



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-7550
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: 2312 BURTON ST.

Historic District: _____

Applicant Information Billing Contact

Name: Craig M. Harris

Email: act.contracting@gmail.com

Phone: 804-539-9372

Company: ACT Contracting, LLC

Mailing Address: 13926 Hull Street Rd
PMB 121, Midlothian VA 23112

Applicant Type: Owner Agent Lessee

Architect Contractor Other (specify): _____

Owner Information Billing Contact

Same as Applicant

Name: Jamie C Barton

Email: clarity.renovation@outlook.com

Phone: 434-294-8010

Company: _____

Mailing Address: 6307 West Branch
Midlothian, VA 23112

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Description (attach additional sheets if needed):

Construct a deck (appx 6x10) beneath the two windows, Remove the two windows shown, install 2 ea single doors in each opening. Doors will be standard. Full glass view, steel or fiberglass exterior doors.

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

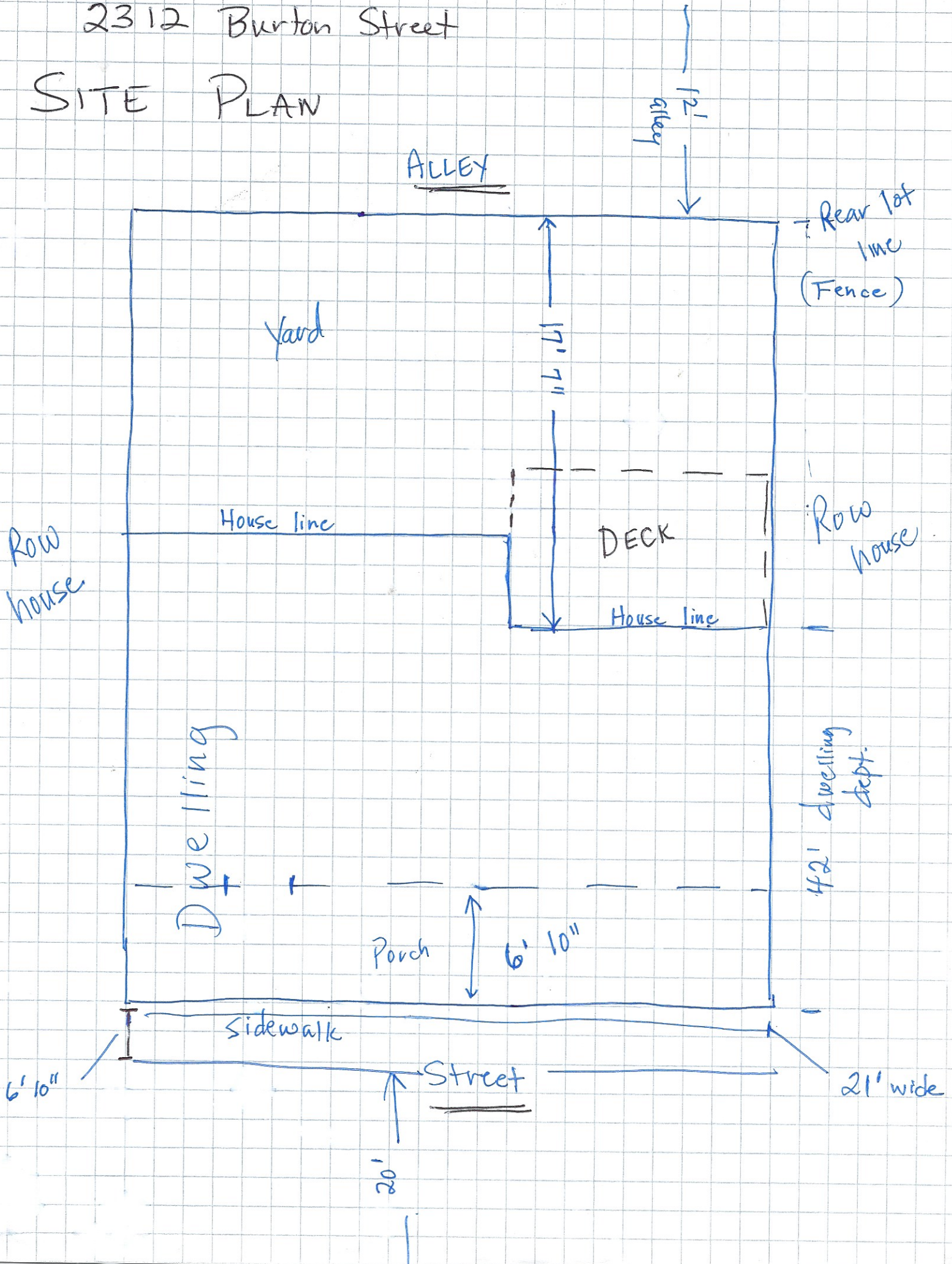
Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Jamie C Barton

Date 10/10/22

2312 Burton Street

SITE PLAN

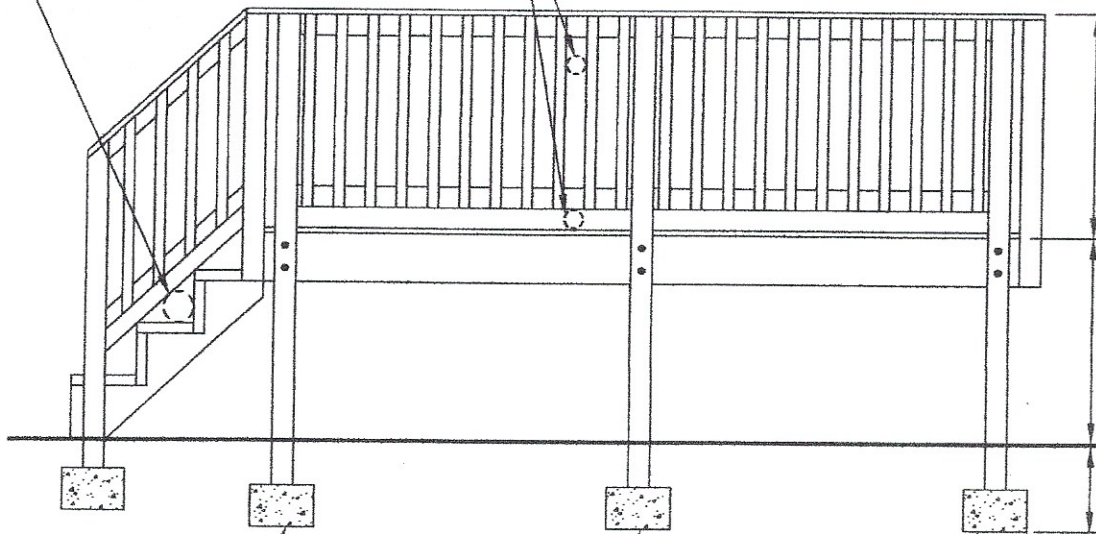




Elevations For Flush Deck

Triangular openings in stair
guardrail shall not allow
passage of a 6" diameter
sphere.

Openings in guardrail shall
not allow passage of a 4"
diameter sphere.



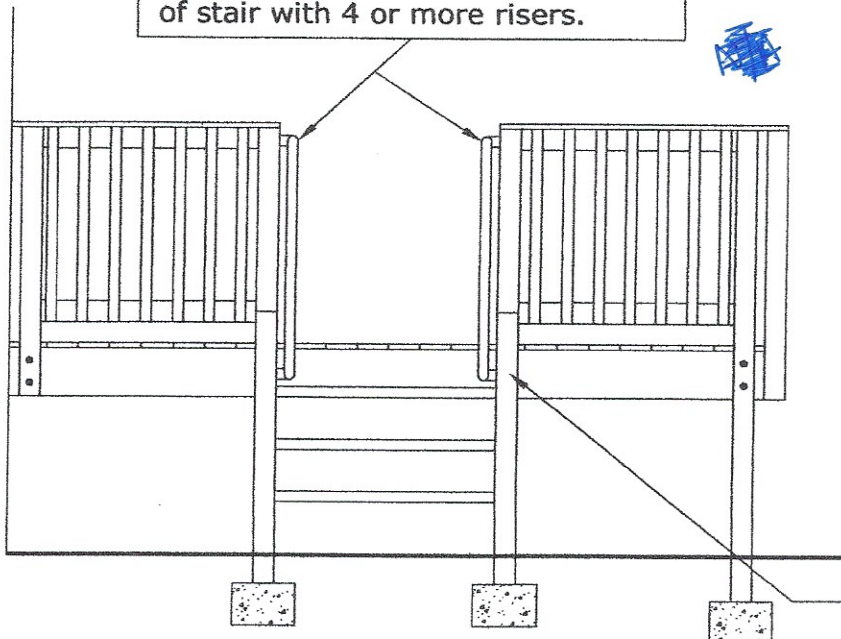
36" min. guardrail
height (guardrails
req'd for deck heights
30" or more above
grade)

Height Above Grade:
___ ft., ___ in.

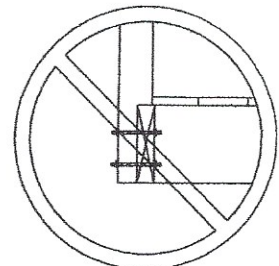
Footing Depth:
___ in.

Footing size (Typ): 20 " long x 20 " wide x 10 " thick

Handrails req'd on at least one side
of stair with 4 or more risers.



Sandwiching girder between
deck post is PROHIBITED

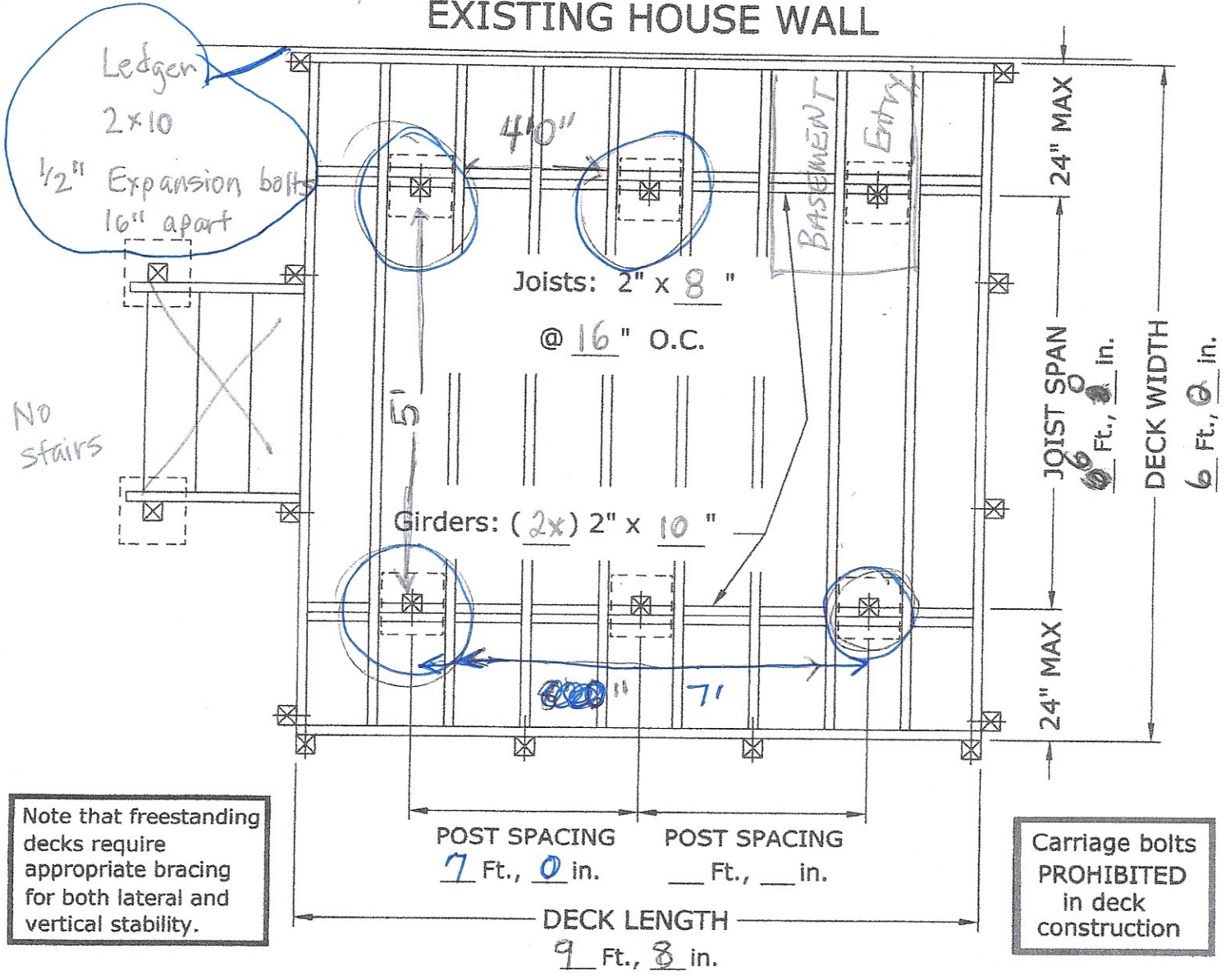


Notching of deck posts
is PROHIBITED

See Stair Attachment Details

No Steps

EXISTING HOUSE WALL



Note that freestanding decks require appropriate bracing for both lateral and vertical stability.

Carriage bolts PROHIBITED in deck construction

Deck Specifications

Post Size: 4 x 4 or X 6 x 6

Footing: 12" x 12" x 8" Solid Pier Block; or 20" x 20" x 10" concrete

Footing Depth: 24" in.

Decking: X 5/4 boards; 2 x boards

Deck Height above Grade: 12 ft., 0 in.

Roof over deck

