

INTRODUCED: April 25, 2022

AN ORDINANCE No. 2022-126

To authorize the special use of the property known as 300 West Leigh Street for the purpose of a two-family attached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: MAY 23 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 300 West Leigh Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of a two-family attached dwelling, which use, among other things, is not currently allowed by sections 30-412.4(3), concerning lot area and width, density, and unit width, 30-412.5(2)(b), concerning side yards, 30-412.5(2)(c), concerning rear yards, 30-412.6, concerning lot coverage, and 30-710.1(3), concerning the number of off-street parking spaces required, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: 8 NOES: 0 ABSTAIN: _____

ADOPTED: MAY 23 2022 REJECTED: _____ STRICKEN: _____

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 300 West Leigh Street and identified as Tax Parcel No. N000-0210/031 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Map Showing the Improvements on ” [sic] 300 W. Leigh Street in the City of Richmond, VA.,” prepared by Virginia Surveys, and dated July 29, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a two-family attached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “300 W Leigh St Renovation,” prepared by Dobrin Homes, with sheets A00 and A.01 dated October 12, 2021, sheets A.02 and A.04 undated, and sheet A.03 dated December 12, 2021, and hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a two-family attached dwelling, substantially as shown on the Plans.

(b) No less than one off-street parking space shall be provided for the Special Use, substantially as shown on the Plans.

(c) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(d) All elevations and site improvements shall be substantially as shown on the Plans. The building siding material shall consist of brick masonry.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

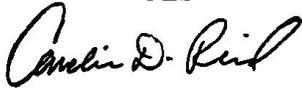
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:



Carolin D. Reed
City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2022.0057

O & R Request

DATE: March 14, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 300 West Leigh Street for the purpose of a two-family attached dwelling, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 300 West Leigh Street for the purpose of a two-family attached dwelling, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit for the purpose of for the purpose of a two-family attached dwelling, with off-street parking, within an R-6 Single-Family Attached Residential zoning districts. The proposed use does not meet the current zoning requirements within sections 30-412.4(3), 30-412.6, 30-412.5(2)b, 30-412.5(2)c, 30-710.1(3), concerning lot area and width, lot coverage, side yards, rear yards, and off-street parking, respectively. A Special Use Permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its May 2, 2022, meeting.

BACKGROUND: The property consists of a 3,100 sq. ft. (.07 acre) parcel of land. The property is located in the Jackson Ward neighborhood, as well as, the Jackson Ward City Old and Historic District. The property is improved with a two story, 3,198 sq. ft., single-family attached dwelling constructed in 1900.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Neighborhood Mixed-Use which is defined as "Existing or new highly-walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses."

Intensity: Building heights are generally two to four stories. Buildings taller than four stories may be found along major streets. Parcels are generally between 1,500 and 5,000 sq. ft.

Primary Uses: Single-family houses, accessory dwelling units, duplexes, small multi-family buildings (typically 3-10 units), and open space.

Secondary Uses: Large multi-family buildings (10+units), retail/office/personal service, institutional, cultural, and government. (p. 56)

The current zoning for the property in question is R-6 Single-Family Attached Residential. Adjacent properties are located within primarily R-4 Single-Family Residential with some R-53 Multifamily Residential directly north and adjacent to the property. The density of the proposed two-family attached dwelling would be approximately 29 units per acre.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: April 11, 2022

CITY COUNCIL PUBLIC HEARING DATE: May 9, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
May 2, 2022

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application Form, Applicant's Report, Draft Ordinance, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 300 W Leigh Street Date: 10/25/2021
 Tax Map #: N0000210031 Fee: \$300
 Total area of affected site in acres: 0.071

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-6

Existing Use: Single-Family Residential

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Conversion of existing structure to a two-family dwelling.

Existing Use: Single Family Residential

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: BZA 29-74, BZA 002-04

Applicant/Contact Person: Mark Baker

Company: Baker Development Resources

Mailing Address: 530 East Main Street, Suite 730

City: Richmond

State: VA

Zip Code: 23219

Telephone: (804) 874-6275

Fax: ()

Email: markbaker@bakerdevelopmentresources.com

Property Owner: Carver Homes LLC

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 304 E Main Street

City: Richmond

State: VA

Zip Code: 23219

Telephone: ()

Fax: ()

Email: _____

Property Owner Signature

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

October 25, 2021

Revised: February 24, 2022

Special Use Permit Request

300 W Leigh Street, Richmond, Virginia

Map Reference Number: N000-0210/031

Submitted to:

City of Richmond

Department of Planning and Development Review

Land Use Administration

900 East Broad Street, Suite 511

Richmond, Virginia 23219

Submitted by:

Baker Development Resources

530 East Main Street, Suite 730

Richmond, Virginia 23219

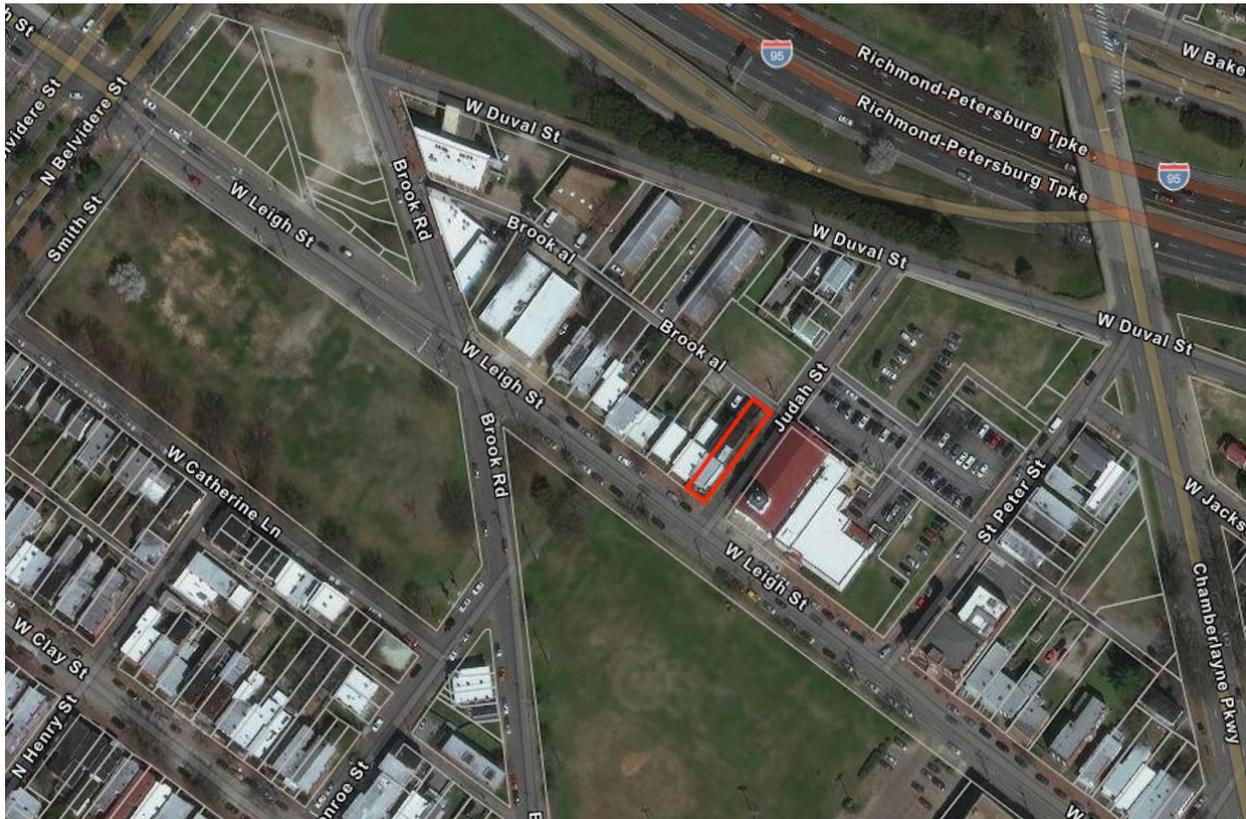
Introduction

The property owner is requesting a special use permit (the "SUP") for 300 W Leigh Street (the "Property"). The SUP would authorize the conversion of the existing single-family dwelling on the Property into a two-family dwelling, which does not conform to some the underlying R-6 Single-Family Attached Residential district zoning requirements applicable to the Property.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the northwest corner of the intersection of W Leigh Street and Judah Street. The Property is referenced by the City Assessor as tax parcel N000-0210/0231, is 25' wide by 124' deep and contains approximately 3,100 square feet of lot area. The Property is currently improved with a large single-family dwelling. Per the City of Richmond Assessor's records, the existing structure on the lot is two stories in height and includes 3,198 square feet of finished living area. Access is provided by means of an east-west alley located to the rear of the Property.



The properties on the block include a mix of single- and two-family attached and detached dwellings. The western corner of the block is occupied with the City of Richmond's Fire Station Number 5. To the east, across Judah Street is the Ebenezer Baptist Church and to the south, across W Leigh Street, lies Abner Clay Park. Properties located to the rear of the Property, along Duval Street, currently consist of two apartment complexes and two single family detached homes along with a parcel on which a multi-family dwelling has been recently approved by a SUP. To the north of Duval Street lies the I-95/I-64 Richmond-Petersburg Turnpike right of way.

EXISTING ZONING

The Property and those in the immediate vicinity along W Leigh Street are zoned R-6 Single-Family Attached Residential. To the west, at the intersection of W Leigh and N Belvedere Streets are properties underlain by R-73 Multifamily Residential and B-2 Community Business Districts. To the north, along Duval Street lies an R-53 Multifamily Residential district. The Property and those to the east and south are also located within the Jackson Ward Old and Historic District. The Old and Historic designation ensures that any modifications to the exterior of the dwelling will be in character with other dwellings in the neighborhood as they would require approval from the Commission of Architectural Review.

TRANSPORTATION

Located 0.2 miles from the Property, less than a five-minute walk, is the Chamberlayne and Price bus stop which serves the 1 bus line which is a "High Frequency Route" running every 15 minutes from North Richmond to the Hull Street Corridor. The Property is also located 0.4 miles from the Arts District Pulse BRT bus stop on Broad Street providing connectivity throughout the City.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Residential" use for the Property. This future land use designation allows for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages developments that reinforce a gridded street pattern to increase connectivity. Two-family dwellings ("duplexes") are contemplated as a secondary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options."
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to "Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers."
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).

- Page 150 (Inclusive Housing Chapter), Objective 14.1 to “Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city.”
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to “Increase the number of mixed-income communities along enhanced transit corridors.”
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to “Encourage more housing types throughout the city and greater density along enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance. “
 - e) Allow the development of middle housing (2- to 4- unit buildings) by-right within 1/2 mile of high-frequency transit stops.
- Page 155 (Inclusive Housing Chapter), Objective 14.8 to “Develop inclusionary and equitable housing options for our gentrifying neighborhoods to prevent involuntary displacement.”
- Page 159 (Thriving Environment Chapter) Objective 15.1 to “Reduce air pollution related to transportation.”
 - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards”
- Page 100 (High Quality Places Chapter), Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

Proposal

PROJECT SUMMARY

The proposed development includes the conversion of the existing single-family dwelling on the Property into a two-family dwelling.

PURPOSE OF REQUEST

The Property is a single legal lot of record from a zoning perspective and includes a single-family dwelling containing 3,198 square feet of finished floor area according to Richmond City Assessor's records. A 504 square foot attached garage is also located at the rear of the existing dwelling. As the dwelling is especially large, the Property owner would now like to convert the structure into a two-family dwelling. While two-family attached dwellings are permitted within the R-6 district and the proposed renovation will not expand the exterior of the existing structure, some of the underlying feature requirements including lot width, lot area, lot coverage, two parking spaces, and side and rear yard setbacks are not met and, therefore, a SUP is required.

In exchange for the SUP, the intent of this request is to ensure a high-quality redevelopment that is consistent with the objectives of the Master Plan. The overall project would be an appropriate and efficient reuse of the existing, exceptionally large building on the Property. The lack of changes to the exterior ensure it would be compatible with the existing development in the vicinity. The quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right on the Property.

PROJECT DETAILS

The proposed two-family dwelling has been thoughtfully designed to retain the existing exterior and footprint of the single-family structure currently located on the Property in order to remain compatible with other dwellings in the area. It would be two stories in height and retain the traditional building style found in the vicinity. To remain consistent with the existing buildings in the area, the dwelling has been designed to retain the single front door in order to present as a single-family dwelling from the street. While no exterior changes are proposed for the dwelling, the location of the dwelling within the Jackson Ward City Old and Historic District would ensure that any future changes to the exterior of the structure would require review from the Commission of Architectural Review.

The dwelling would be configured with units in the front and rear, each occupying two floors. The front unit will contain three bedrooms and four bathrooms along with an open kitchen and living area and separate dining area. The rear unit would contain three bedrooms and three-and-one-half bathrooms. Entry to the front unit would be provided by the main entrance along W Leigh Street and also through an entrance along Judah Street. The rear unit would be accessed by a separate entrance located toward the rear of the structure also along Judah Street. Outdoor living area will be provided for the front unit with a second-story deck facing Judah Street and for the rear unit with an accessible roof above the existing garage. One parking space will be provided in the existing garage at the rear of the parcel. The dwelling will retain the existing exterior quality building materials, including a brick exterior, that provide durability and consistency with other dwellings found in the area.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit for high-quality conversion of the existing dwelling will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation related to the proposed dwellings and the proposed off-street parking will result in no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services.

- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed dwelling will retain the existing exterior of the structure. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

Summary

In summary we are enthusiastically seeking approval for the renovation and conversion of the existing dwelling into a two-family dwelling. The dwelling has been thoughtfully designed in order to provide appropriate, high-quality dwelling units. The request offers compatibility with goals contained within the City's Master Plan and would contribute to the ongoing revitalization of the neighborhood, upgrading the Property while maintaining a desirable variation in housing style and density in the vicinity and providing for continued economic diversity in housing options within the neighborhood. It will help maintain an active, pedestrian friendly traditional neighborhood streetscape in the vicinity. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

Sheet Index

Layout ID	Layout Name	Revision	Issued	Published	Remark
A00	Sheet Index		<input type="checkbox"/>	<input type="checkbox"/>	
A.01	EXISTING FLOOR PLANS		<input type="checkbox"/>	<input type="checkbox"/>	
A.02	EXISTING ELEVATIONS		<input type="checkbox"/>	<input type="checkbox"/>	
A.03	AFTER RENOVATION FLOOR ...		<input type="checkbox"/>	<input type="checkbox"/>	
A.04	AFTER RENOVATION ELEVATI...		<input type="checkbox"/>	<input type="checkbox"/>	

300 W LEIGH ST RENOVATION

PROJECT DATA

CODE NOTES

- 1.- 2012 VIRGINIA UNIFORM BUILDING CODE
2012 IRC
 - 2.- BUILDING USE GROUP : RESIDENTIAL - SINGLE FAMILY
 - 3.- BUILDING AREA: 1ST FLOOR 2162 SQFT
2ND FLOOR 1574 SQFT
- TOTAL 3736 SQFT

DESIGN LOADS

SNOW	25 P.S.F.
DEAD LOAD	10 P.S.F.
SEISMIC	0.5 P.S.F.
WIND	90 P.S.F.
LIVE (BEDROOMS)	40 P.S.F.
DEAD	10 P.S.F.
LIVE (BEDROOMS)	30 P.S.F.
GARAGE	50 P.S.F.
STAIRS	40 P.S.F.

NOTE

THESE DRAWINGS ARE INTENDED TO PORTRAY THE WORK SHOWN, THEY DO NOT SHOW EVERY CONSTRUCTION DETAIL, THE GENERAL CONTRACTOR BY TAKING ON THIS PROJECT, IS RESPONSIBLE FOR ALL THE CONSTRUCTION. THE G.C. ACKNOWLEDGES THAT IS EXPERINENCED WITH CONSTRUCTION OF THIS TYPE AND FULLY CAPABLE OF IMPLEMENTING SUCH WORK SO AS TO IMPLEMENT IT'S CONSTRUCTION IN A TIMELY MANNER



<p style="text-align: center;">DOBRIN HOMES</p> <p>304 E MAIN ST RICHMOND VA 23219</p>	<p>Modified by A.M.</p> <p>Checked by</p>	<p>Date 10/12/21</p> <p>Date</p>	<p>Drawing Name Sheet Index, Detail</p> <p>Drawing Status</p>
	<p style="text-align: center;">300 W LEIGH STREET</p> <p>300 W LEIGH STREET RICHMOND VA 23220</p>		<p>Drawing Scale 1' = 1'-0"</p> <p>Layout ID A00</p> <p style="text-align: right;">Revision</p>

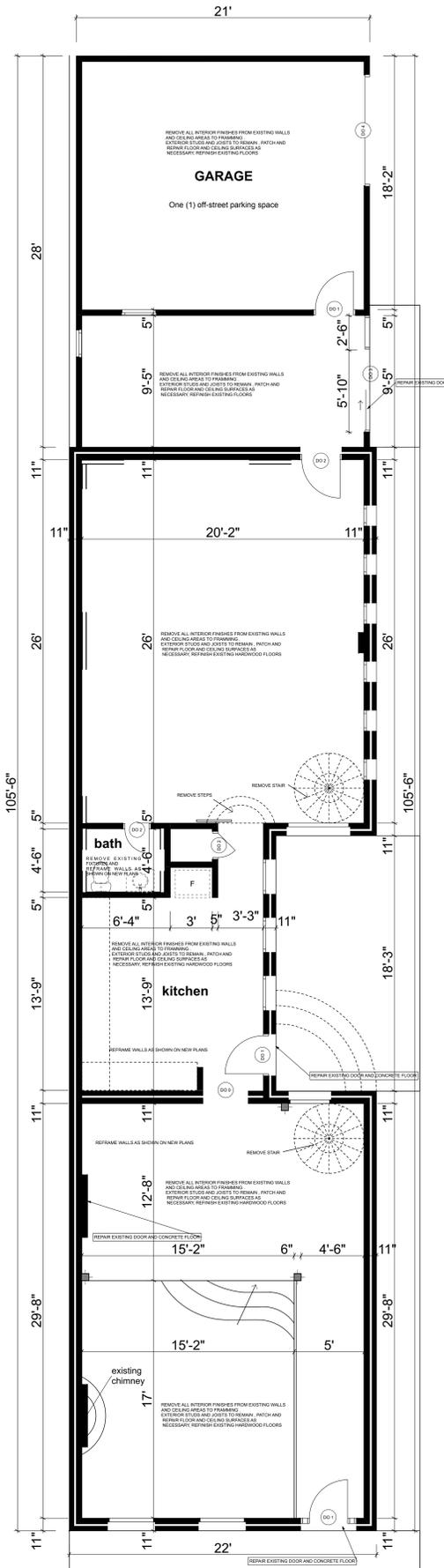
MAXIMUM JOIST SPAN (a)(c)						
SIZE	12" O.C.		16" O.C.		24" O.C.	
	MAXIMUM SPAN	MAXIMUM CANTILEVER (b)	MAXIMUM SPAN	MAXIMUM CANTILEVER (b)	MAXIMUM SPAN	MAXIMUM CANTILEVER (b)
2X6	9'-11"	1'-3"	9'-0"	1'-4"	7'-7"	1'-6"
2X8	13'-1"	2'-1"	11'-10"	2'-3"	9'-8"	2'-5"
2X10	16'-2"	3'-4"	14'-0"	3'-6"	11'-5"	2'-10"
2X12	18'-0"	4'-6"	16'-6"	4'-2"	13'-6"	3'-4"

(a) BASED ON THE 2012 VA-IRC TABLE R507.5 FOR SOUTHERN PINE # 2. FOR OTHER SPECIES, REFER TO TABLE.
 ALL LUMBER IS ASSUMED TO BE P.T. INCLUDING HOUSE BAND BOARDS THAT SUPPORT AN ATTACHED DECK.
 (b) CANTILEVER LENGTH IS BASED ON JOIST SPAN + 40R DEFLECTION, WHICHEVER IS SHORTER.
 (c) BASED ON 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD.

DECKING BOARDS

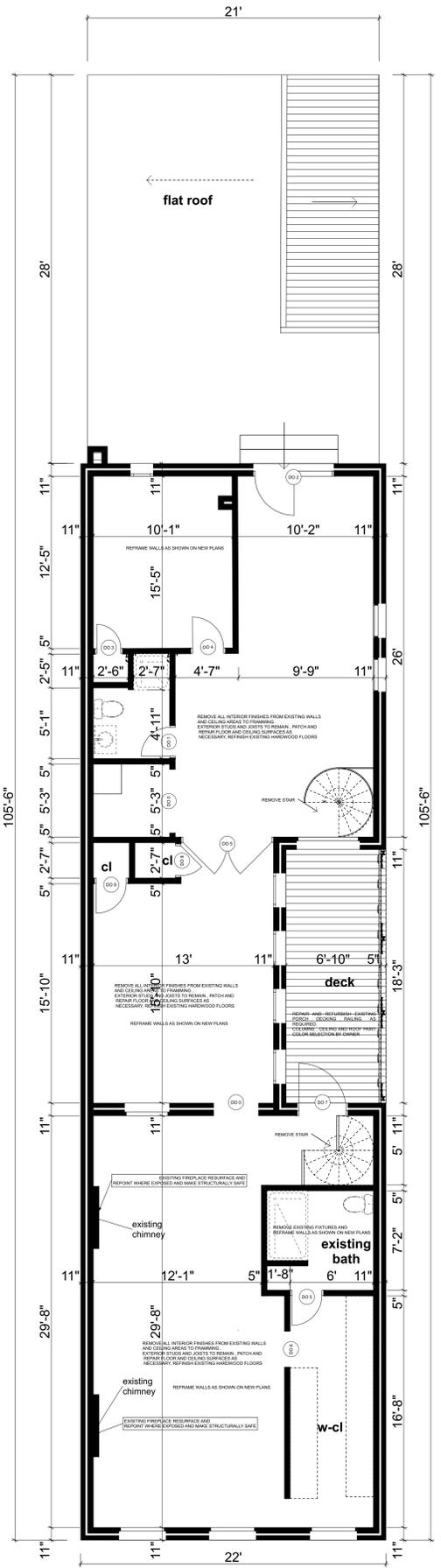
- 1- DECKING BOARDS ARE TYPICALLY 2X6, 5/4 P.T. BOARDS, OR MANUFACTURED OF COMPOSITE MATERIAL.
- 2- ATTACH DECKING BOARDS TO DECK JOISTS WITH 2-8d HDG NAILS, (2) #8 HDG SCREWS, OR PROPRIETARY FASTENERS INTENDED FOR P.T. WOOD.
- 3- DECK BOARDS SHALL BE SPACED APPROXIMATELY 1/8" APART (EDGE TO EDGE).
- 4- DECKING MAY BE APPLIED DIAGONALLY, 2X8 WITH JOIST AT MAXIMUM 16" O.C. OR 5/4 BOARDS WITH JOISTS AT MAXIMUM 12" O.C.
- 5- EACH PIECE OF DECKING MUST BEAR ON AT LEAST 3 JOISTS.

D-04 Detail (1) 1" = 1'-0"



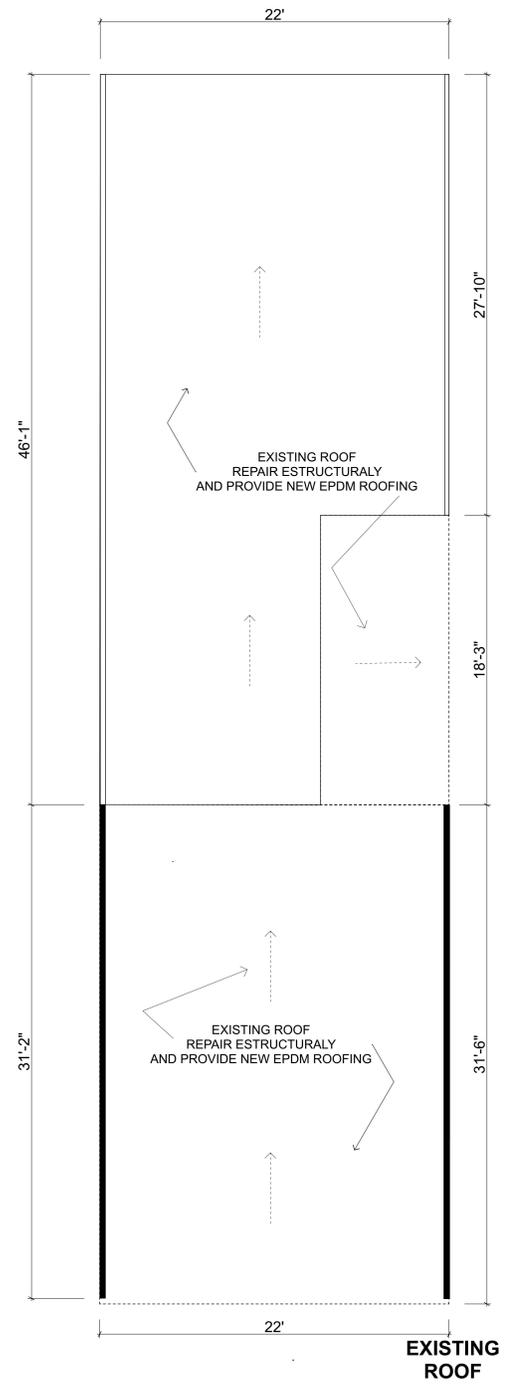
EXISTING 1st FLOOR

1. 1st FLOOR 1/4" = 1'-0"



EXISTING 2nd FLOOR

2. 2ND FLOOR 1/4" = 1'-0"



EXISTING ROOF

3. ROOF 1/4" = 1'-0"

Revision	By	Check	Change Name	Date

Company Title
DOBRIN HOMES
 304 E MAIN ST
 RICHMOND
 VA
 23218
 300 W LEIGH STREET
 RICHMOND
 VA
 23220

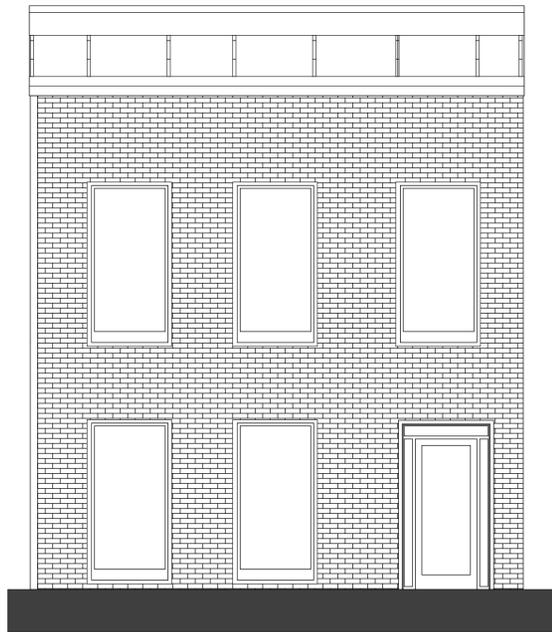
Drawing Name
1st FLOOR, 2ND FLOOR, ROOF, Detail (1)
EXISTING

Modified by
A.M. 10/12/21

Checked by
 Date

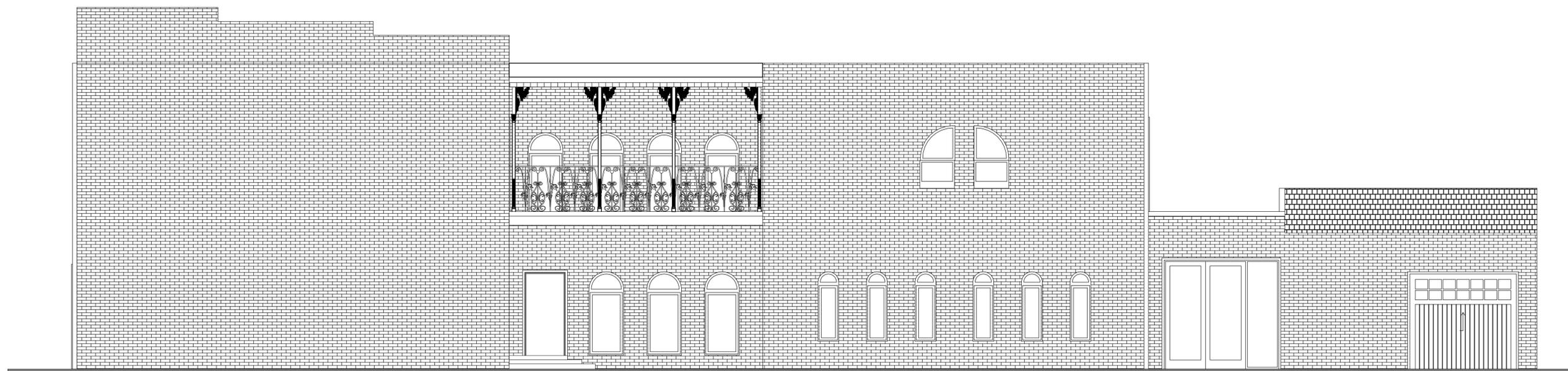
Drawing Scale
1/4" = 1'-0", 1" = 1'-0"

Drawing
A-01
 Revision
REV 0



E-11 Elevation 1/4" = 1'-0"

**AFTER RENOVATION
FRONT ELEVATION**



E-10

Elevation
**AFTER RENOVATION
SIDE ELEVATION**

1/4" = 1'-0"

Revision History			
RevID	CHD	Change Name	Date

Company Title

DOBRIN HOMES
304 E MAIN ST
RICHMOND
VA
23219

300 W LEIGH STREET
300 W LEIGH STREET
RICHMOND
VA
23220

Drawing Name
Elevation

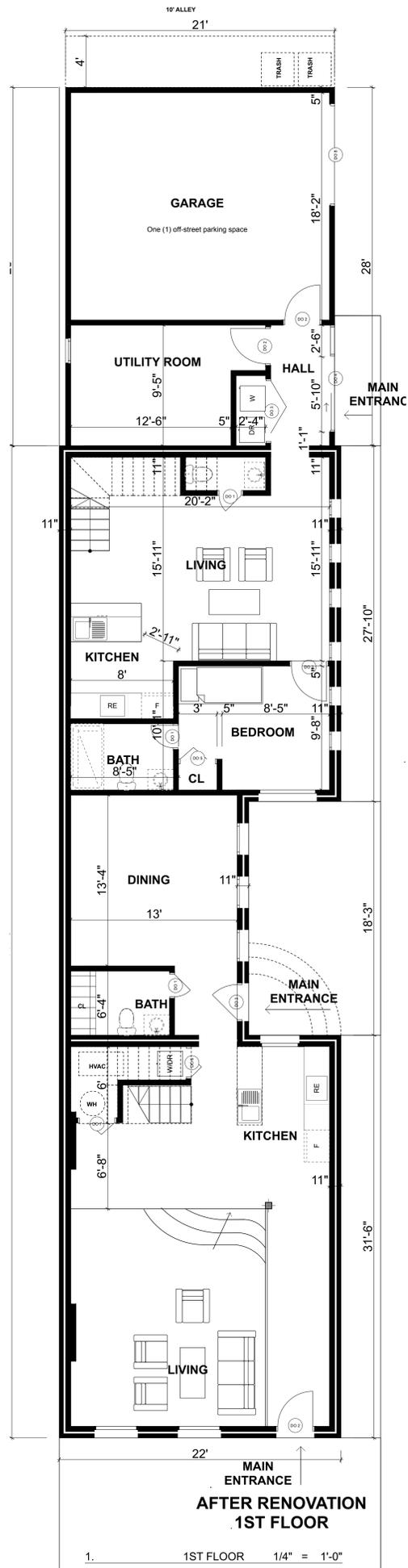
Drawing Status

Modified by _____ Date _____

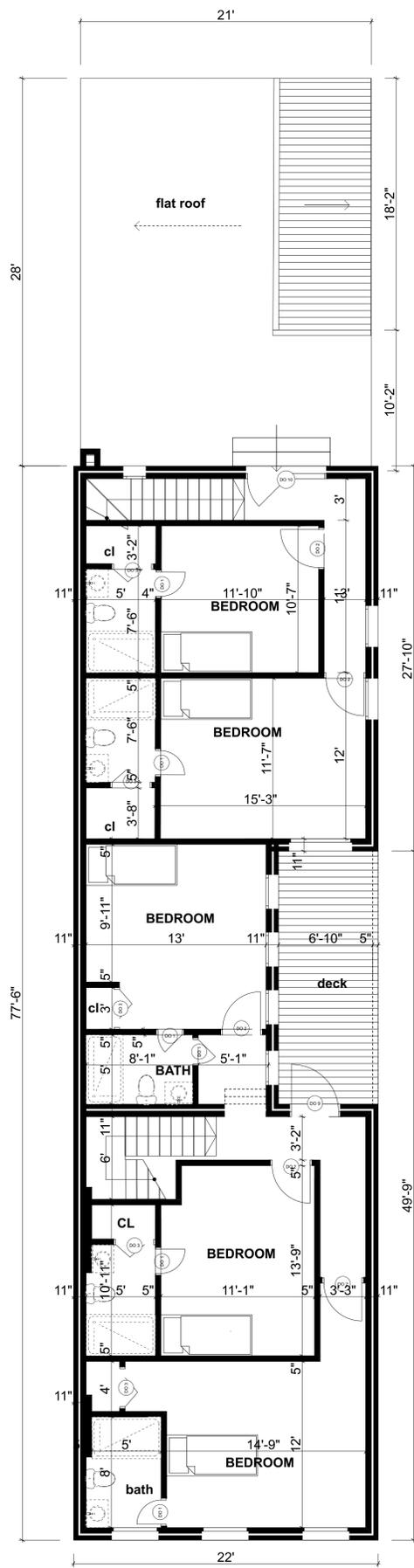
Checked by _____ Date _____

Drawing Scale
1/4" = 1'-0"

Layout ID **A.04** Revision **REV 1**

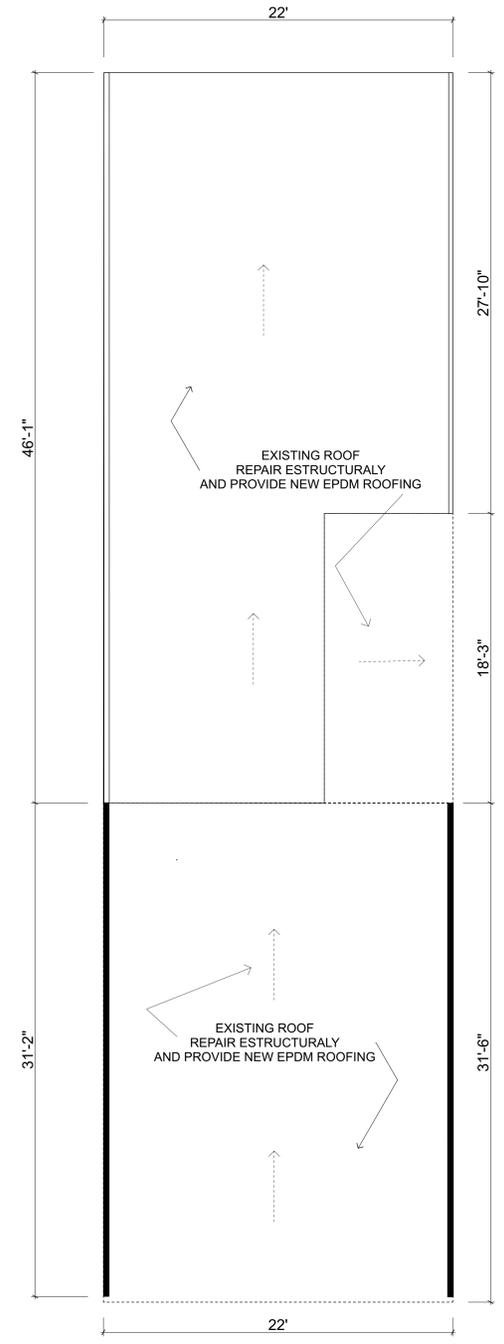


1. 1ST FLOOR 1/4" = 1'-0"



2. 2ND FLOOR 1/4" = 1'-0"

IES-02 Door Schedule		
Hotlink and Element ID	Quantity	W x H Size
DO 0	3	3'x7'
DO 1	9	2'x7'
DO 2	10	3'x7'
DO 3	1	5'x7'
DO 3	5	3'x7'
DO 4	1	8'-4"x7'-10"
DO 5	1	3'x7'
DO 6	1	2'-6"x7'
DO 7	1	3'x5'
DO 8	1	8'x7'
DO 9	1	3'-8"x7'
DO 10	1	5'-10"x7'



AFTER RENOVATION ROOF

3. ROOF 1/4" = 1'-0"

Revision History

Rev#	Desc	Change Name	Date

Company Title
DOBRIH HOMES

304 E MAIN ST
RICHMOND
VA
23218

#Site Address1
300 W LEIGH STREET
#Site City
#Site Country
#Site Postcode

Drawing Name
1ST FLOOR, 2ND FLOOR, ROOF

AFTER RENOVATION

Drawing Status

Modified by
A.M. 12/12/21
Date

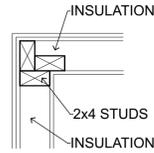
Checked by
Date

Drawing Scale
1/4" = 1'-0"

Drawing
A.03 Revision
REV 1

NOTE:

USE THIS FRAMING DETAIL AT ALL CORNER CONDITIONS IN THE EXTERIOR WALL IN ORDER TO PROVIDE THE MOST EFFECTIVE INSULATION

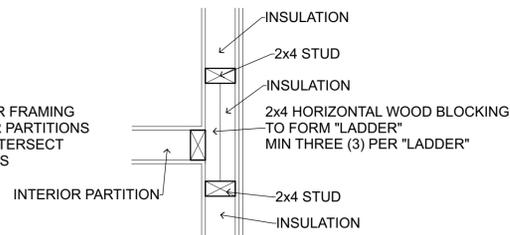


CORNER FRAMING DETAIL

D-01 Detail (1) 1" = 1'-0"

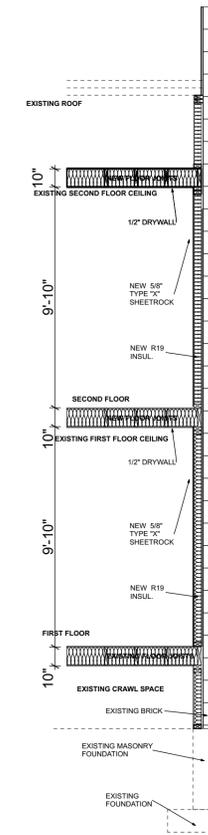
NOTE:

TYPICAL LADDER FRAMING AT ALL INTERIOR PARTITIONS WHERE THEY INTERSECT EXTERIOR WALLS



PLAN FRAMING DETAIL

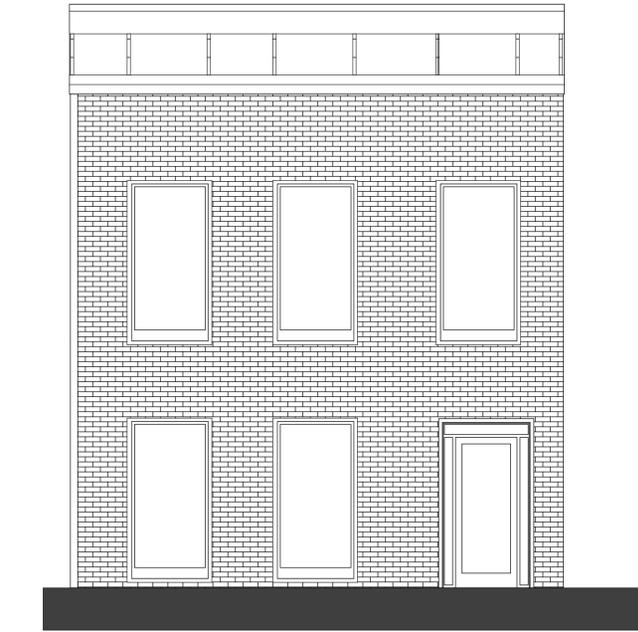
D-02 Detail (1) 1" = 1'-0"



D-03 Detail (2) 1/4" = 1'-0"

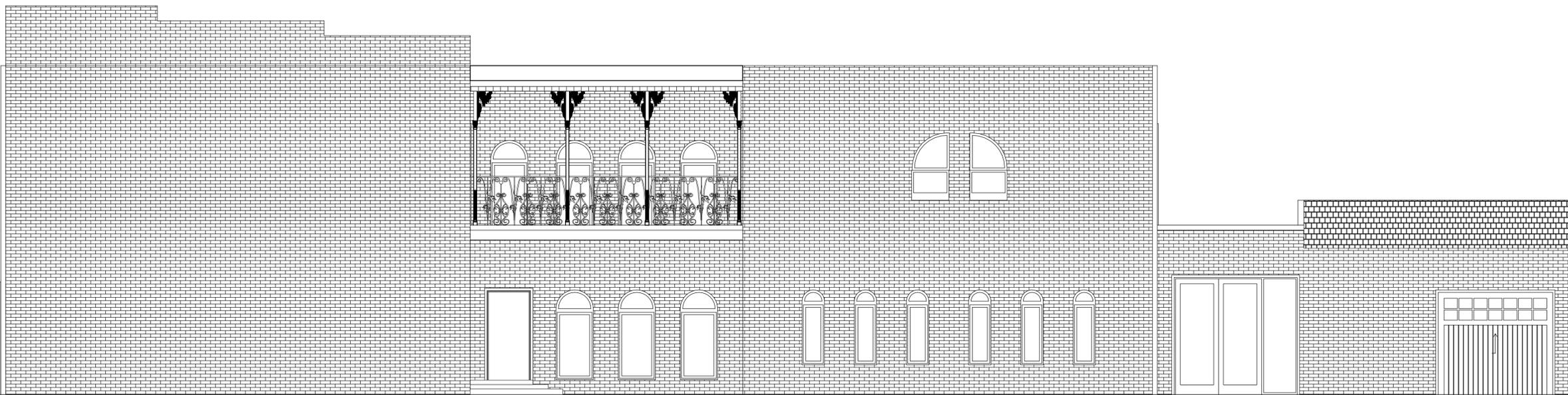
E-11 Elevation 1/4" = 1'-0"

EXISTING FRONT ELEVATION



E-10 Elevation 1/4" = 1'-0"

EXISTING SIDE ELEVATION



Revision History			
RevID	CHD	Change Name	Date

Company Title

DOBRIN HOMES
304 E MAIN ST
RICHMOND
VA
23219

300 W LEIGH STREET
300 W LEIGH STREET
RICHMOND
VA
23220

Drawing Name
Elevation, Detail (1), Detail (2)

Drawing Status

Modified by _____ Date _____

Checked by _____ Date _____

Drawing Scale
1/4" = 1'-0", 1" = 1'-0"

Layout ID Revision
A.02 REV 1

