-family dwelling fronting Woodcliff Avenue would be retained, and the other lot and proposed dwelling would front onto Groveland Avenue. Each lot would be 30 feet in width and 70 feet in depth and would include 2,100 square feet in lot area. As a result, the R-5 Single Family Residential District lot width and lot area requirements would not be met. While this configuration is consistent with the Subdivision layout, the deed and zoning history applicable to this parcel make the SUP the required process to restore this configuration. This configuration was created by-right on the parcel immediately adjacent to the north at 3111 Groveland and 3114 Woodcliff Avenues. However, due to the lot history of the subject Property, a SUP is required to achieve the same lot configuration here.

Finally, the SUP would provide relief from required parking. Under normal zoning, one (1) off-street parking space would be required for each dwelling. In areas where public alley access is not available, particularly those areas that are also of a dense urban character, it is undesirable to provide off street parking accessed by driveways from the street. This is contrary to VisionZero and other planning guidance. For this reason, the zoning ordinance does not require off street parking on lots that are 35 feet or less in width and which do not have alley access. The SUP proposes on street parking in order to satisfy parking. The use of on street parking is consistent with the way in which the current residents along the street satisfy their parking needs.

PROJECT DETAILS/DESIGN

The proposed dwelling would be approximately twenty feet in width, 34 feet in depth, and two stories in height. It would include approximately 1,360 square feet of finished floor area and consist of three bedrooms and two-and-one-half bathrooms. The dwelling would be of a traditional urban design that is consistent with the architectural character found in the Highland Terrace neighborhood. The proposed floor plans are modern and efficient, and designed to be meet the needs of the market with floor plans that include a primary bedroom with en-suite bathroom and walk-in closet. A full-width front porch is also proposed for the new dwelling.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed site improvements and density are consistent with the existing development in the vicinity. This request would simply permit the efficient utilization of the Property by allowing for new development to occur in a manner that is both of quality as well as consistent with the Subdivision. The improvement of the Property in conjunction with the high quality/benefits provided by the SUP will provide positive impacts in terms of health, welfare, etc., and furthermore will add to the vibrancy of the neighborhood.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. The traffic generation for one dwelling unit will be negligible, especially within the context of a walkable neighborhood. In addition, the Property lies within a ten-minute walk to three different bus corridors, two of which (the "2" routes along North Avenue and the "3" routes along Meadowbridge Road) offer high-frequency 15-minute service and one of which (the "20" orbital route along Brookland Park Boulevard) offers a 30-minute frequency. Because of that, the Property is within a 30-minute bus commute to Downtown, Manchester, VCU, Scott's Addition, the Fan, the Museum District, and Carytown. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The SUP will not tend to overcrowd the land or create an undue concentration of population. The request is reflective of the anticipated use of the Property for two dwelling units based on the original subdivision.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

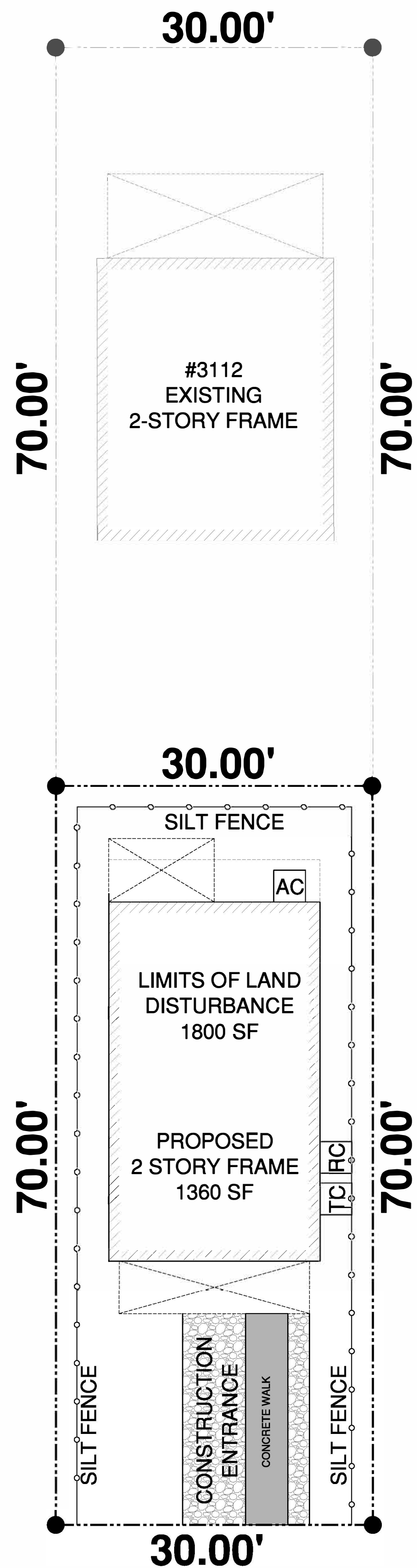
- *Interfere with adequate light and air.*

The light and air available to the subject and adjacent properties will not be affected. The massing of the proposed structures is similar to what the underlying zoning district and feature regulations applicable to single-family detached dwellings allow for by-right. As it relates to adjacent properties, normal side yard setbacks would be met.

Summary

In summary we are enthusiastically seeking approval for the construction of one single-family detached dwelling on the Property. The SUP represents an ideal, small-scale urban infill development for this location that is mindful of its surroundings. In exchange for the SUP, the quality assurances conditioned therein would guarantee the construction of a quality homeownership opportunities consistent with Master Plan guidance.

WOODCLIFF AVENUE



3112 WOODCLIFF AVENUE
ID:N0001055024
.096 ACRES
4200 SF

NOTES:

1. TC - TRASH TO BE SCREENED FROM ROW
2. RC - RECYCLING TO BE SCREENED FROM ROW
3. AC - HVAC UNIT
4. PS - 8'X18' GRAVEL PARKING SPACE
5. MULCH BEDS TO HAVE 2 BOX SHRUBS EACH
6. WALKS TO PORCHES TO BE CONCRETE
7. EXISTING CURB OPENING TO BE CLOSED WITH CURB, GUTTER, AND SIDEWALK TO MATCH ADJACENT

DESIGNED LOT COVERAGE:

845 SF

ZONING:

R-5
 SINGLE FAMILY-RESIDENTIAL

MINIMUM LOT REQUIREMENTS:

6,000 SF

SETBACKS:

FRONT YARD 25 FT.
 SIDE YARD 5 FT.
 REAR YARD 5 FT.

HEIGHT REQUIREMENTS:

MAIN BUILDING 35 FT.
 ACCESSORY BUILDING 20 FT.
 FENCE OR WALL 6.5 FT. (SIDE & REAR YARD)
 FENCE OR WALL 4.0 FT. (FRONT YARD)

GROVELAND AVENUE

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SWN	1

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4509 PHONE

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
 PROPOSED SITE PLAN

APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW: JRP3 CHK: JRP3

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2023-11
 CONSTR. CONTR. NO.:
 DRAWING NO.:
 SHEET OF
A-100

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
DESIGN CONSULTANT

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE
GENERAL CONTRACTOR

APPROVED

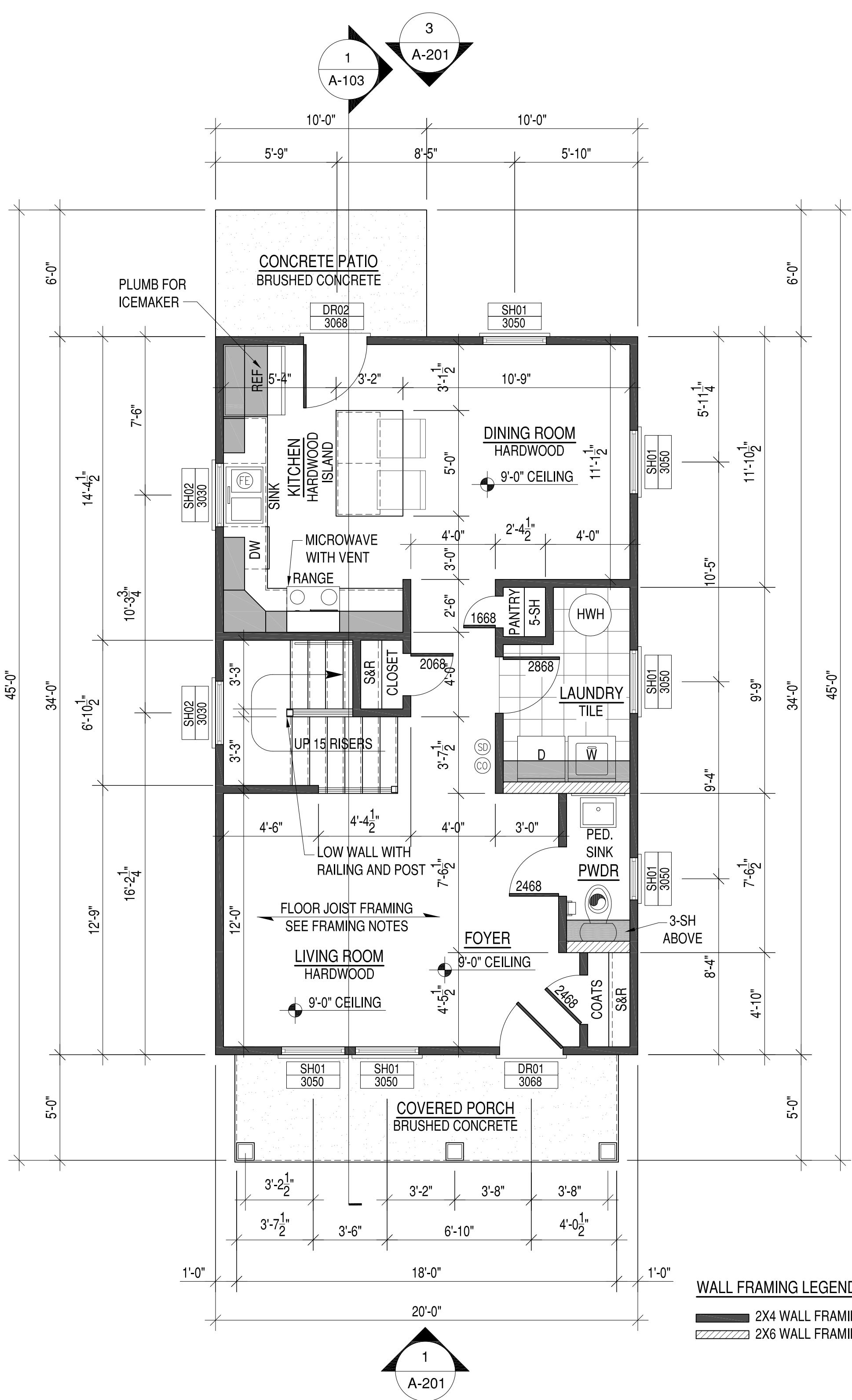
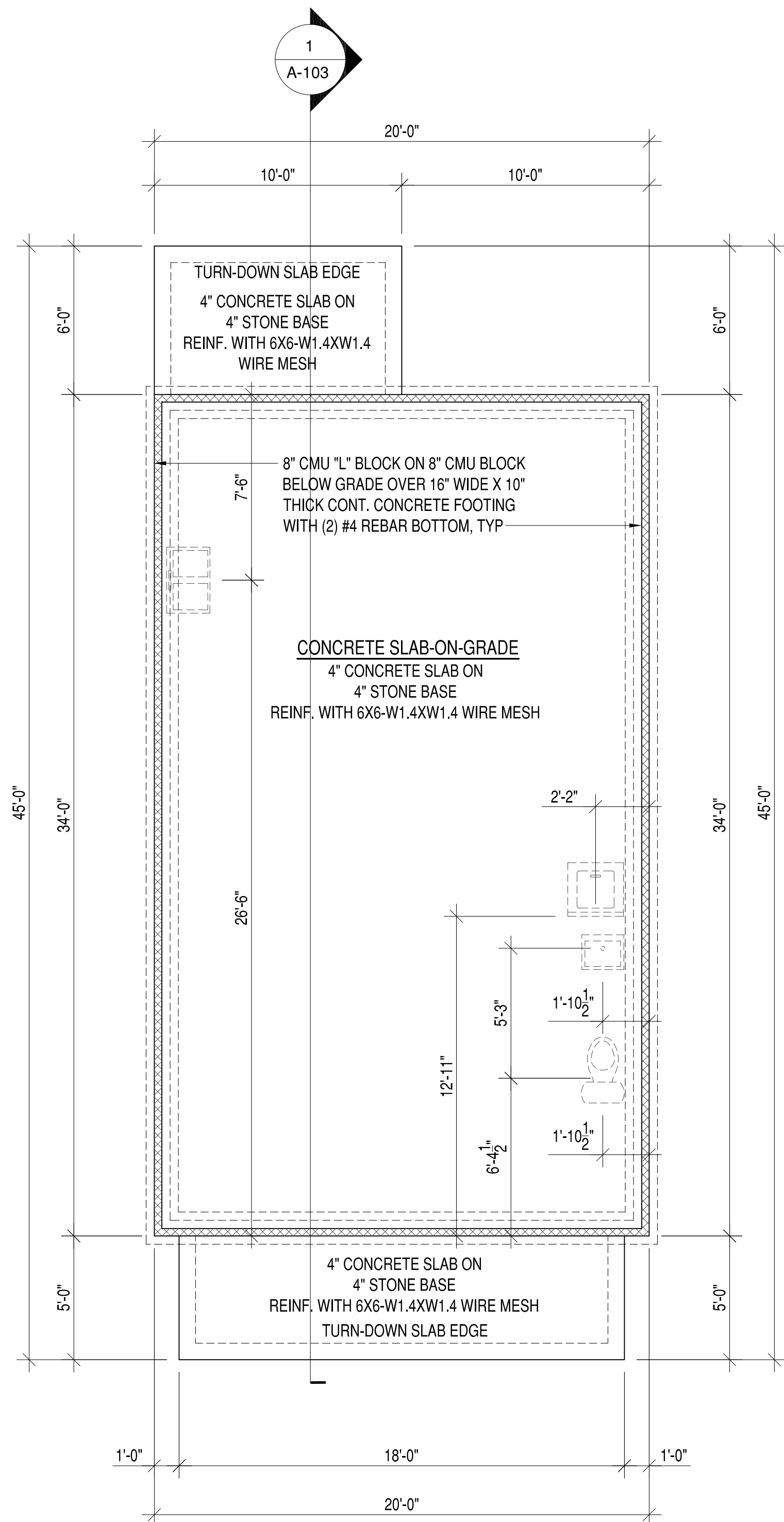
ACTIVITY

SATISFACTORY TO DATE
 DES: [initials] | DRW: JRP3 | CHK: JRP3

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
FOUNDATION, FIRST AND SECOND FLOOR PLAN

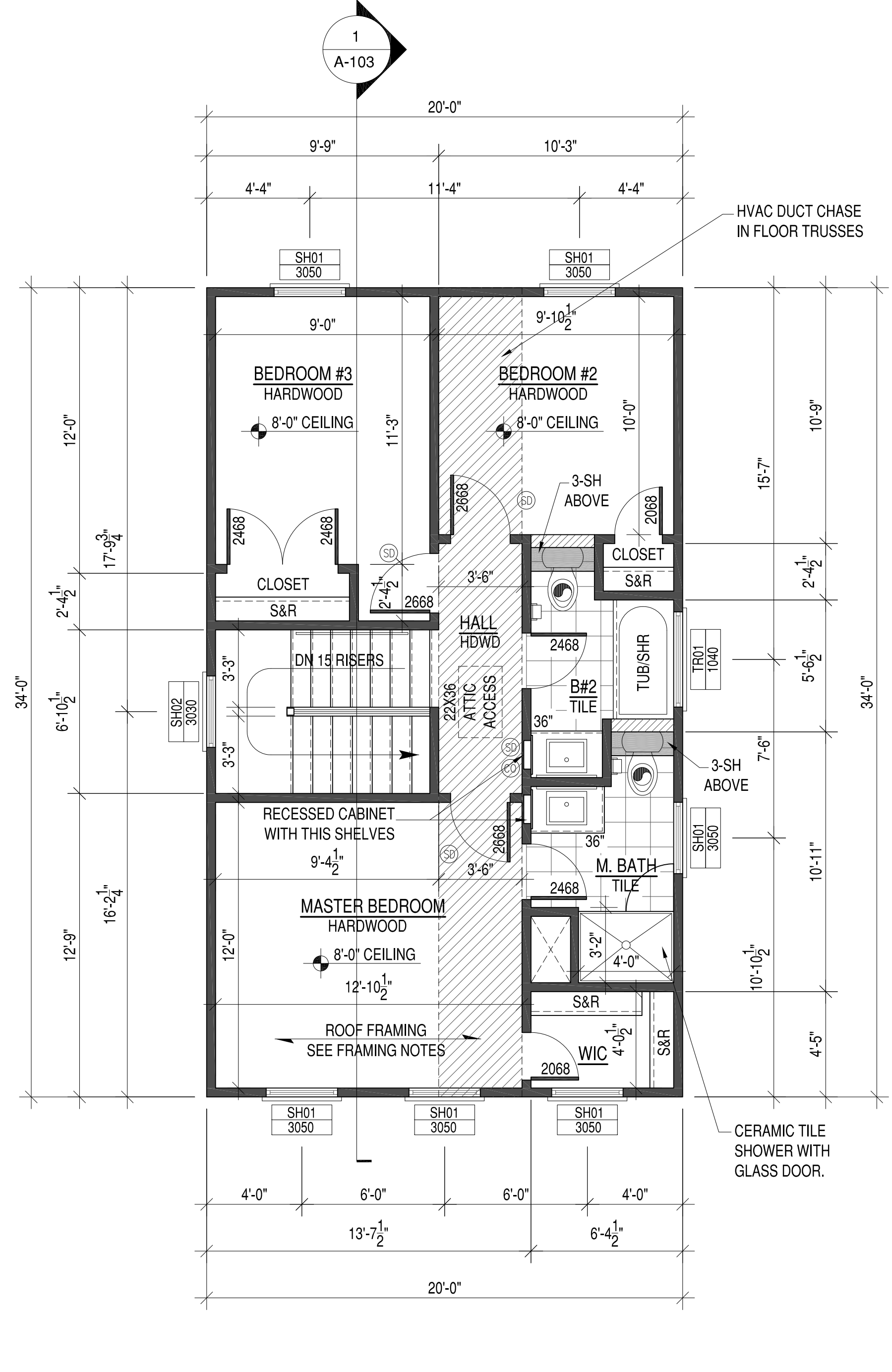
SCALE: 1/4"=1'-0"
 PROJECT NO.: 2023-11
 CONSTR. CONTR. NO.

DRAWING NO.
 SHEET OF
A-101



WALL FRAMING LEGEND

- 2X4 WALL FRAMING AT 16" OC. SHOWN 4-1/2" THICK (FINISHED).
- 2X6 WALL FRAMING AT 16" OC. SHOWN 6-1/2" THICK (FINISHED).



STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.

HANDRAILS & PICKETS:
 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.

LABEL DRYER VENT LENGTH ON DUCT
 ALL DRYWALL TO BE 1/2" EXCEPT GARAGE CEILING TO BE 5/8" TYPE X

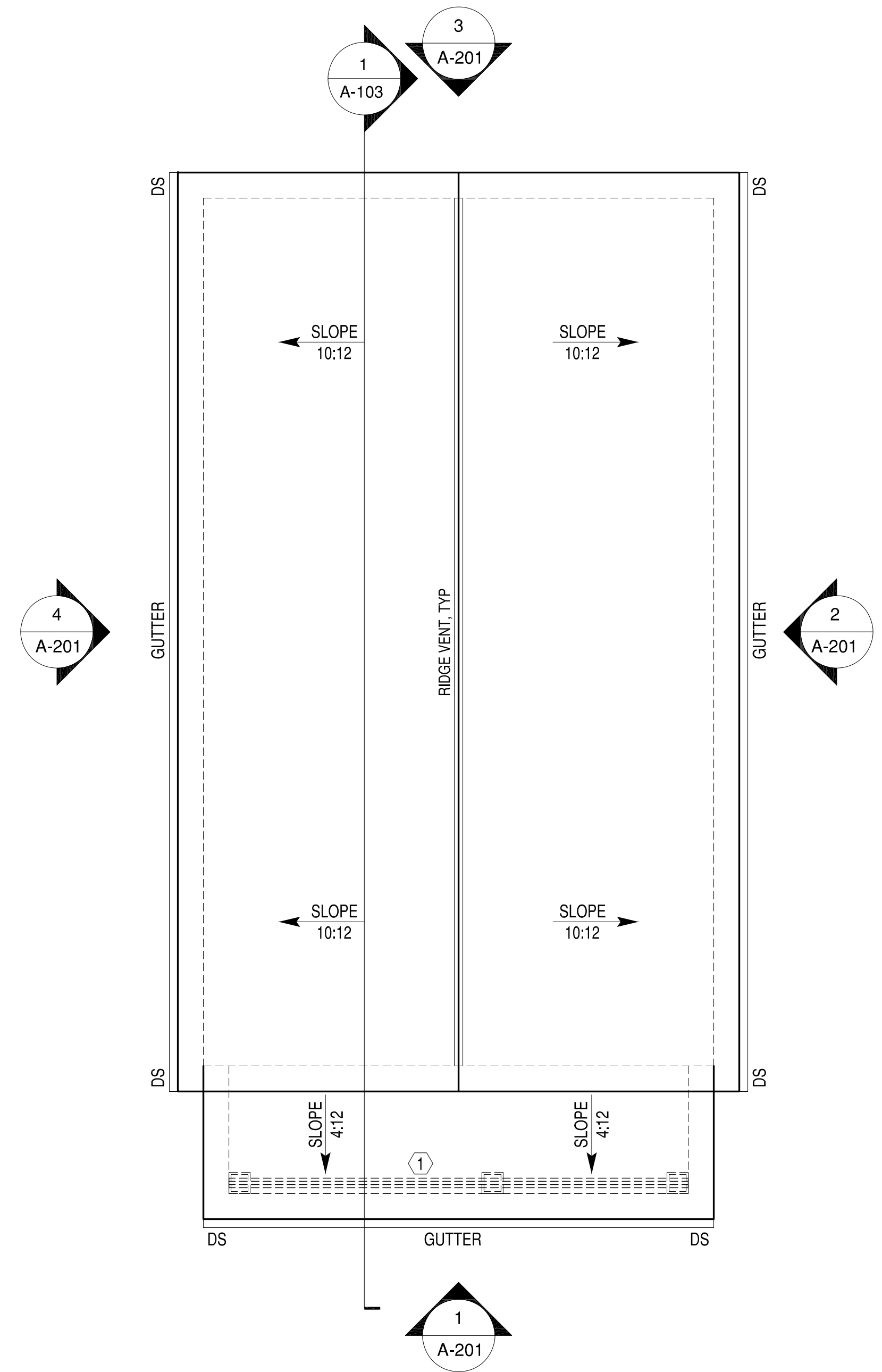
FE = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK

BATH FAN VENTED TO EXTERIOR
 CARBON MONOXIDE DETECTOR
 SMOKE DETECTOR

SQUARE FOOTAGES

FIRST FLOOR	=	680	SF
SECOND FLOOR	=	680	SF
TOTAL HEATED	=	1360	SF
FRONT PORCH	=	105	SF
REAR PATIO	=	60	SF

ATTIC AREA VENTILATION CALCULATIONS PER UNIT	
ATTIC AREA:	1565 SQ.FT. / 300*144 =
	751 SQ. IN. NET FREE AREA REQUIRED (50% MIN AT RIDGE)
RIDGE VENT:	20 L.F. X 18 SQ. IN. PER LINEAR FOOT = 360 SQ. IN. PROVIDED
SOFFIT VENT:	146 L.F. X 5.867 SQ. IN. PER LINEAR FOOT = 856 SQ. IN. PROVIDED
	TOTAL NET FREE ARE PROVIDED = 1,216 SQ. IN.
POWER VENT = (1) 12" AIRVENT, INC POWERCOOL PLUS 12 AUTOMATIC THERMOSTAT W/ HUMIDSTAT VENT FOR UP TO 1,650 SF OF ATTIC SPACE, INSTALL MULTIPLE VENTS FOR ADDITIONAL AREA.	
IF INSTALLING POWER VENT, DO NOT INSTALL RIDGE VENT	



PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

- THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
 - REFERENCE STANDARDS
 - NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
 - TPI-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
 - MATERIALS
 - THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPERATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
 - LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
 - DESIGN
 - THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
 - THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
 - METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
 - IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
 - DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 - DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
 - DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
 - DESIGN LOADS
 - ROOF

5.1.1.	TOP CHORD DEAD LOAD	=	10	PSF
5.1.2.	TOP CHORD LIVE LOAD	=	20	PSF
5.1.3.	BOTTOM CHORD DEAD LOAD	=	10	PSF
5.1.4.	BOTTOM CHORD LIVE LOAD	=	0	PSF
5.1.5.	WIND LOADING:	SEE DESIGN LOADS SECTION ON SHEET S 001		
5.1.5.1.	NET WIND UPLIFT	=	8	PSF
 - DEFLECTIONS
 - ROOF

5.2.1.1.	MAXIMUM LIVE LOAD DEFLECTION	=	L/360, OR .625" MAXIMUM
5.2.1.2.	MAXIMUM TOTAL LOAD DEFLECTION	=	L/240, OR 1.0" MAXIMUM
 - DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
- SUBMITALS
 - SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
 - SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
 - SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
 - INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

EXTERIOR DOOR SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR
DR02	REAR ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR

- DOOR NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
 - ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
 - ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
 - ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

- DOOR HARDWARE SETS:**
- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

WINDOW SCHEDULE					
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES
SH01	SINGLE HUNG	3'-0"	5'-0"	6'-8"	VINYL 1 OVER 1
SH02	SINGLE HUNG	3'-0"	3'-0"	6'-8"	VINYL 1 OVER 1
FIXED	FIXED WINDOW	3'-0"	2'-0"	SEE PLAN	VINYL 1 OVER 1
TR01	TRANSOM	1'-0"	4'-0"	6'-8"	VINYL

- WINDOW NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
 - ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
 - SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
 - NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
 - SAFETY GLAZING SHALL BE TEMPERED.

ROOF PLAN

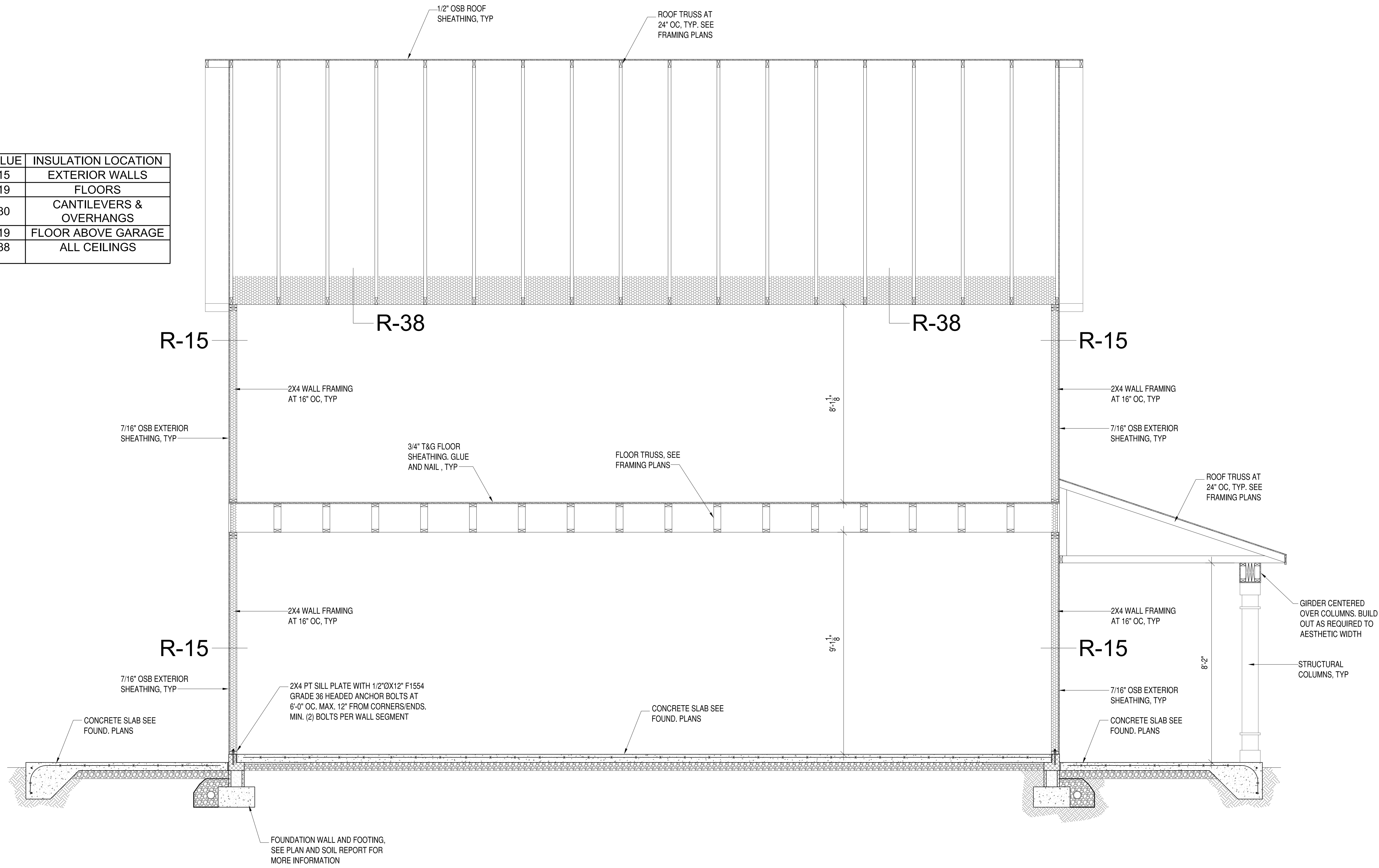
SCALE: 1/4"=1'-0"

- PLAN NOTES**
- ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC, TYP UNLESS OTHERWISE NOTED.
 - 12" OVERHANGS AND 12" GABLE END EXTENSIONS, TYP.

MARK	BEAM SIZE	REMARKS
①	(3) SPF NO.2 2X10 OR BETTER	DROPPED GIRDER

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1
APPR	
<p>PENN & CO. 10921 PARKSHIRE LANE HENRICO, VA 23233 (703) 728-5779 PHONE <small>DESIGN CONSULTANT</small></p>	
<p>ANTHONY SPENCE 18705 SW 25TH COURT MIRAMAR, FL 33029 (954) 205-4309 PHONE <small>GENERAL CONTRACTOR</small></p>	
<p>NEW SINGLE FAMILY RESIDENCE 3112 WOODCLIFF AVENUE RICHMOND, VA 23222 ROOF PLAN & DOOR AND WINDOW SCHEDULE</p>	
SCALE	1/4"=1'-0"
PROJECT NO.	2023-11
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
A-102	

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



DATE	DESCRIPTION	APPROVED
3-18-2023	PERMIT PLANS	
	1	

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
 BUILDING SECTION

SCALE: 1/4"=1'-0"
PROJECT NO.: 2023-11
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-103

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1
APPR	

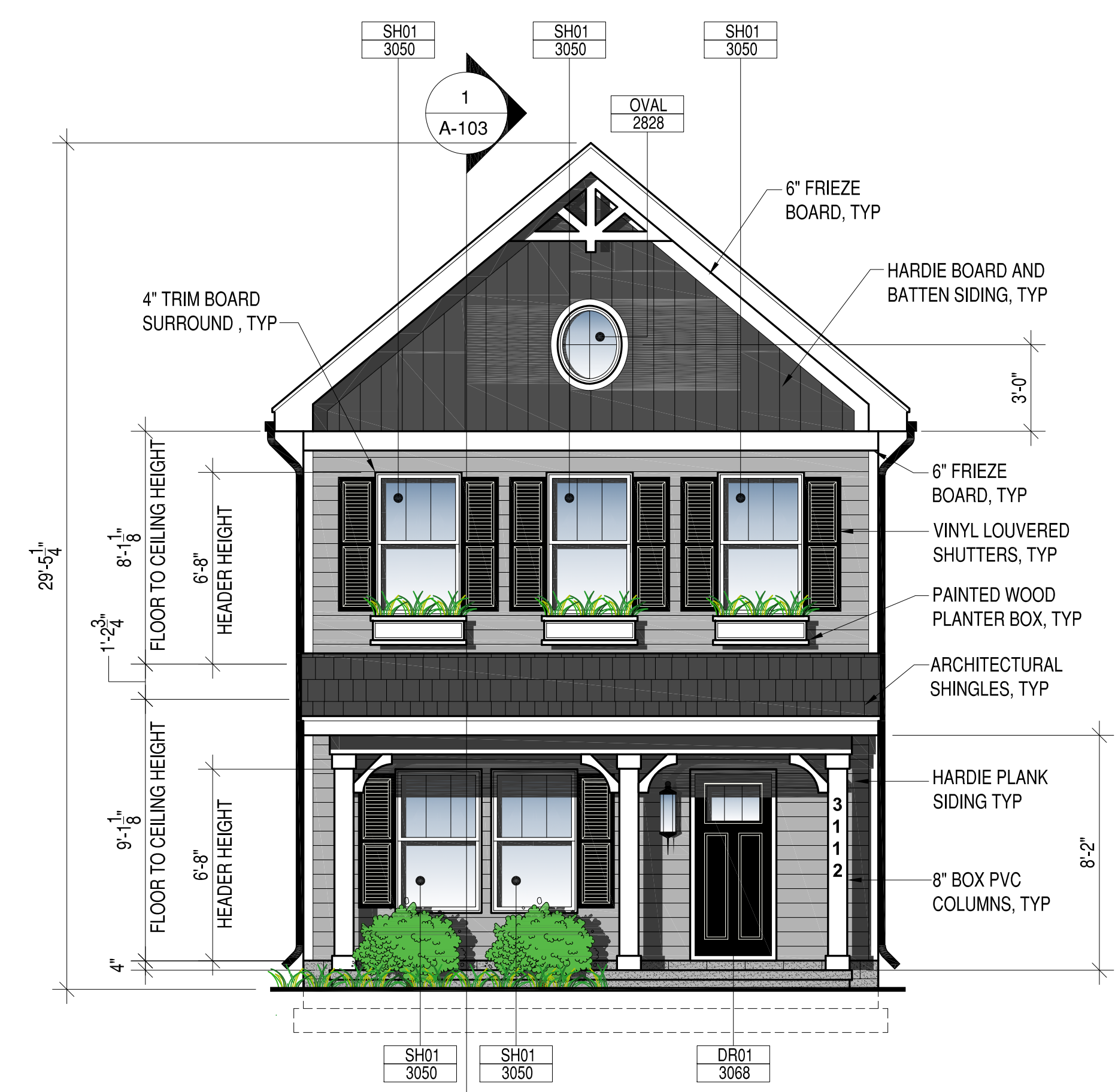
PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
DESIGN CONSULTANT

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE
GENERAL CONTRACTOR

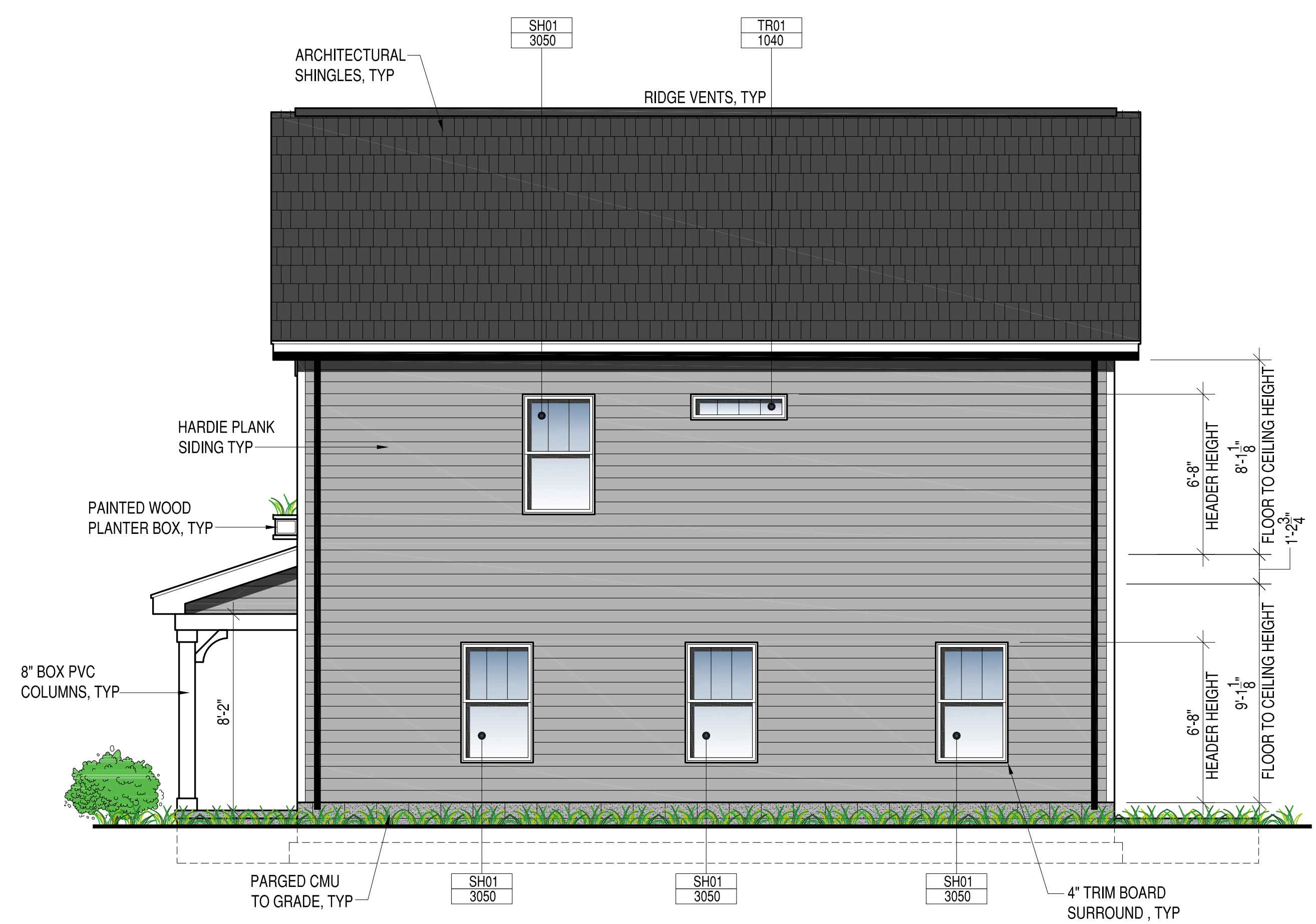
APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW_JRP3 CHK_JRP3

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
 FRONT, REAR, RIGHT AND LEFT ELEVATIONS

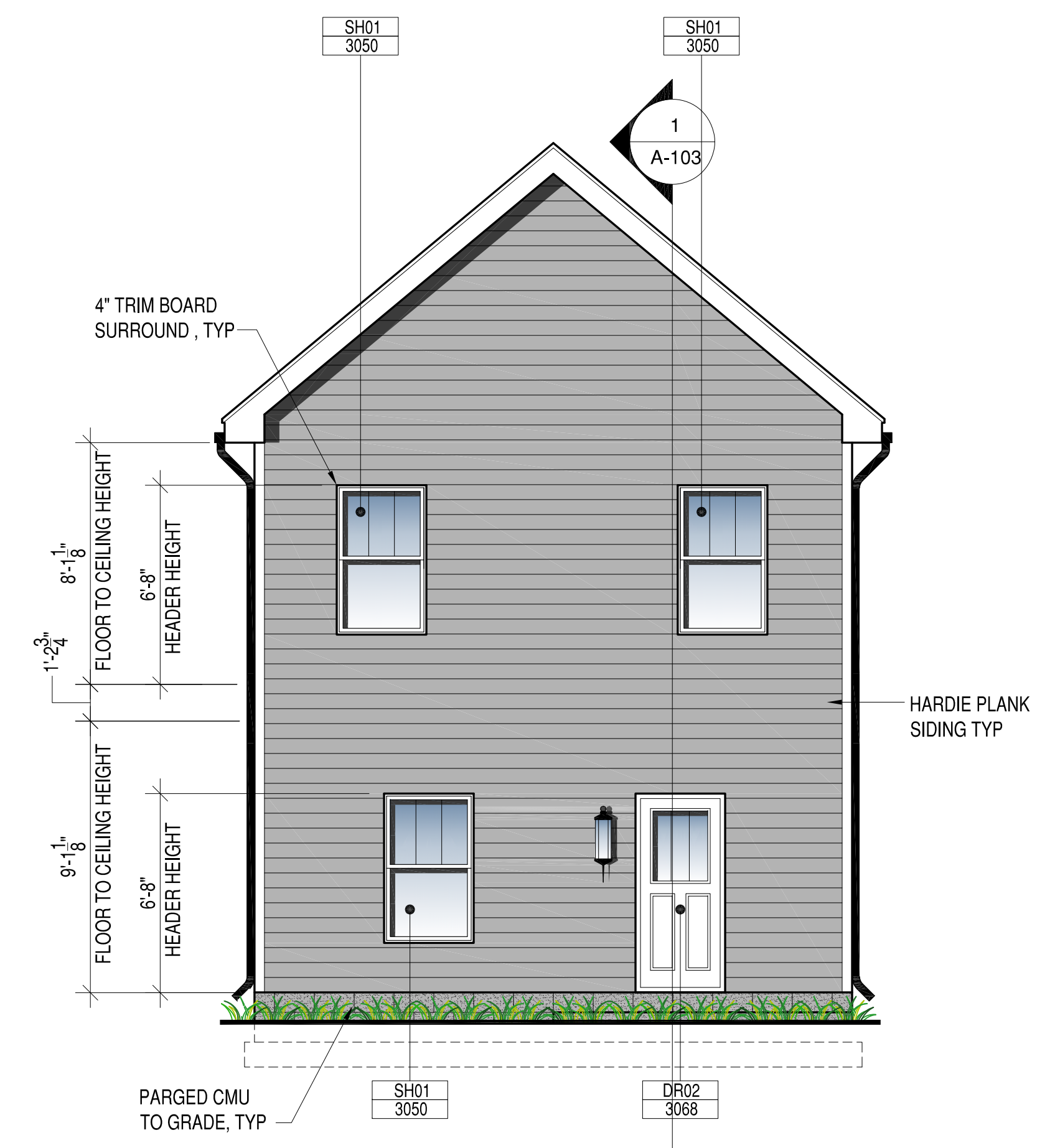
SCALE: 1/4"=1'-0"
PROJECT NO: 2023-11
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-201



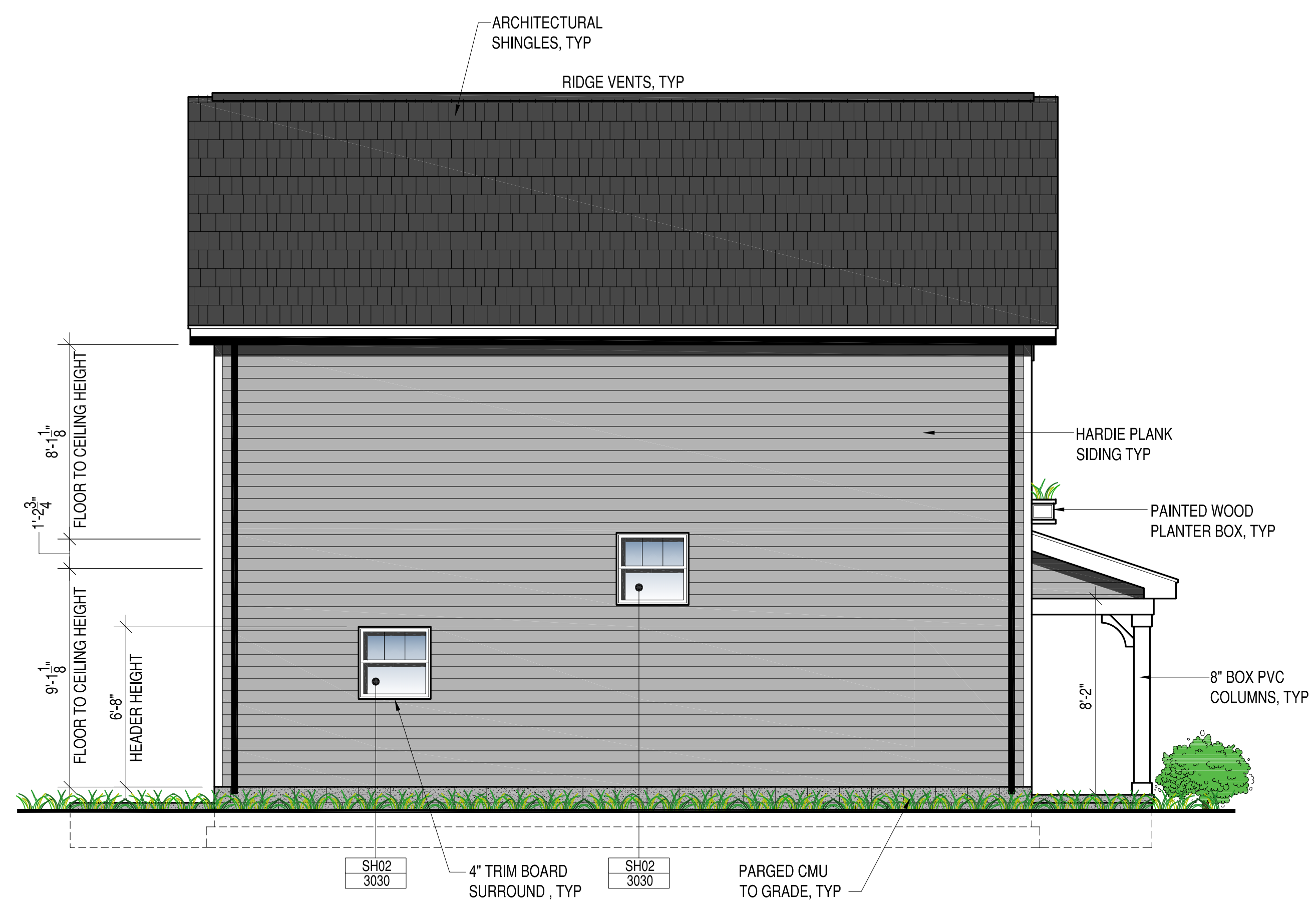
1 FRONT ELEVATION
 A-201 SCALE: 1/4"=1'-0"



2 LEFT ELEVATION
 A-201 SCALE: 1/4"=1'-0"



3 REAR ELEVATION
 A-201 SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION
 A-201 SCALE: 1/4"=1'-0"

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.

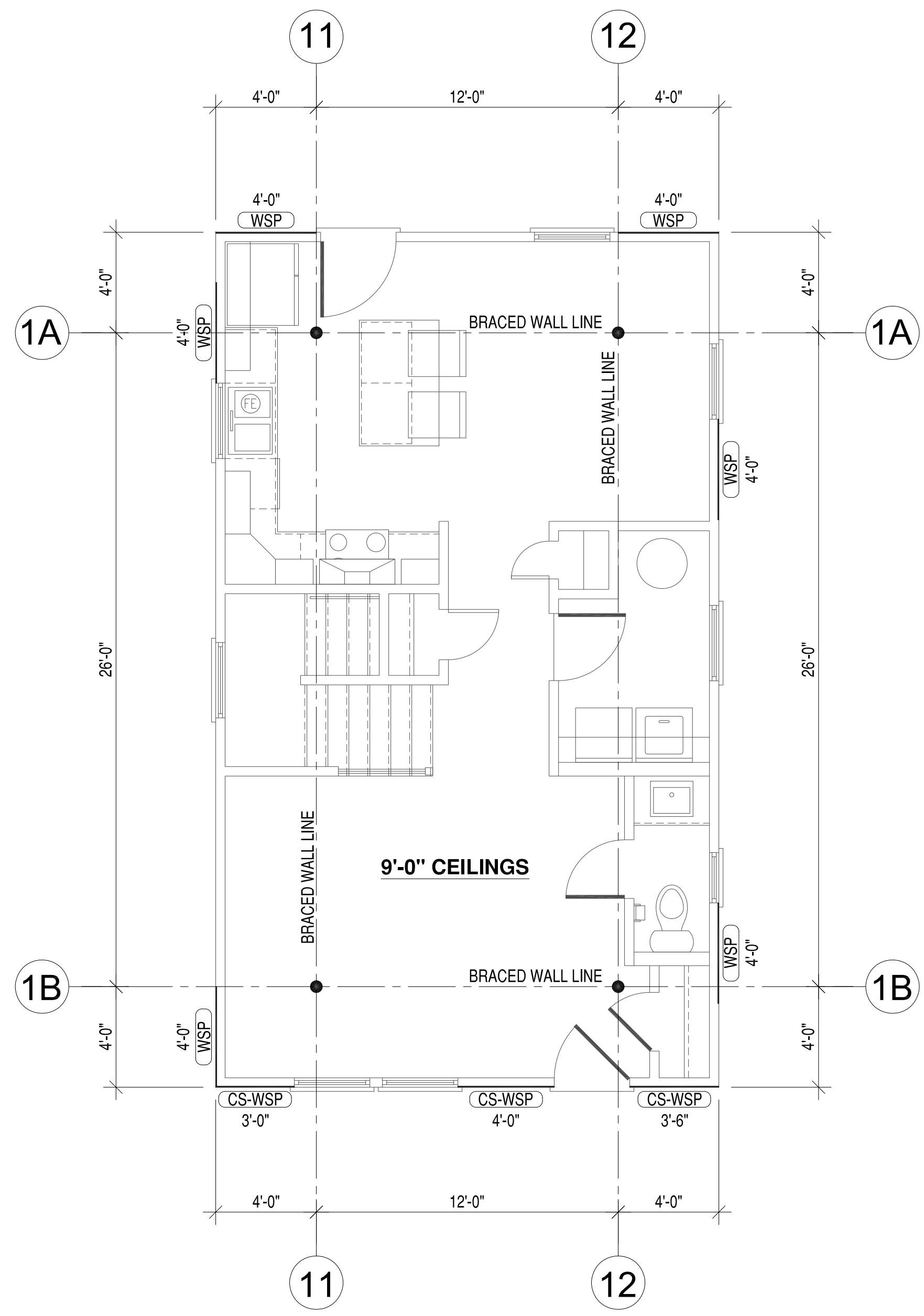
CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.

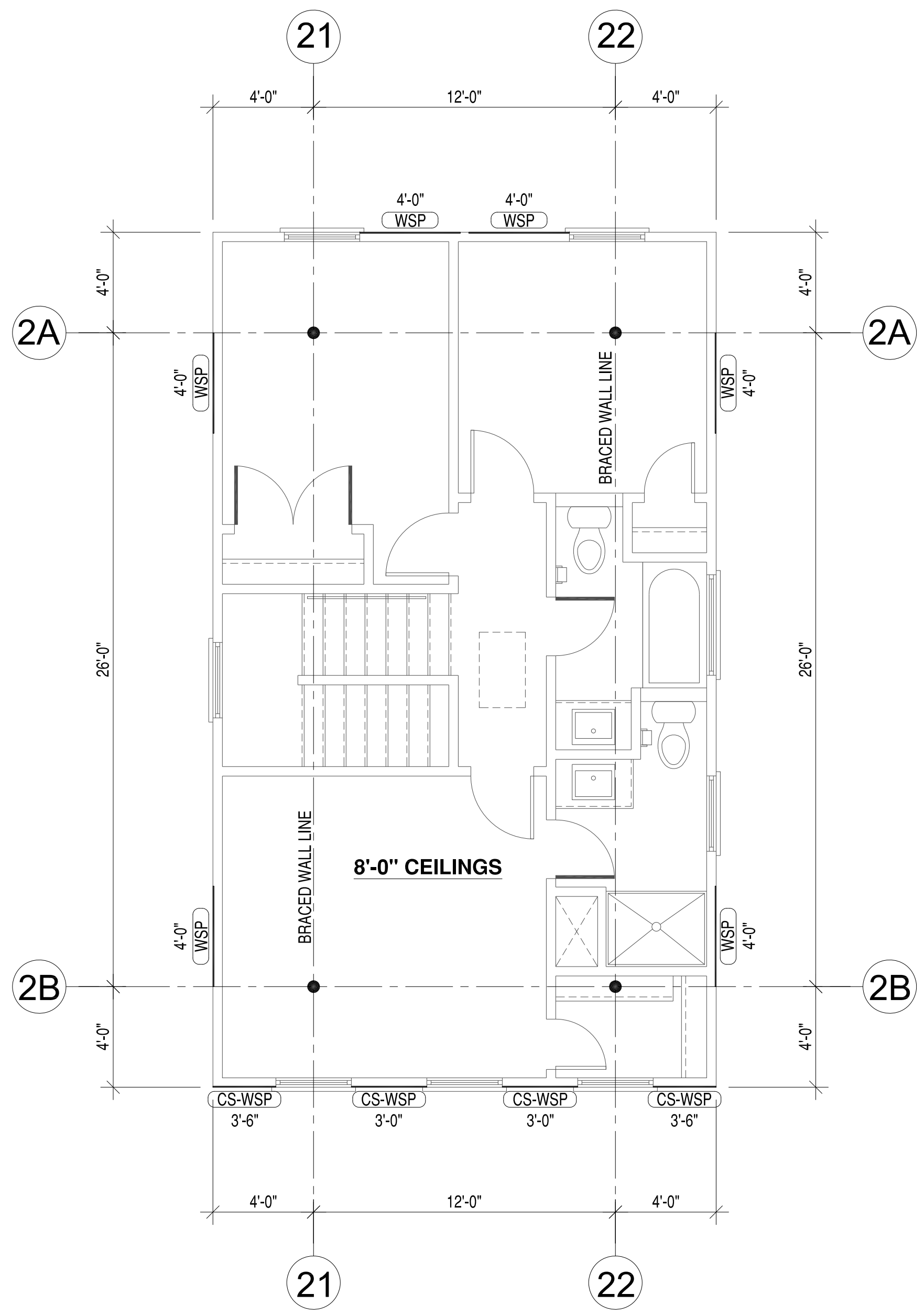
MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.

Project title: NEW SINGLE FAMILY RESIDENCE
Address: 3112 WOODCLIFF AVENUE, RICHMOND, VA 23222
Structural General Notes
PENN & CO. logo and contact information
Revision table with columns for SW, DESCRIPTION, DATE, and APPROVED.



FIRST FLOOR BRACED WALL PLAN
 SCALE: 1/4"=1'-0"



SECOND FLOOR BRACED WALL PLAN
 SCALE: 1/4"=1'-0"

- BRACED WALL PLAN NOTES:**
- DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10.
 - DESIGN BASED ON 90 MPH WIND SPEED, SEE CALCULATIONS.
 - CLASSIC WALL BRACING METHOD USED.
 - DENOTES BRACED WALL PANELS.
 - BLOCK HORIZONTAL SHEATHING JOINTS AT ALL BRACED WALL LINES AT FIRST FLOOR AND BRACED WALL LINES 2A AND 2B AT SECOND FLOOR.

WIND SPEED (MPH)		90																
BWL DESIGNATION		11		12		1A		1B		21		22		2A		2B		
NUMBER OF FLOORS ABOVE BWL		1		1		1		1		0		0		0		0		
BWP METHOD		WSP		WSP		WSP		CS-WSP		WSP		WSP		WSP		CS-WSP		
AVERAGE BWL SPACING (ft)		12		12		26		26		12		12		26		26		
TABULAR REQUIREMENT (ft)		4.70		4.70		9.30		8.00		2.40		2.40		4.90		4.40		
COMPLIANCE	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	
	EAVE-TO-RIDGE HT (ft)	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	
	MAXIMUM WALL HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90	
	NUMBER OF BWLS	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	
	OMIT INTERIOR FINISH	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	
	ADD PARI ROOF HOLD DOWNS	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	
	HORIZONTAL JOINTS BLOCKED	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	No	2.00	No	2.00	Yes	1.00	Yes	1.00	
	REDUCED FASTENER SPACING	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	
	REQUIRED BWP LENGTH (ft)	4.47	4.47	8.84	7.60	4.32	4.32	4.41	3.96									
	ACTUAL BWP	CONTRIBUTING LENGTH (ft)	1	WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00	WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP
WSP, SFE = actual		2	WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00	WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00
OR (S) = 0.5 x actual		3					WSP	4.00	CS-WSP	3.50								
OR (S) = actual		4																
CS-WSP = 1.5 x actual		5																
PPS = 1.5 x actual		6																
PPS, ABW = 4 feet		7																
ACTUAL BWP LENGTH (ft)	8.00	8.00	12.00	10.50	8.00	8.00	8.00	13.00										
ACTUAL ≥ REQUIRED?	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS										
BWP ≤ 20' APART?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	
≥ 2 PANELS IN BWL?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	
BWP BEGINS ≤ 10' FROM END?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	
CONTINUOUS SHEATHING	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2
END CONDITIONS	NA	NA	NA	NA	NA	NA	1	1	NA	NA	NA	NA	NA	NA	NA	NA	1	1
BWL COMPLIANCE	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	PASS	

DATE: 3-18-2023
 APPR: [Signature]
 SW: 1
 DESCRIPTION: PERMIT PLANS

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
 DESIGN CONSULTANT

SEAL: [Signature]

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE
 GENERAL CONTRACTOR

APPROVED: [Signature]
 ACTIVITY: [Blank]
 SATISFACTORY TO: DATE: [Blank]
 DES: [Blank] | DRW: JRP3 | CHK: JRP3

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
FIRST & SECOND FLOOR BRACED WALL PLAN

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2023-11
 CONST. CONTR. NO.: [Blank]
 DRAWING NO.: [Blank]
 SHEET OF
S-102

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1
APPR	

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
DESIGN CONSULTANT

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE
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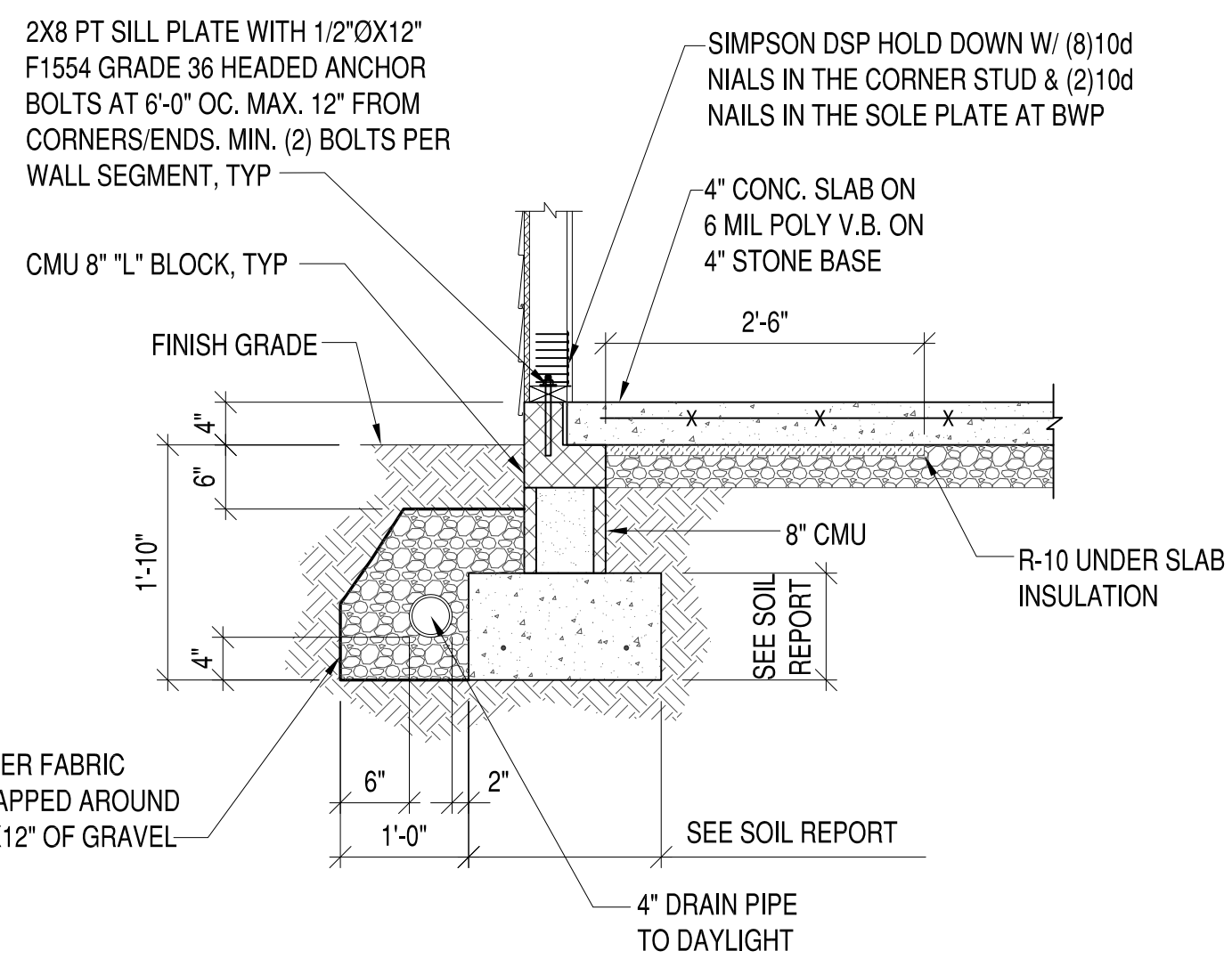
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ACTIVITY

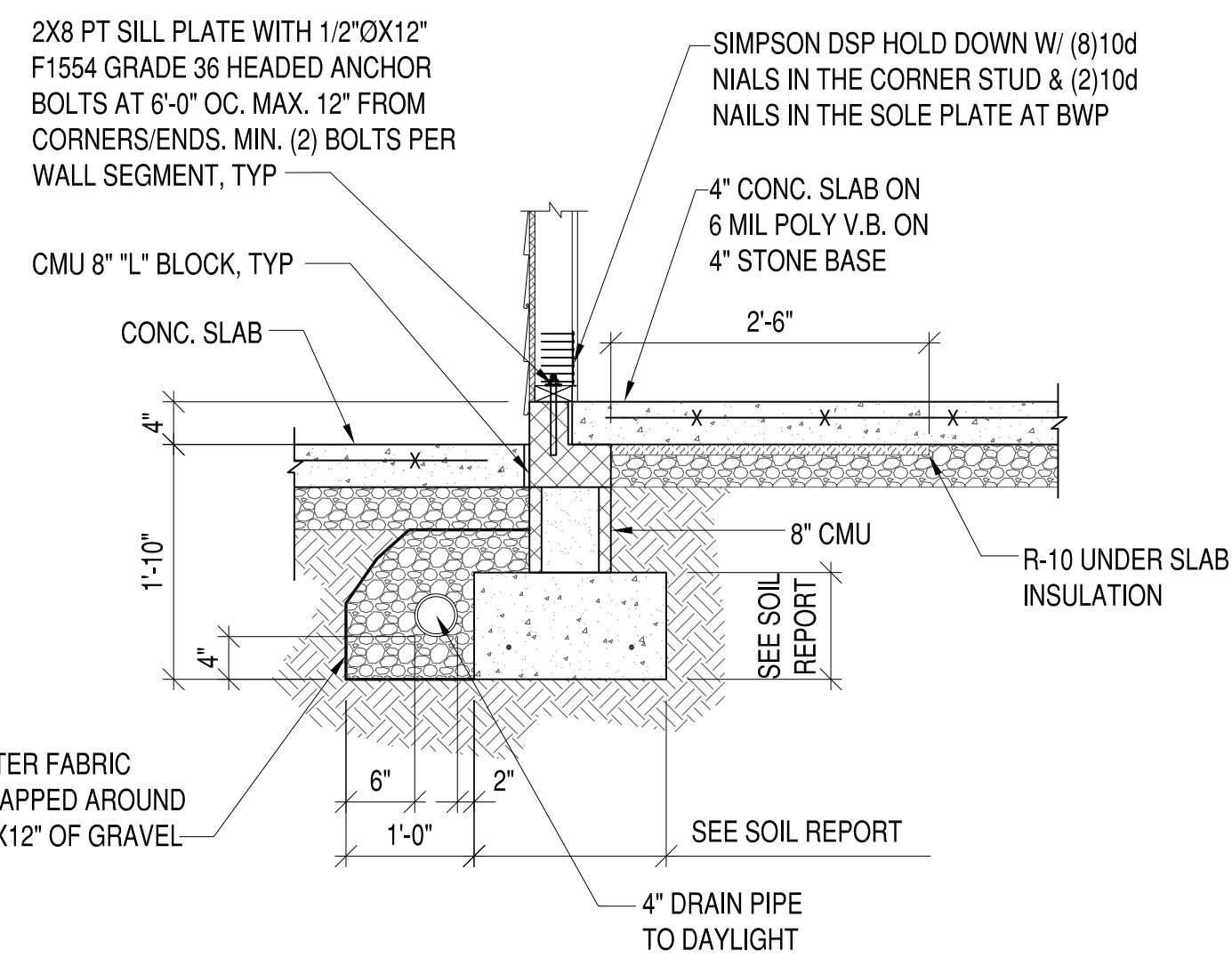
SATISFACTORY TO DATE
 DES: [initials] | DRW: JRP3 | CHK: JRP3

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
TYPICAL FOUNDATION AND FRAMING SECTIONS

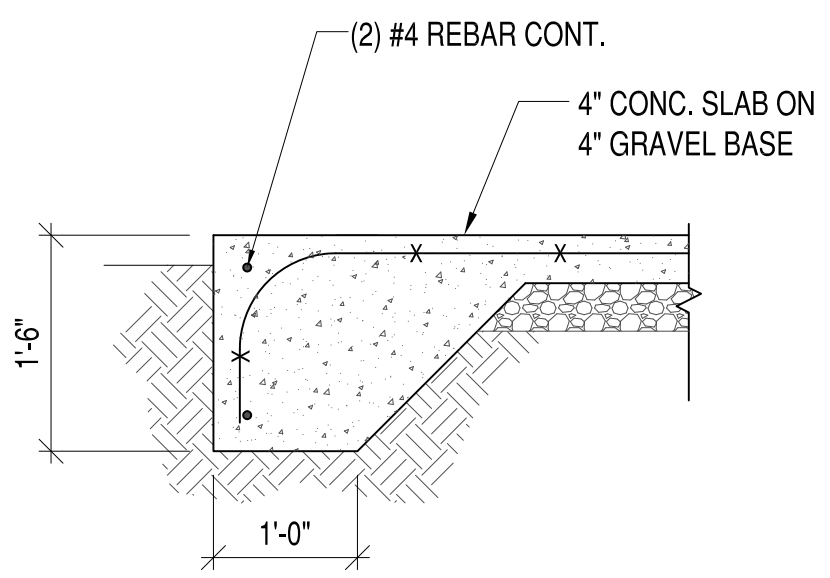
SCALE: 1/4"=1'-0"
 PROJECT NO.: 2023-11
 CONSTR. CONTR. NO.:
 DRAWING NO.:
 SHEET OF
S-201



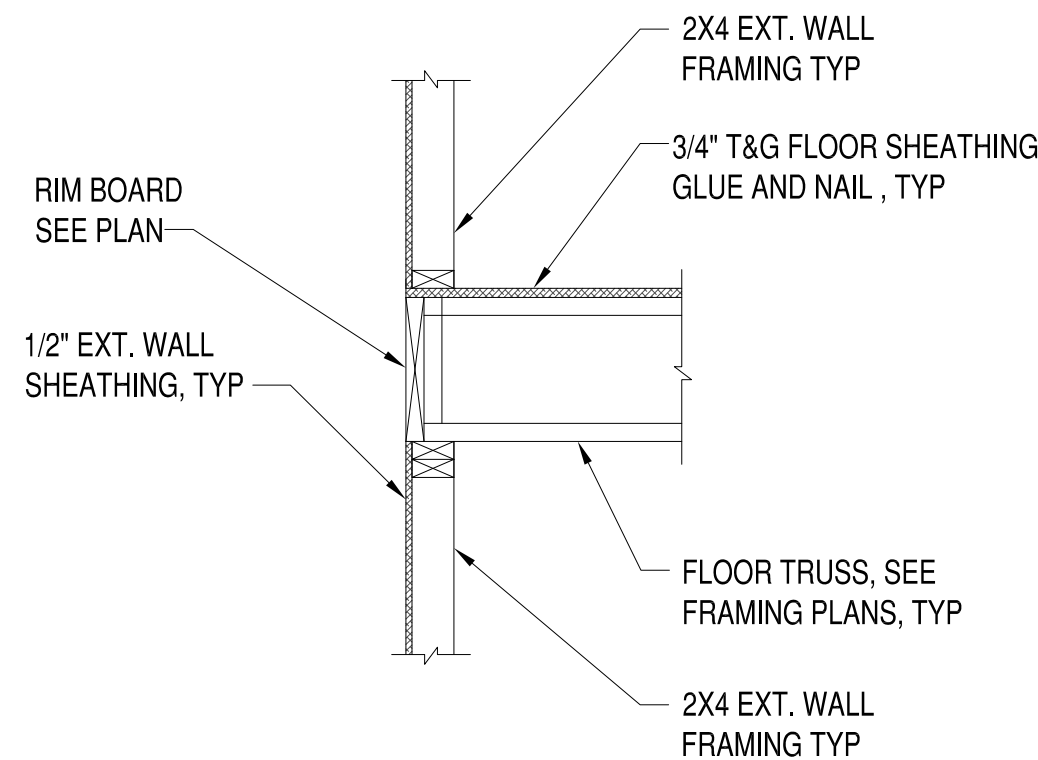
1 TYP. FOUNDATION SECTION
 S-201 3/4"=1'-0"



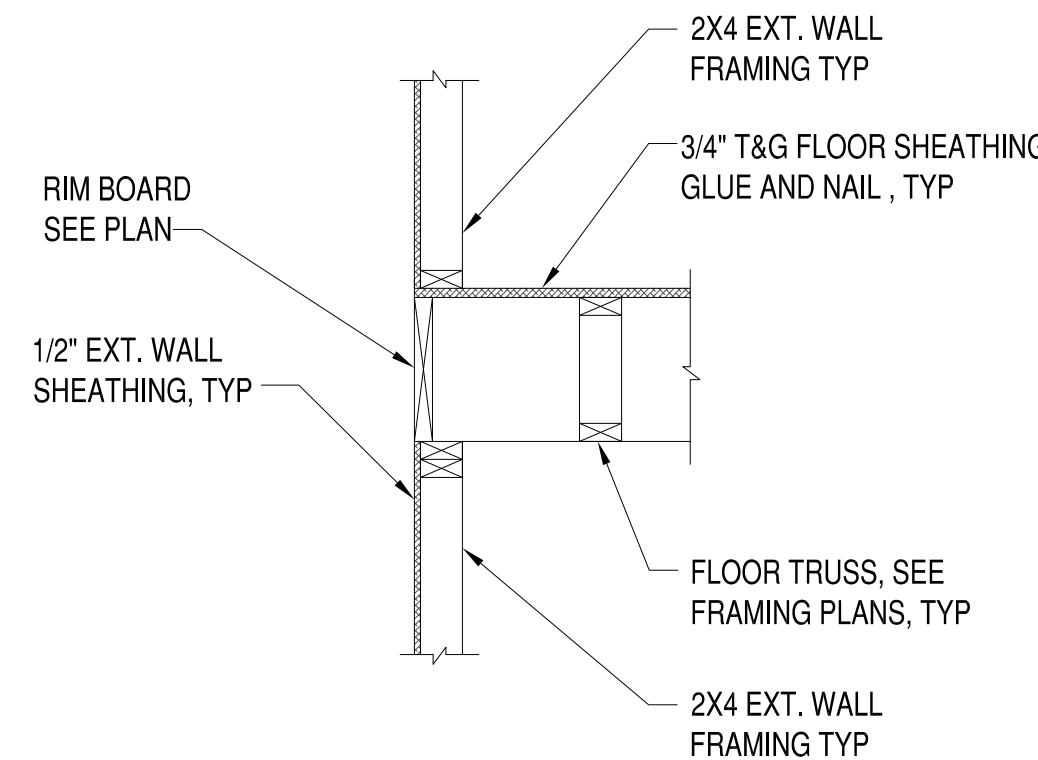
2 FOUNDATION SECTION AT PORCH
 S-201 3/4"=1'-0"



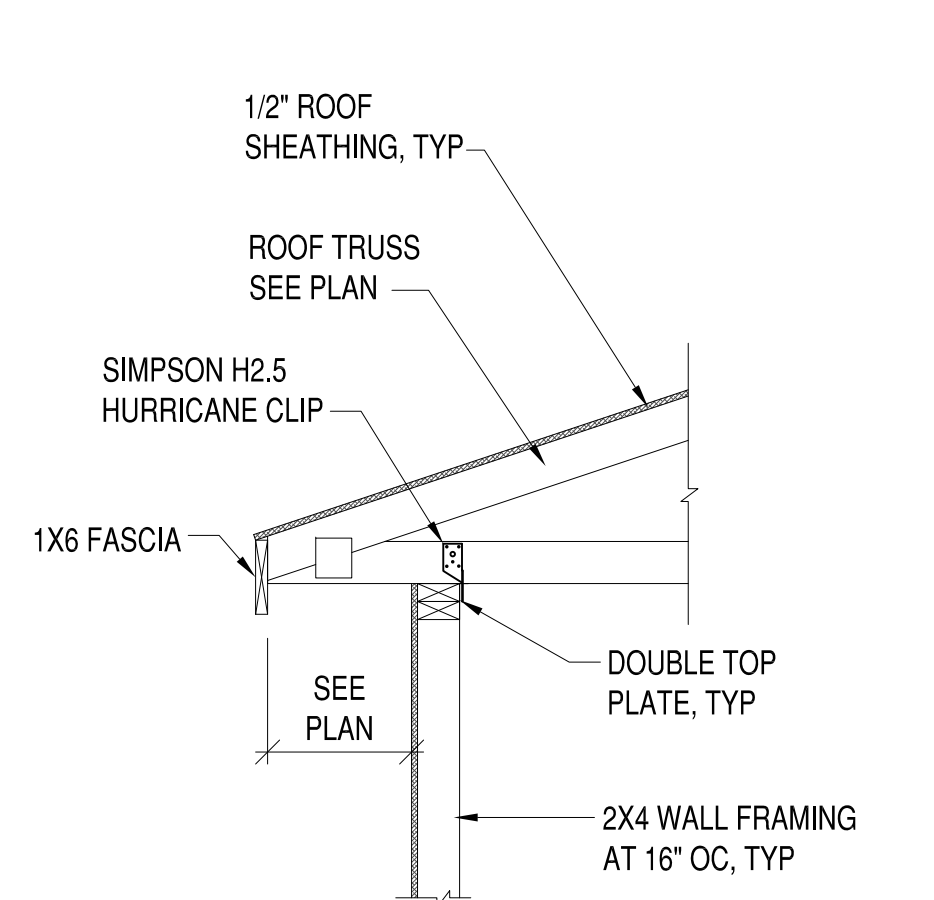
3 FOUNDATION SECTION AT PORCH EDGE
 S-201 3/4"=1'-0"



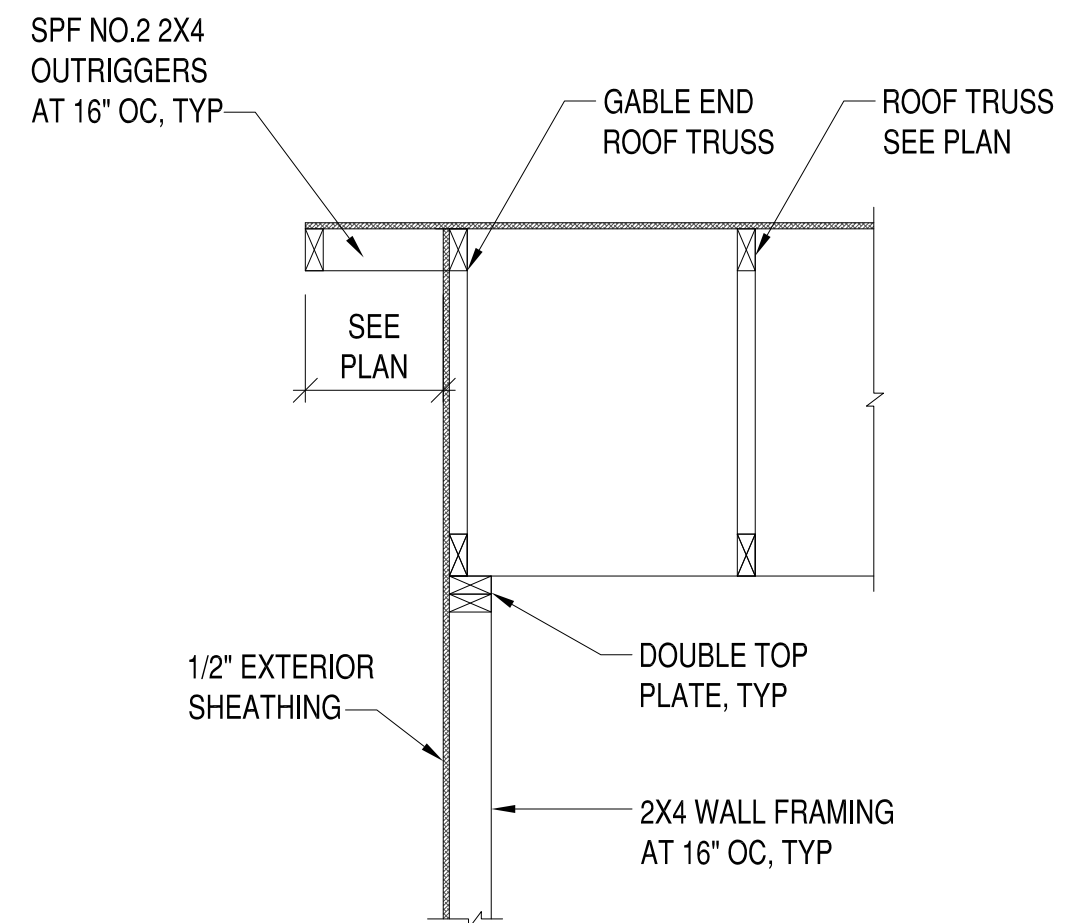
4 SECTION AT 2ND. FLOOR JOIST
 S-201 3/4"=1'-0"



5 SECTION AT 2ND. FLOOR JOIST
 S-201 3/4"=1'-0"

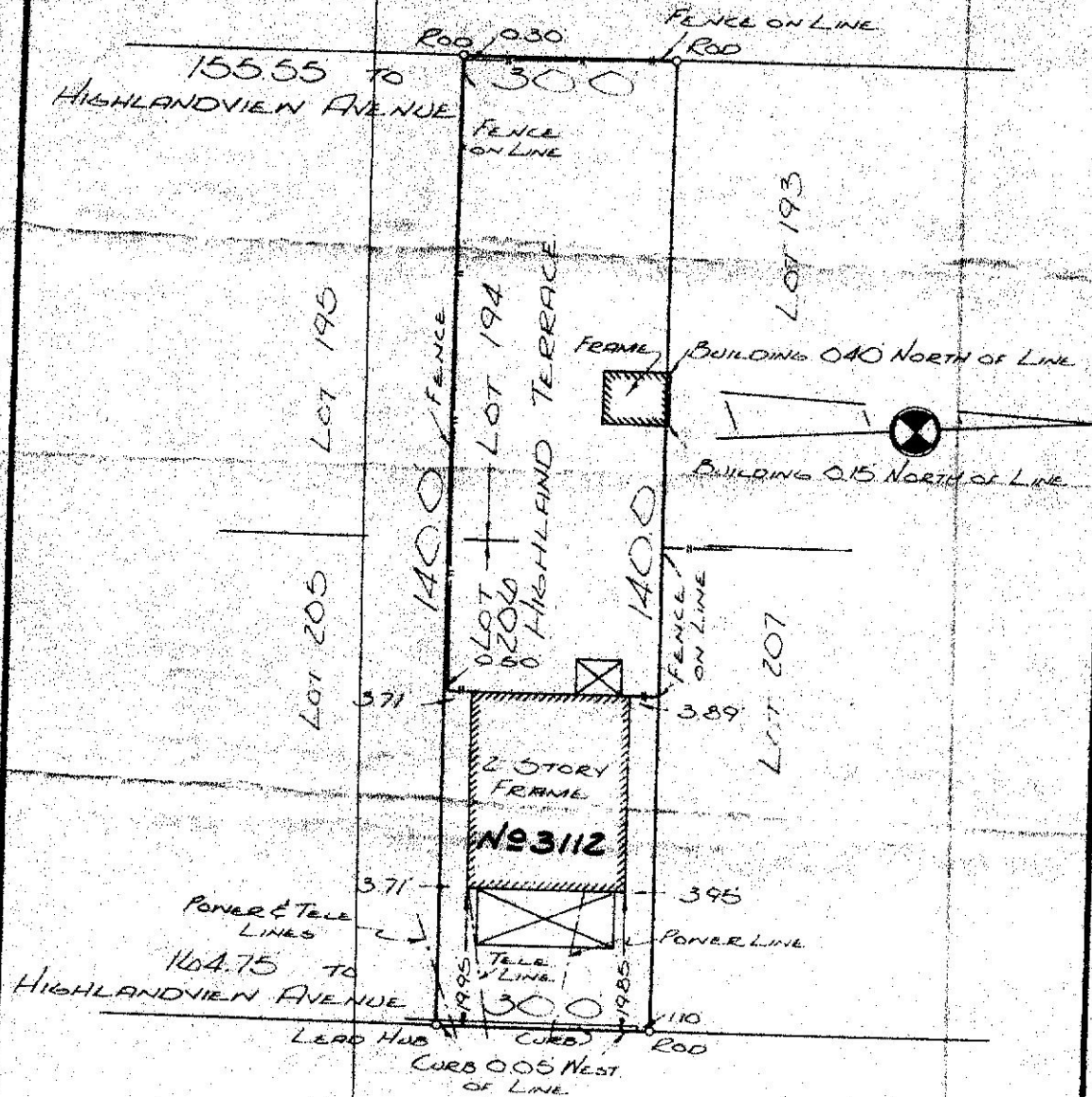


6 SECTION @ ROOF TRUSS
 S-201 3/4"=1'-0"



7 SECTION @ ROOF GABLE END
 S-201 3/4"=1'-0"

GROVELAND AVENUE



WOODCLIFFE AVENUE

Plot of Property Situated
 on the Western Line of
 Woodcliffe Avenue and North
 of Highlandview Avenue.

Richmond, Va.

May 17, 1968

Scale 1"=20'

CHAS. H. FLEET & ASSOCS.
 CERTIFIED SURVEYORS

FILE 2878



City of Richmond Department of Planning & Development Review

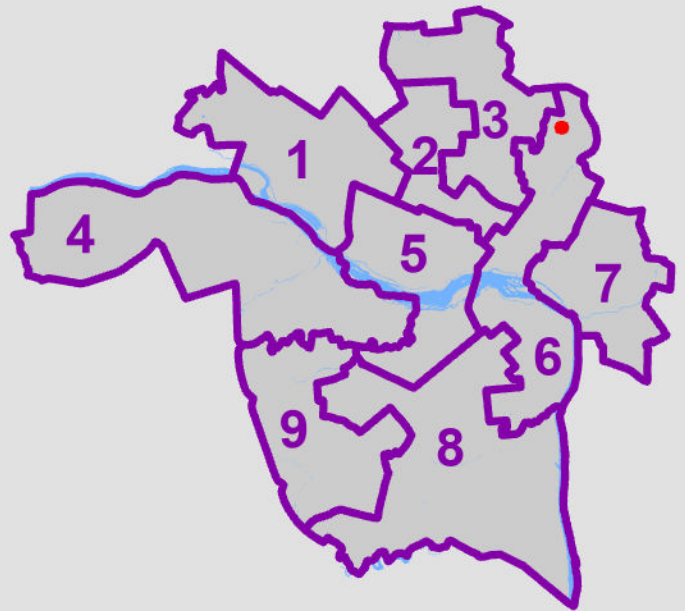
Special Use Permit

LOCATION: 3112 Woodcliff Avenue

APPLICANT: William Gillette, Baker Development Resources

COUNCIL DISTRICT: 6

PROPOSAL: To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of a single-family detached dwelling, upon certain terms and conditions



For questions, please contact Matthew Ebinger at 804-646-5789 or matthew.ebinger@rva.gov

