



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**Commission of Architectural Review
Certificate of Appropriateness Application**

900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work)

Property Address: 22 S Arthur Ashe Blvd, Richmond, VA 23220

Current Zoning: R-48

Historic District: Boulevard City Old and Historic District

Application is submitted for: (check one)

- ☒ **Alteration**
☐ **Demolition**
☐ **New Construction**

Project Description (attach additional sheets if needed):

See Attached Documents for Description

Applicant/Contact Person: Rodney Young

Company: Roofing Innovations LLC

Mailing Address: PO Box 4374

City: Richmond State: VA Zip Code: 23220

Telephone: (804) 447 8426

Email: hayden@roofinginnovation.com

Billing Contact? Yes Applicant Type (owner, architect, etc.): Contractor

Property Owner: Campus - Pierce Arrow LLC

If Business Entity, name and title of authorized signer: Mary Shaw

Mailing Address: 2709 W Cary St

City: Richmond State: VA Zip Code: 23220

Telephone: (804) 593 4411

Email: mary.shaw@campusapts.com

Billing Contact? No

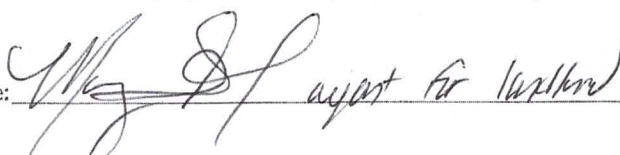
****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 2/2/2017



1607 Rhoadmiller St. STE A, Richmond, VA 23220 | 12-16 Littell Rd, Unit 1B, East Hanover, NJ 07936
Office: (804) 447-8426
Fax: (804) 447-8429

The property located at 22 S Arthur Ashe Blvd, Richmond, VA 23220 is a sizable multi-family residence.. Spanning 19,376 square feet, this home is set on a 7,906 square foot lot. With a construction date of 1921, this property is classified as a Multi-Family residence. The property, despite its age, maintains a commendable condition. A notable exception to this overall state of preservation is the condition of the fire escapes. These critical safety features have significantly deteriorated over time, presenting a stark contrast to the otherwise fine condition of the building. The fire escapes are now in dire need of replacement to ensure the safety and compliance of the property. This necessity highlights a crucial area for immediate attention and investment, ensuring that the building not only maintains its aesthetic and functional value but also adheres to essential safety standards.

- Install Pump Jacks to temporarily support the existing metal framing of the current fire escape
- Remove all existing concrete throughout the fire escape
- Install all new decking landing and stairs
- Install all new supports (joists) throughout all landing areas
- Remove existing concrete deck from existing fire escape landings and replace with 5/4"x6" decking
- Remove and replace existing anchor beams into the wall with new 6" x 8" beams to hold the new structure
- Install floor beams and decking on the new structure
- Install new railing system on new structure to match building code standards
- Sand all existing metal fire escapes and cover with new exterior black paint
- Install wood across all exterior doors leading to the fire escape
- Take before and after pics for project weekly updates and end-of-project
- Clean up area of all job-related debris

In light of the deteriorated state of the fire escapes, comprehensive plans have been developed to address and rectify this issue. These plans are designed with the safety and structural integrity of the building in mind, aiming to replace the existing fire escape system. The intention is to remove the current steel and concrete construction, which



has succumbed to wear and environmental factors over time, compromising its reliability and safety.

The replacement strategy involves the installation of new stairs and structural support systems, moving away from the old materials to embrace the use of pressure-treated wood framing. This choice of material not only ensures durability and resistance to the elements but also offers a sustainable and aesthetically pleasing alternative. The new wood framing is expected to provide the necessary strength and stability, while also integrating seamlessly with the building's historical character.

This project signifies a significant investment in the property's future, prioritizing the safety of its occupants and visitors. By replacing the outdated fire escapes with modern, code-compliant structures, the property is set to meet current safety standards, thereby enhancing its overall value and functionality. The planned improvements are a testament to the commitment to maintaining the building's heritage, while ensuring it meets contemporary safety requirements.

Proposed New Materials:

2x8x10 Pressure treated
2x8 joist hangers
5/4x6x10 pressure treated
3/4x4x8 plywood
100 ft roll 6mil plastic
Exterior black metal paint
decking and framing coated nails

Sterling Young
Roofing Innovations
2/5/2024 | 11 Photos



Stair Conditon 22 South Arthur Ashe

Section 1

Photo Documentation of Deterioration of Staircase at 22 South Arthur Ashe Blvd

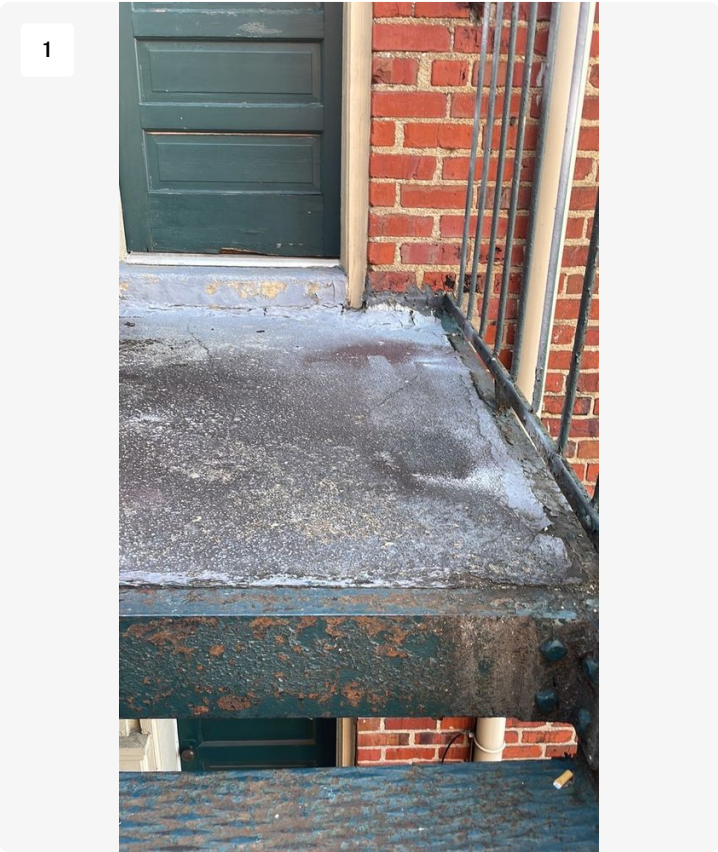


Photo of deterioration of concrete deck (third level)

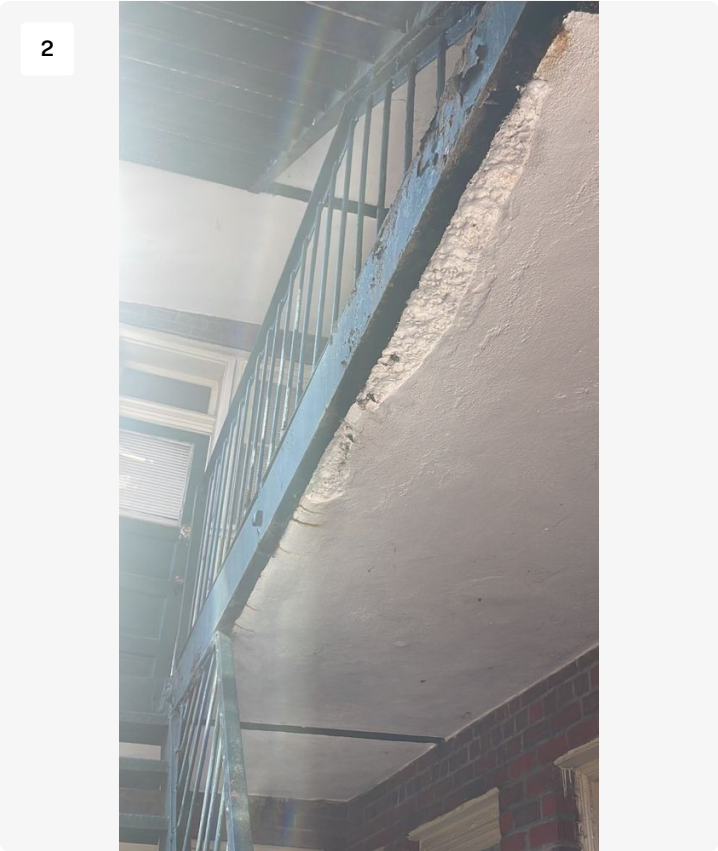


Photo showing deteriorated concrete deck (second level)

3



Photo showing deteriorated connection between concrete and steel frame (second level)

4



Photo showing deterioration of concrete deck (third level)

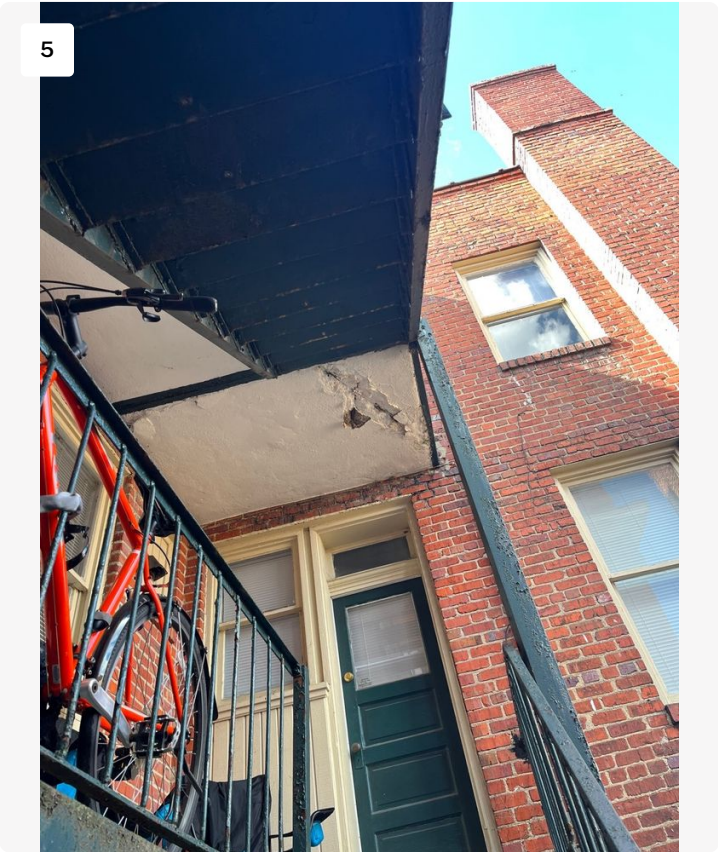


Photo showing deterioration of concrete deck (third level)

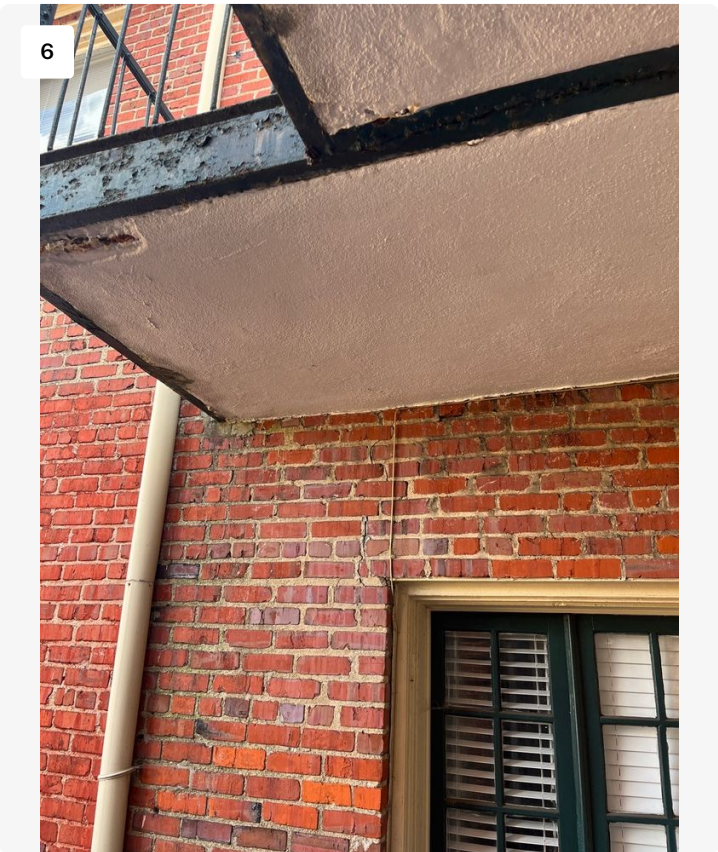


Photo showing uneven concrete deck and deterioration (second level)

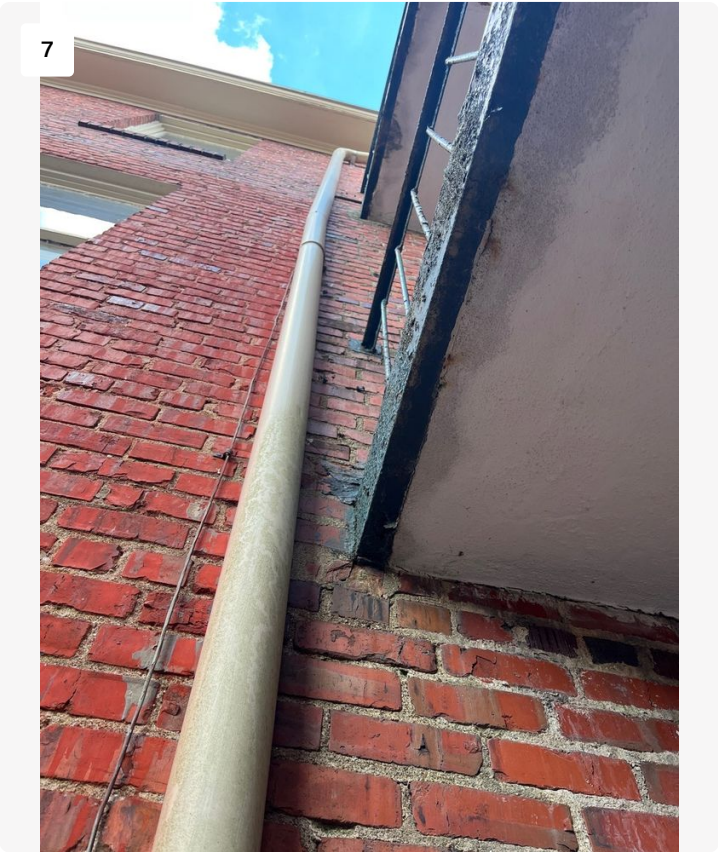


Photo showing deterioration of concrete deck (second level)

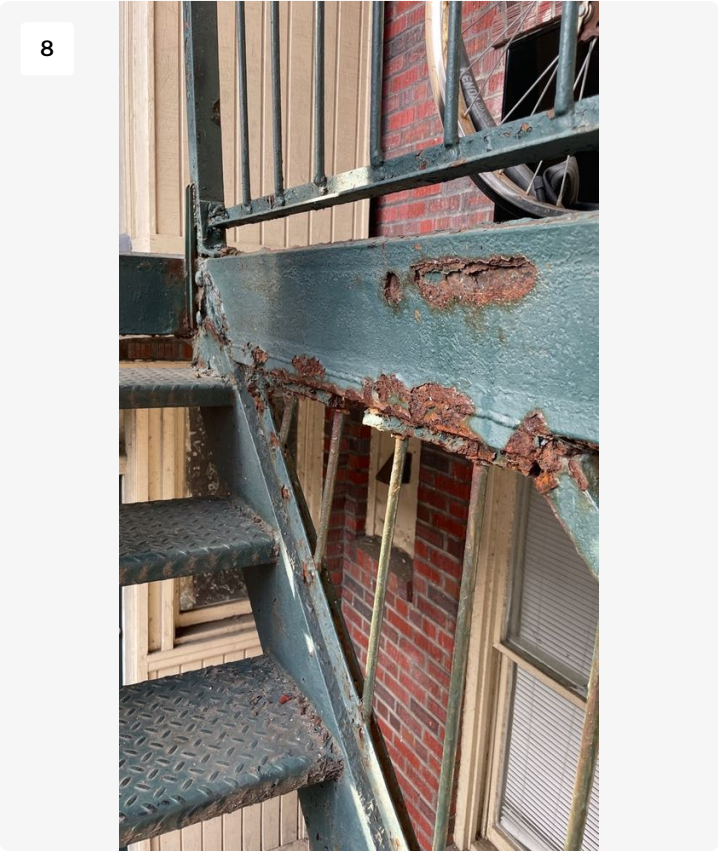


Photo showing deterioration of steel railing (third level)

9



Photo showing deteriorated steel connection (second level)

10



Photo shows deteriorated connection between concrete deck and steel railing (level 2)

11



Photo showing deteriorated steel stairs (third level)

ROOFING INNOVATIONS

AREA CALCULATIONS	
Description	Area
Unheated Area	
Typical Landing	101 SF
	101 SF

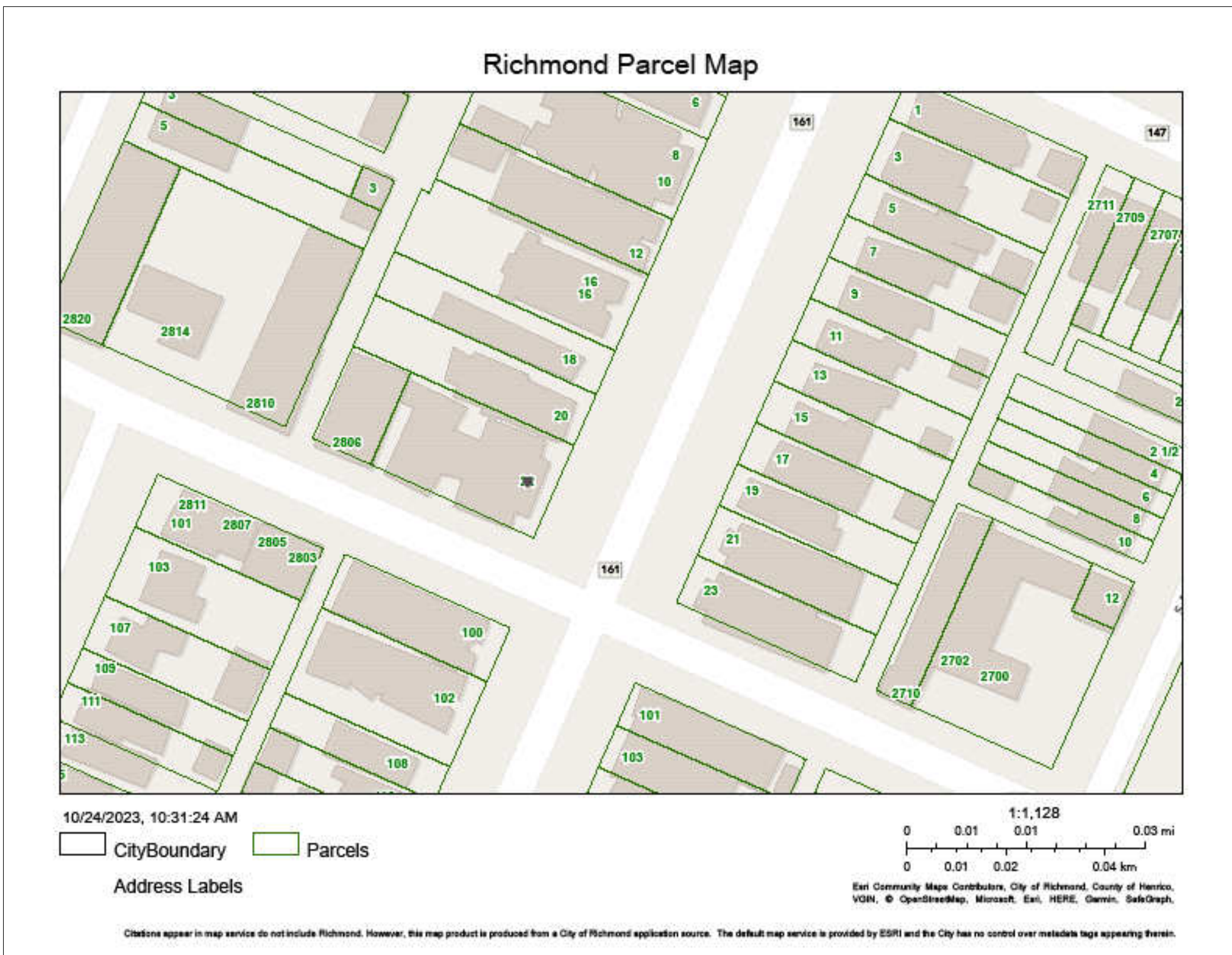


22 S ARTHUR ASHE BLVD

SHEET INDEX	
SHEET NO.	SHEET NAME
0-COVER	
A-0.00	Cover
2-ARCHITECTURE	
A-2.00	Existing Stairs
A-2.20	Proposed First Floor
A-2.60	Proposed 2nd Floor Plan
A-2.70	Proposed Third Floor Plan
A-2.80	Proposed Fourth Floor Plan
A-3.00	Elevations
A-4.00	Sections

NOTE:

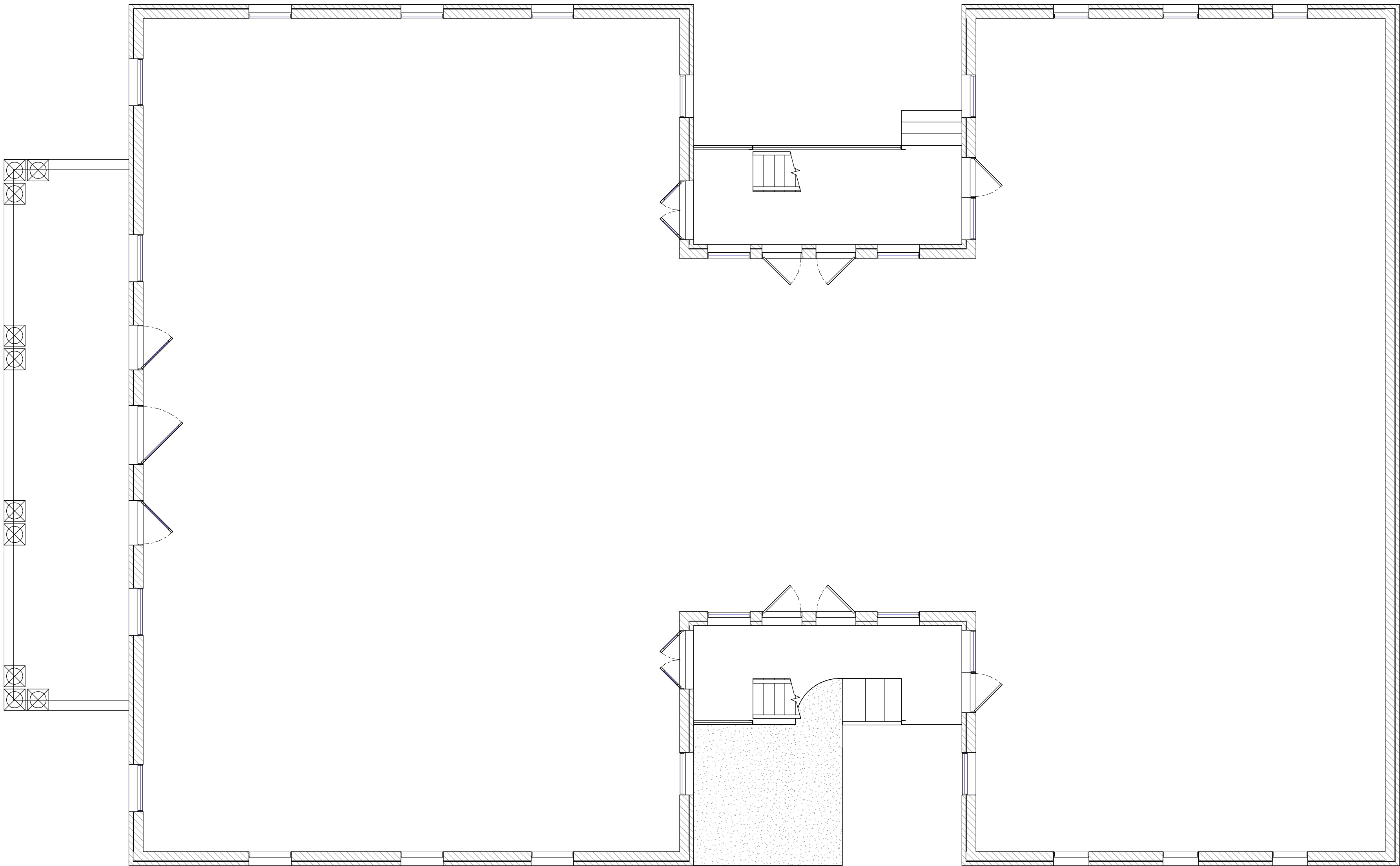
PLANS ARE FOR REPLACEMENT OF
EXISTING FIRE ESCAPE, STAIRS, AND
STRUCTURAL SUPPORT. INTENTION TO
REMOVE EXISTING STEEL/CONCRETE
CONSTRUCTION AND REPLACE WITH
PRESSURE TREATED WOOD FRAMING.
EXISTING FOOTINGS AND SUPPORTS
SHOULD BE VERIFIED BY A THIRD PARTY
ENGINEER. NO CHANGES TO ELEVATION
OR INTERIOR ARE TO BE MADE



PERMIT SET

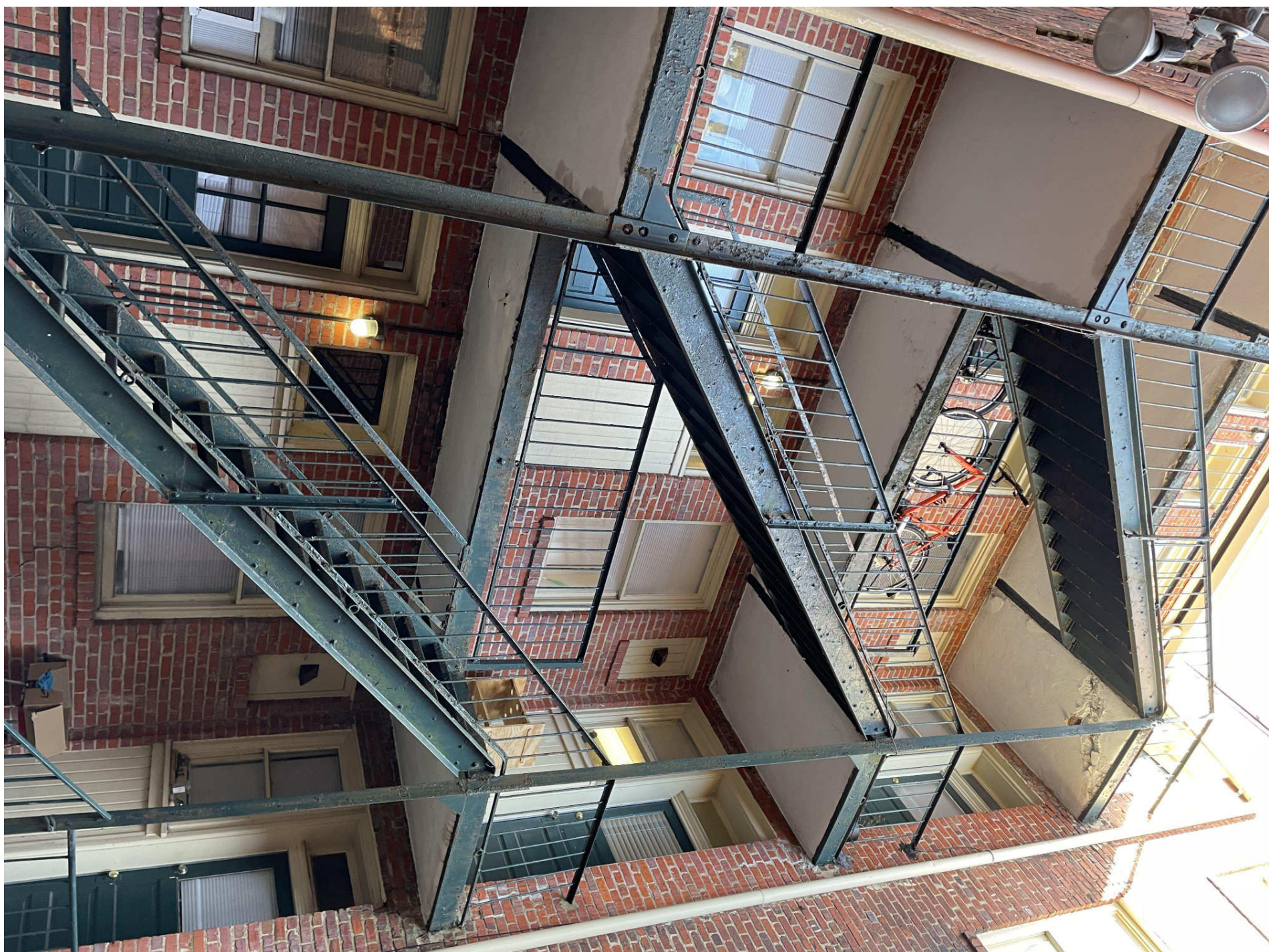
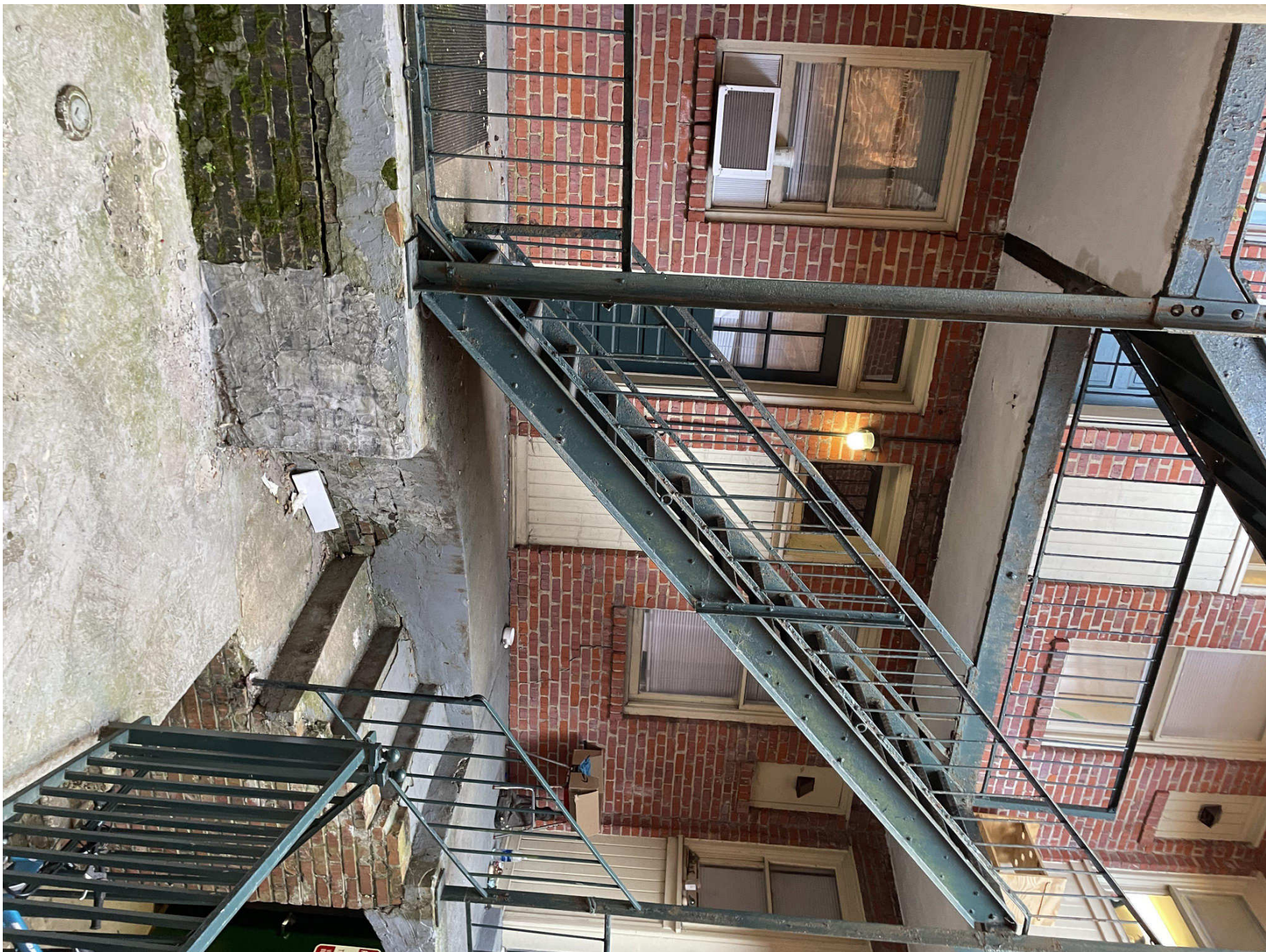


SOUTH FACING SIDE CARY STREET



NORTH FACING SIDE

EXISTING FLOOR PLAN



PROJECT

RENNOVATION

CLIENT

ROOFING INNOVATIONS

ADDRESS

22 S ARTHUR ASHE BLVD

SHEET
Existing Stairs

A-2.00

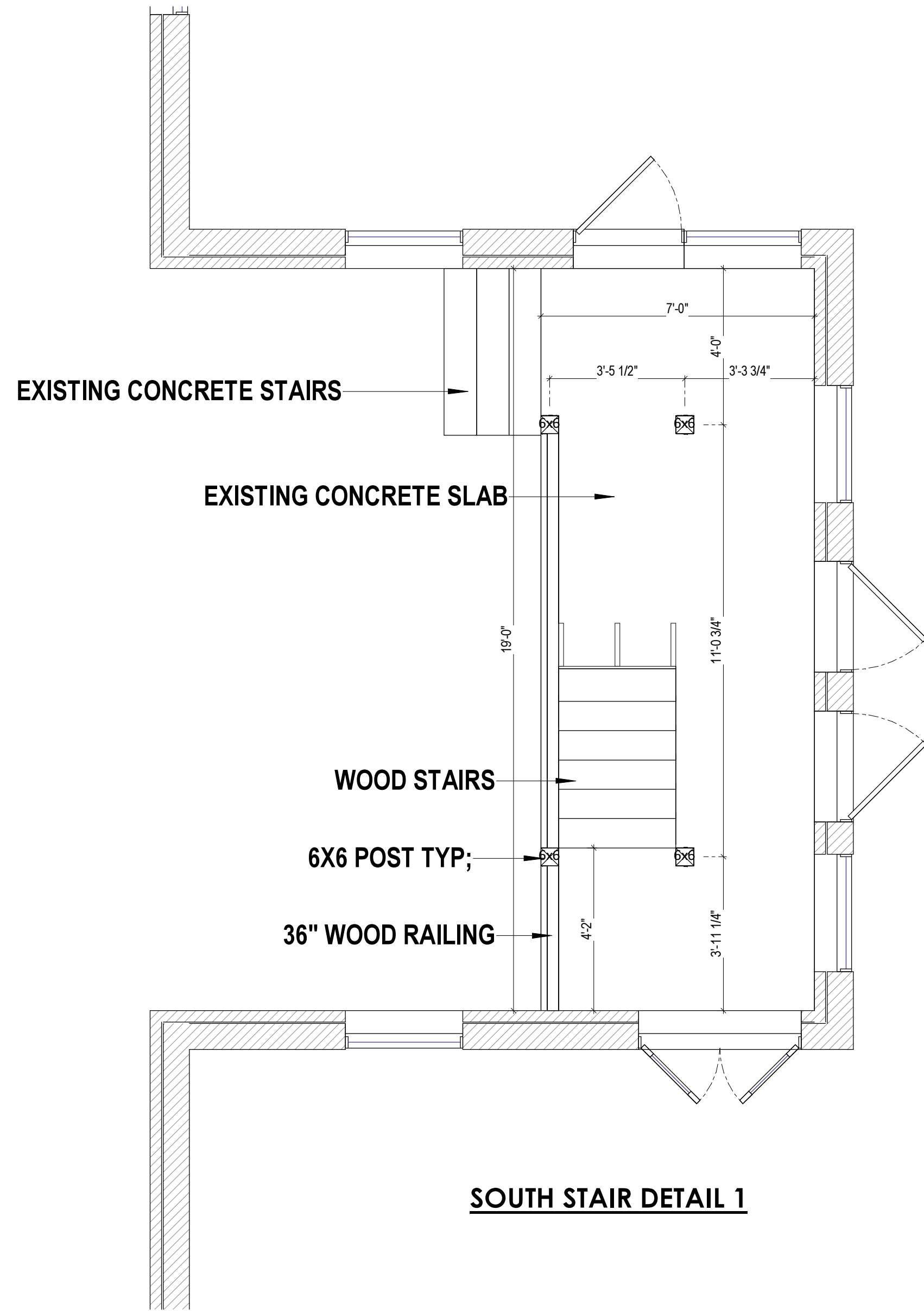
SHEET NUMBER

PINNACLE
DESIGN

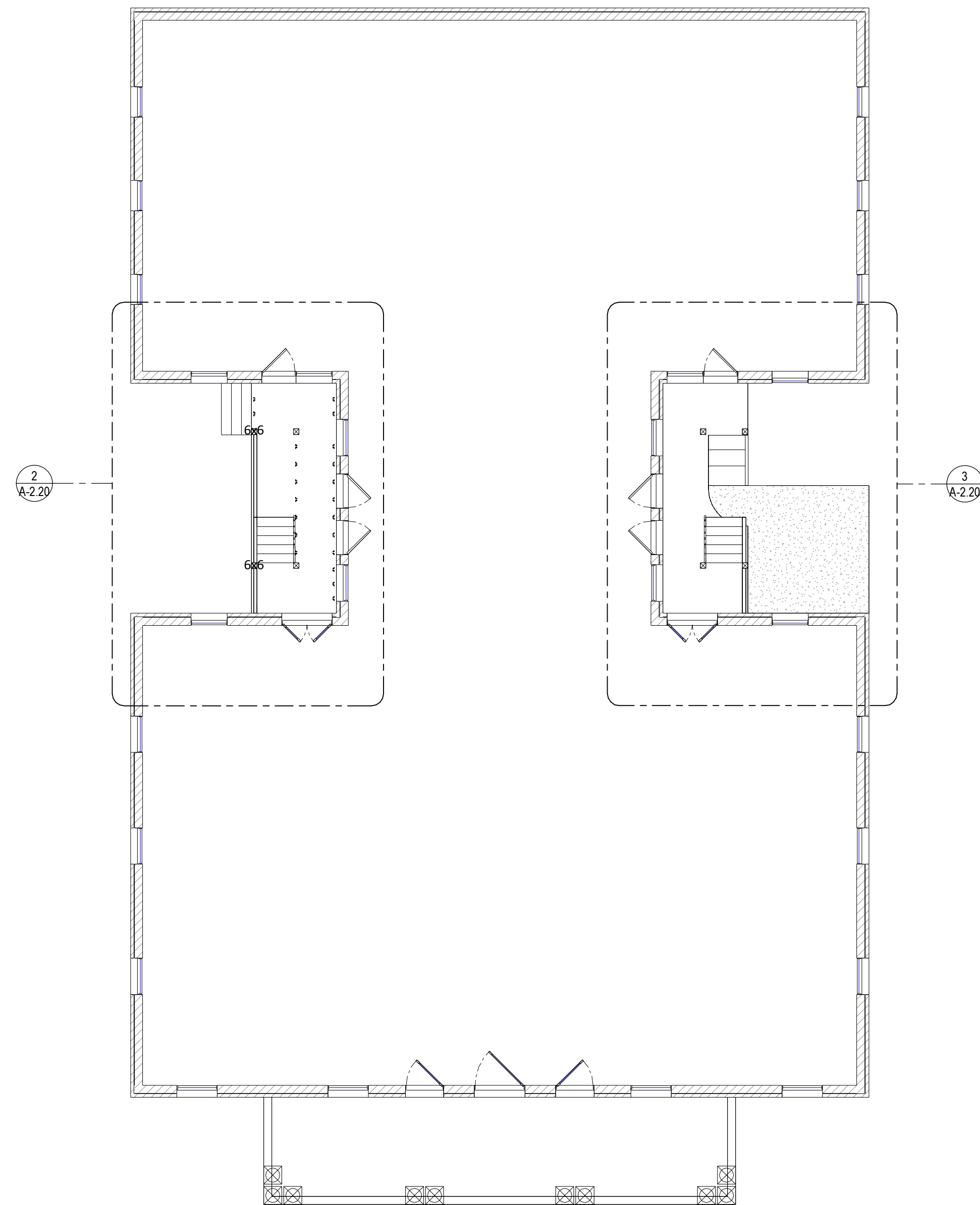
ISSUE DATE
10/27/23

DRAWN BY

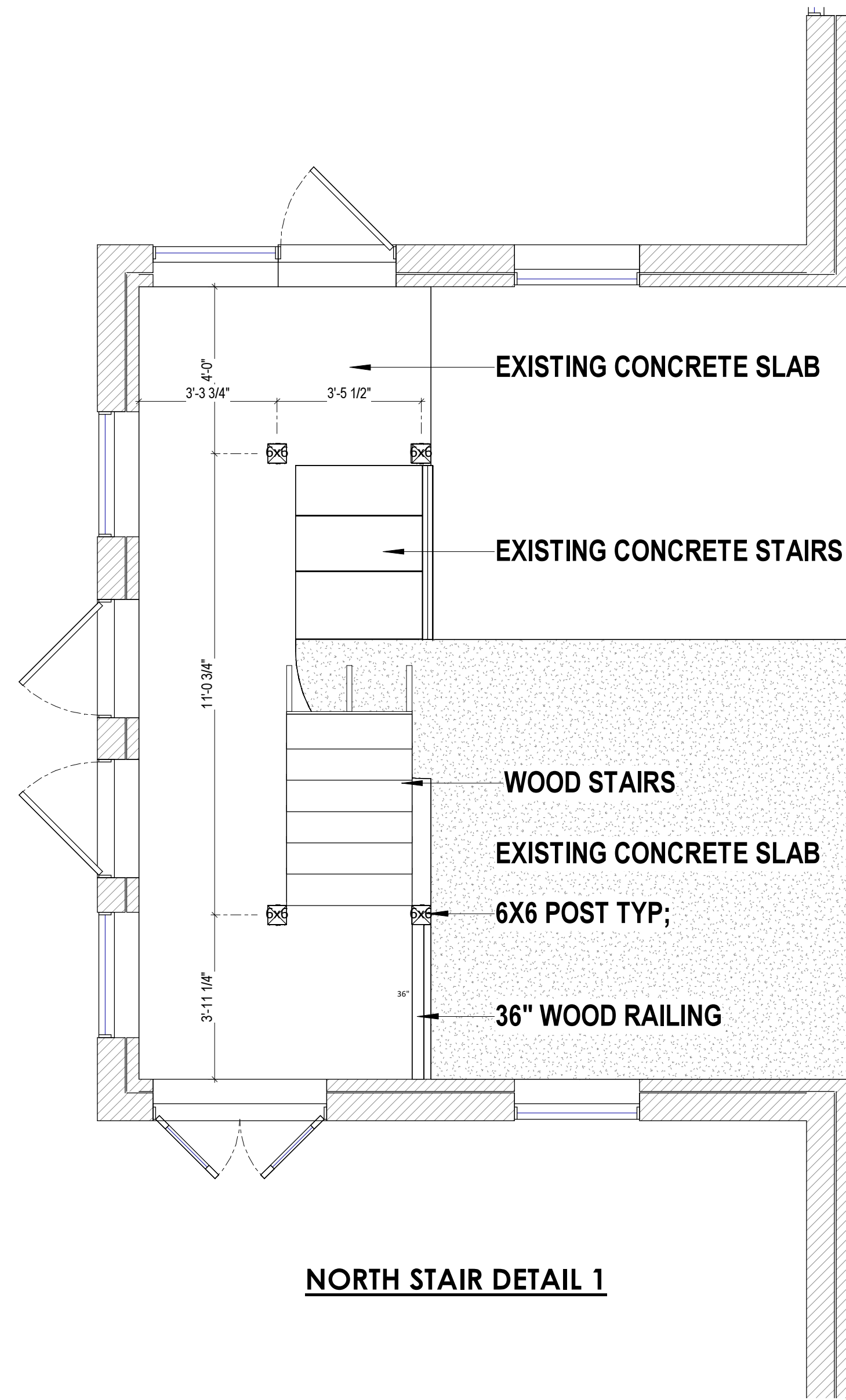
PINNACLE
DESIGN CONSULTING



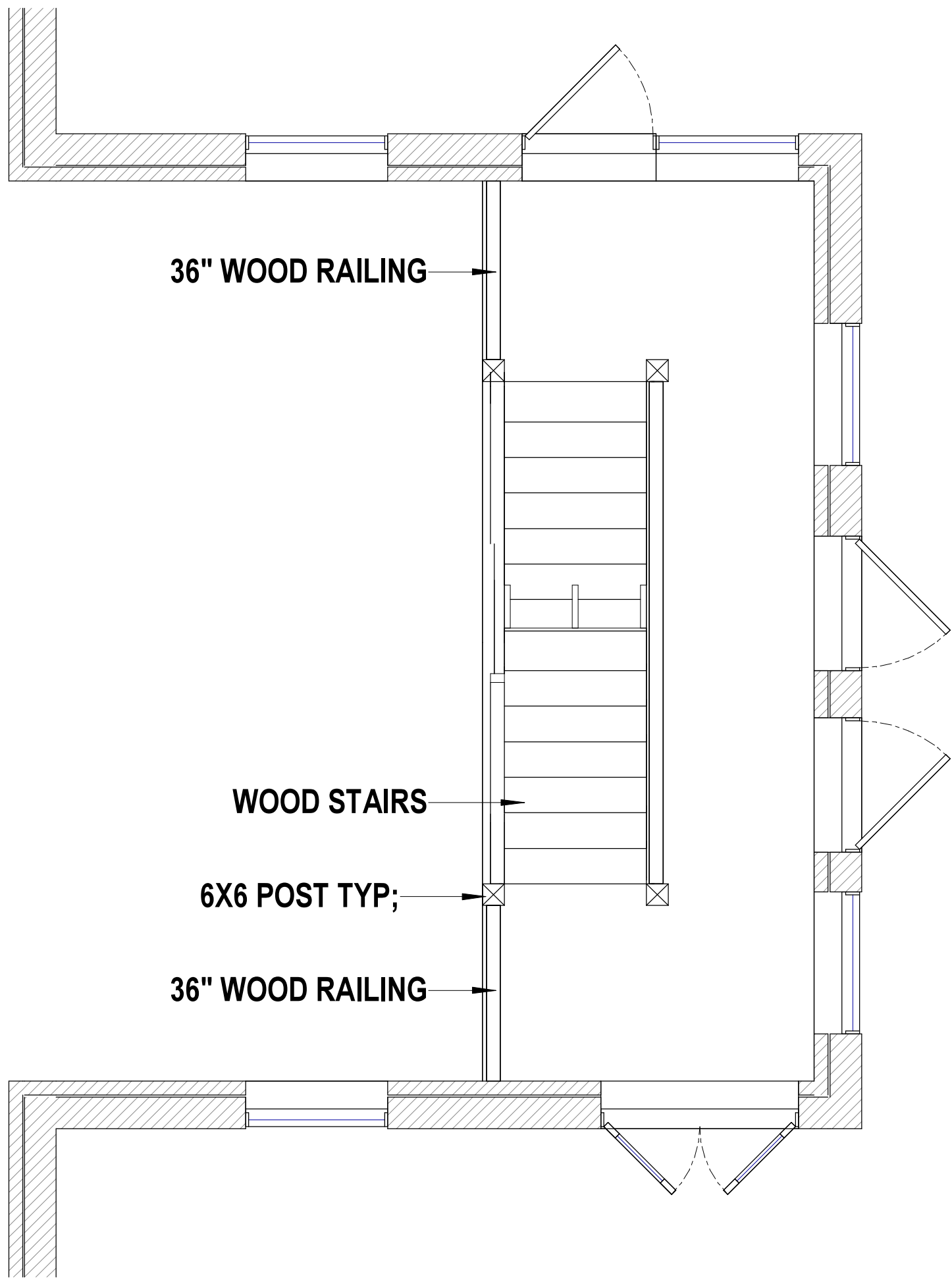
SOUTH STAIR DETAIL 1



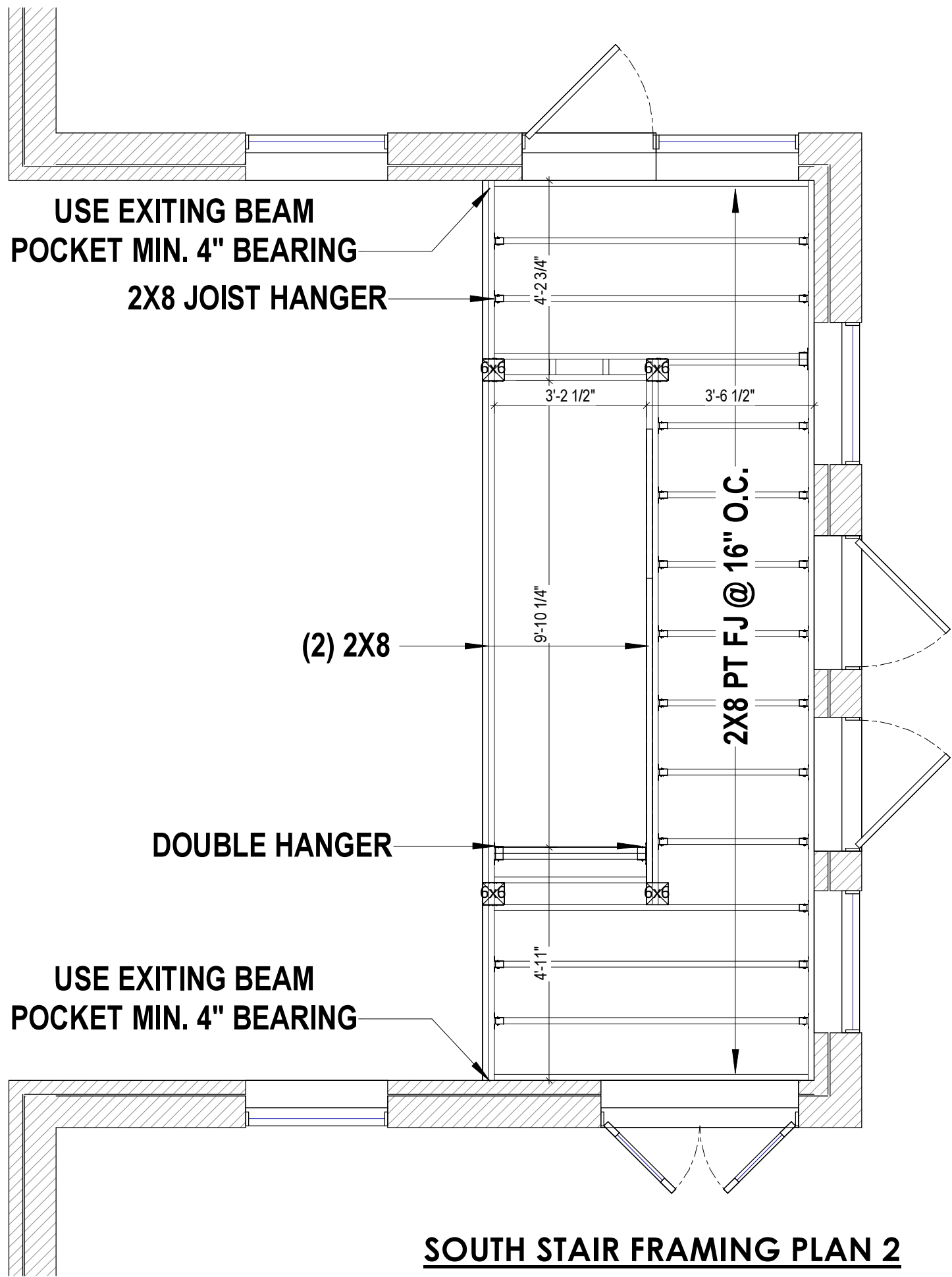
PROPOSED 1ST FLOOR PLAN



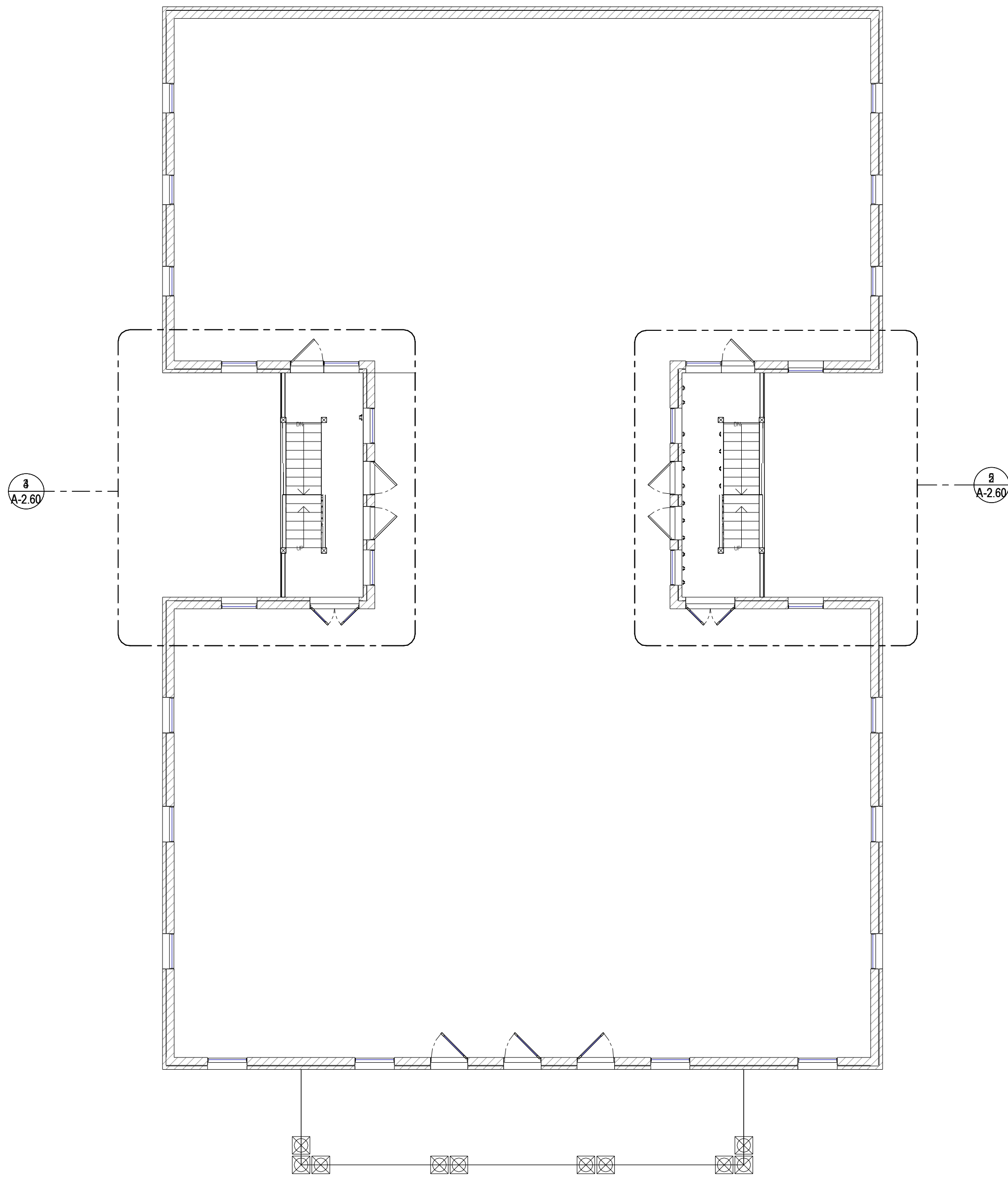
NORTH STAIR DETAIL 1



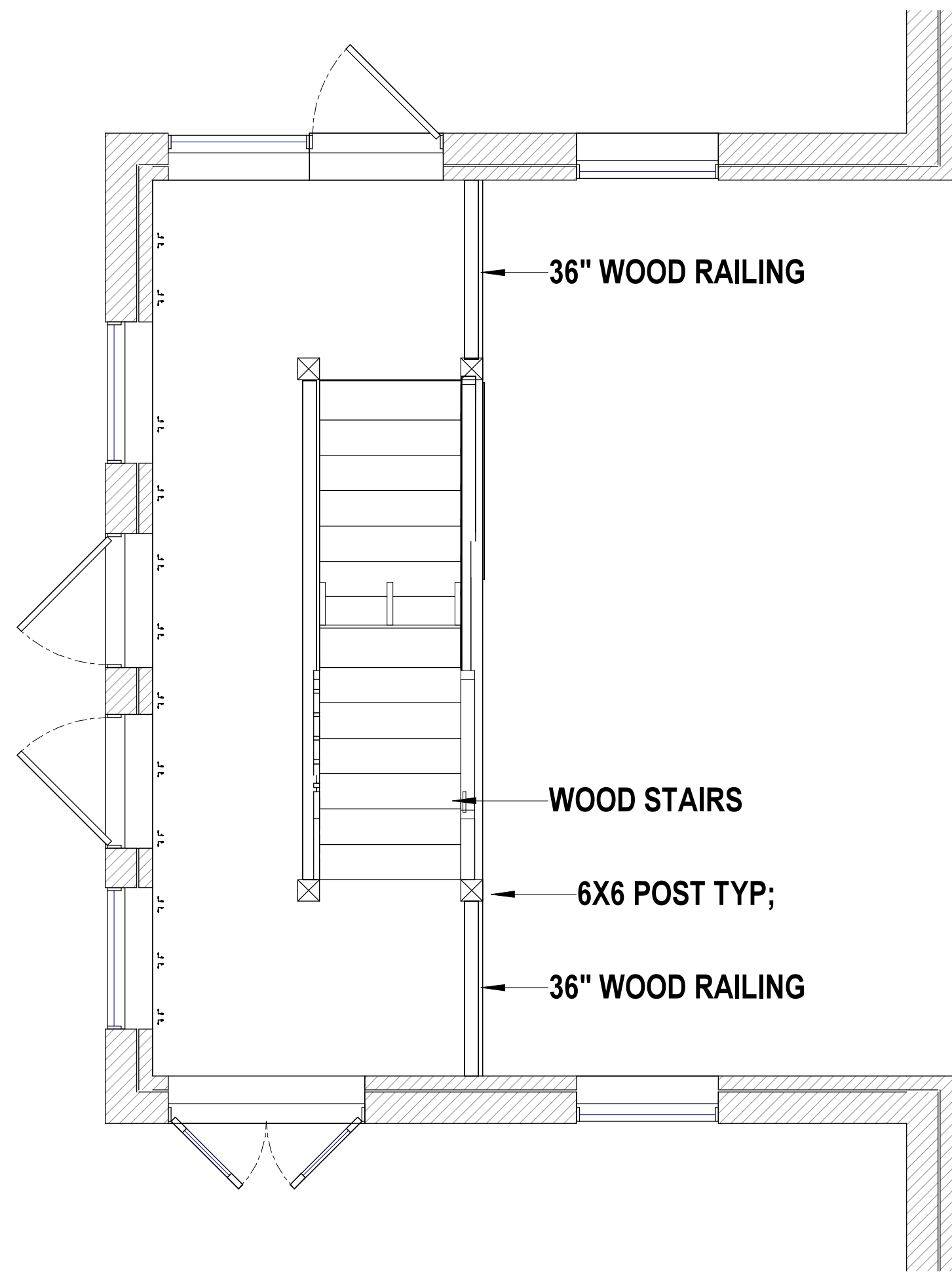
SOUTH STAIR DETAIL 2



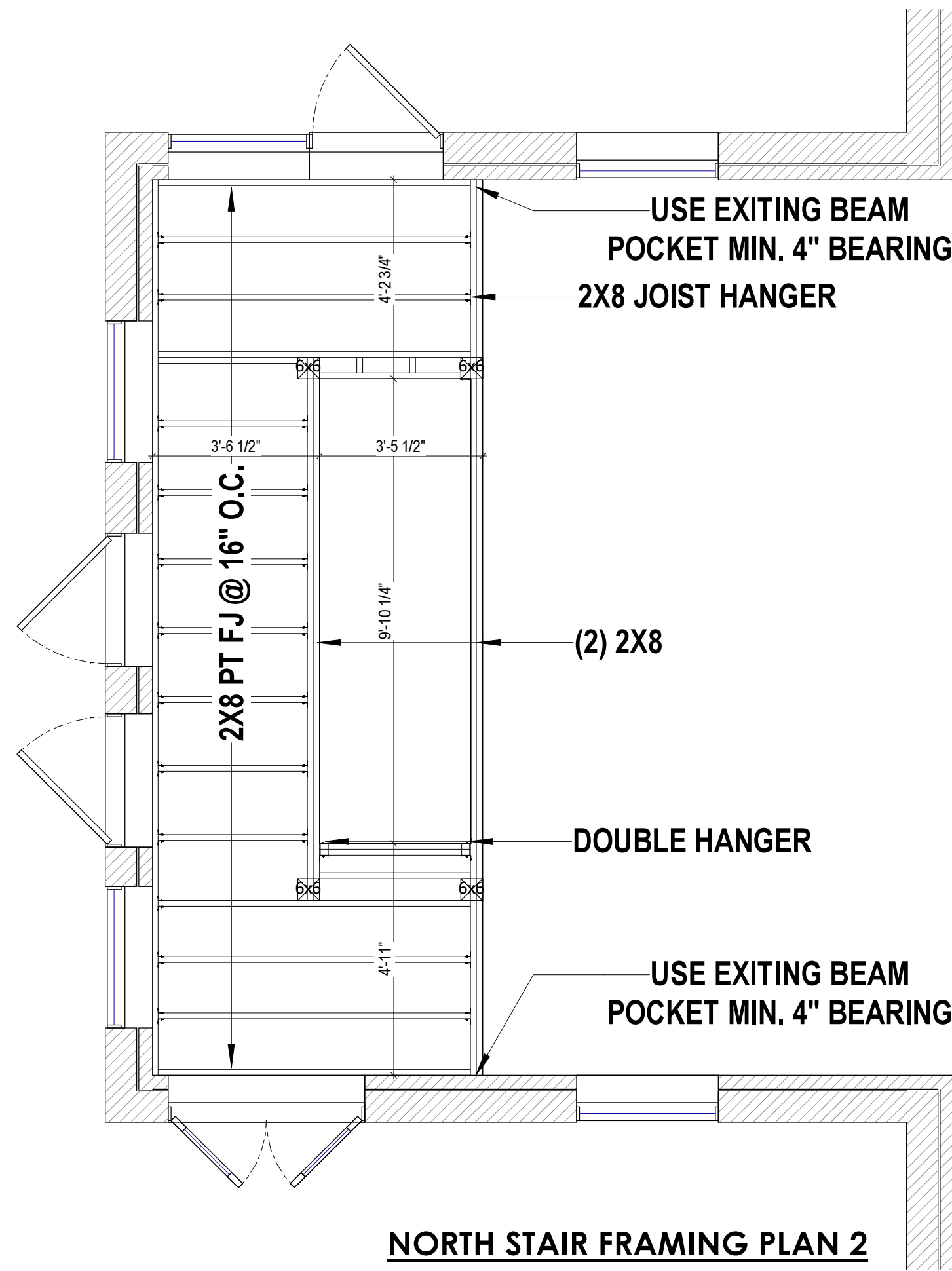
SOUTH STAIR FRAMING PLAN 2



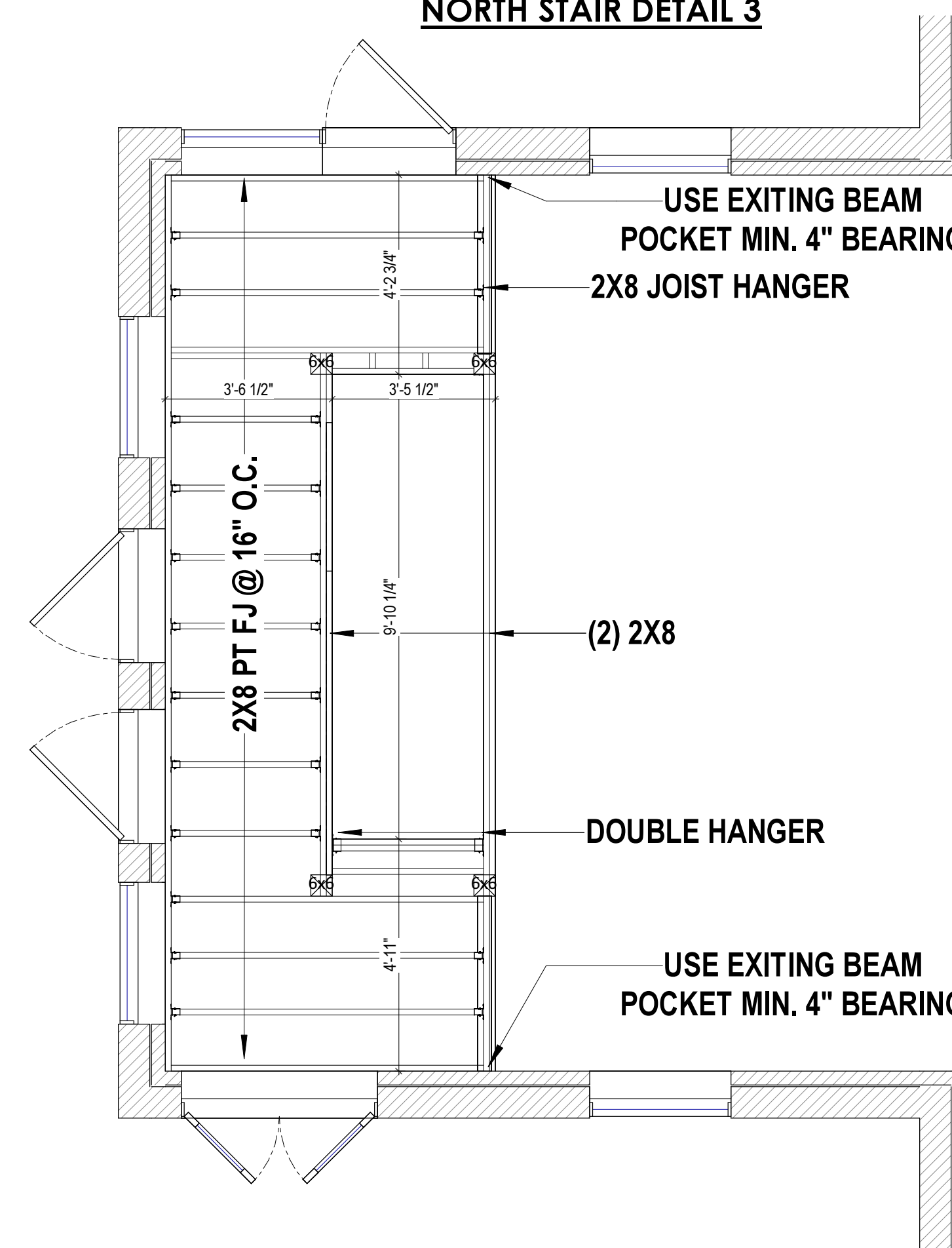
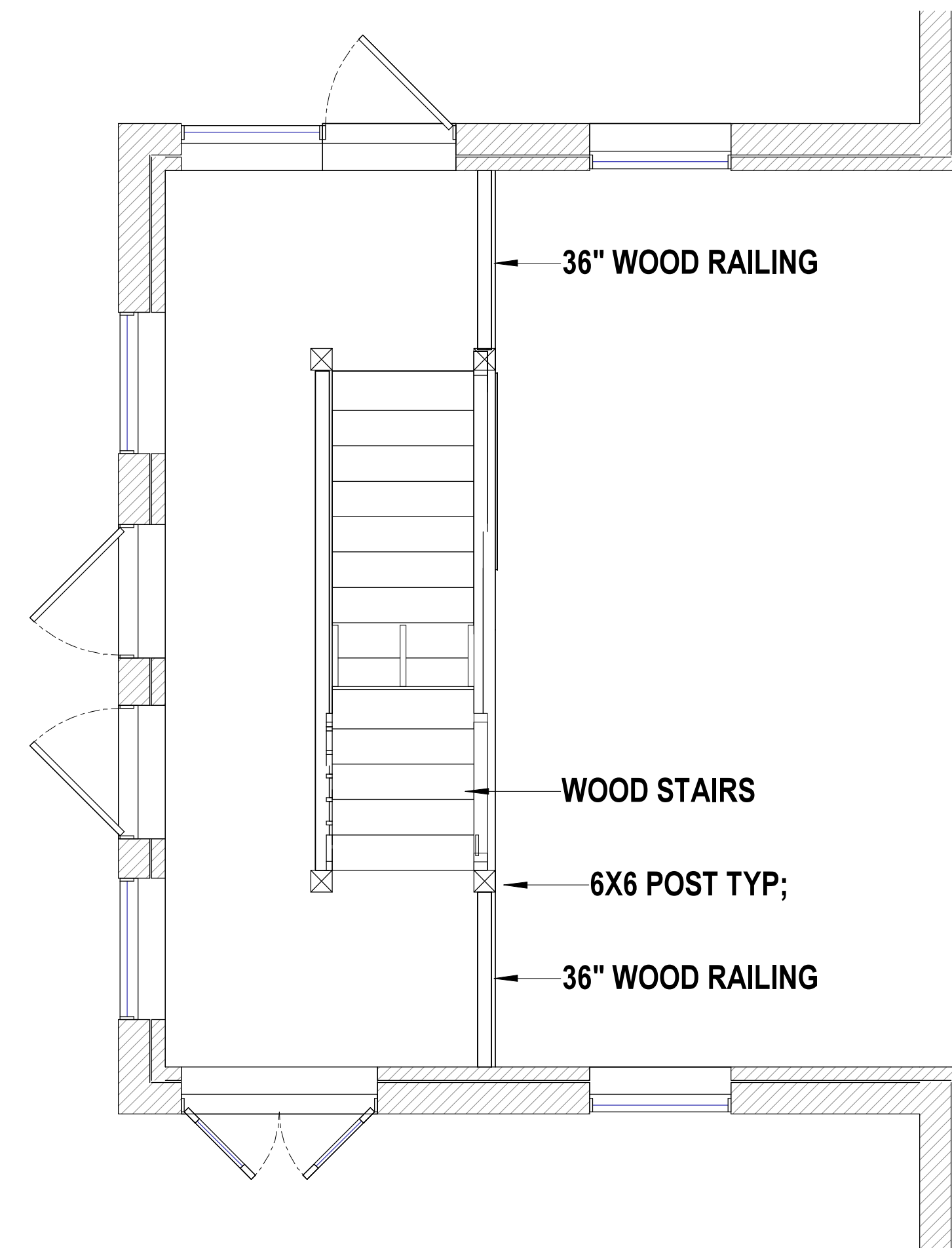
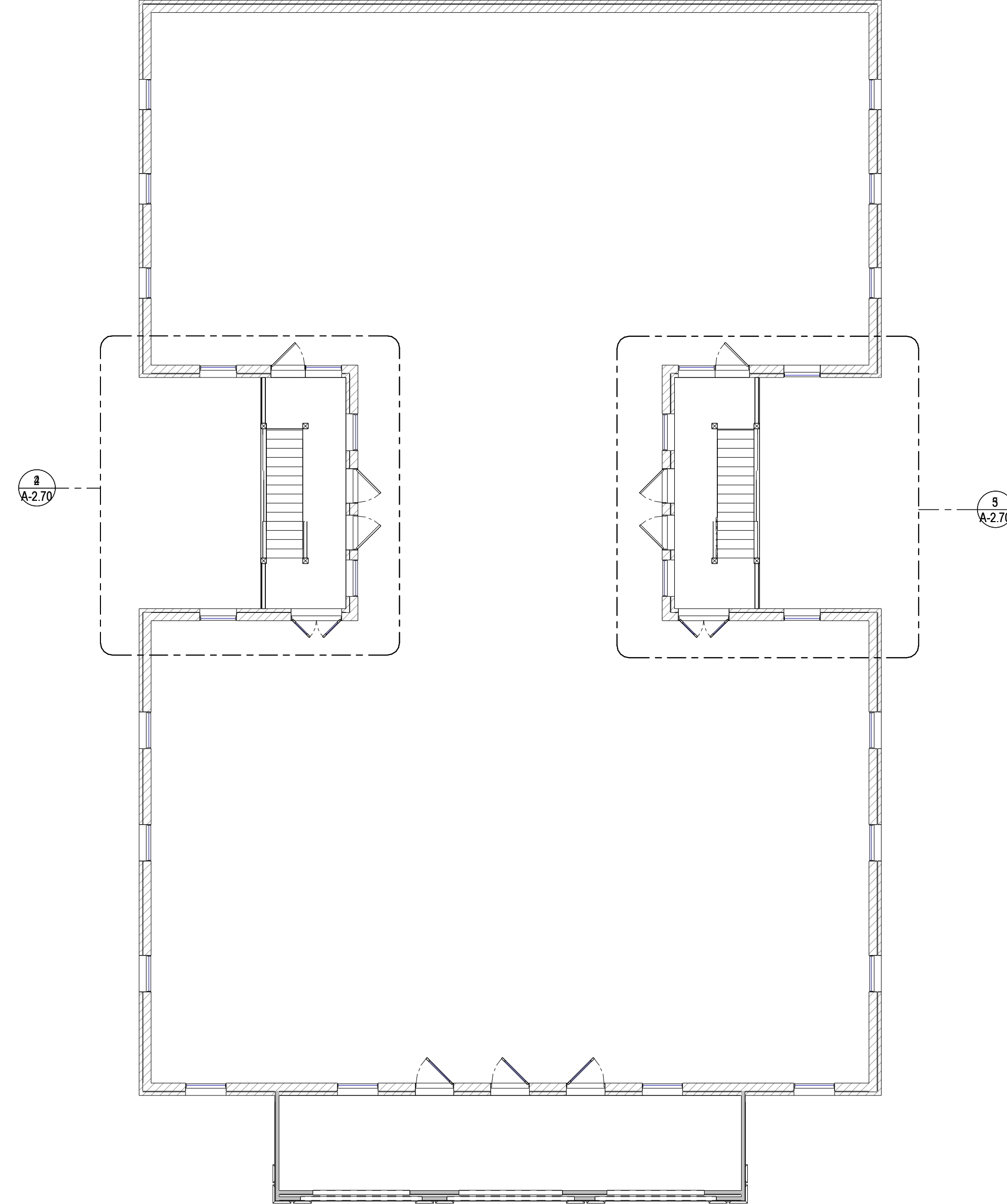
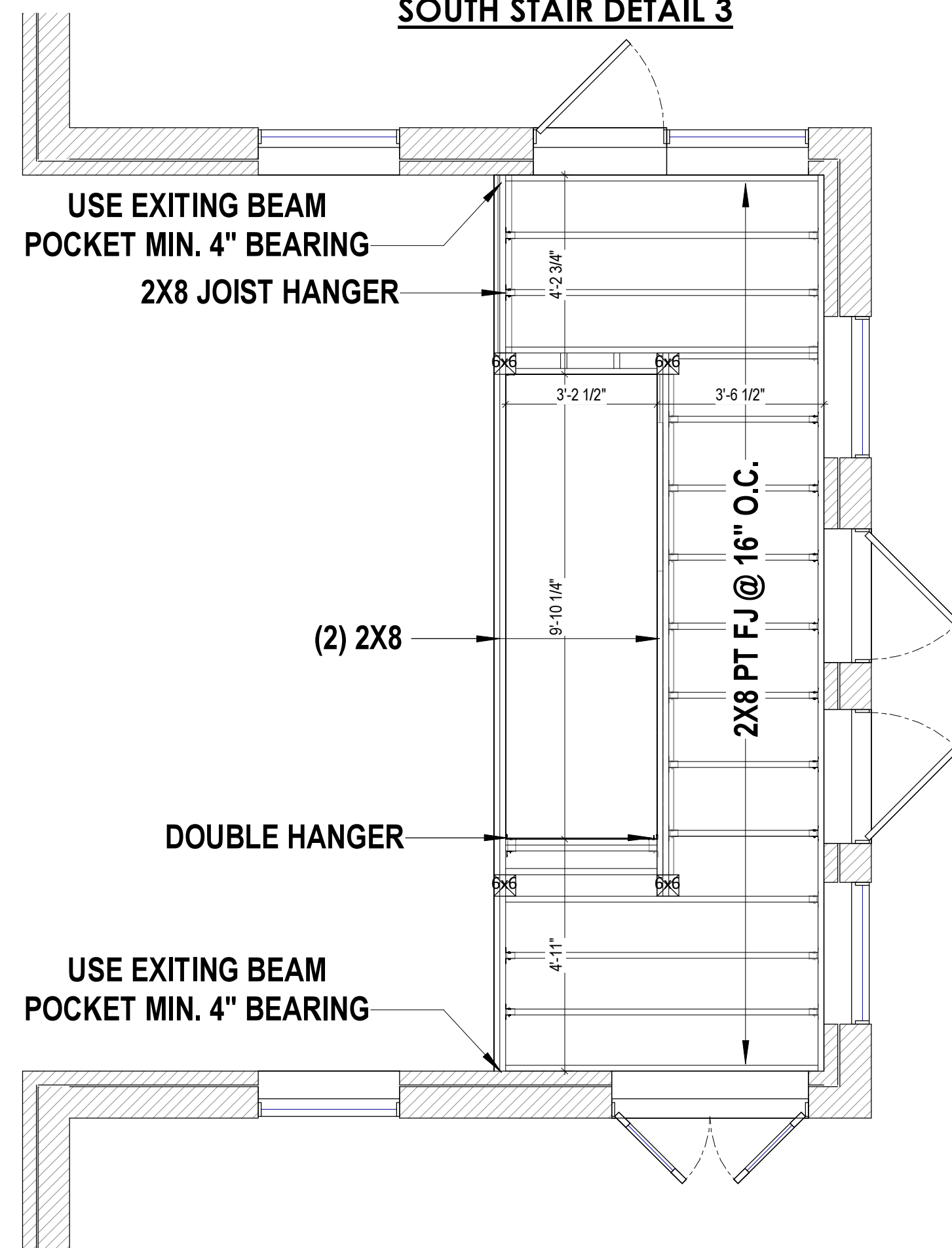
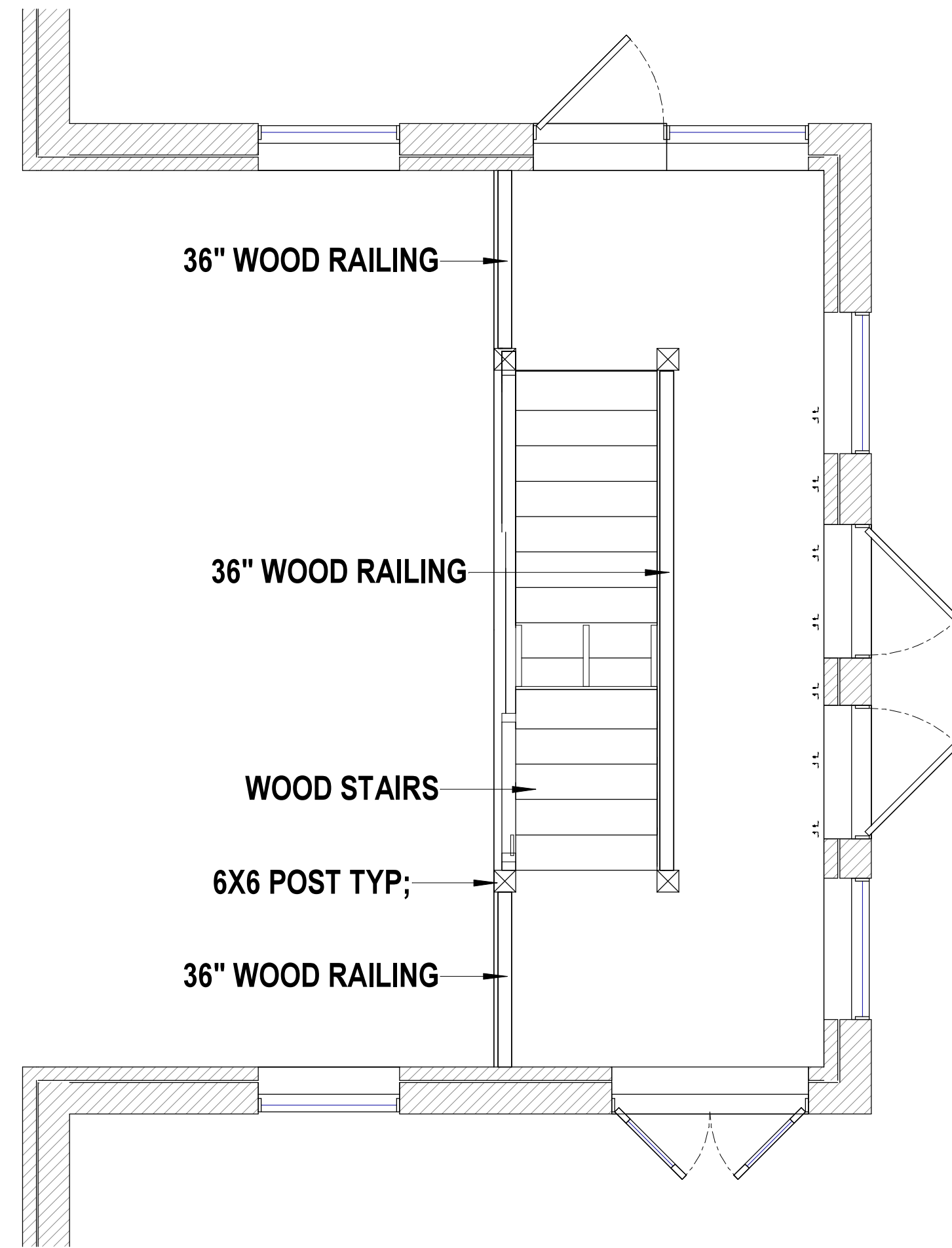
PROPOSED 2ND FLOOR PLAN



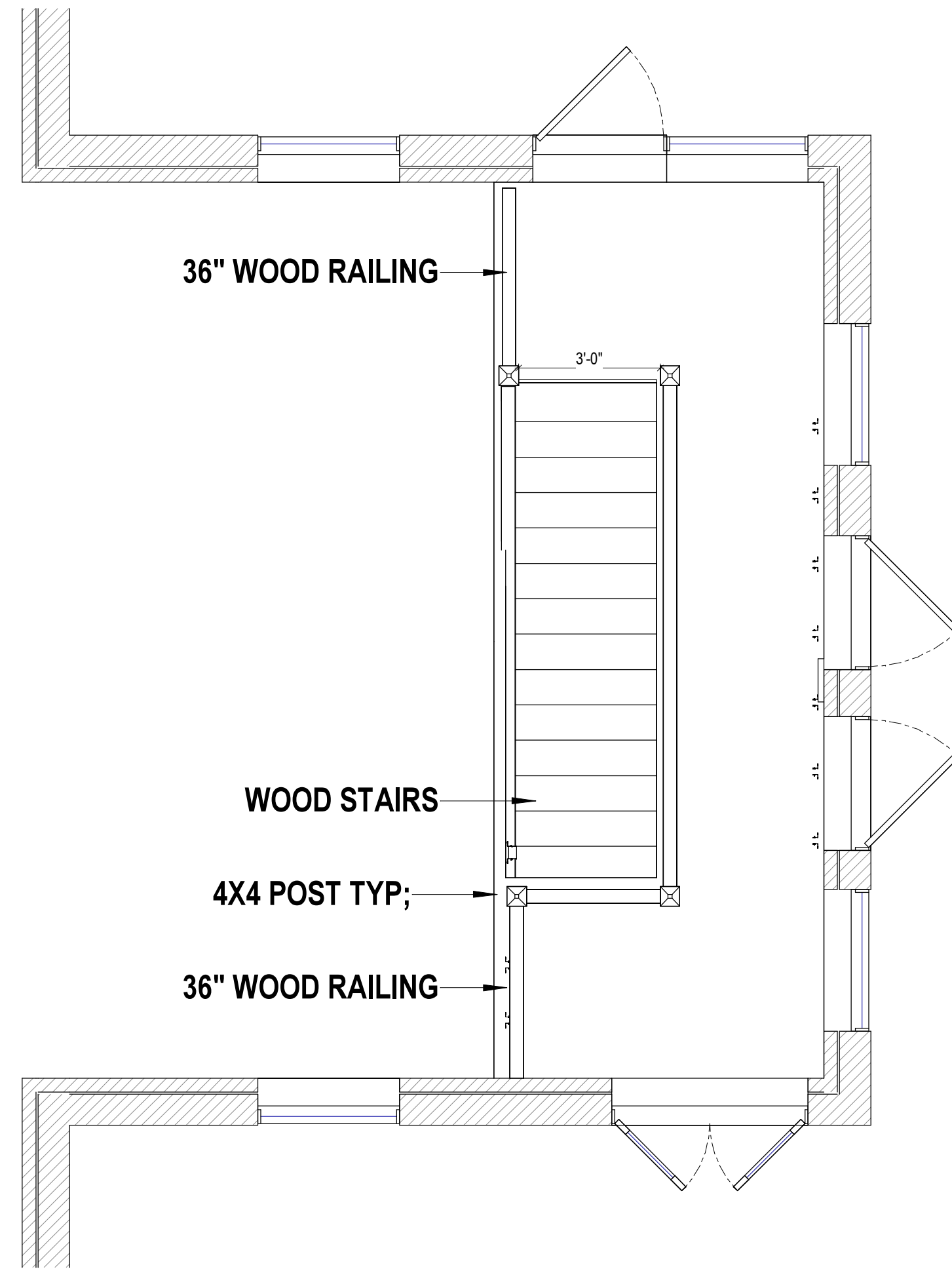
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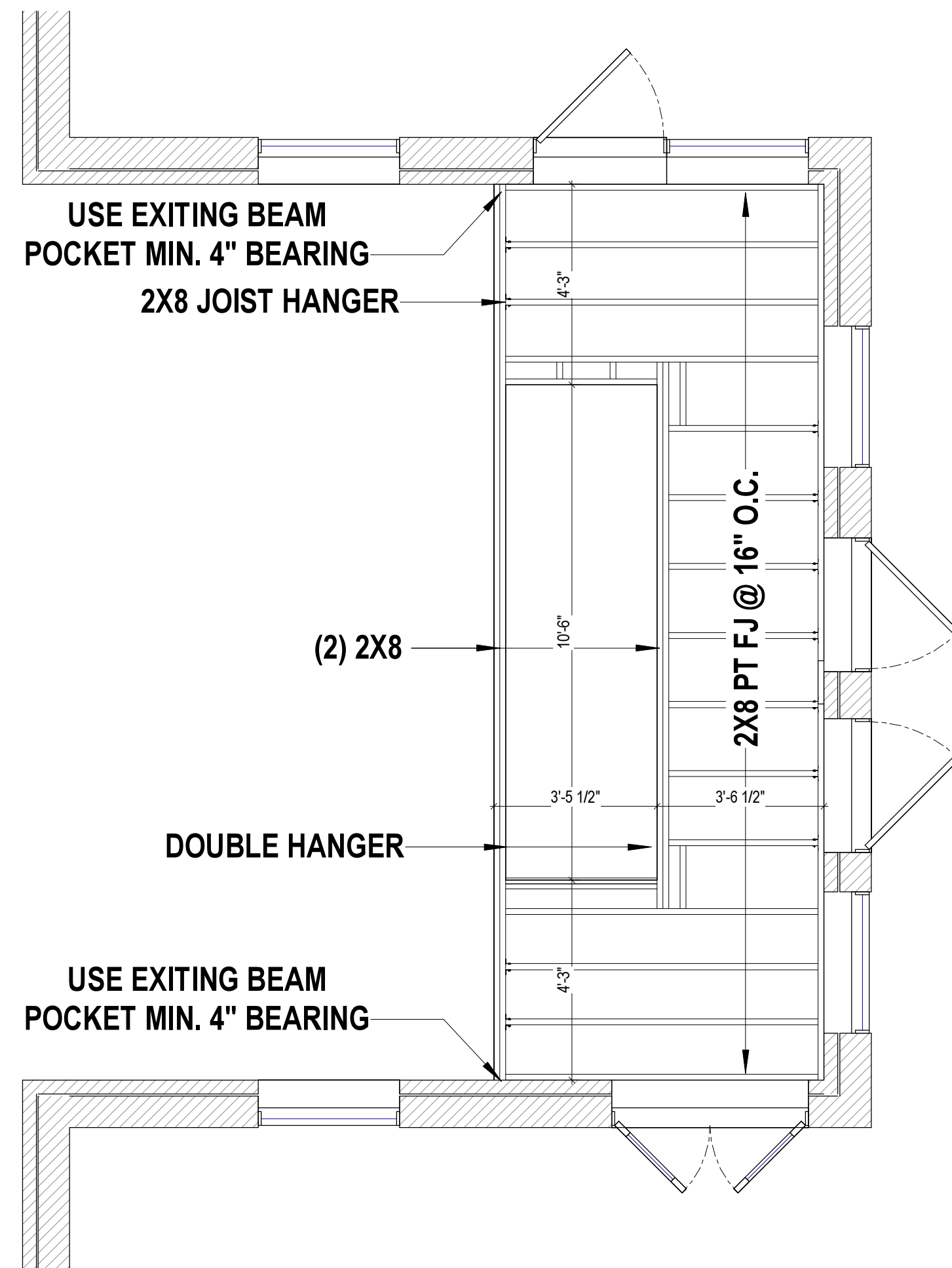
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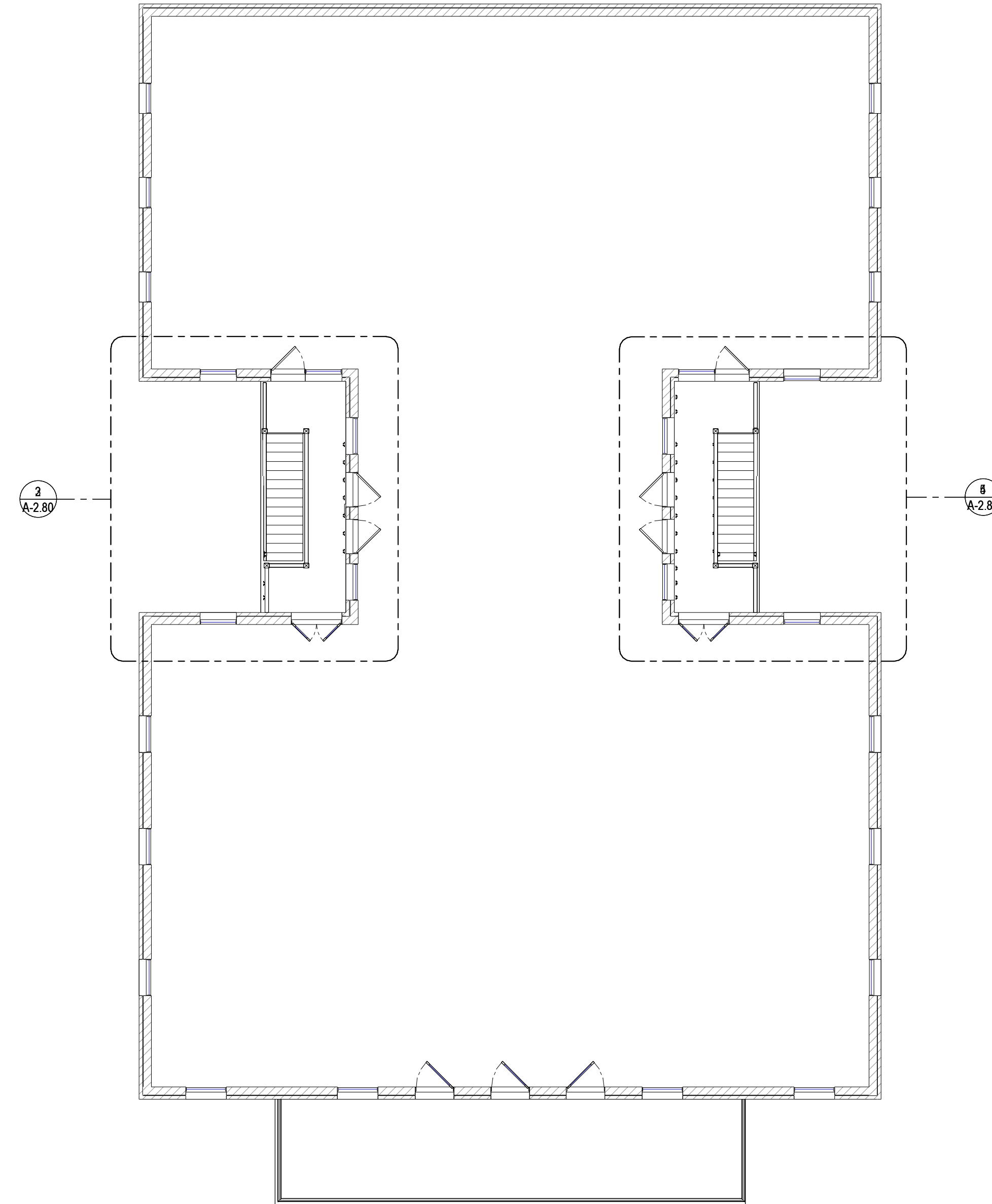
3RD FLOOR PLAN



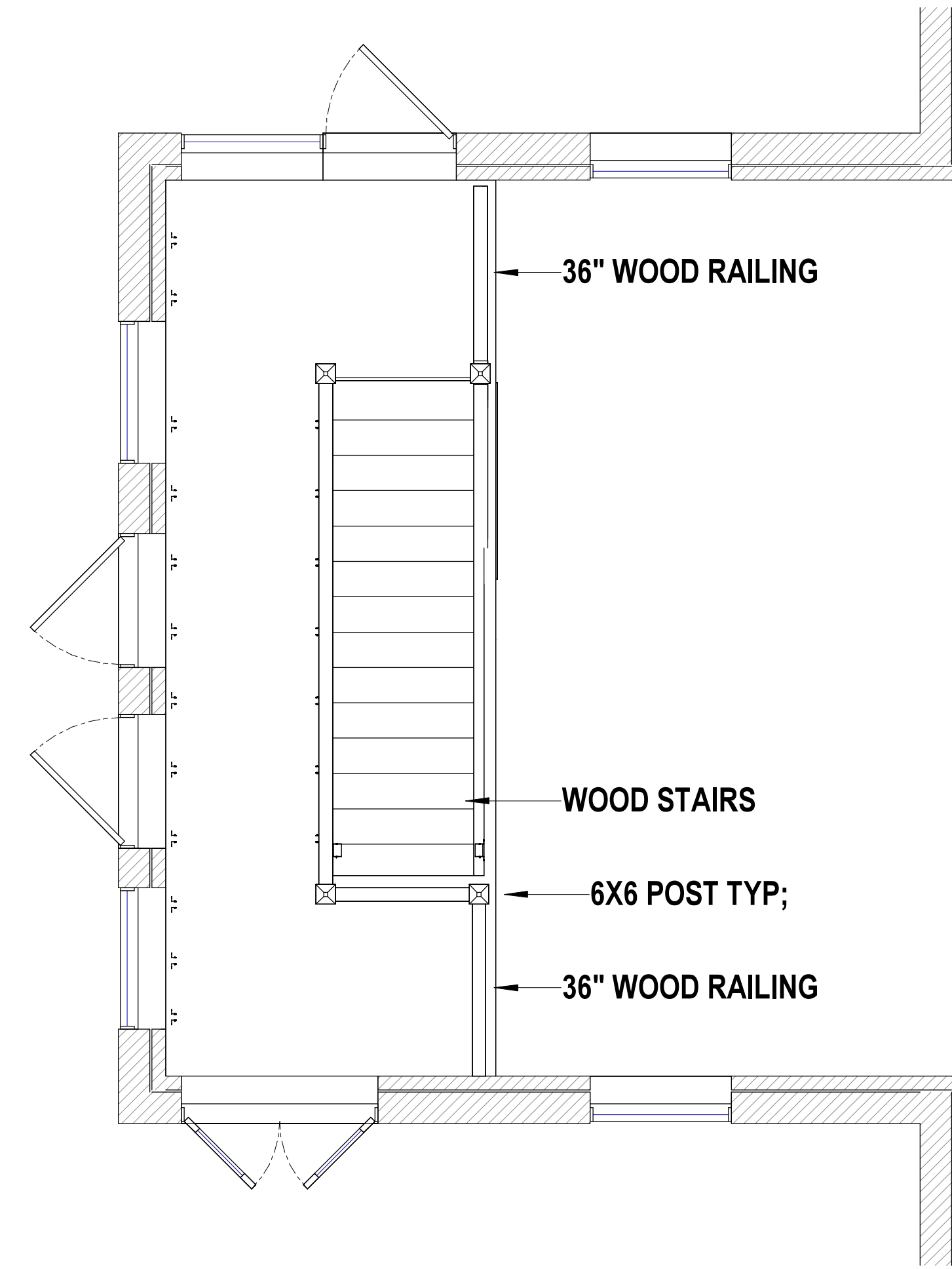
SOUTH STAIR DETAIL 4



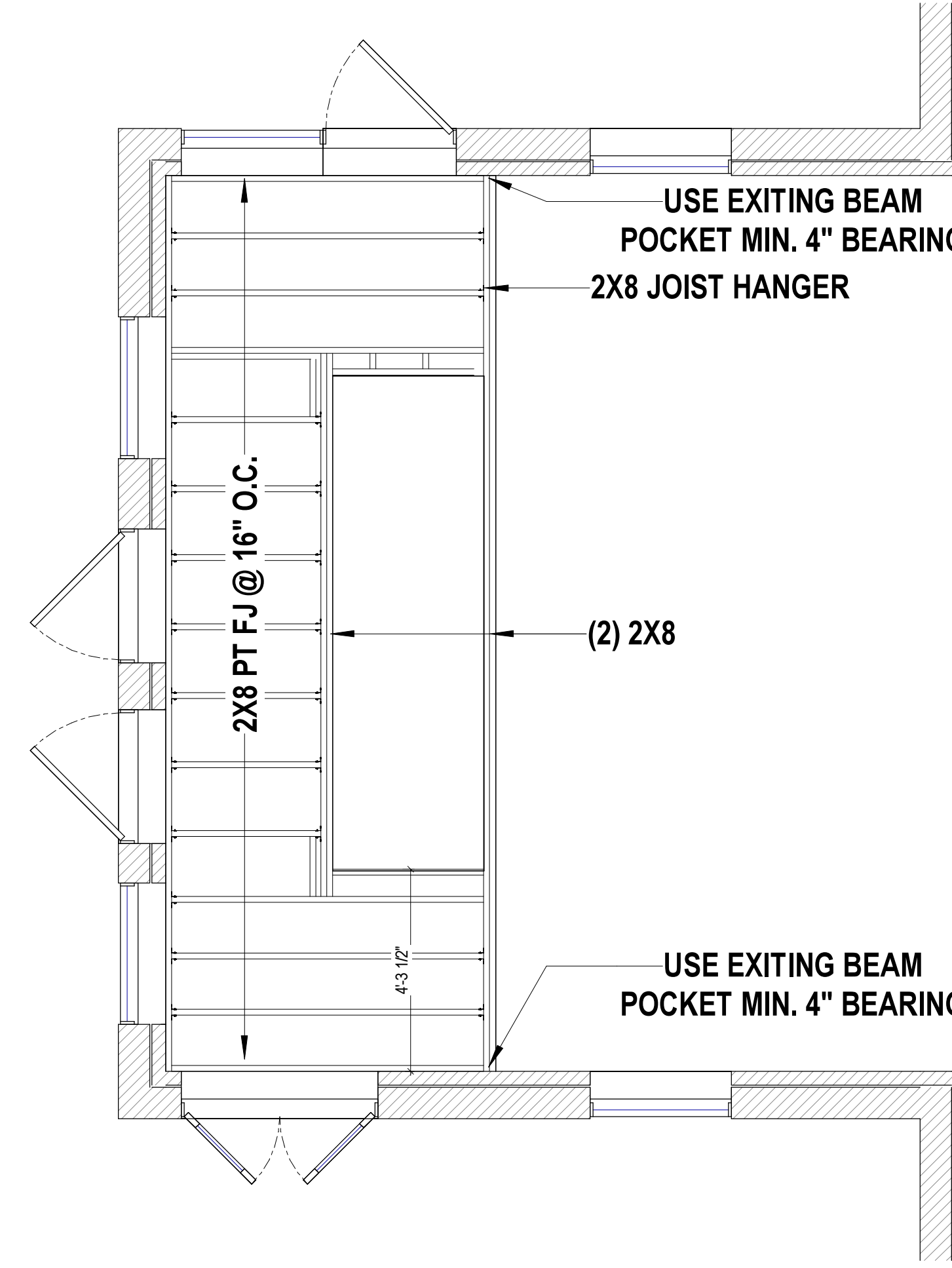
SOUTH STAIR FRAMING PLAN 4



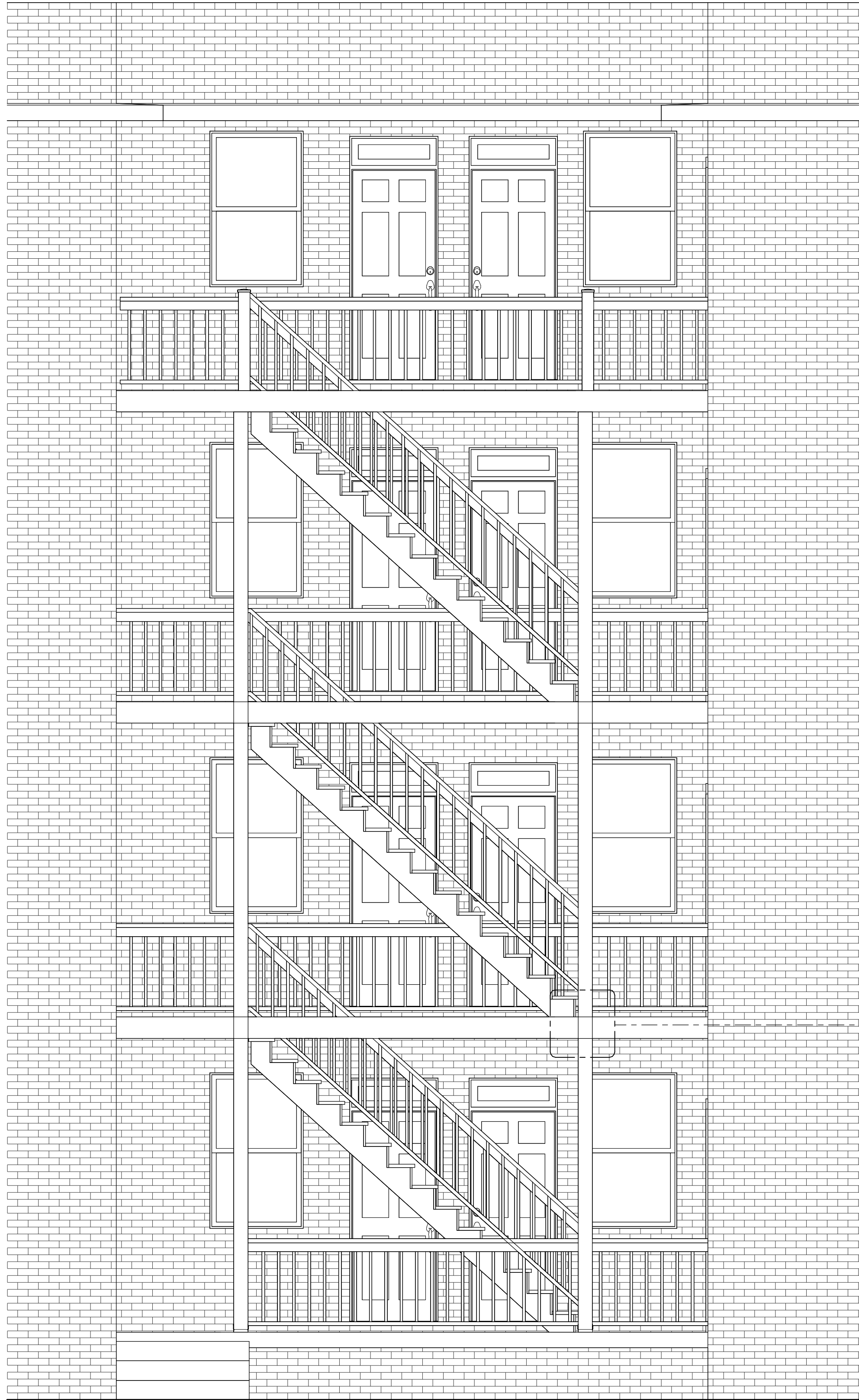
4TH FLOOR PLAN



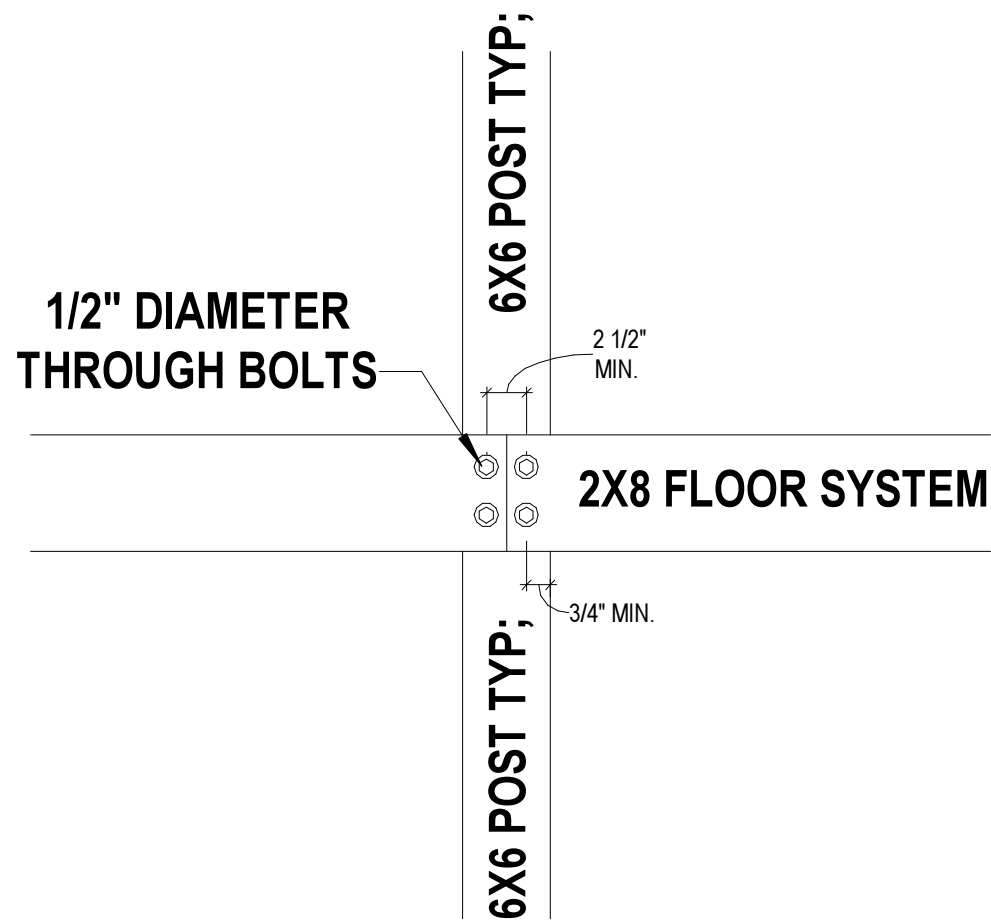
NORTH STAIR DETAIL 4



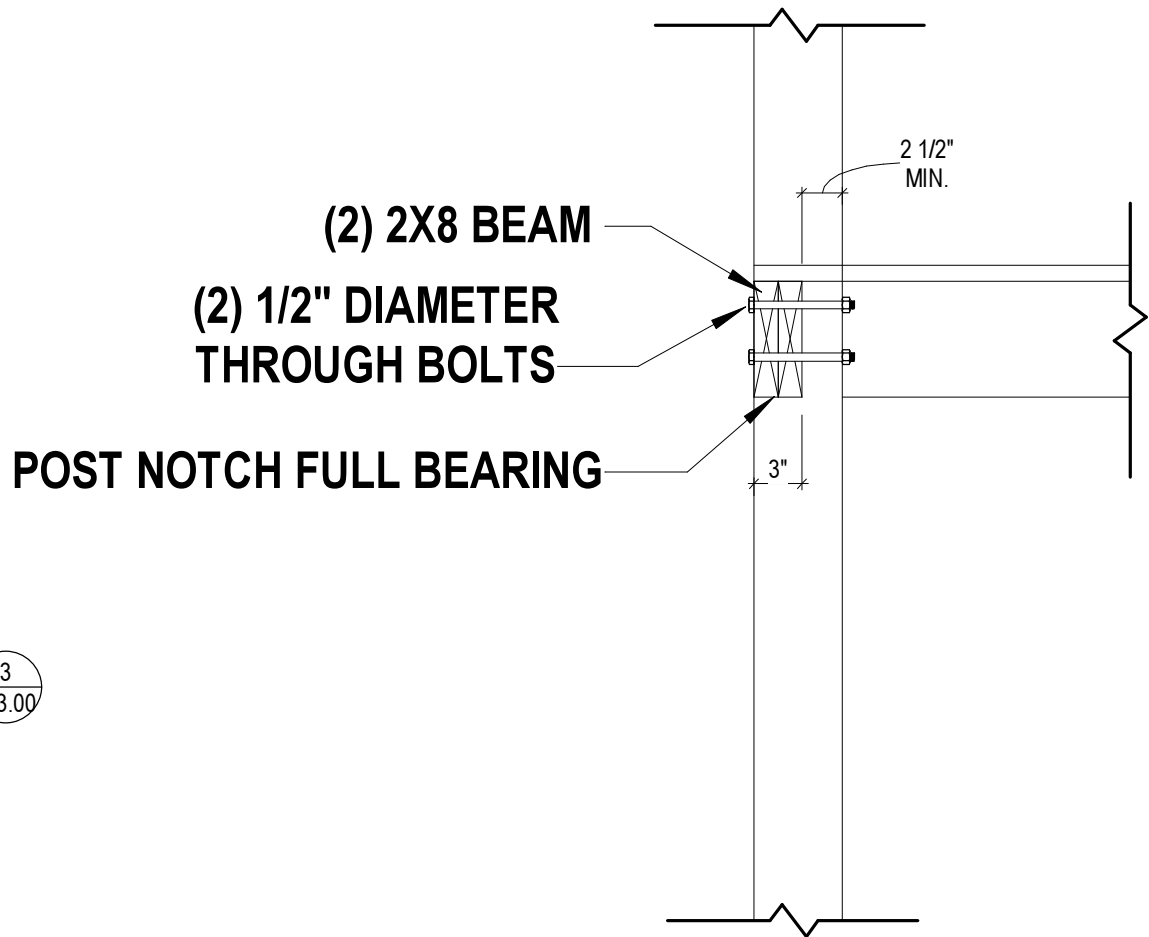
NORTH STAIR FRAMING PLAN 4



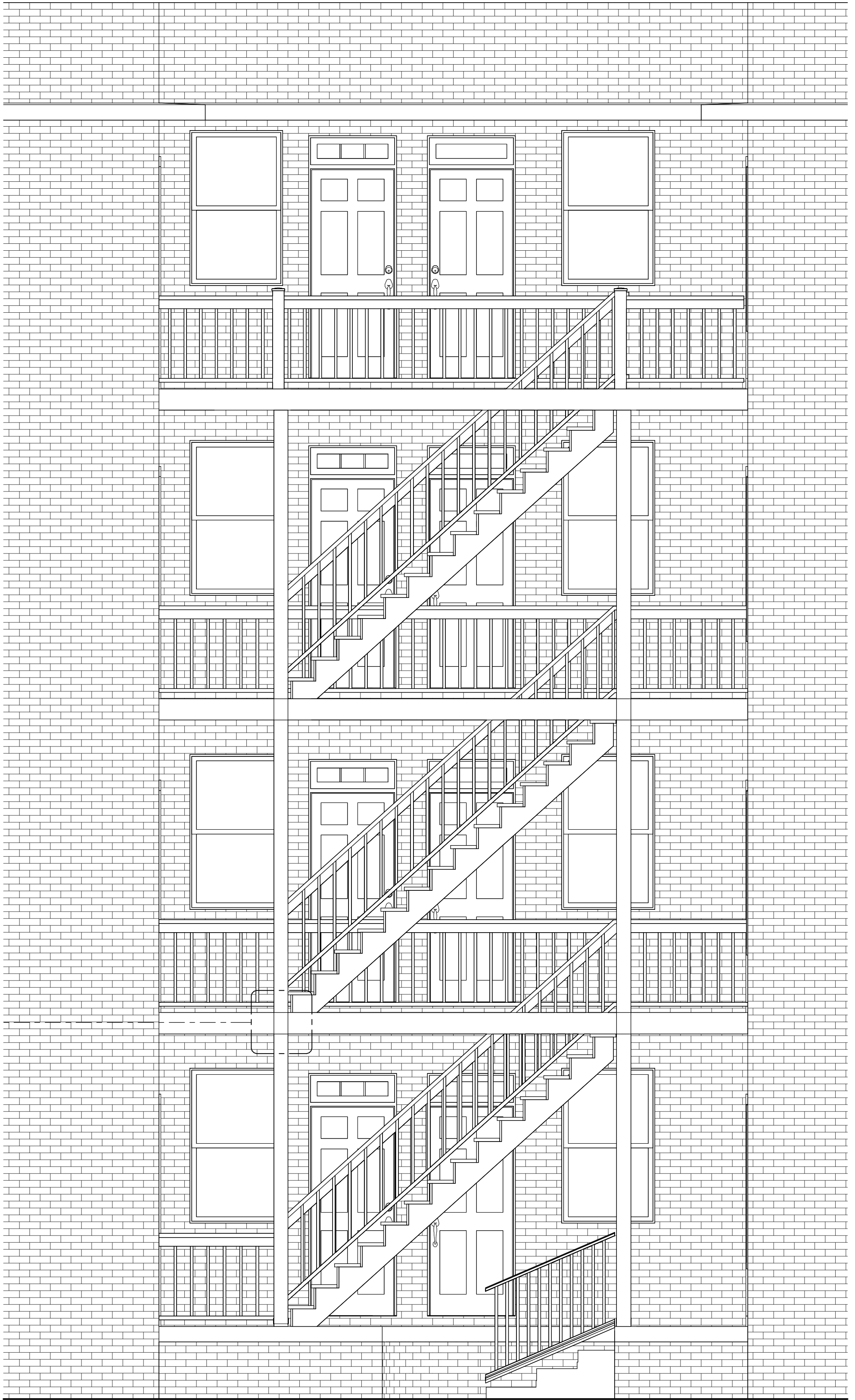
SOUTH ELEVATION



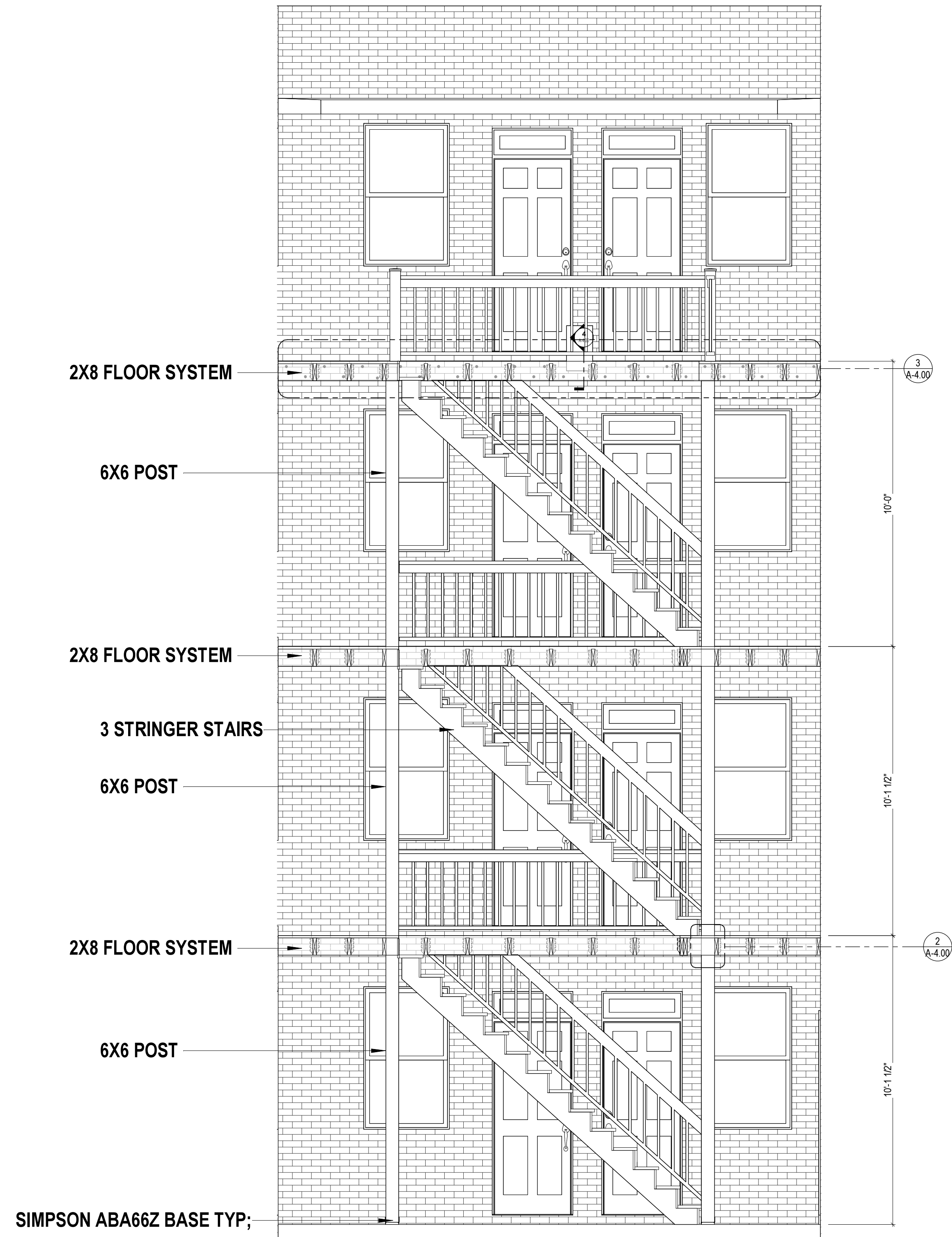
BEAM SPLICE DETAIL R507.5.1 TYP



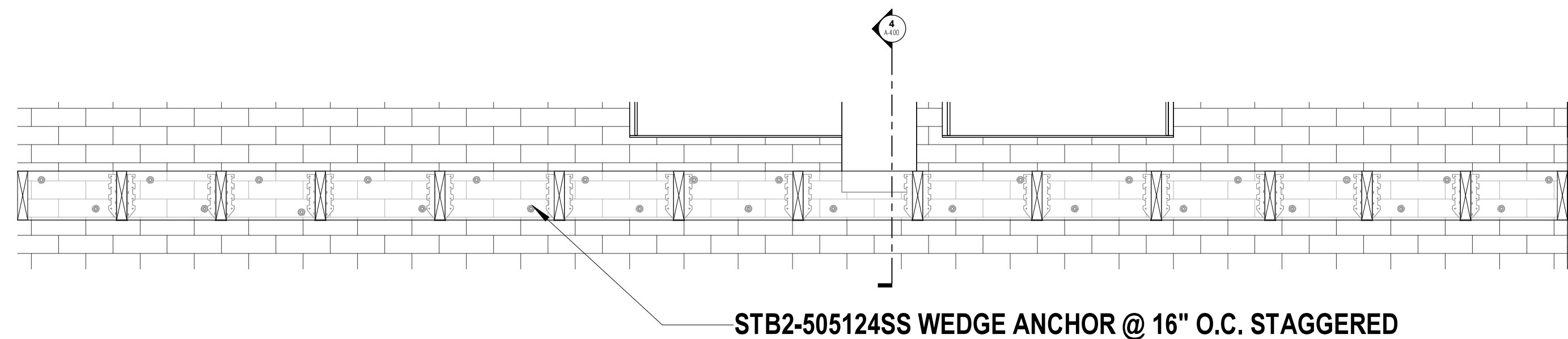
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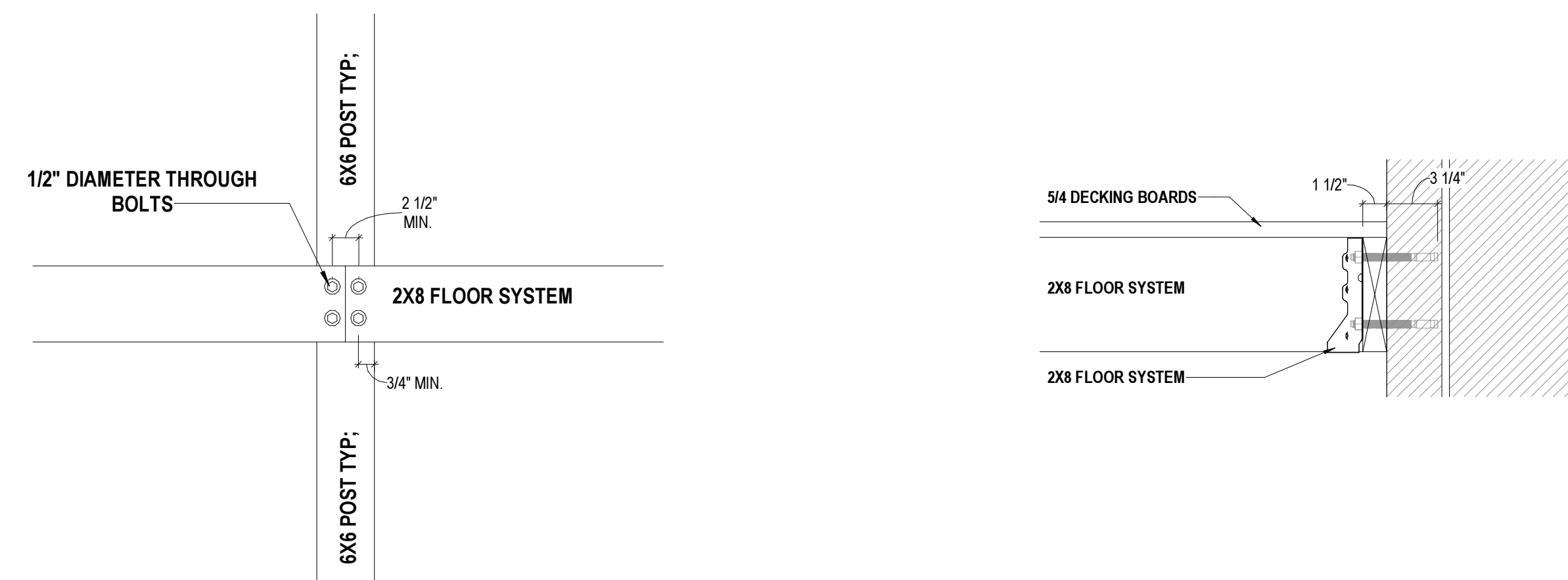
NORTH ELEVATION



TYPICAL SECTION VIEW

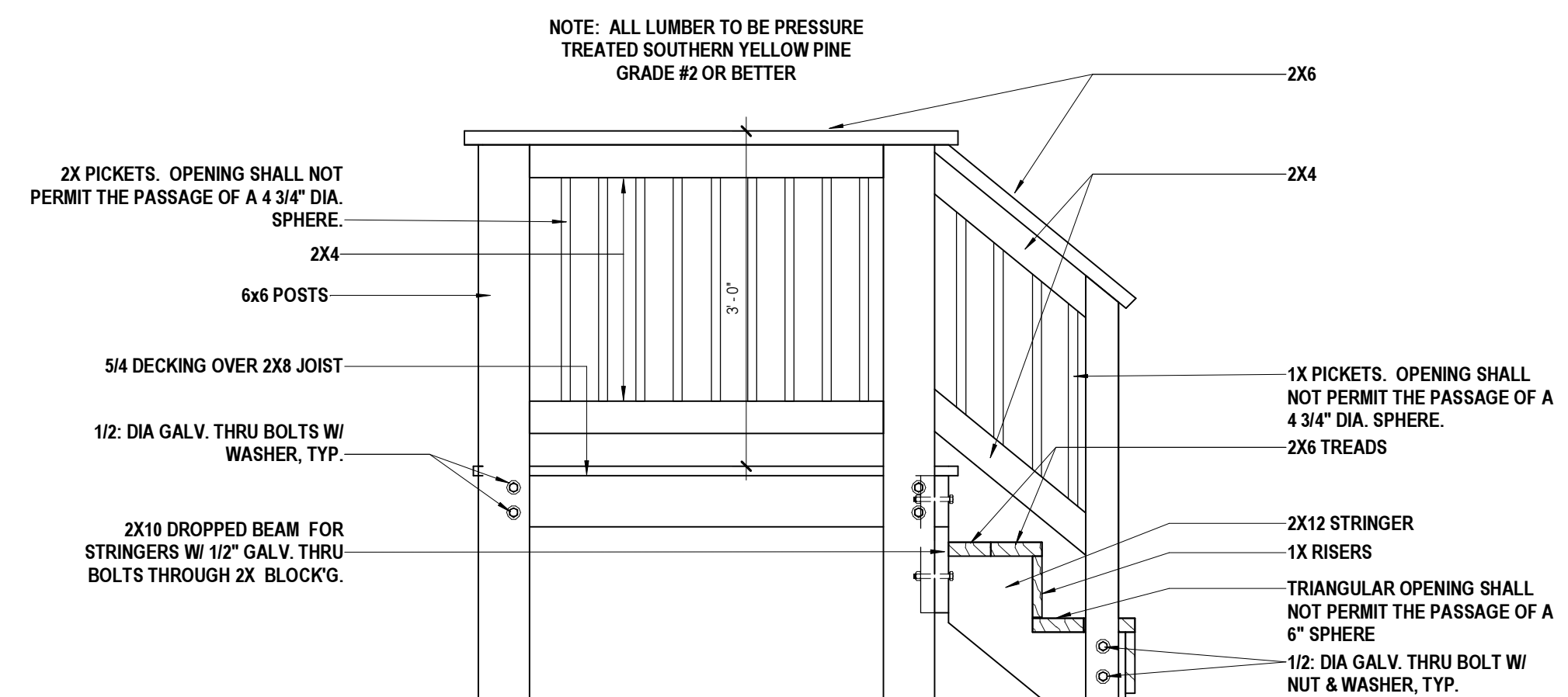


R507.9.1.3 LEDGER TO BAND DETAIL TYP



BEAM SPLICE DETAIL R507.5.1 TYP 2

LEDGER CONNECTION



STAIR AND LANDING DETAIL