



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address 14 1/2 West Leigh St  
Historic district Jackson Ward

Date/time rec'd:	_____
Rec'd by:	_____
Application #:	_____
Hearing date:	_____

### APPLICANT INFORMATION

Name Elizabeth Dwyer-Basch  
Company 14 1/2 West Leigh St LLC  
Mailing Address 13412 Rupert Ct  
Henrico VA 23233

Phone 804-387-1717  
Email lizze@baschful.com  
Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify): \_\_\_\_\_

### OWNER INFORMATION (if different from above)

Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_

Company \_\_\_\_\_  
Phone \_\_\_\_\_  
Email \_\_\_\_\_

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review  
Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

*Please see enclosed plans and proposal*

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 1/24/19



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

---

**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** \_\_\_\_\_

### BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

### ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight

## 14 ½ West Leigh Street

January 23, 2019

### CAR – Applicant's Description

The attached application is for a CAR Certificate of Appropriateness at 14 ½ W. Leigh Street, located in the Jackson Ward Historic District. The existing vacant historic structure is two stories tall and occupies the front of the site facing W. Leigh street. The back area is currently paved and will remain so. This structure was originally a single family residence and was converted to an office most recently. The intention is to turn it back into a single family residence.

The front brick façade is failing dramatically and our intention is to rebuild the brick to match the existing. Salvaging as much brick as possible. The masonry is currently painted and will be again. The front porch has been removed and we plan to rebuild it. All front windows will be historic replacements to fit the existing opening (or match if full reconstruction is required).

The back of the building has an odd two story addition (CMU and brick) that doesn't match any existing floor level. The main house and historic back porch had been modified to link to this. We plan to remove this addition and NOT rebuild it. The back of the main house, enclosed by the back porch area, is being reopened in the hopes to find the original masonry openings to re-open & utilize. The back porch has been enclosed with CMU (parged and painted to the exterior) and we plan to keep this, patching areas failing and any opening remaining from the addition removal. The first floor is concrete and is failing. We plan to install new concrete floor over this. The second floor is wood and is also failing. This too we plan to rebuild completely. The old porch roof will also require new supplemental structure due to some failure.

The roof has failed and while currently patched to avoid more degradation of the structure, it is planned to be fully replaced with a white membrane system, new gutter at the back, and new rain leader.

Using this building for a residential function will enhance the overall environment by increasing both social and economic activity in the surrounding area and meets the current zoning and City Master Plan. One parking space will be achieved on site and a second procured within the allowed zoning requirements. The characteristics of the building's end use and features will contribute the community and will not be detrimental to the safety, health, morals and general welfare of the community involved. We further feel the project will not tend to create congestion in streets, roads, alleys, and other public ways and places in the area involved.

## DRAWING INDEX

CS-1 COVER SHEET  
CS-2 ASSEMBLY DETAILS

D-1 FIRST & SECOND FLOOR DEMOLITION PLANS

AS-1 EXISTING BOUNDARY SURVEY  
AS-2 ARCHITECTURAL SITE PLAN

A-1 NEW CONSTRUCTION NOTES  
A-2 FIRST & SECOND FLOOR NEW CONSTRUCTION PLANS  
A-3 FIRST & SECOND FLOOR REFLECTED CEILING PLAN  
A-4 SOUTH ELEVATION (FRONT)  
A-5 NORTH ELEVATION (BACK)  
A-6 FRONT PORCH SECTION  
A-7 NEW WINDOW DETAILS

## HARDWARE SCHEDULE

SET #	DESCRIPTION	MANUF.	STYLE	FINISH	HINGES	REMARKS
01	ENTRANCE TYPE	NOTE #03	NOTE #03	AS SELECTED BY OWNER	NOTE #01	NOTE #02
02	NOT USED	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02
03	PRIVACY TYPE	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02
04	CLOSET TYPE	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02

### HARDWARE NOTES:

- Provide (3) hinges per door installed per manufacturer recommendations.
- All doors are to receive wall stops. Coordinate final selection and locations with Owner. Where wall stops are not feasible, provide floor stops.
- Entrance hardware to be exterior grade as selected by owner.

## DOOR SCHEDULE

MARK	DESCRIPTION	ELEV.	WIDTH	HEIGHT	THK.	MATERIAL	FRAME	HDWR.	REMARKS
01	HALF LIGHT ENTRANCE DOOR	01/A4.01	3'-0"	±7'-4"	1 3/4"	WOOD/ GL	WOOD	01	NOTE 01
02	INT. PK. DOOR	EXIST.	(2) 3'-0"	±6'-8"	1 3/8"	WOOD	WOOD	EXIST.	NOTE 02
03	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	04	-
04	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	-
05	HALF LIGHT ENTRANCE DOOR	02/A4.01	2'-8"	6'-8"	1 3/4"	WOOD/ GL	WOOD	01	-
06	INT. DOOR	01	2'-6"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
07	INT. DOOR	01	2'-0"	6'-8"	1 3/8"	WOOD	WOOD	04	-
08	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
09	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
10	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	04	-
11	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
12	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	-

### DOOR NOTES:

- CONFIRM DOOR SIZE ON SITE TO FIT EXISTING HISTORIC OPENING.
- EXISTING DOOR(S) TO BE REFURBISHED PER NPS GUIDELINES AND REPAINTED.

## 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

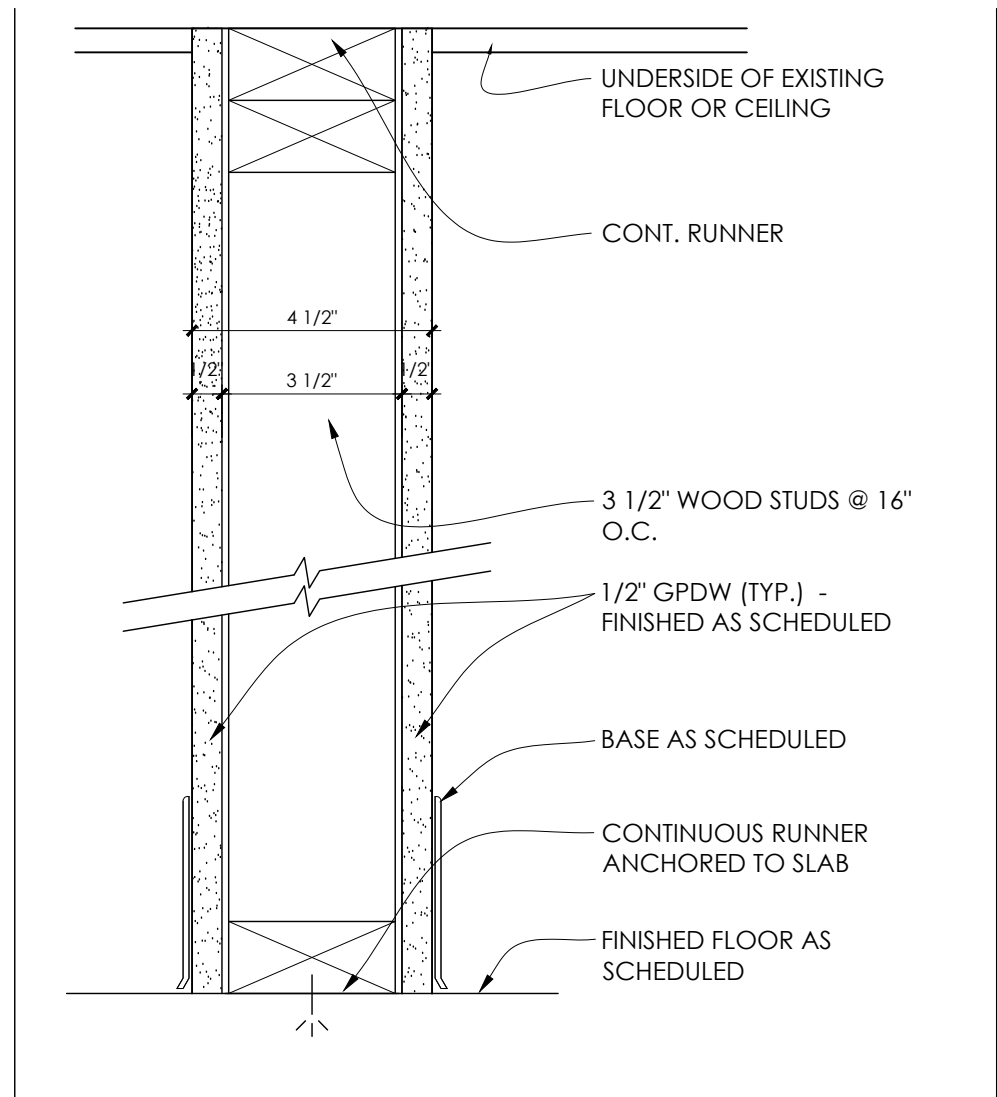
REVISIONS:  
1: 02.14.19

ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

© ratio,pc 2019

COVER SHEET

CS-1



PARTITION TYPE A1 (SHOWN ABOVE)

PARTITION TYPE A2 SIM. TO "A1" ABOVE BUT WITH 2X6 (5 1/2") STUDS (WET WALL)

PARTITION TYPE A3 SIM. TO "A1" ABOVE BUT FURRING TO EXISTING WALL - 1/2" GPDW AT OUTSIDE FACE ONLY

PARTITION TYPE B1 EXISTING MASONRY WALL INHERENTLY **TWO HOUR RATED** - CONSISTS OF 12" MIN. TO ±16" SOLID BRICK (DEMISING WALL AND LOT LINE FIRE WALL - ALL EXISTING TO REMAIN)

# 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

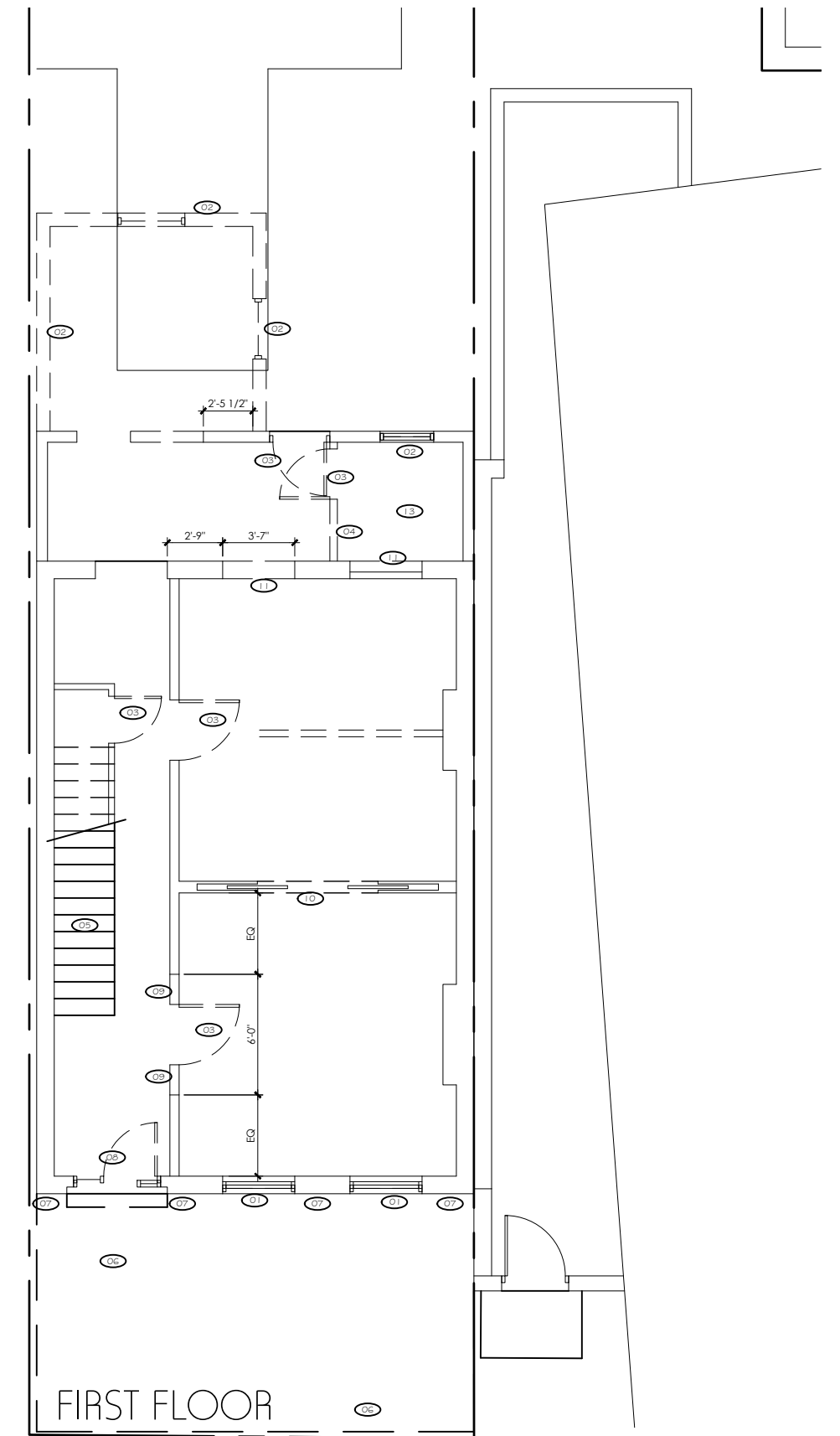
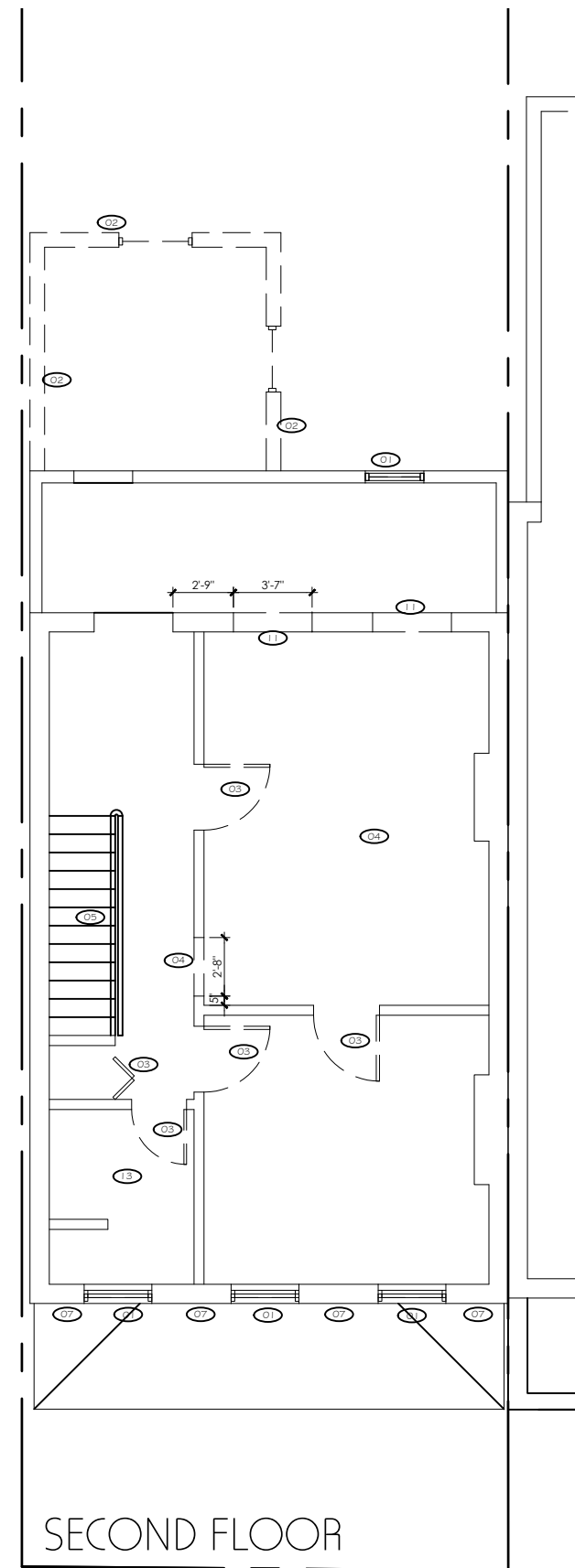
© ratio,pc 2019

## ASSEMBLY TYPES

# CS-2

## KEYED DEMOLITION NOTES

1. EXISTING WINDOW BEYOND REPAIR. WINDOW TO BE REMOVED AND OPENING PREPARED FOR RECEIVING NEW HISTORIC REPLACEMENT WINDOW.
2. EXISTING NON-HISTORIC ADDITION TO BE REMOVED AND DISCARDED COMPLETELY.
3. EXISTING NON-HISTORIC DOOR TO BE REMOVED AND DISCARDED.
4. EXISTING WALL TO BE REMOVED AND DISCARDED.
5. EXISTING HISTORIC STAIR AND HANDRAIL TO REMAIN.
6. REMOVE AND DISCARD EXISTING CONCRETE PAD AND STEPS AT FRONT. SEE SITE PLAN FOR NEW FRONT STEPS, PORCH, AND PLANTING AREA.
7. EXISTING BRICK FACADE IS PULLING OFF BUILDING AND COLLAPSING. PROVIDE TEMPORARY SHORING AS REQUIRED TO REMOVE AND REBUILD FRONT FACADE TO MATCH EXISTING PER NPS GUIDELINES. PROTECT AS NEEDED HIGH WOOD CORNICE FOR REUSE/ REPAIR AS NEEDED. GC TO EVALUATE INTEGRITY OF HIDDEN BACKING MASONRY FOR TYING NEW TO.
8. EXISTING NON-HISTORIC DOOR AND SIDELIGHT TO BE REMOVED AND DISCARDED. NOTE THAT TRANSOM APPEARS TO BE ORIGINAL AND SHOULD BE SALVAGED FOR REUSE. CONFIRM IF ORIGINAL DOOR TRIM IS EXISTING BEHIND NON HISTORIC TRIM. RECESSED PANELED WOOD WORK (INCLUDING ARCHED HEADER) TO REMAIN (OR BE SALVAGED FOR REINSTALLATION WITH FACADE CORRECTION).
9. DEMO WALL FOR NEW OPENING PER NEW CONSTRUCTION PLAN. INVESTIGATE IF EXISTING HISTORIC CASED OPENING IS PRESENT IN ORDER TO RE-ESTABLISHED.
10. EXISTING POCKET DOORS TO REMAIN.
11. INVESTIGATE AND REOPEN EXISTING HISTORIC WINDOW AND DOOR OPENINGS TO ESTABLISH NEW CASED OPENING. COORDINATE WITH ARCHITECT ANY DISCREPANCIES FOR NEW WALL AND ASSUMED CASED OPENING LOCATIONS.
12. NOT USED.
13. REMOVE AND DISCARD ALL EXISTING NON-HISTORIC PLUMBING FIXTURES.



## 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

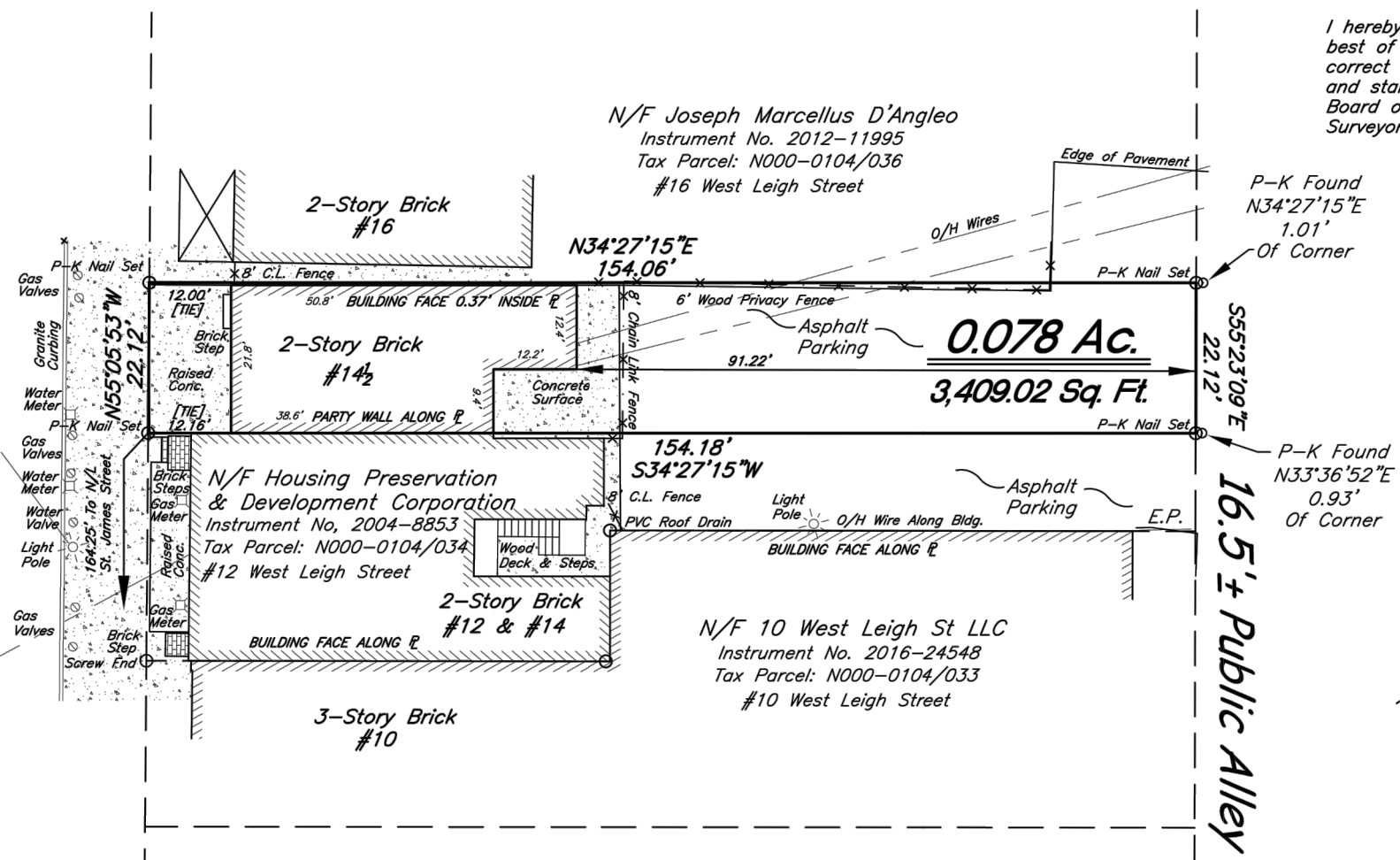
© ratio,pc 2019

## FIRST FLOOR DEMOLITION PLAN

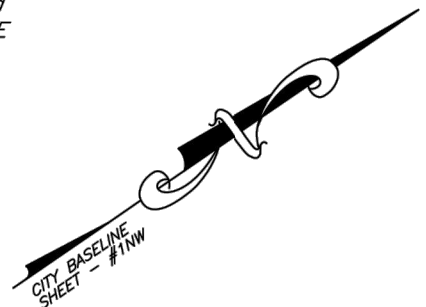
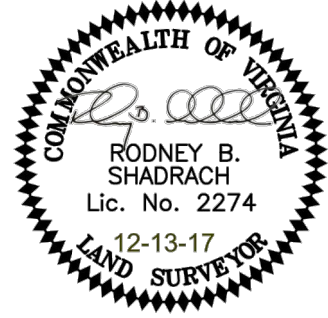
SCALE: 1/8" = 1'-0"

# D-1

**West Leigh Street**  
(65'± Public R/W)



I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors, and Certified Landscape Architects.



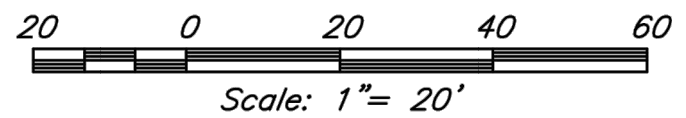
**Notes:**

1. The subject property appears not to be located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Community-Panel #510129-0037-D, effective date: April 2, 2009 (Zone X).
2. This survey plat represents a current and accurate field transit survey of the premises shown hereon.  
Date of last physical survey: November 22, 2017
3. This survey was made without the benefit of a Title Report and therefore there may be encumbrances which are not reflected hereon.

**Legal Reference:**

**James E. & Patrica A. Sheffield**  
Deed Book 655, Page C0488  
Tax Parcel: N000-0104/035  
#14 1/2 West Leigh Street  
0.078 Acres  
Zoned: R-63  
(Multi-Family Urban Residential)

SURVEY PLAT  
SHOWING EXISTING IMPROVEMENTS  
TO #14 1/2 WEST LEIGH STREET  
CITY OF RICHMOND, VIRGINIA  
DATE: DECEMBER 13, 2017



**Shadrach & Associates LLC**  
LAND SURVEYING  
430 Southlake Blvd., Suite 10-B • Richmond, Virginia 23236  
Phone: (804)379-9300 • Email: rod@shadrachsurveys.com

17073.JOB -- 17073-BNDY2.DWG

14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

EXISTING BOUNDARY SURVEY

SCALE: 1" = 1'-0"

© ratio.pc 2019

AS-1





## KEYED RCP NOTES

- 01 MECHANICAL CLOSET. OPEN TO DUCTING ABOVE.
- 02 EXISTING HISTORIC BEAM ABOVE TO REMAIN.
- 03 PROVIDE NEW ATTIC ACCESS PULL DOWN STAIR. COORDINATE FINAL LOCATION IN FILED WITH OWNER AND ARCHITECT BASED ON SELECTIVE DEMOLITION, MECHANICAL UNIT PLACEMENT AND AVAILABLE ATTIC HEIGHT.
- 04 PROVIDE PAINTED BEAD BOARD CEILING AT NEW FRONT PORCH.
- 05 COORDINATE FINAL MECHANICAL DUCTING WITH ARCHITECT FOR POSSIBLE SOFFIT REVISIONS.
- 06 ALL SECOND FLOOR DUCTING IS ASSUMED TO RUN IN ATTIC SPACE.
- 07 NOT USED
- 08 PROVIDE DIMMER FOR ALL LIGHTS IN ROOM GROUP

## RCP MATERIAL LEGEND



EXISTING CEILING TO REMAIN. REPAIR AS REQUIRED IN KIND.















DROPPED GPDW CEILING AT 8'-0" AFF. RUN MECHANICAL ABOVE AS REQUIRED. SURROUNDING WALLS RUN TO UNDERSIDE OF EXISTING DECK/ CEILING ABOVE (PAINTED)

## KEYED NEW CONSTRUCTION NOTES

1. NEW PORCH AND COLUMNS PER PORCH SECTION 03/A4.01.
2. NEW CONCRETE PORCH SLAB WITH TURNED DOWN EDGE/ FOUNDATION WALL (TYP.)
3. PROVIDE NEW METAL CLAD WOOD WINDOW (MEETING NPS REQUIREMENTS) TO FIT RECONSTRUCTED EXISTING OPENING. SEE 02/AS.01 FOR WINDOW PROFILE DETAILS. PROVIDE 2 OVER 2 AT FRONT & 1 OVER 1 AT BACK (SEE ELEVATIONS).
4. PROVIDE NEW ENTRANCE DOOR PER SCHEDULE AND EXTERIOR ELEVATION. MATCH WINDOW PROFILE.
5. PROVIDE NEW CONCRETE ENTRANCE WALK TO MEET EXISTING CONCRETE SIDEWALK.
6. NEW FRONT LAWN TO ADJACENT AND SIDEWALK CONCRETE.
7. NEW CASED OPENING. PROVIDE (2) 2X12 HEADER IF EXISTING HEADER IS NOT FOUND DURING DEMOLITION.
8. EXISTING WOOD FLOOR TO REMAIN AND BE REFINISHED.
9. EXISTING WOOD STAIR AND RAILING TO REMAIN AND BE REFINISHED.
10. PROVIDE NEW ROD AND SHELF IN CLOSET - CONFIRM STYLE WITH OWNER.
11. EXISTING FIRST FLOOR CONCRETE IN POOR SHAPE. POUR NEW TOPPING SLAB LEVEL WITH MAIN FLOOR. ADJUST EXTERIOR DOOR SILL AS REQUIRED.
12. PROVIDE NEW PASS THROUGH AT EXISTING OPENING. OPENING WIDTH TO BE SET BY ASSUMED ORIGINAL WINDOW OPENING TO BE INVESTIGATED DURING DEMOLITION.
13. PROVIDE FOR NEW STACKED WASHER AND DRYER WITH DRYERBOX CONNECTION.
14. PROVIDE NEW PLUMBING FIXTURES (ELONGATED BOWL TOILET AND 36" VANITY SINK AS SELECTED BY OWNER. PROVIDE PORCELAIN OR CERAMIC TILE IN ALL BATHROOMS.
15. EXISTING PORCH FLOOR IS ROTTED AND MISSING IN MOST LOCATIONS. FLOOR TO BE REBUILT WITH WOOD TO MATCH EXISTING PAINTED T&G BUT BE LEVEL.
16. PROVIDE NEW PAINTED WOOD FLOOR TO MATCH OLD PORCH FLOOR IN CMU ADDITION. PROVIDE NEW TYPICAL BASE AND UPPER CABINETS AS SELECTED BY OWNER.
17. PROVIDE FOR NEW 30" RANGE WITH MICRO/ HOOD ABOVE.
18. NEW REFRIGERATOR.
19. NEW SINK AT EXISTING WINDOW. PROVIDE POSSIBLE WINDOW WELL AT BACK OF CABINET AS NEEDED TO MISS EXISTING SILL HEIGHT. PROVIDE POWER FOR DISPOSAL.
20. NEW 24" DISHWASHER.
21. PROVIDE NEW MUDROOM CABINETS (12" DEEP) TO MATCH KITCHEN CABINETS.
22. REWORK GRADE AS NEEDED FOR DRAINAGE. MAINTAIN EXISTING AT BUILDING AS MUCH AS POSSIBLE TO STAY BELOW FIRST FLOOR ELEVATION.
23. RE-STRIPE PARKING AS REQUIRED AFTER CONSTRUCTION IN EXISTING PARKING AREA.
24. NEW STANDING SEAM METAL ROOF (BRONZE IN COLOR) FOR RECONSTRUCTED PORCH.
25. REBUILDING FRONT PAINTED BRICK FACADE AS NEEDED TO MATCH EXISTING PER NPS GUIDELINES. ENTIRE FRONT WALL IS SLIDING DOWN AND NEEDS TO BE LIFTED AND RECONNECTED TO THE BACKING MASONRY. REVIEW CONNECTION AND RE-CONSTRUCTION METHODS IN FIELD WITH ARCHITECT PRIOR TO WORK AFTER SELECTIVE DEMOLITION.
26. PROVIDE NEW PLUMBING FIXTURES (ELONGATED BOWL TOILET, TUB/ SHOWER, AND 32" VANITY SINK AS SELECTED BY OWNER. PROVIDE PORCELAIN OR CERAMIC TILE IN ALL BATHROOMS.
27. PROVIDE FULL DEPTH PAINTED WOOD SHELVING IN LINEN CLOSET.
28. PROVIDE LOWBOY HWH OVER SINGLE ZONE MECHANICAL UNIT. DUCT TO BELOW AND TO ATTIC AS NEEDED. BACK WALL TO NEW CLOSET CAN BE SHIFTED AS NEEDED FOR DUCTING/ CHASE TO ATTIC.
29. PROVIDE NEW PLUMBING FIXTURES (ELONGATED BOWL TOILET, TUB/ SHOWER, AND 30" VANITY SINK AS SELECTED BY OWNER. PROVIDE PORCELAIN OR CERAMIC TILE IN ALL BATHROOMS.
30. NEW STANDING SEAM METAL ROOF.
31. PROVIDE FOR NEW CASED OPENINGS AT ASSUMED EXISTING WINDOW OPENINGS. REVIEW LOCATIONS WITH OWNER AND ARCHITECT IN FIELD DURING DEMOLITION. PORCH WOOD FLOOR TO BE RECONSTRUCTED AS NEEDED AND BE FLUSH WITH EXISTING SECOND FLOOR.

## RCP LIGHTING LEGEND

-  01. LED GLIMPSE STYLE FIXTURE (UNIT ACCENT LIGHTING - SMALL)
-  02. UNDERCOUNTER LED STRIP FIXTURE
-  03. WALL SCONE LED (MOUNT OVER BATH MIRROR)
-  04. EXTERIOR LED WALL SCONE
-  05. LARGE LED DECORATIVE PENDANT
-  06. SURFACE MOUNTED LED
-  07. (3) LED PENDANT FOR KITCHEN ISLAND. EQUALLY SPACE SIDE TO SIDE AND CENTERED ON ISLAND.
-  08. CEILING FAN WITH LED LIGHT KIT AND SEPARATE SWITCHING FOR DIMMING LIGHT AND FAN CONTROL
-  09. EXHAUST FAN WITH LIGHT KIT (SWITCH SEPARATELY)
-  10. INTERCONNECTED SMOKE DETECTOR
-  11. EXTERIOR LED FLOOD LIGHT WITH MOTION SENSOR
-  D PROVIDE DIMMER BALLAST AND SWITCH.

## 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

© ratio.pc 2019

## NEW CONSTRUCTION NOTES

SCALE: NTS

A-1

# 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

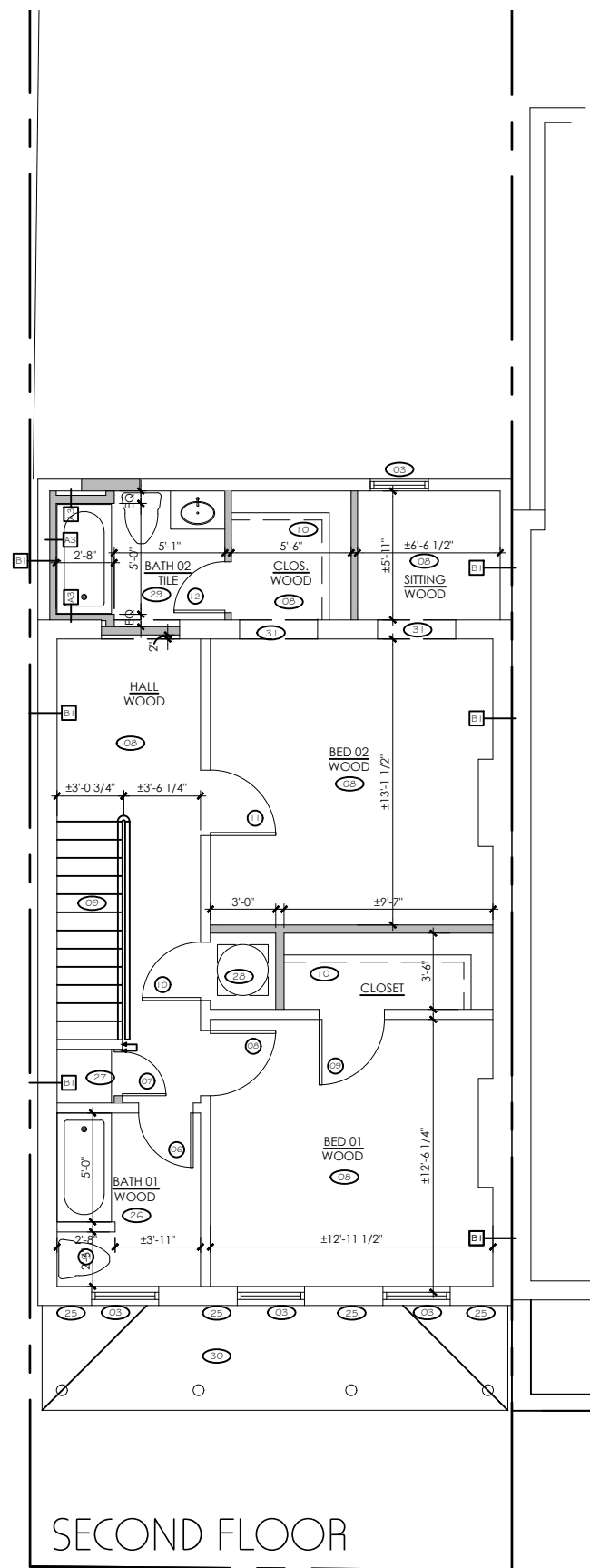
ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

© ratio.pc 2019

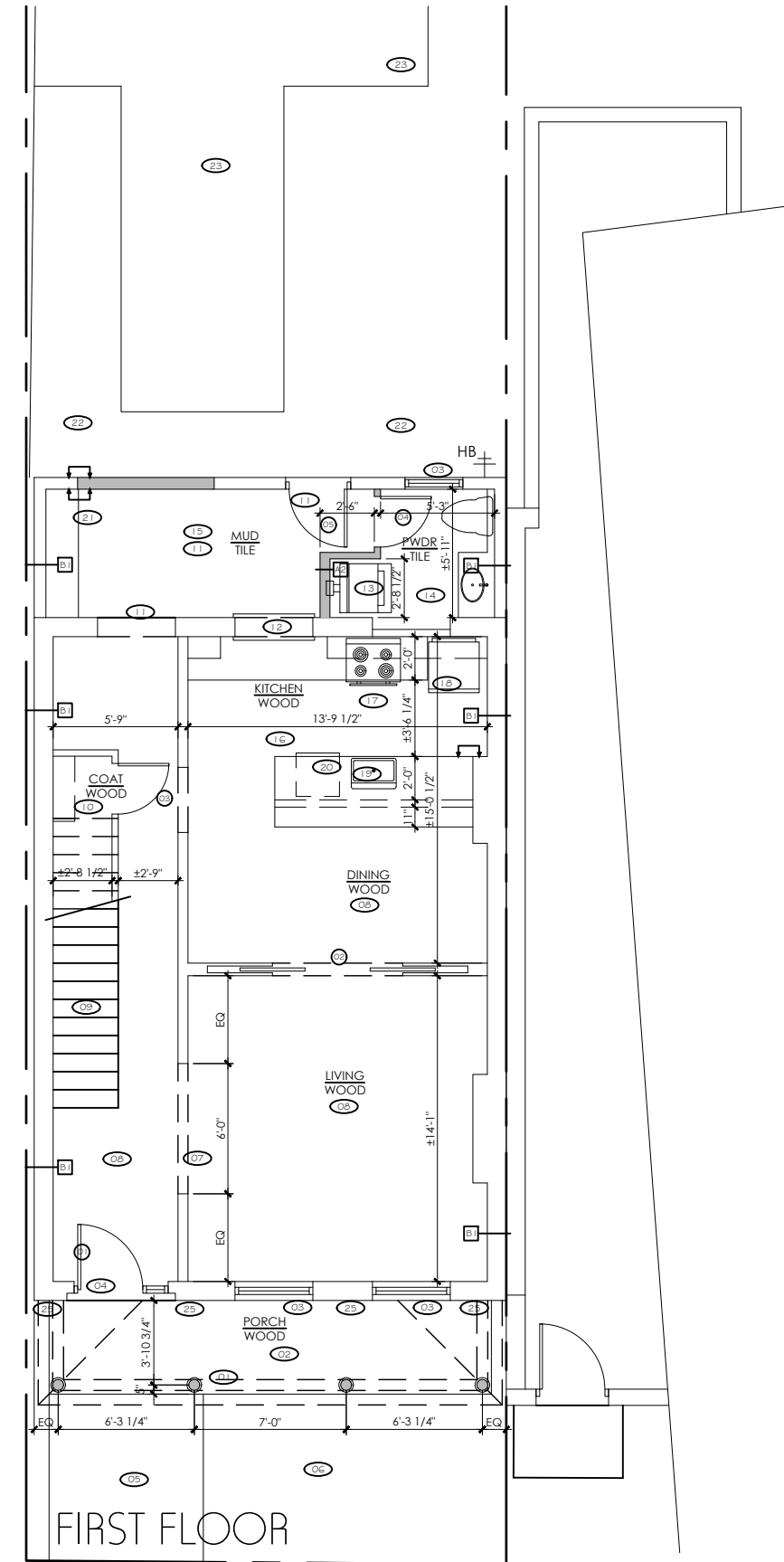
## FIRST & SECOND FLOOR NEW CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

# A-2



SECOND FLOOR



FIRST FLOOR

# 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

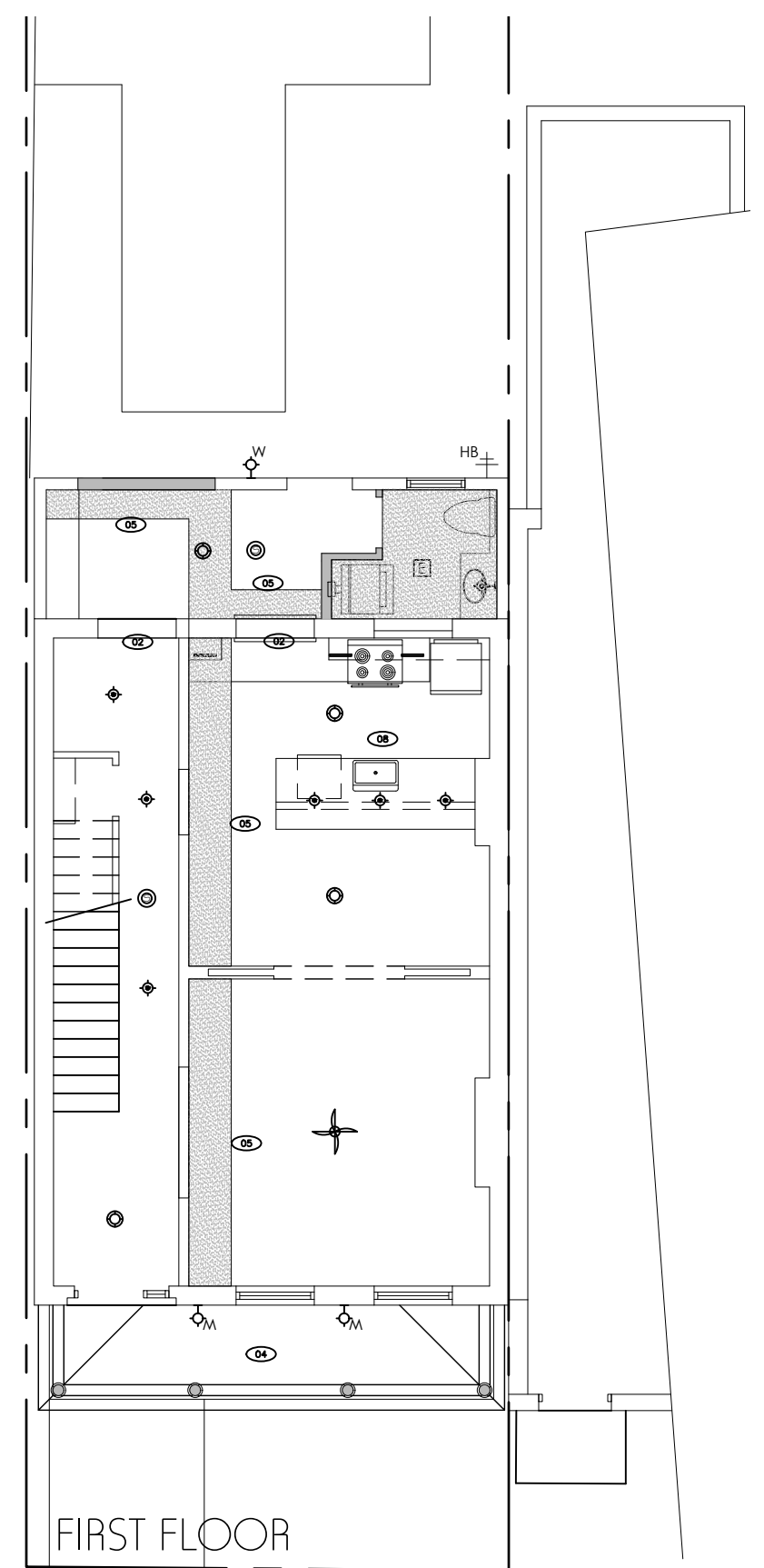
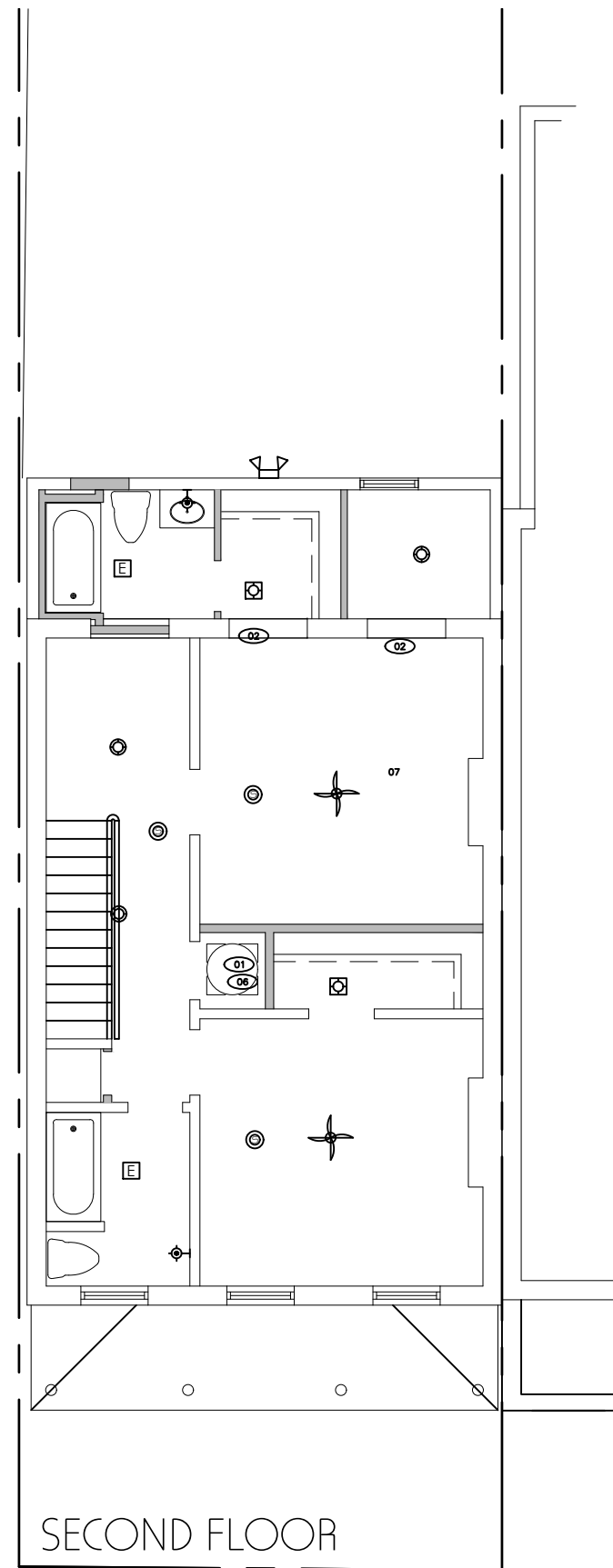
ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

© ratio,pc 2019

## FIRST & SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

# A-3



EXISTING PAINTED WOOD CORNICE TO BE REPAIRED AND PAINTED

EXISTING ADJACENT STRUCTURE (N.I.C.)

PAINTED BRICK (SEE PLANS FOR NOTES ON FACADE RE-CONSTRUCTION)

EXISTING BRICK ARCHED HEADER TO BE REPAIRED AS NEEDED (PAINTED)

NEW 2 OVER 2 METAL CLAD WOOD WINDOWS TO FIT IN EXISTING OPENINGS

EXISTING BRICK ROWLOCK SILL TO BE REPAIRED AS NEEDED (PAINTED)

NEW STANDING SEAM METAL PORCH ROOF

EXISTING BRICK ARCHED HEADER TO BE REPAIRED AS NEEDED (PAINTED)

PAINTED WOOD CORNICE

8" TAPERED STRUTURAL WOOD COLUMNS (PAINTED)

NEW HALF LIGHT DOOR WITH TRANSOM WINDOW AND SIDELIGHT - MAINTAIN ALL EXISTING TRIM/ CASING

NEW 2 OVER 2 METAL CLAD WOOD WINDOWS WITH TRANSOMS TO FIT IN EXISTING OPENINGS

EXISTING ROTTED WOOD SILLS TO BE REPLACED (PAINTED)

NEW CONCRETE PORCH FLOOR

CEILING

±8'-6"

SECOND FLOOR

CEILING

±9'-10"

FIRST FLOOR



EXISTING ADJACENT STRUCTURE (N.I.C.)

SEE AS.01 FOR REPLACEMENT WINDOW DETAILS - CONFIRM ALL WINDOW SIZES IN FIELD TO FIT EXISTING HISTORIC MASONRY OPENING

# 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

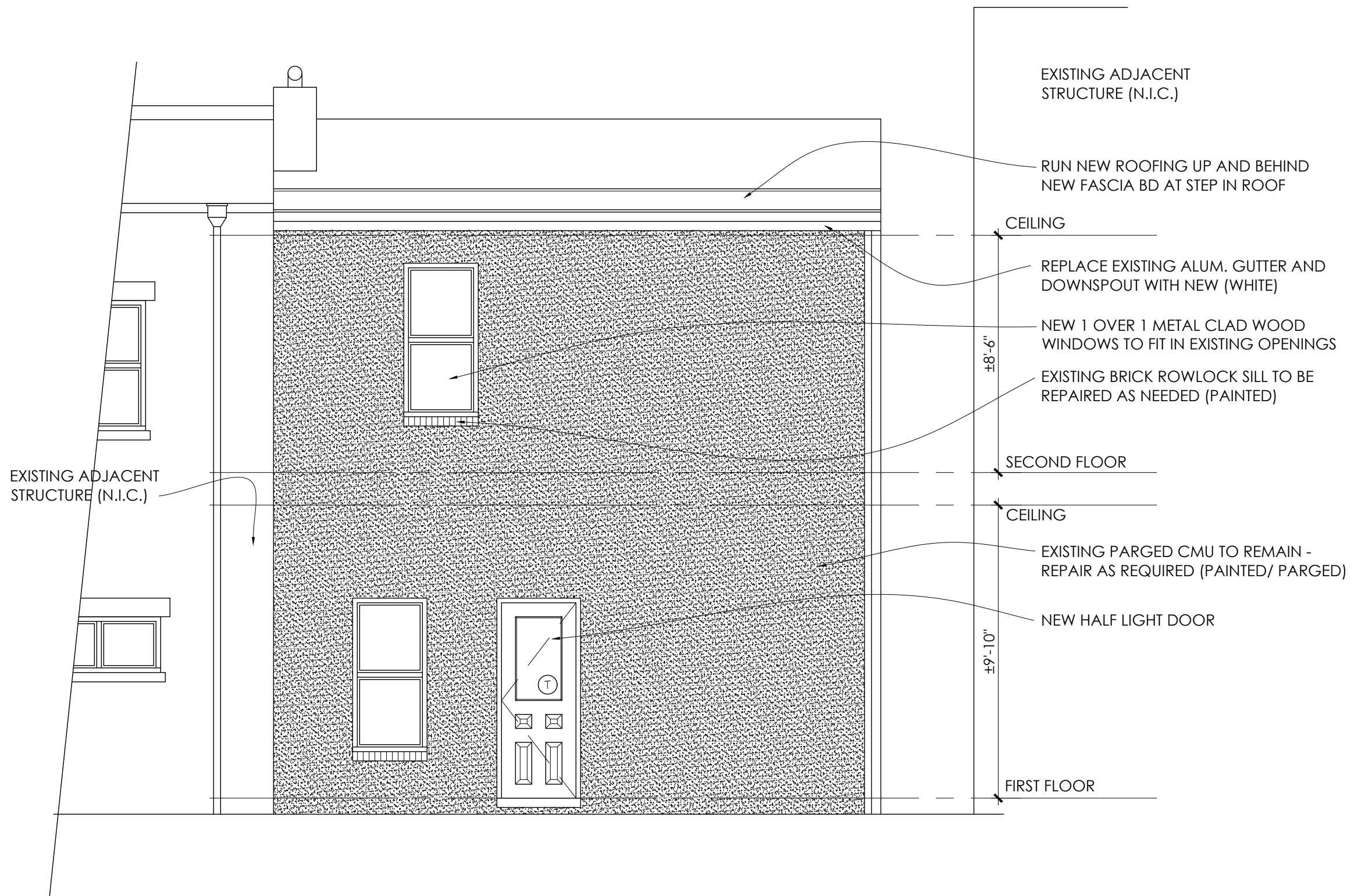
ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

© ratio,pc 2019

## SOUTH ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"

# A-4



# 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

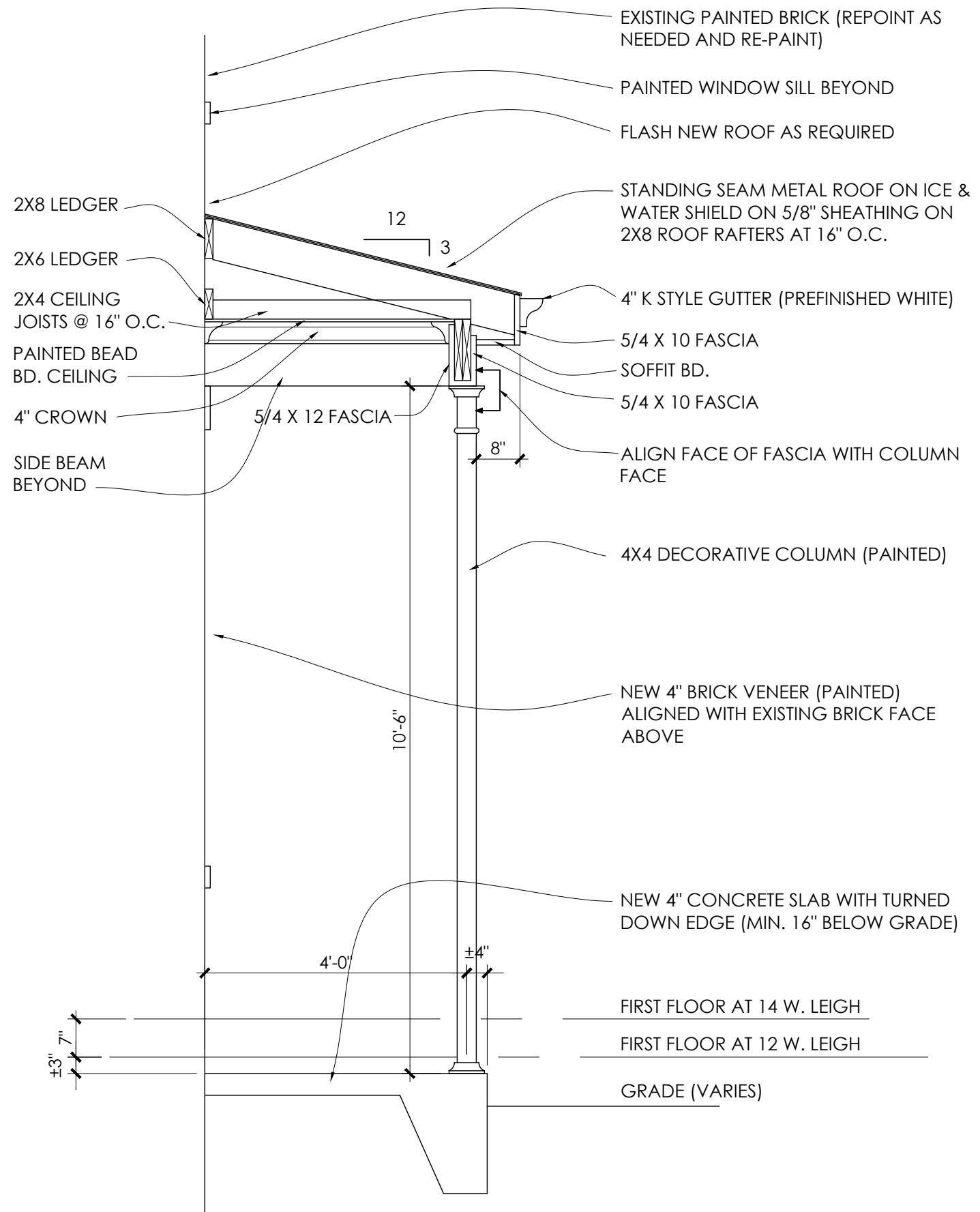
ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

© ratio.pc 2019

## NORTH ELEVATION (BACK)

SCALE: 1/8" = 1'-0"

# A-5



# 14.5WL Renovation

14 1/2 W. LEIGH STREET  
 RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
 1: 02.14.19

ARCHITECT:  
 Ratio, PC  
 1406 Confederate Avenue  
 Richmond, VA 23227  
 804.264.1729

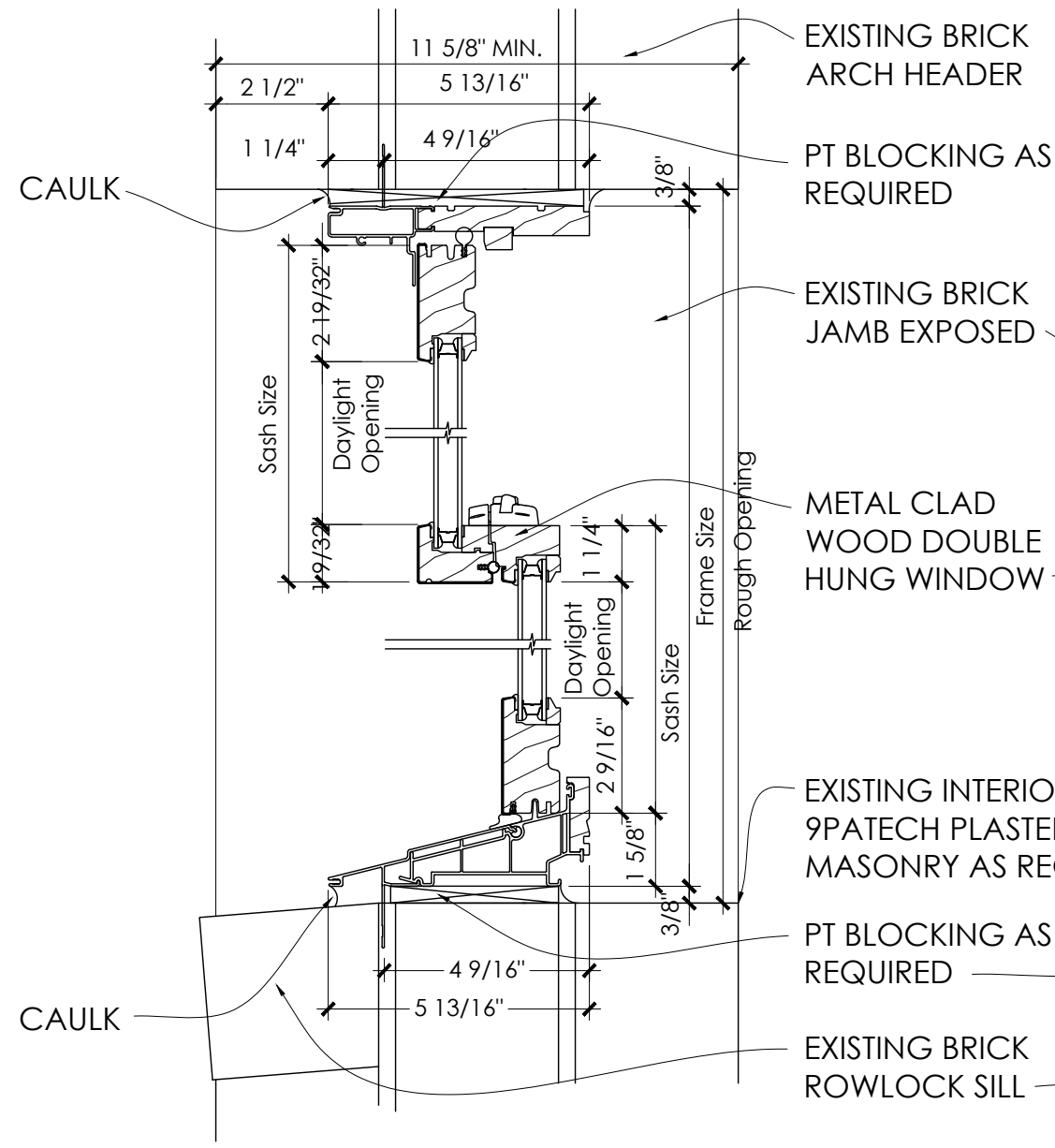
© ratio,pc 2019

## FRONT PORCH SECTION

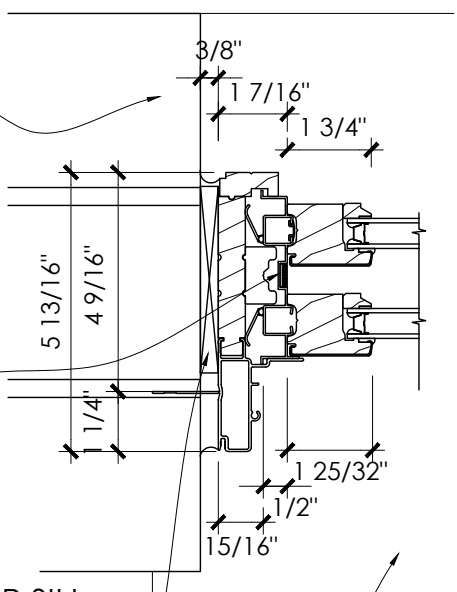
SCALE: 1/2" = 1'-0"

# A-6

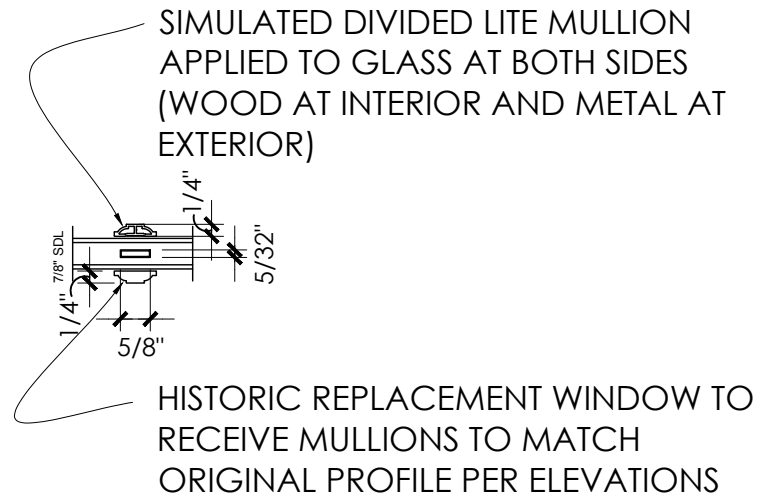
# HEAD



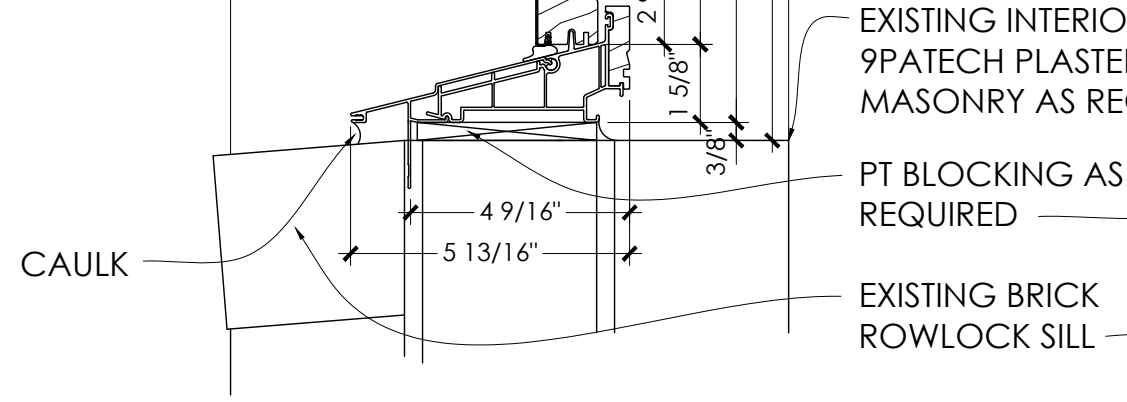
# JAMB



# MULLION



# SILL



INTERIOR

EXTERIOR

EXTERIOR

INTERIOR

- EXISTING BRICK ARCH HEADER
- PT BLOCKING AS REQUIRED
- EXISTING BRICK JAMB EXPOSED
- METAL CLAD WOOD DOUBLE HUNG WINDOW
- EXISTING INTERIOR SILL 9PATECH PLASTER OR MASONRY AS REQUIRED
- PT BLOCKING AS REQUIRED
- EXISTING BRICK ROWLOCK SILL

SIMULATED DIVIDED LITE MULLION APPLIED TO GLASS AT BOTH SIDES (WOOD AT INTERIOR AND METAL AT EXTERIOR)

HISTORIC REPLACEMENT WINDOW TO RECEIVE MULLIONS TO MATCH ORIGINAL PROFILE PER ELEVATIONS

2 OVER 2 WINDOWS WITH MULLIONS AT FRONT HISTORIC OPENING ONLY

MASONRY OPENINGS VARY - GC TO CONFIRM ALL SIZES IN FIELD PRIOR TO ORDERING AND INSTALLATION

## 14.5WL Renovation

14 1/2 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01.23.19

REVISIONS:  
1: 02.14.19

ARCHITECT:  
Ratio, PC  
1406 Confederate Avenue  
Richmond, VA 23227  
804.264.1729

© ratio,pc 2019

## WINDOW DETAIL

NEW STOREFRONT IN RE-OPENED EXISTING MASONRY OPENING  
SCALE: 3" = 1'-0"

# A-7