



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2115 M Street

Historic district Union Hill

| |
|------------------------|
| Date/time rec'd: _____ |
| Rec'd by: _____ |
| Application #: _____ |
| Hearing date: _____ |

APPLICANT INFORMATION

Name Marc Anderson

Phone (434) 409-3936

Company _____

Email mandersonesquire@gmail.com

Mailing Address 2115 M Street
Richmond, VA 23223

Applicant Type: Owner Agent

Lessee Architect Contractor

Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

See attached sheet.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner 

Date 3/2/18



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 2115 M Street

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

Property Address: 2115 M Street

2115 M Street

To Whom It May Concern:

This proposal is to build a 20' x 20' garage at the rear of the above address. The garage will match the design, style, and color of the home that currently exists on the property. The new garage for 2115 M Street will be a free-standing 20' x 20' structure with a gable roof (16' in height) located on the portion of the 2115 M Street lot bordering the alley between N 21st Street and N 22nd Street. Previously a 20' x 10' garage stood on parcel as indicated on the enclosed surevey. After the garage was damaged by a tree limb that fell on it the garage and slab were removed due to the fact it was damaged and broken into multiple pieces.

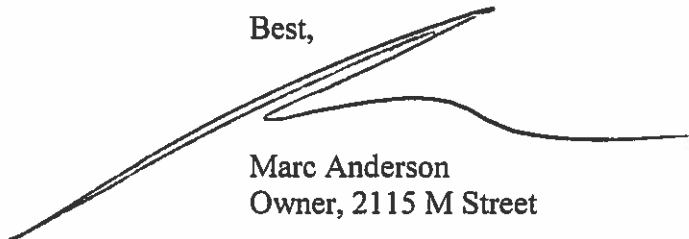
Location: The garage door will face west (i.e, alley between N 21st Street and N 22nd Street) and access will be from a driveway from the alley.

Materials: The garage will have a concrete slab foundation, smooth Hardiplank siding and a metal roof. The Hardiplank siding and metal roof will be identical in size and materials those on the rear addition to 2115 M Street, which was approved by the Commission in 2015. There will be no windows. The garage door, which will be 16' x 7', and match the garage door that was previously approved on 2107 Cedar Street. A picture of the door has been attached for your review.

Colors: The colors will match the rear addition on 2115 M Street. The Hardiplank siding will be painted in the same shade of tan, and the trim will be painted white. The garage door will be white.

Thank you for your consideration. I look forward to working together on this matter with the commission.

Best,

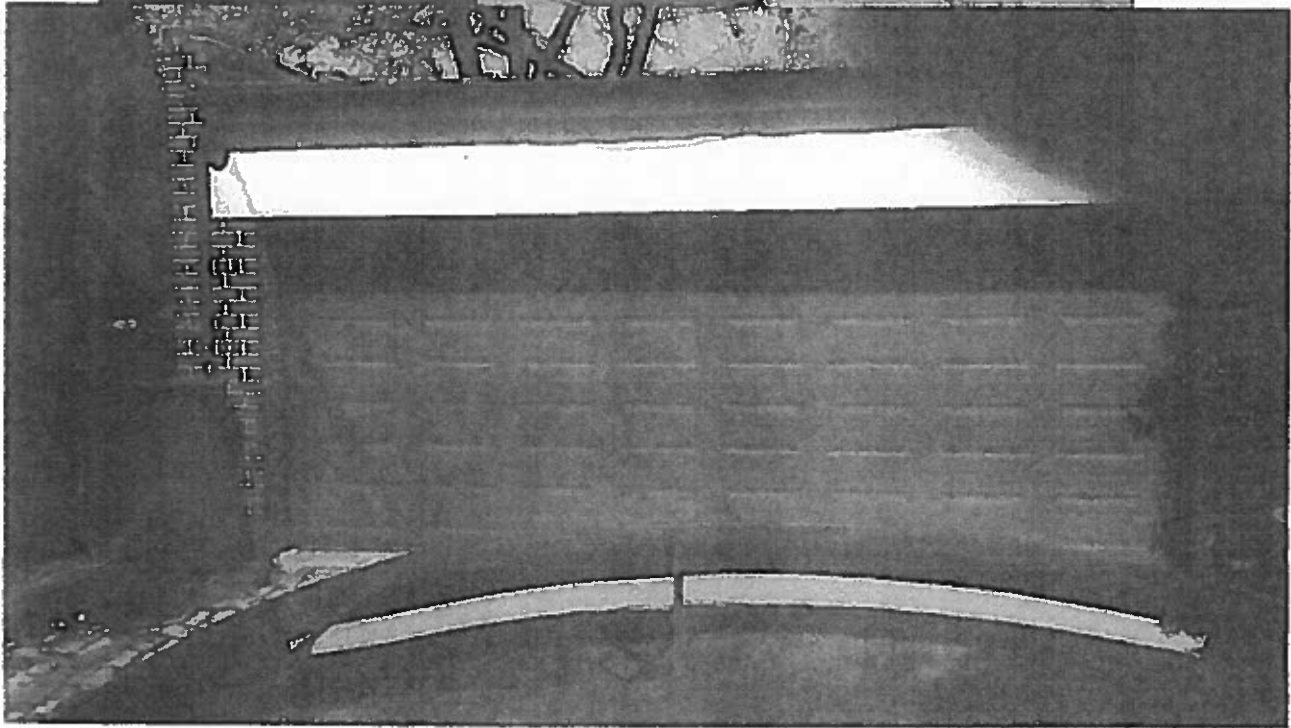
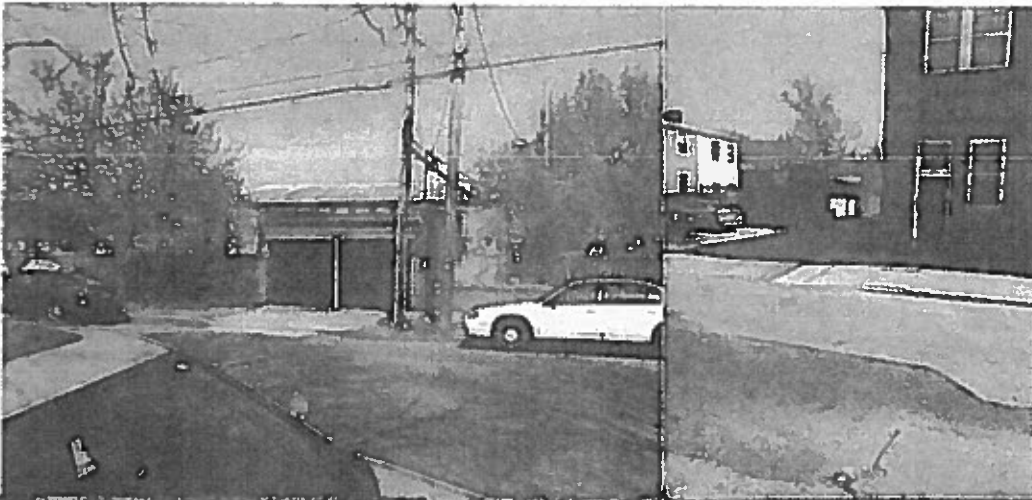
A handwritten signature in black ink, appearing to read 'Marc Anderson', written over a horizontal line.

Marc Anderson
Owner, 2115 M Street

Property Address: 2115 M Street

Surrounding Sheds

Below are 3 examples of 2-car garages within a 2-block radius of this property.

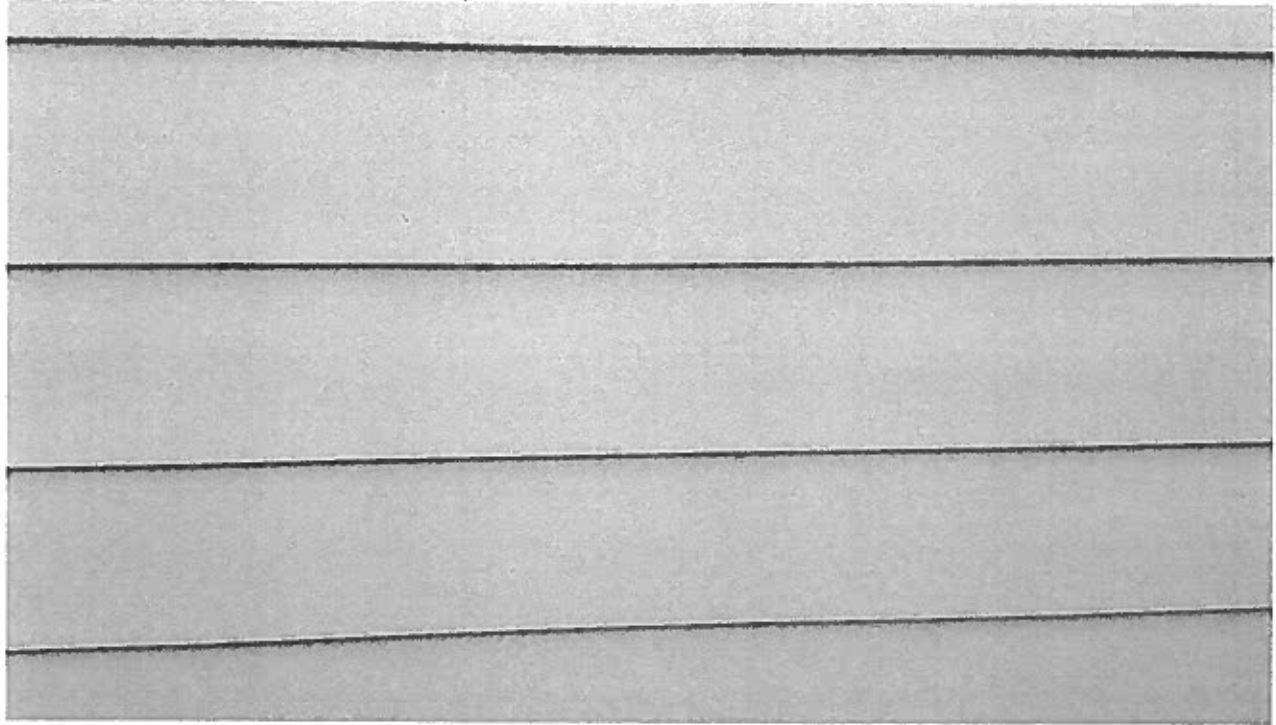


2115 1st Street 11/21/11 1007



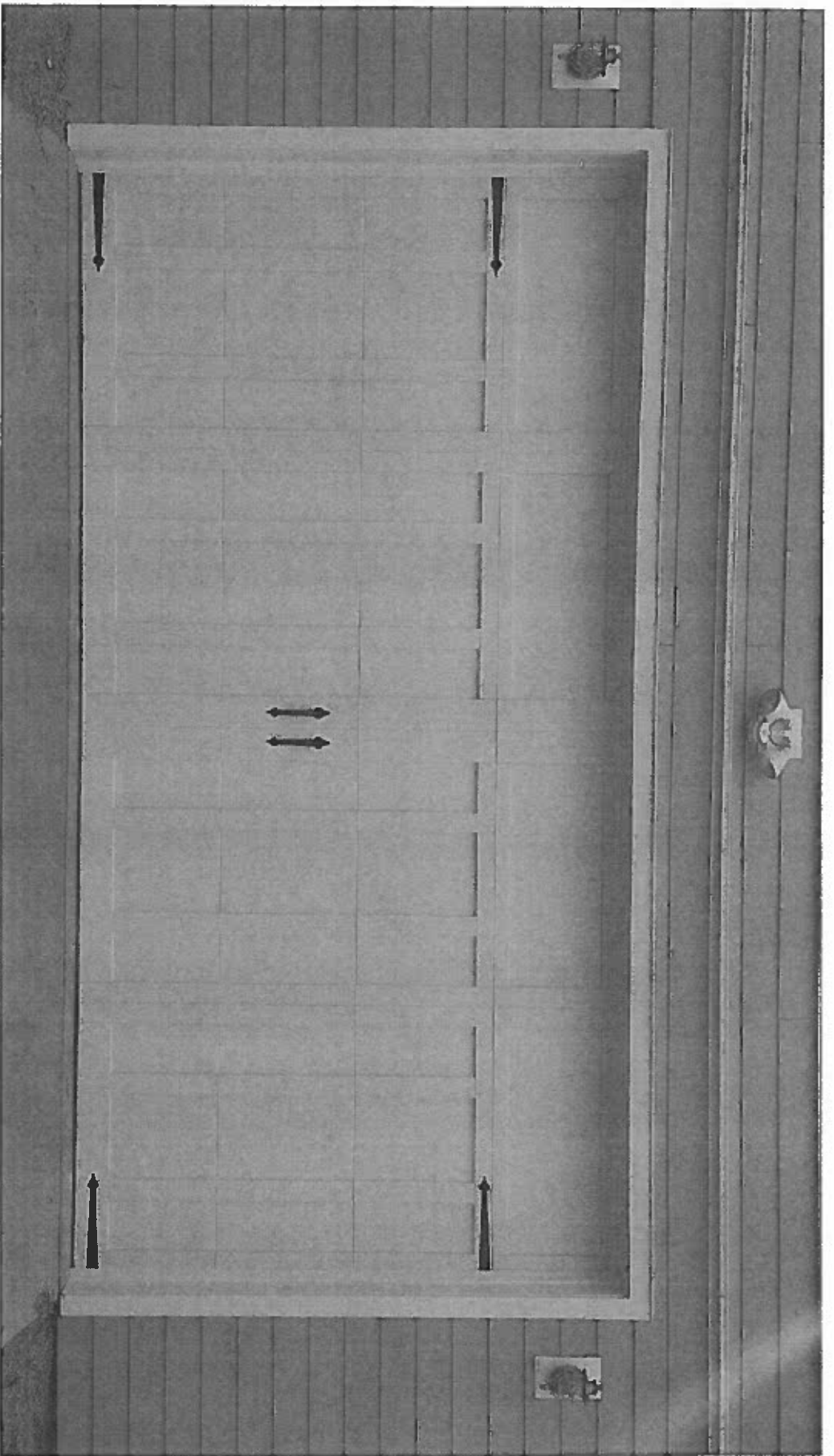
Proposed Metal Roof materials currently existing on 2115 M Street

2115 M Street Hardiplank Siding in
Tan color



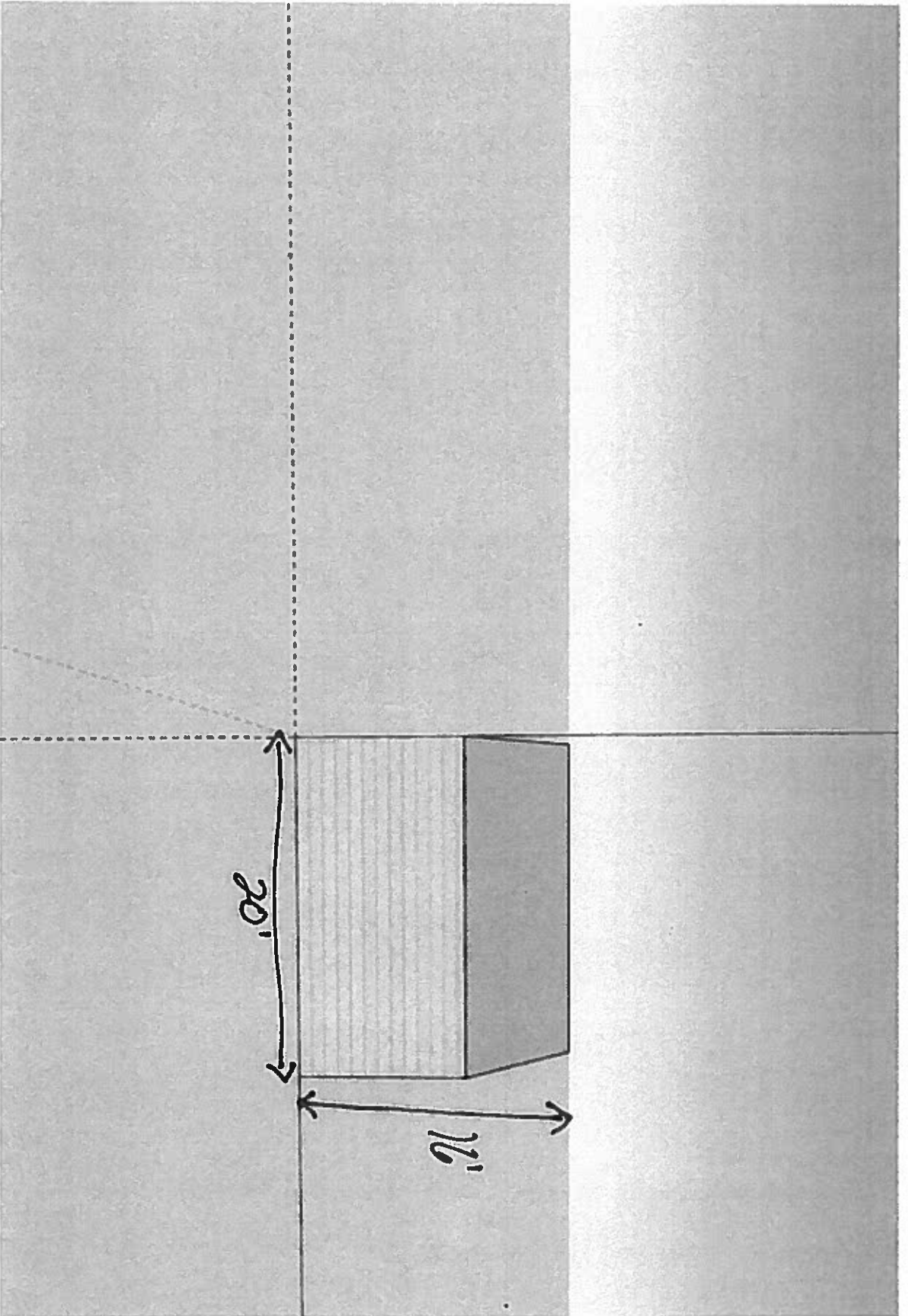
Proposed siding currently existing
on 2115 M Street.

2115 W Street Garage Door



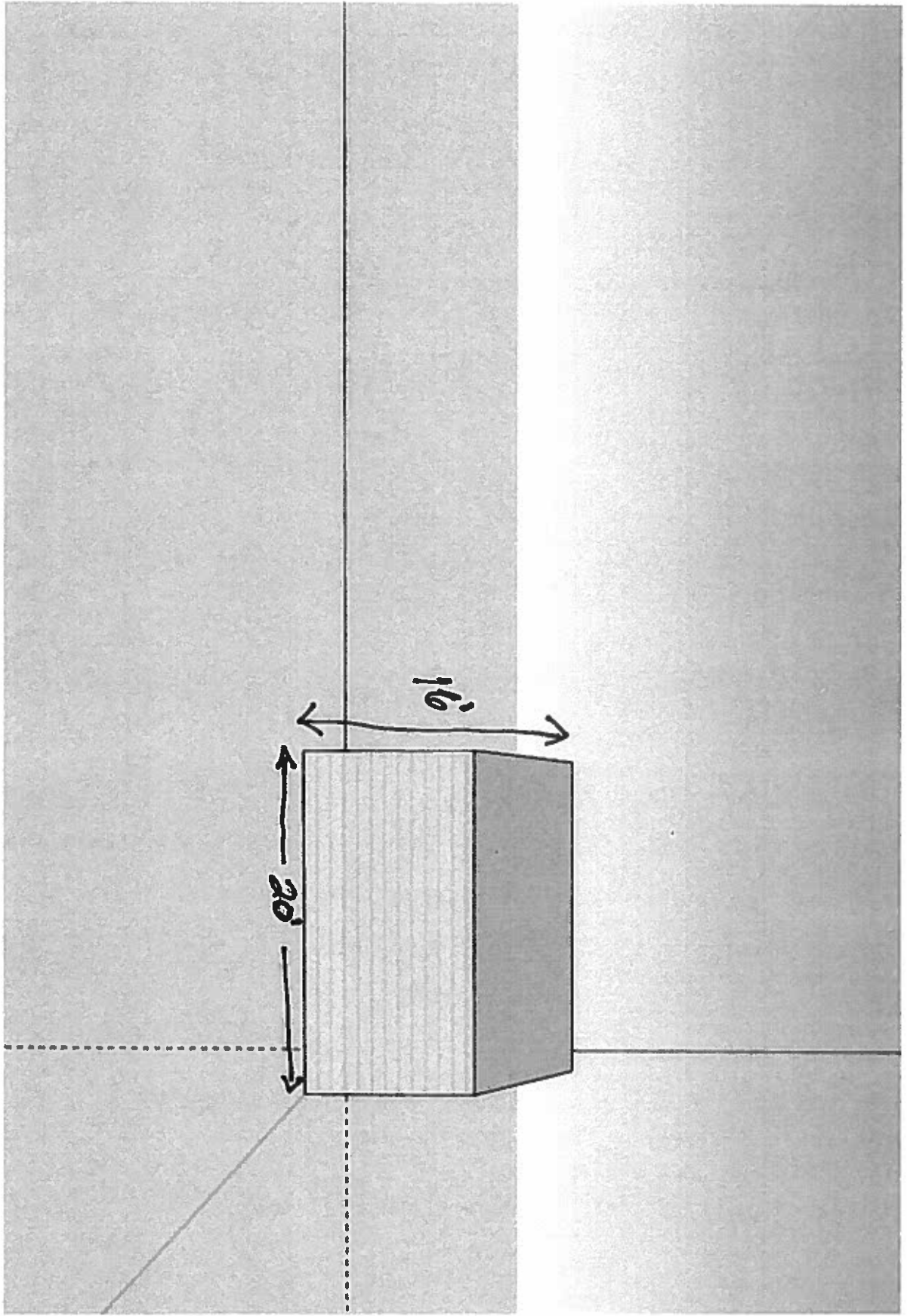
Proposed garage door currently existing
on 2107 Cedar Street.

2115 N Street



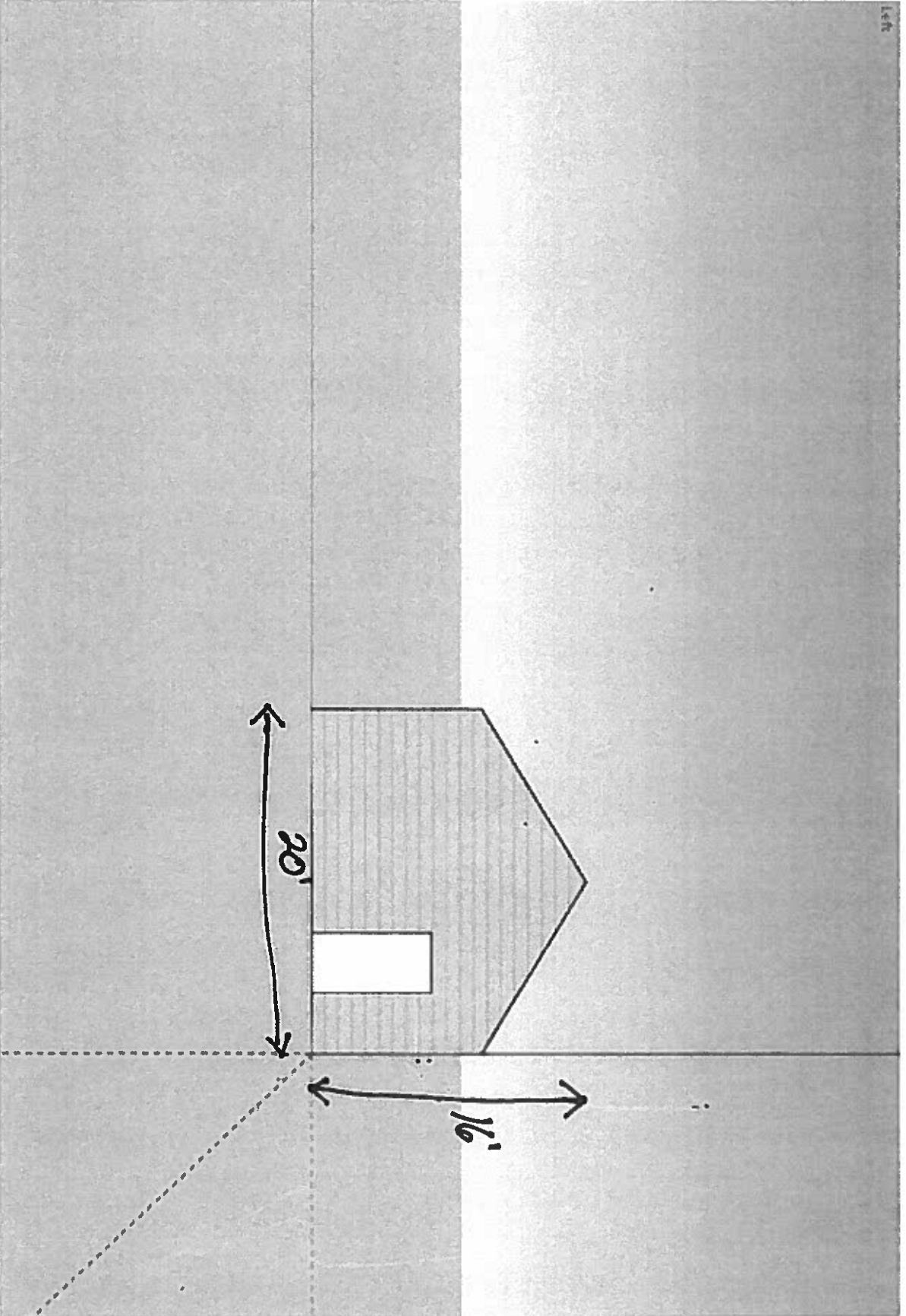
North Elevation

2115 W Street



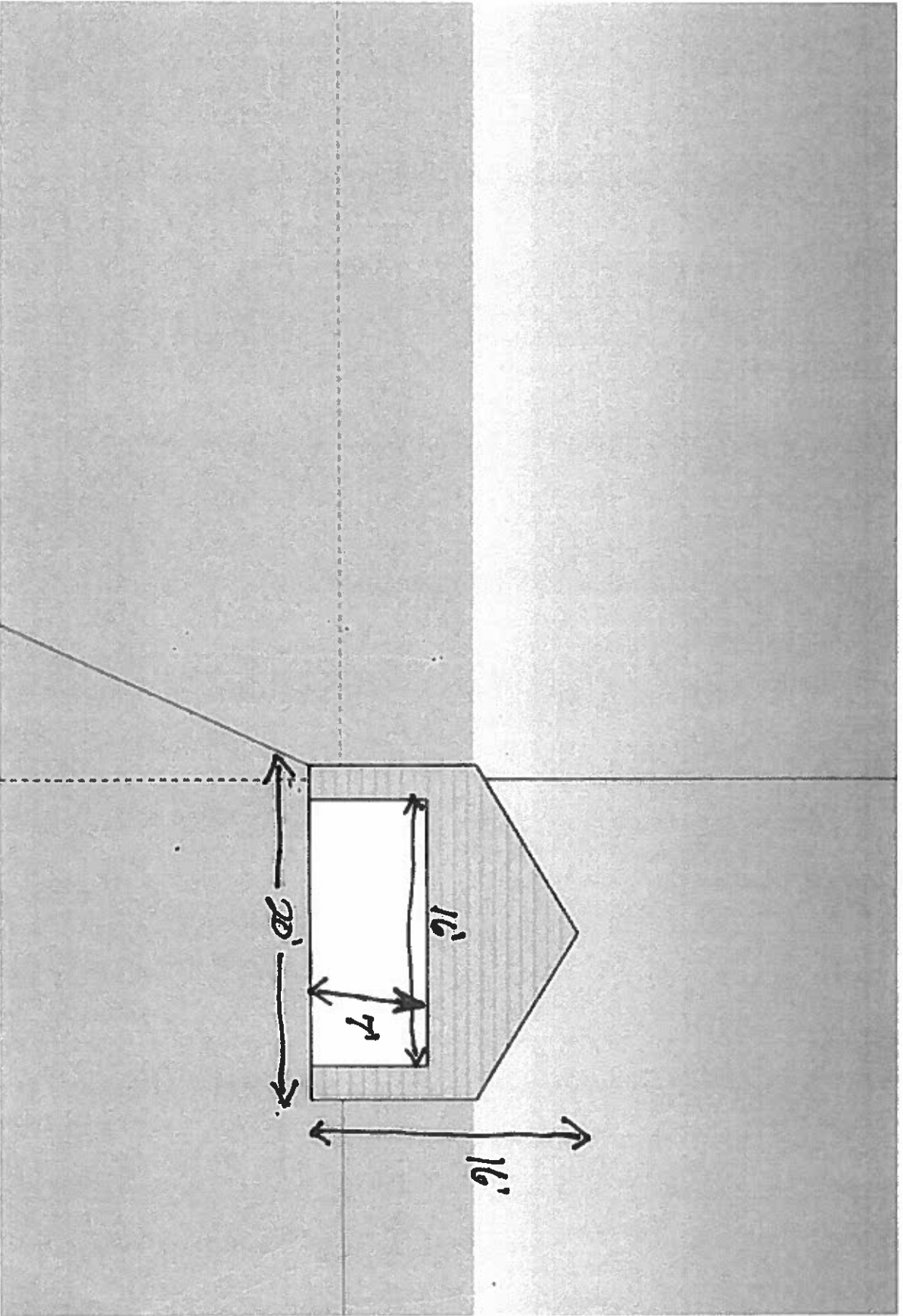
South Elevation

2115 19 Street

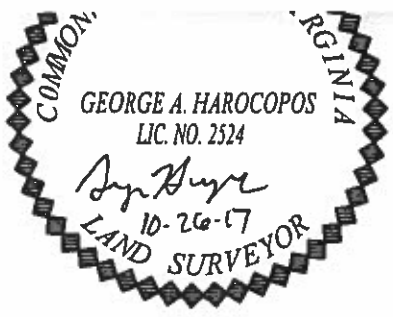


East Elevation

2115 N Street

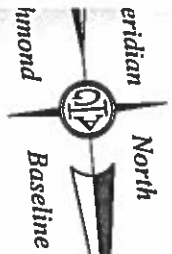


West Elevation



2271.19 Sq. Ft.
0.052 Acre
After Adjustment
3616.49 Sq. Ft.
0.083 Acre

4345.99 Sq. Ft.
0.100 Acre
After Adjustment
3000.24 Sq. Ft.
0.069 Acre



E0000253011
Kimberly A. Bobo
ID 2016-5498

Area Unclaimed
By Deeds

77.00' To W/L Of
N. 22nd Street

E0000253007
Charles E. Johnson
ID 2015-15463

LEGEND

- Rod/S
- ⊕ Power Pole
- Corner
- ⊙ Drill Hole/S
- ⊕ Pipe/F
- ⊙ Nail/S

Porch On Line

0.5' +/- Eaves

Bldg. On Line

91°20'15"

182°36'58"

186°43'00"

92.92' To W/L Of
N. 22nd Street

Conc. Wall

Block Wall

P,T&T.V.

M STREET

SURVEY OF
LOT LINE ADJUSTMENT OF PROPERTIES LOCATED AT
#2113 AND #2115 M STREET
RICHMOND, VIRGINIA

JN 43503

A. G. HAROCOPOS & ASSOCIATES, P.C.
CERTIFIED LAND SURVEYOR AND CONSULTANT
4920 E MILLRIDGE PKWY SUITE 200 MIDLOTHIAN VA. 23112

NOTE: PLAT PREPARED FOR THE EXCLUSIVE

