

This is to certify that on 2/1/16

I made an accurate field survey of the known premises shown hereon; that all improvements known or visible are shown hereon; that there are no encroachments by improvements either from adjoining premises, or from subject premises upon adjoining premises, other than shown hereon.



NOTE: THIS LOT APPEARS TO BE IN FEMA FLOOD ZONE AS SHOWN ON HUD COMMUNITY PANEL NUMBERS 5101290019D

This survey was done with the benefit of title policy No. MT16-006 effective date 1/25/2016 @ 8:00 A.M. By WFG National Title Insurance Company.

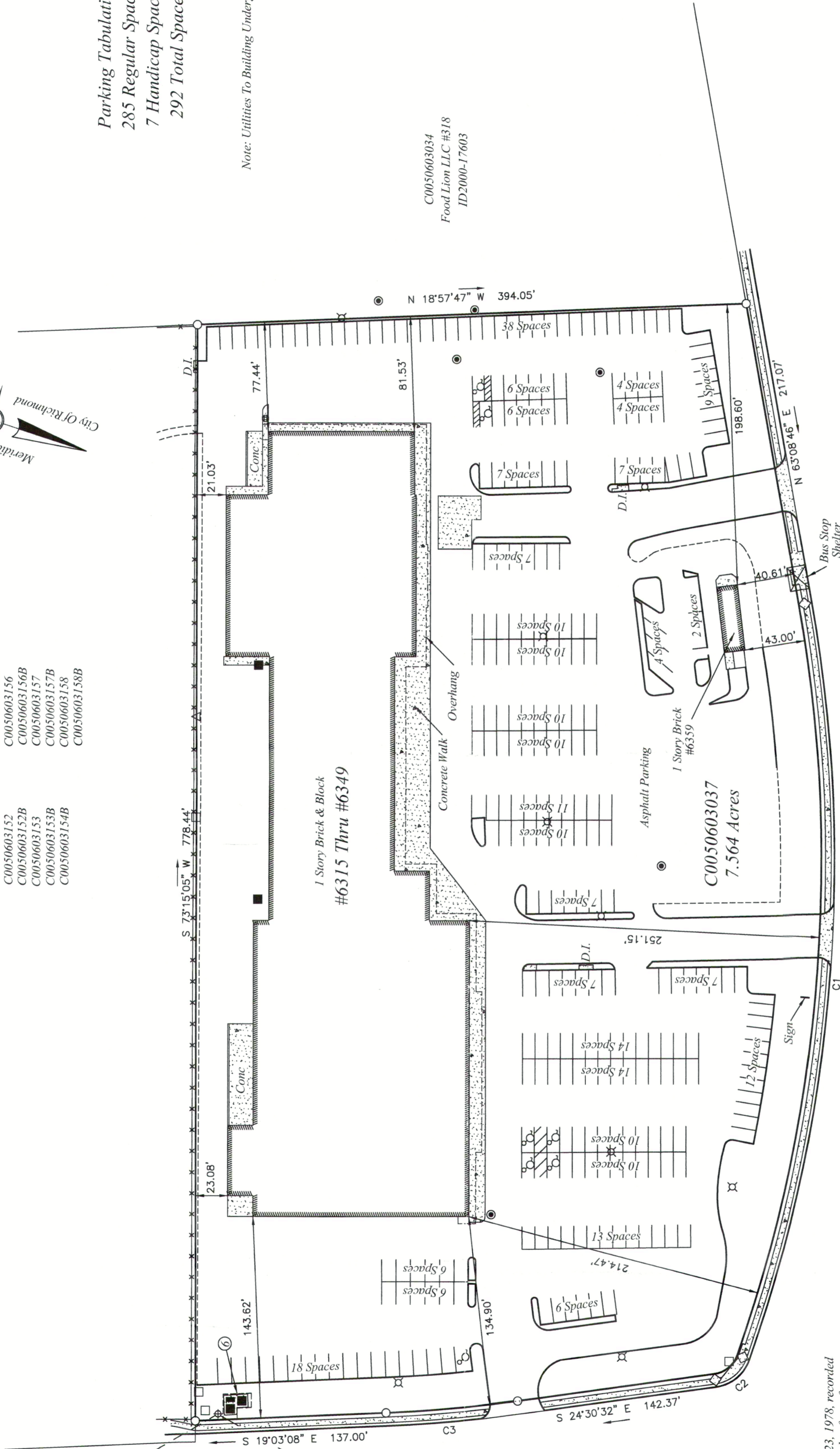
Renaissance Condominium Unit Owners Association  
ID2005-37464  
Renaissance Richmond LLC Attn Tony Webb  
C0050603151  
C0050603155B  
C0050603151B  
C0050603152  
C0050603156B  
C0050603156B  
C0050603157  
C0050603157B  
C0050603153B  
C0050603154B  
C0050603158B

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	541.31'	1055.00'	29°23'52"	N 77°50'42" E	535.39'
C2	21.97'	20.00'	62°56'50"	S 55°58'57" E	20.88'
C3	95.24'	1000.00'	5°27'24"	S 21°46'50" E	95.20'

Parking Tabulation  
285 Regular Spaces  
7 Handicap Spaces  
292 Total Spaces

Note: Utilities To Building Underground

- LEGEND**
- Pow.Box
  - Rod/S
  - △ T.V. Ped.
  - ⊕ Power Pole
  - Road/F
  - Tel. Ped.
  - ⊕ Fire Hydrant
  - ⊙ Man Hole
  - ⊗ Light Pole
  - ◇ Stone/F
  - ⊙ Hep. Space



**BLAKEMORE ROAD**  
Variable Width R/W

**EASEMENTS**

- ① Easement granted to VEPCO, dated June 23, 1978, recorded in Deed Book 346, page 124; grants 10' right of way for underground conduits and cables. Non Plottable description is +/-
- ② Easement granted to VEPCO, dated June 23, 1978, recorded in Deed Book 584, page 171; grants pole line easement. Non Plottable description is +/-
- ③ Easement granted to Bell Atlantic, dated October 14, 1999 recorded November 4, 1999 as instrument No. 99-30423; grants easement to construction, operate and maintain communication system. As Plotted on plat.

**JAHNKE ROAD**  
90' R/W

SURVEY OF  
LOT AND IMPROVEMENTS THEREON LOCATED AT  
**# 6315 THRU # 6359 JAHNKE ROAD**  
RICHMOND, VIRGINIA

NOTE: PLAT PREPARED FOR THE EXCLUSIVE USE OF THE CONVEYANCE TO Whitehead & Chioceca, P.L.C.



JN 45145  
A. G. HARCOPECOS & ASSOCIATES, P.C.  
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Scale 1"=60' Date 2/1/16 Drawn by GAH