

INTRODUCED: February 5, 2018

AN ORDINANCE No. 2018-021

To authorize the special use of the property known as 1121 North 25th Street for the purpose of a building with commercial uses on the first floor, up to two dwelling units on the second floor, and no fewer than two on-site parking spaces, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 26 2018 AT 5 P.M.

WHEREAS, the owner of the property known as 1121 North 25th Street, which is situated in a UB Urban Business District and the PE-3 North 25th Street and Venable Street Parking Exempt Overlay District, desires to use such property for the purpose of a building with commercial uses on the first floor and up to two dwelling units on the second floor, which use, among other things, does not conform to the parking requirements set forth in section 30-710.1 of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: FEB 26 2018 REJECTED: _____ STRICKEN: _____

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1121 North 25th Street and identified as Tax Parcel No. E000-0519/028 in the 2018 records of the City Assessor, being more particularly shown on a plat entitled “Plat Showing Physical Improvements of 1121 N. 25th Street for Garrett Augustine, City of Richmond, Virginia,” prepared by Townes, P.C, and dated March 2, 2015, provided as an inset on sheet A1 of the plans entitled “1121 N 25th St – Building Permit Plans, Garrett Augustine,” prepared by Obsidian, dated November 3, 2016, and last revised August 29, 2017, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a building with commercial uses on the first floor, up to two dwelling units on the second floor, and no fewer than two on-site parking spaces, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “1121 N 25th St – Building Permit Plans, Garrett Augustine,” prepared by Obsidian, dated November 3, 2016, and last revised August 29, 2017, a copy of which is attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building, substantially as shown on the Plans. The first floor of the building shall be a use, other than dwelling units, permitted by section 30-433.2 of the Code of the City of Richmond (2015), as amended. The second floor of the building shall consist of up to two dwelling units meeting the requirements of section 30-433.2 of the Code of the City of Richmond (2015), as amended. An accessory outdoor dining area shall be permitted on the Property in front of the building consistent with the applicable underlying zoning regulations. However, section 30-433.2(21)(a) of the Code of the City of Richmond (2015), as amended, shall not apply to the Special Use of the Property. Operations of the outdoor dining area shall cease by no later than 11:00 p.m. daily.

(b) No fewer than two on-site parking spaces shall be provided for the Property, substantially as shown on the Plans.

(c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(d) The height of the Special Use shall be substantially as shown on the Plans.

(e) All building materials and elevations shall be substantially as shown on the Plans.

(f) No fewer than four bicycle parking spaces shall be provided on the Property.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the

drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans, or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto;

consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

RECEIVED

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

JAN 18 2018

Item Request

File Number: PRE. 2017.547

OFFICE OF CITY ATTORNEY

O & R REQUEST

4-740/
JAN 4 2018

O & R Request

Office of the
Chief Administrative Officer

DATE: January 3, 2018

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor

LD 1/17/18

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer

SLG

THROUGH: Peter L. Downey, Deputy Chief Administrative Officer for Economic Development and Planning

PLD

FROM: Mark A. Olinger, Director, Department of Planning and Development Review

MAO

RE: To authorize the special use of the property known as 1121 North 25th Street for the purposes of permitting constructing a mixed-use building to include residential and commercial space upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 1121 North 25th Street for the purposes of permitting a mixed-use building, to include residential and commercial space, upon certain terms and conditions.

REASON: The applicant is proposing a two-story newly constructed building with the intention of leasing space for a restaurant on the ground floor with office or retail on the 2nd floor and is applying for a Special Use Permit to waive existing off-street parking requirements for commercial spaces that currently exist within the property's location. This district does not permit the proposed restaurant use of the property without adequate parking, which is the primary reason a special use permit is required. However, because the current parking requirements for the UB-PE3 zone only apply to existing buildings, and not to newly constructed buildings, the parking requirements for this parcel fall under Section 30-710 of the zoning ordinance requiring a total of one (1) space per one-hundred (100) sq. ft. or thirty-five (35) spaces total.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its February 20, 2018, meeting. A letter outlining the

Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property consists of a 3500 SF or .08 acre parcel of unimproved land located in the Church Hill North neighborhood. The City of Richmond's current East Planning District Land Use Plan designates a land use category for the subject property as Mixed Use. Permitted uses for this category include commercial, residential, and offices. The property is currently located in the UB-PE3 (Urban Business-Parking Exempt) zoning district which requires one (1) space per three hundred (300) square feet or, in the case of this application, approximately six (6) spaces required and three (3) spaces needed after subtracting the proposed three (3) spaces within the applicant's proposed site plan.

The density of the parcel if developed as proposed would be (2) units / .08 acres or approximately (25) units per acre. The City's Master Plan clearly recommends infill development within the East Planning District "...of like density and use..." as appropriate (City of Richmond Master Plan p. 230). Additional supporting language within the Plan can be found within Chapter 11, East Planning District, Land Use Patterns and Development Trends, where it states how the Church Hill North Conservation Area has been targeted for redevelopment with the goal of eliminating blight. (Ibid. p. 161)

Adjacent and nearby properties are primarily within the Urban Business Parking Exempt Zoning Overlay District. Nearby, a combination of B-2, R-6, and R-63 surround the aforementioned District. This portion of North Church Hill and the North 25th Street Corridor is rapidly improving and is, due to recent and pending developments, poised to increase in population as well as demand for commercial services. Parking along this corridor will continue to be important for both new residents as well as customers from the broader, market capture area. That said, the development of the corridor is intended to reflect civic organizations' support toward making the area mixed use and more walkable by, in relation to this application, adhering to the existing Parking Exempt Overlay which eliminates some of the requirements for parking according to certain uses but also applies, however, only toward existing buildings.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: January 22, 2018

CITY COUNCIL PUBLIC HEARING DATE: February 26, 2018

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None.

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission,
February 20, 2018

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None.

REQUIRED CHANGES TO WORK PROGRAM(S): None.

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner
Land Use Administration (Room 511) 646-5734

PDR O&R No. 17-47



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmond.gov>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 1121 N 25th Street Date: 1/3/2017
 Tax Map #: _____ Fee: _____
 Total area of affected site in acres: _____

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: _____

Existing Use: _____

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Restaurant, office space, or retail
 Existing Use: Vacant Land

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Garrett Augustine

Company: Augustine Construction

Mailing Address: 1111 N 36th Street

City: Richmond State: VA Zip Code: 23223

Telephone: (804) 247-0566 Fax: ()

Email: gdabulls@gmail.com

Property Owner: Garrett Augustine

If Business Entity, name and title of authorized signee: Garrett Augustine

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest)

Mailing Address: 1111 N 36th Street

City: Richmond State: VA Zip Code: 23223

Telephone: (804) 247-0566 Fax: ()

Email: gdabulls@gmail.com

Property Owner Signature: [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Garrett Augustine

1111 N 36th Street

Richmond, VA 23223

To Whom it may Concern,

I am proposing to build a mix used commercial building at 1121 N 25th Street. The building will consist of 1 commercial space downstairs along with 2 one-bedroom apartments on the second floor. I am asking for a special use to waive the off-street parking requirement for my commercial space as required by the zoning district. The district requires me to have 6 off-street parking spaces, and I will only be able to provide 3 due to the limitation of my lot size. While I do not have a tenant lined up for my commercial space at this time, I would like the use of the commercial space to be either retail, restaurant, or office space; the hours of operation and number of employees for these business would be typical for a local business.

This building will be a great addition to the 1100 block of N 25th Street, especially as North Church Hill continues to experience growth with the upcoming addition of a new grocery store and culinary arts school. A new commercial space will help meet the demands for new offices, retail, or restaurants created by the continuing revitalization of that section of Church Hill. I have designed the building to fit in with the current aesthetics of the commercial corridor on N 25th Street; this two-story building will match the size of the buildings on either side and will therefore not lead to overcrowding of the land or interference with light and air quality. As a newly built space, this building will be constructed with the most current fire preventing materials, which will contribute to the safety of the adjacent buildings. Further, there are no schools, public parks, or playgrounds near this lot, so there will be no interference with access to any of these public services in the construction and operation of this building.

I hope and anticipate that this building will contribute positively not only to the economy of the 1100 block of N 25th Street but also to its aesthetic and social health, as well as that of the surrounding neighborhood.

Thank you,



Garrett Augustine

804-247-0566

1121 North 25th Street

Building Permit Plans

Owner

Garrett Augustine
1111 North 36th Street
Richmond, VA 23223

Engineer

Obsidian, Inc.
Charles R. Field, P.E.
515 North 22nd Street
Richmond, VA 23223
804.647.1589
crfield@obsidian.pro

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U2	Utility Maps

Property Information

Parcel ID E0000519028
Zoning UB-PE3
Use Residential & Business
Setbacks Front Yard = None
Side Yard = None
Rear Yard = 20 feet
Height 28 feet maximum

Floor Space Table

Second Floor	1740 SF
First Floor	1740 SF
Gross Building Area	3480 SF

Scope of Work

Scope of work will generally consist of the renovation of an existing structure in accordance with these plans and the IBC, 2012.

General Notes

- The structure will be constructed in accordance with the 2012 edition of the "International Building Code", the Statewide Uniform Building Code and the applicable City of Richmond ordinances.
- The contractor is responsible for compliance with City, State and Federal job site safety requirements.
- The contractor shall verify all dimensions and conditions prior to start of work, and any discrepancies will immediately be brought to the attention of the engineer.
- Glazing in windows shall be tempered if the bottom edge is less than 18" above floor, in walls enclosing bathtub or showers, or less than 36" above the plane of stairways or landings.
- There will be a fire sprinkler system.
- There is a proposed fire detection system or alarm.
- The construction type is V-B.
- There are 2 stories.
- The occupancy class is R-3. The first floor commercial occupancy shall be determined by tenant under separate permit plans.
- IRC 2012 minimum insulation and fenestration requirements:
 - Fenestration U-factor : 0.35
 - Ceiling R-value : 38
 - Wood frame wall R-value : 15
 - Mass wall R-value : 8/13
 - Floor R-value : 19
 - Basement wall R-value : 10/13
 - Slab R-value & depth: 10, 2ft
 - Crawl/Space wall R-value : 10/13
 - Bearing soil capacity = 2000 psf
 - Floor live load = 40 psf
 - Floor dead load = 10 psf
 - Roof live load = 20 psf
 - Roof dead load = 10 psf
 - Snow loads = 20 psf
 - Basic Wind speed = 90 mph
 - Seismic Category: B.
 - Exposure: B.

Window Schedule

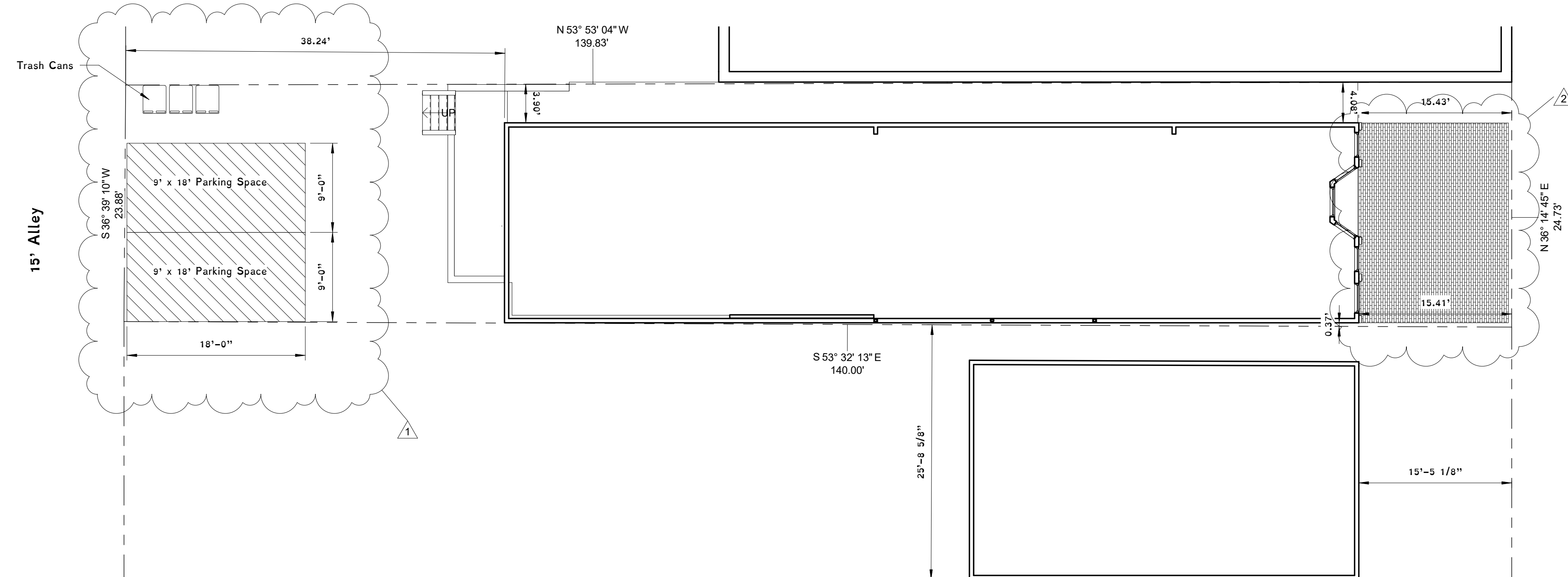
Type Mark	Count	Family	Width	Height
First Floor				
45	7	Double Hung with Trim	3'-0"	6'-0"
53	1	Fixed with Trim	3'-0"	2'-0"
132	2	Fixed with Trim	3'-0"	2'-6"
155	4	Fixed with Trim	2'-6"	6'-0"
157	4	Fixed with Trim	2'-6"	2'-6"
Second Floor				
37	2	Double Hung with Trim	3'-0"	4'-0"
45	3	Double Hung with Trim	3'-0"	6'-0"
119	2	Double Hung with Trim	3'-0"	5'-0"
145	6	Double Hung with Trim	3'-0"	5'-6"

Door Schedule

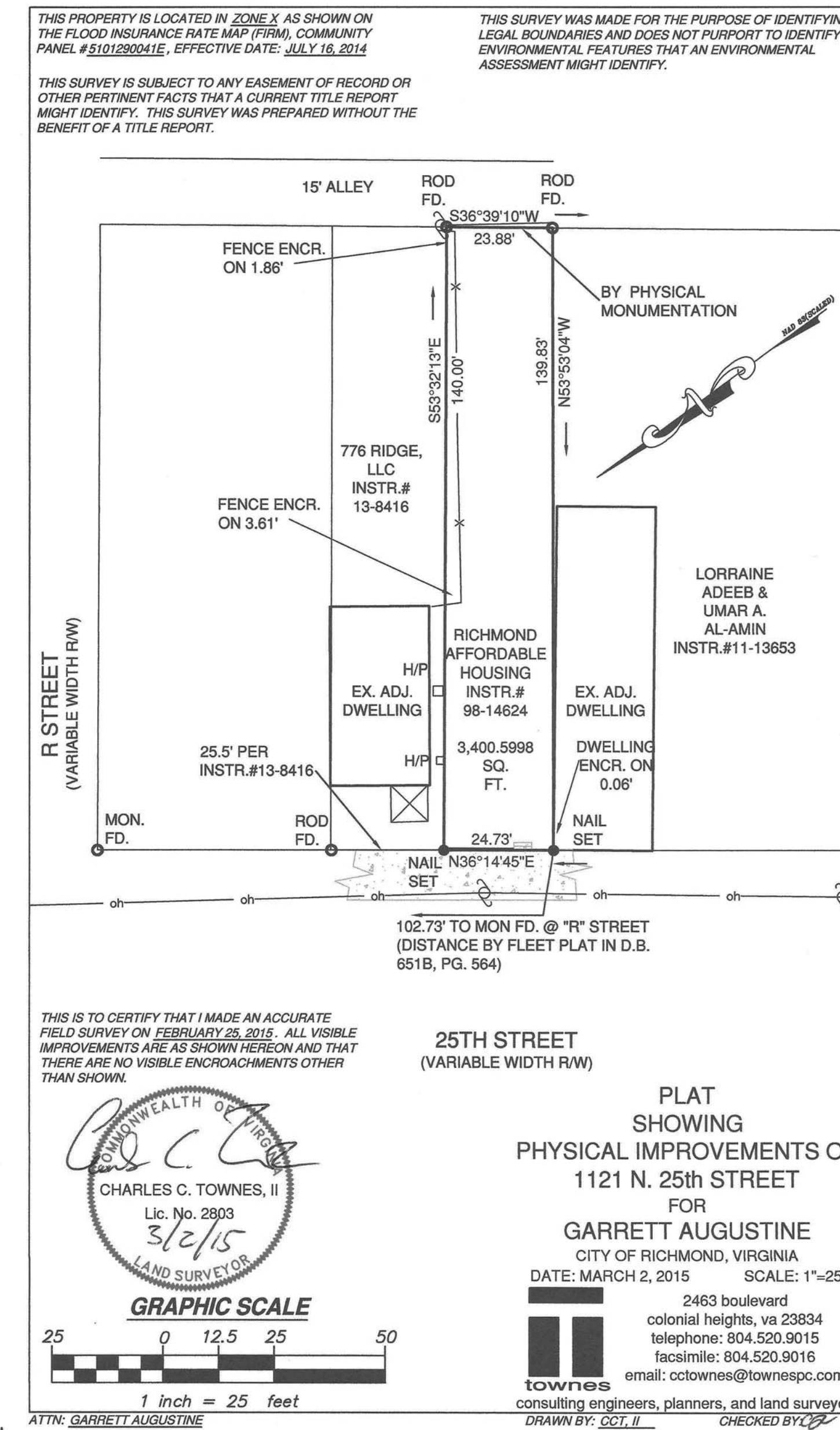
Type Mark	Count	Family	Width	Height
First Floor				
174	5	Single-Panel 4	3'-0"	6'-8"
192	2	Single-Glass 1	3'-0"	7'-0"
rear ground level				
96	1	Single-Glass 1	3'-0"	6'-8"
Second Floor				
151	4	Sliding-Closet	5'-0"	6'-8"
173	2	Single-Panel 4	2'-6"	6'-8"
174	4	Single-Panel 4	3'-0"	6'-8"

Room Area Table

Name	Area
First Floor	
Commercial Space	1017 SF
Storage / Multipurpose	334 SF
ADA Bathroom	46 SF
ADA Bathroom	46 SF
Outdoor Seating/Patio	95 SF
	1538 SF
Second Floor	
Living Room / Kitchen	413 SF
Bathroom	64 SF
Bedroom	169 SF
Kitchen/ Living Room	540 SF
Hallway	124 SF
Closet	14 SF
Closet	14 SF
Closet	14 SF
Bedroom	170 SF
Closet	63 SF
	1599 SF
Grand total	3137 SF



2 Site Plan
1/8" = 1'-0"



ATTN: GARRETT AUGUSTINE

A1

Rev.	Date	Description
1	8/29/2017	Added parking & trash location
2	8/29/2017	Increased front yard setback

Title Sheet
1121 N 25th St - Building Permit Plans
Garrett Augustine
City of Richmond, VA



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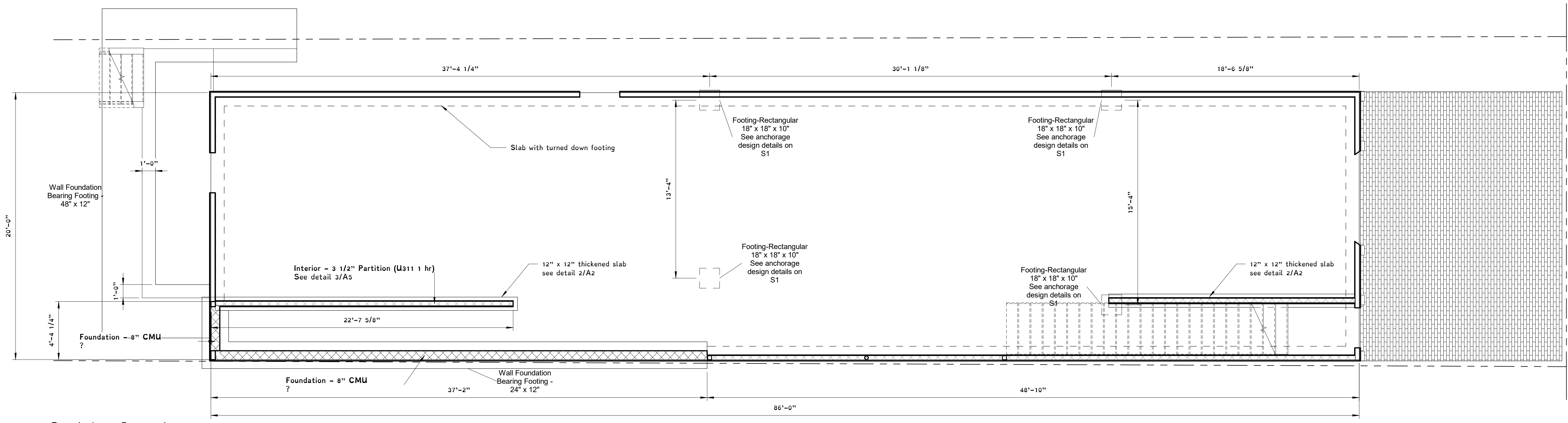
Obsidian
A Professional Engineering Practice
515 North 22nd Street
Richmond, VA 23223
804.647.1589

rev. 8/29/2017
November 3, 2015

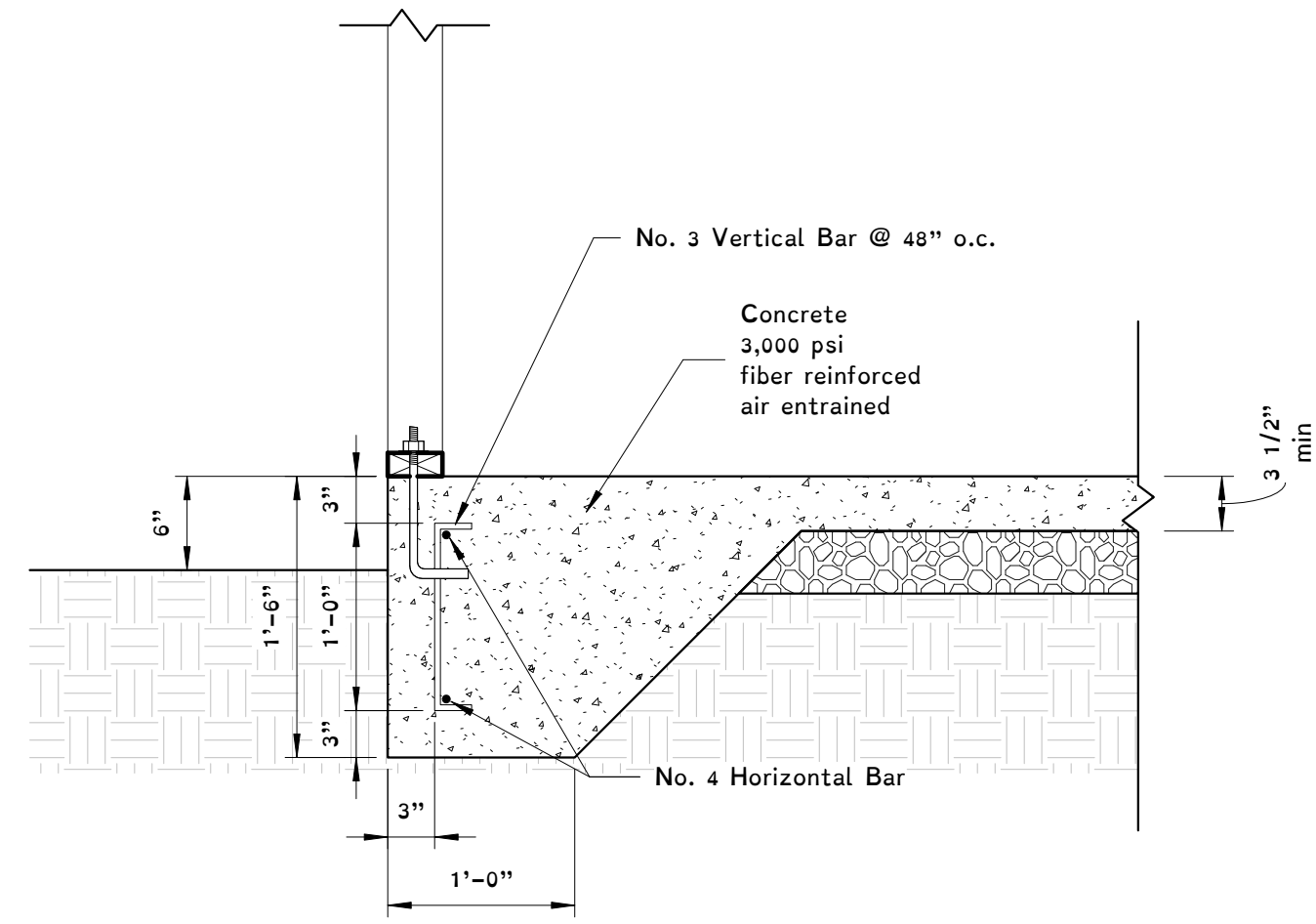
Rev.	Date	Description

rev. 8/29/2017
November 3, 2016

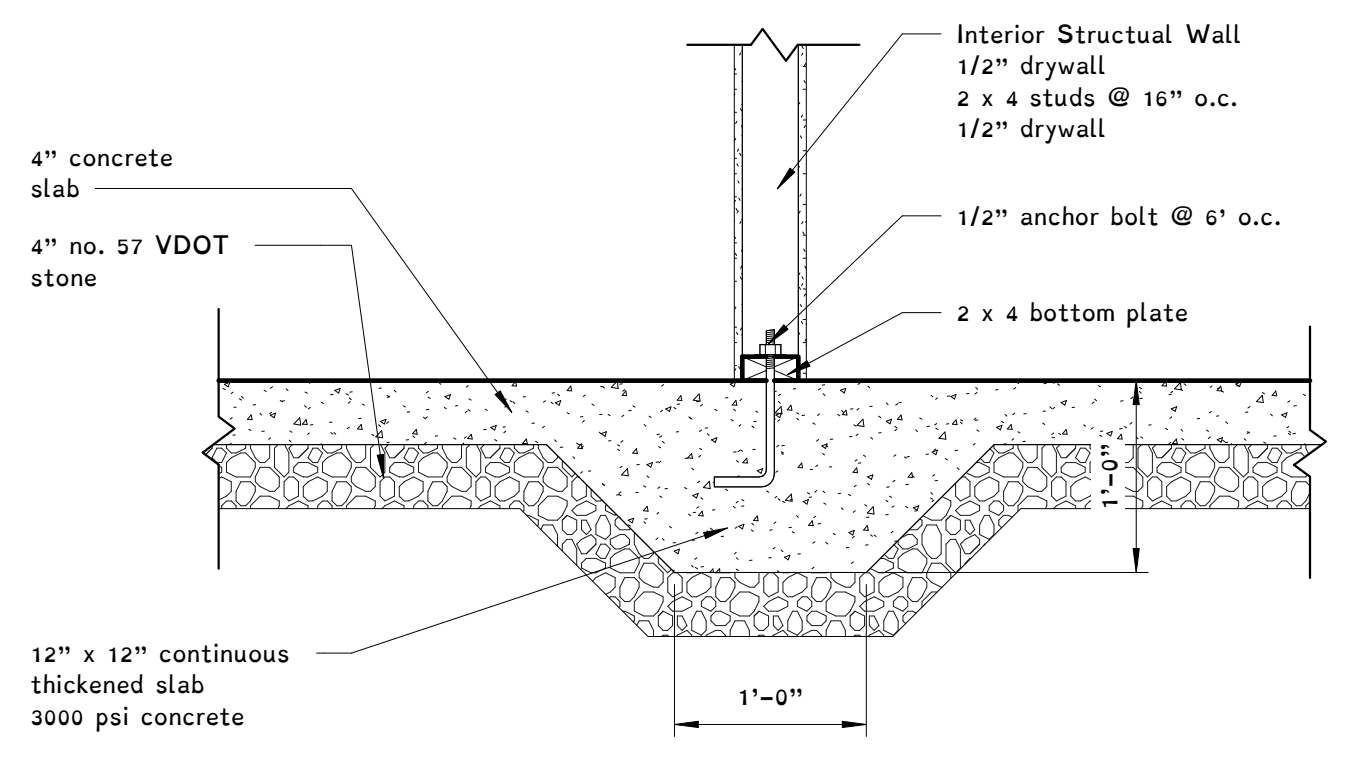
Foundation Plan
1121 N 25th St - Building Permit Plans
Garrett Augustine
City of Richmond, VA



① Foundation - Proposed
1/4" = 1'-0"



② Turned-Down Footing Detail
1" = 1'-0"



③ Thickened Slab Detail
1" = 1'-0"

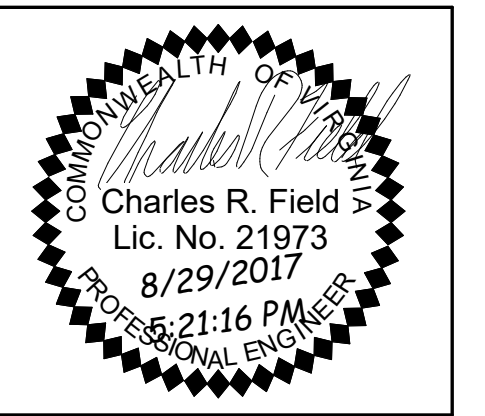


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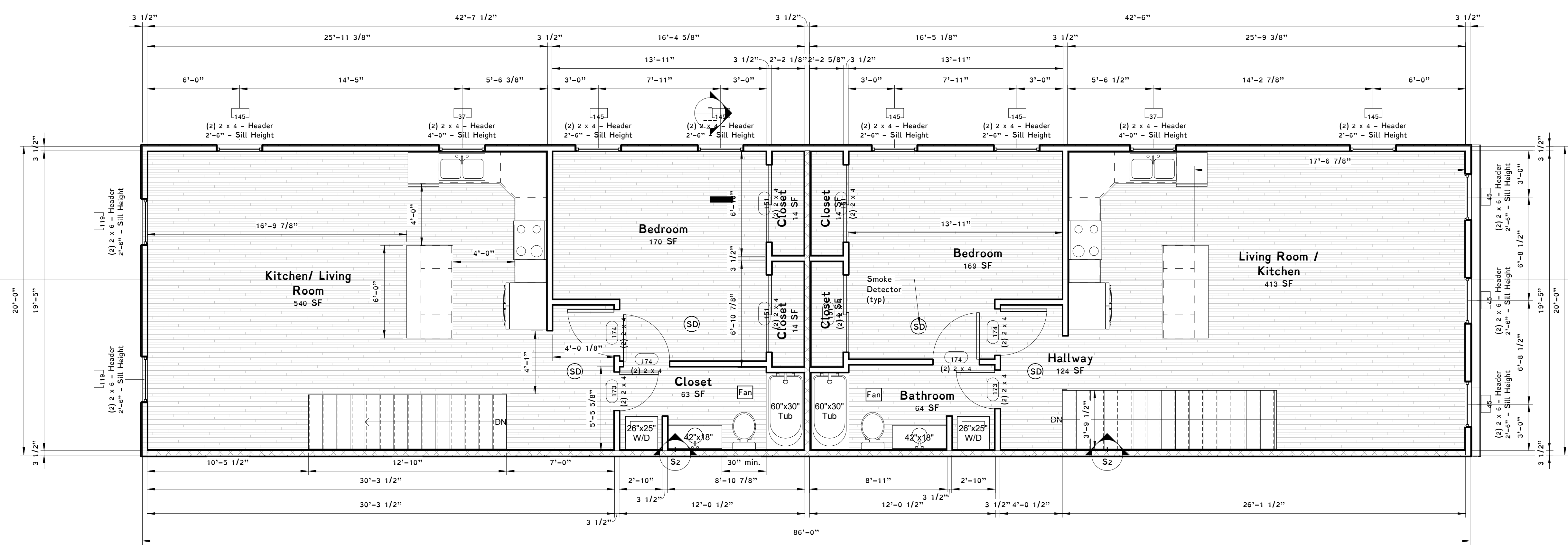
Rev.	Date	Description

Proposed Floor Layout
 1121 N 25th St - Building Permit Plans
 Garrett Augustine
 City of Richmond, VA

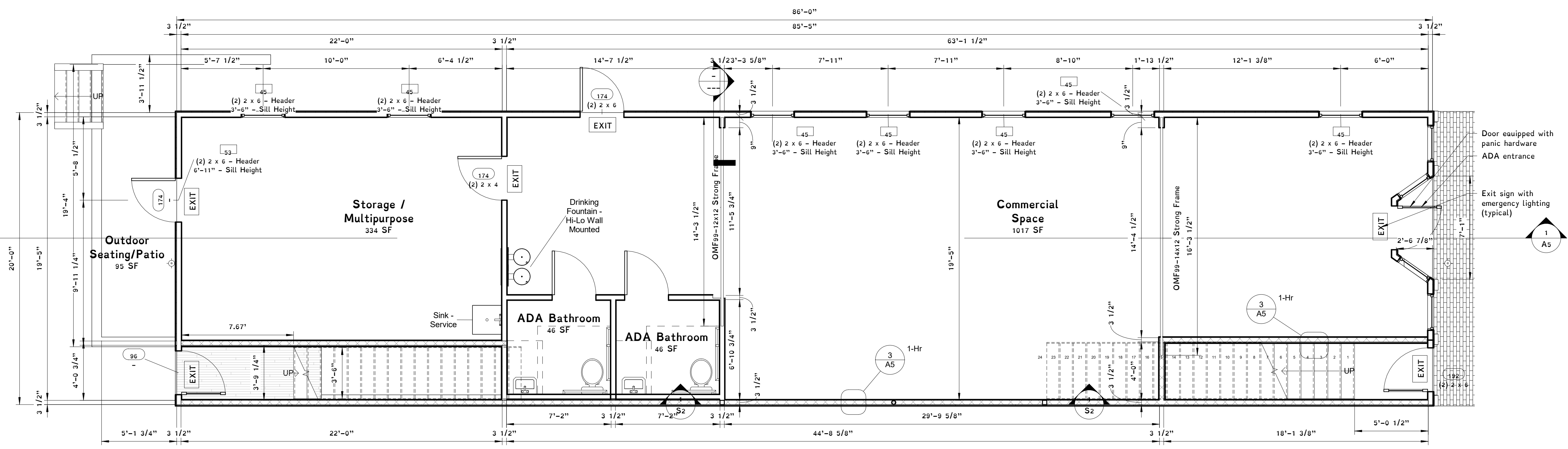
rev. 8/29/2017
 November 3, 2015



obsidian
 A Professional Engineering Practice
 515 North 22nd Street
 Richmond, VA 23223
 804.647.1589

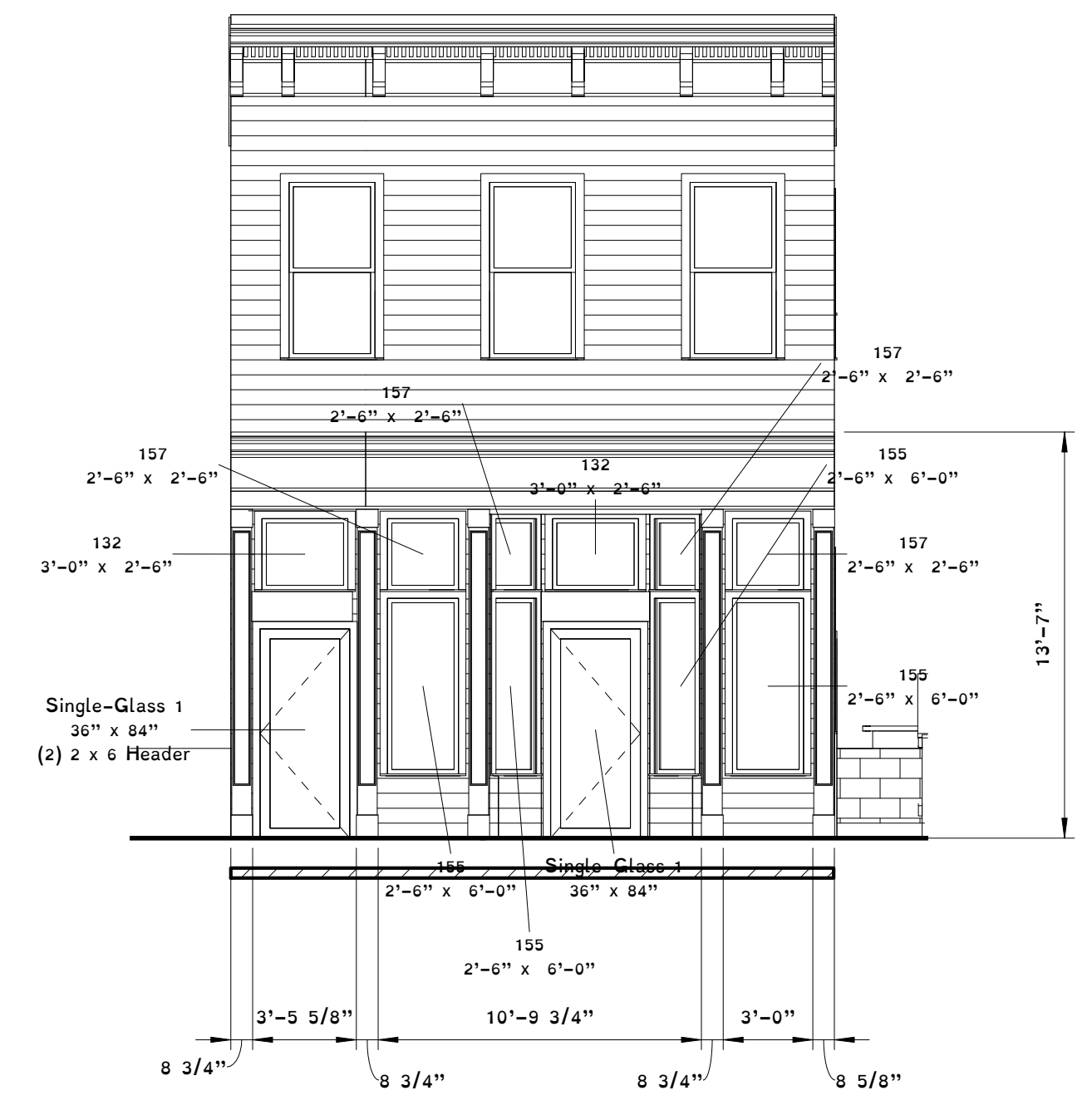


2 2nd Floor - Proposed
 1/4" = 1'-0"



1 1st Floor - Proposed
 1/4" = 1'-0"

Rev.	Date	Description



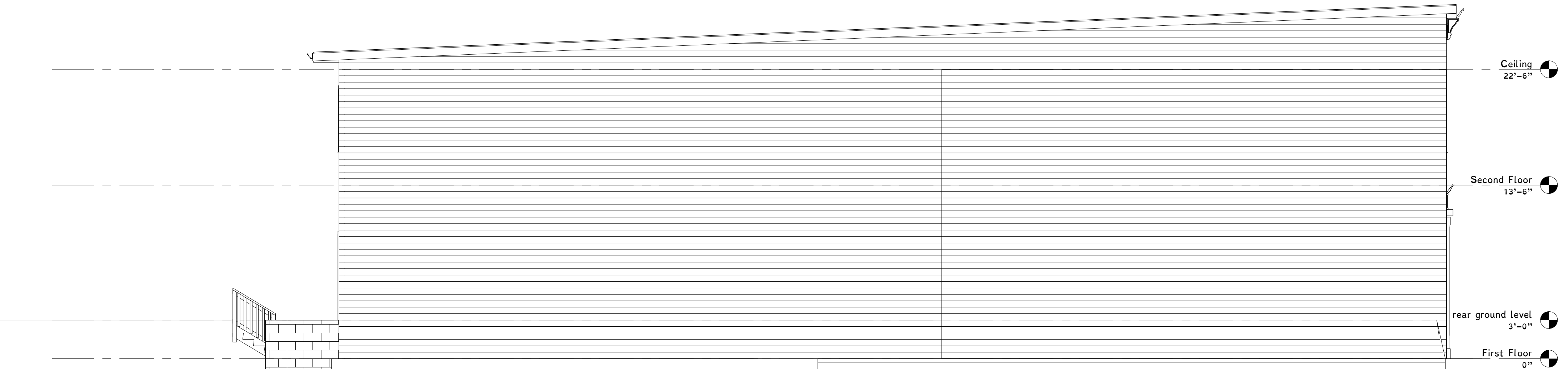
1 Proposed East
3/16" = 1'-0"



2 Proposed North
3/16" = 1'-0"



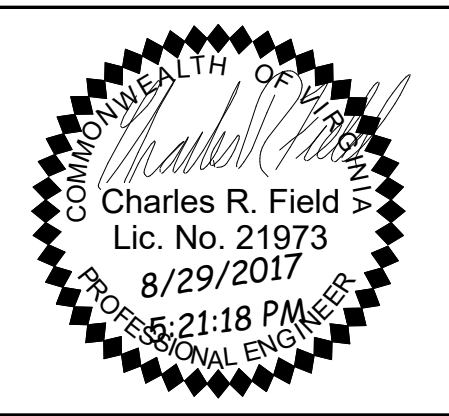
3 Proposed West
3/16" = 1'-0"



4 Proposed South
3/16" = 1'-0"

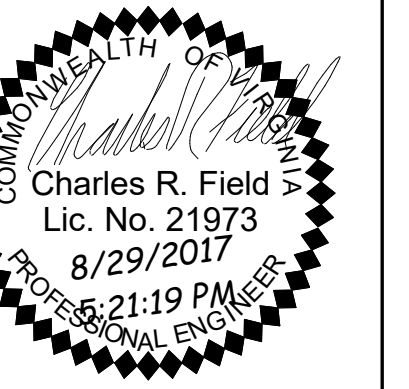
Elevations
1121 N 25th St - Building Permit Plans
Garrett Augustine

City of Richmond, VA
rev. 8/29/2017
November 3, 2016



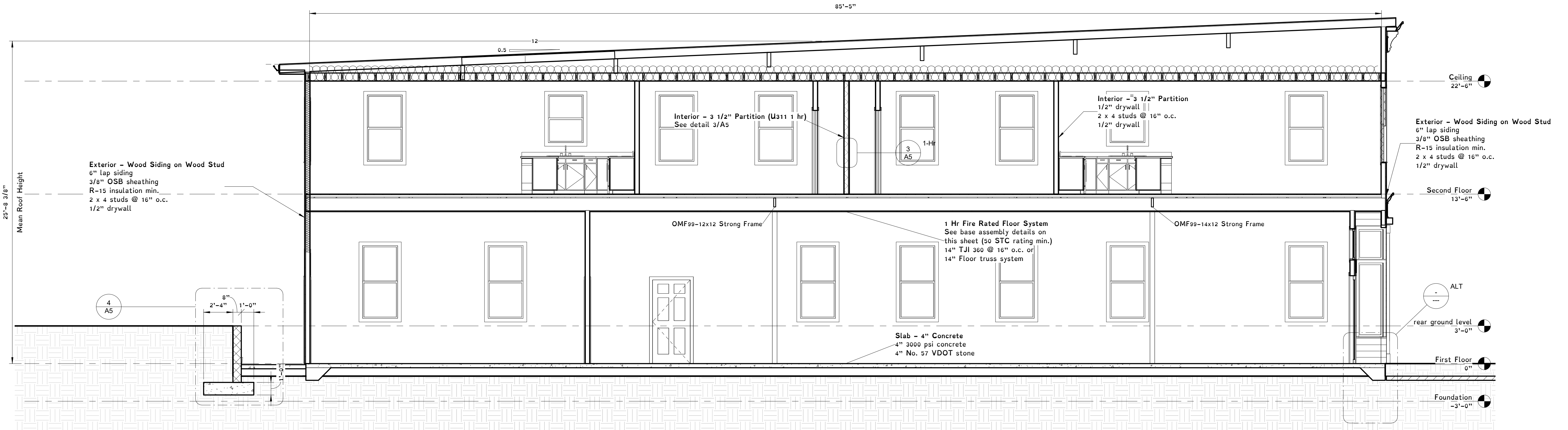
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Details



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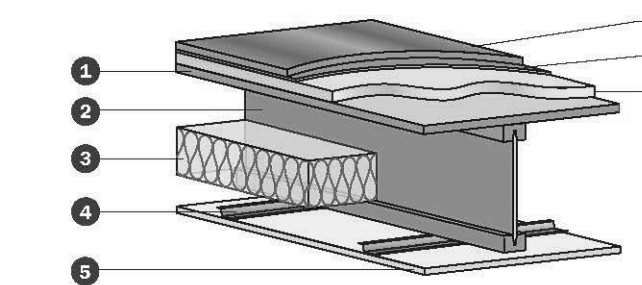
Obsidian
A Professional Engineering Practice
515 North 22nd Street
Richmond, VA 23223
804.647.1589



1 Cross Section
1/4" = 1'-0"

BASE ASSEMBLY H

Assembly H. Single Layer Ceiling, One-Hour Rated⁽¹⁾
ICC-ES ESR-1153, PFS D-1



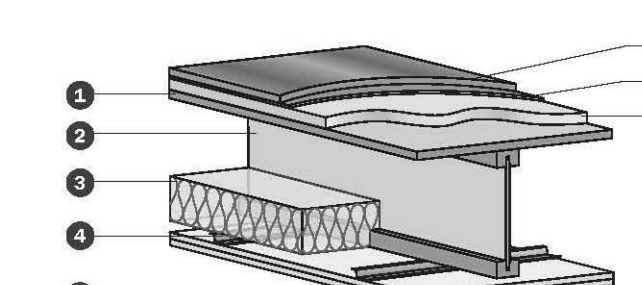
- Base Components:**
1. Single layer of 48/24 minimum, span-rated tongue-and-groove sheathing (such as Weyerhaeuser's Edge™ or Edge Gold® OSB, or equivalent), nailed and glued with a subfloor adhesive.
 2. Flak Jacket™ protected TJI® 210, 230, 360, or 560 joist, with on-center spacing of 16" or less. For wider spacing, up to 24" on-center maximum, use 1 1/4" deep or greater TJI® 230, 360, or 560 joists.
 3. Glass fiber insulation⁽²⁾ placed between the TJI® joists and above the bottom flange. See tables for specifications.
 4. RCI resilient channels at 16" on-center.
 5. One layer 3/8" thick Type C gypsum board.
- Flooring Components, see tables below:**
6. Finish flooring.
 7. Acoustic mat⁽³⁾.
 8. Underlayment⁽³⁾.
- (1) For more information about design, installation and fire performance of this assembly, see the Weyerhaeuser Fire-Rated Assemblies and Sprinkler Systems Guide 1500, ICC-ES ESR-1153, and PFS Listings.
(2) Insulation is optional for the fire resistance rating.
(3) In some assemblies, placement of acoustic mat is below underlayment. See tables.

Assembly H Hardwood Options

Finish Flooring	IIC	STC	Acoustic Mat	Underlayment	Insulation
Engineered hardwood, 3/4" thick, floating	50	58	EOORE 5mm QTiscu® installed over gypsum concrete	1" gypsum concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	54 ⁽¹⁾	57	Proflex™ RCU 250 installed over gypsum concrete	1" gypsum concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	53 ⁽¹⁾	55	EOORE 5mm QTiscu® installed over lightweight concrete	1 1/2" lightweight concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	55 ⁽¹⁾	55	Proflex™ RCU 250 installed over lightweight concrete	1 1/2" lightweight concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	55	61 ⁽¹⁾	Acoust-mat® II HP installed under gypsum concrete	1" Maxxon® gypsum concrete underlayment	3 1/2" (R-11) fiberglass

(1) Values estimated by engineering analysis.
(2) Value from same assembly tested with quarry tile.

Assembly B Two Layer Ceiling, One-Hour Rated⁽¹⁾
ICC-ES ESR-1153, PFS FA-1, Intertek WNR FCA 60-01, WNR FCA 60-03



- Base Components:**
1. Single layer of 48/24 minimum, span-rated tongue-and-groove sheathing (such as Weyerhaeuser's Edge™ or Edge Gold® OSB, or equivalent), nailed and glued with a subfloor adhesive.
 2. TJI® joists with on-center spacing of 24" maximum.
 3. Glass fiber insulation⁽²⁾, above resilient channels and between bottom flanges. Maximum R-30 rating. See tables for specifications.
 4. RCI resilient channels⁽²⁾ at 16" on-center. Spacing can be increased to 24" on-center for joists spaced 16" on-center.
 5. Two layers of 3/8" thick Type X gypsum board complying with ASTM C36 or two layers of 1/2" thick Type C gypsum board.
- Flooring Components, see tables below:**
6. Finish flooring.
 7. Acoustic mat.
 8. Underlayment.
- (1) For more information about design, installation and fire performance of this assembly, see the Weyerhaeuser Fire-Rated Assemblies and Sprinkler Systems Guide 1500, ICC-ES ESR-1153, PFS and Intertek Listings.
(2) Insulation and resilient channels are optional for the fire resistance rating.

Assembly B Hardwood Options

Finish Flooring	IIC	STC	Acoustic Mat	Underlayment	Insulation
Engineered hardwood, 3/4" thick, floating	54 ⁽¹⁾	55	EOORE 5mm QTiscu® installed over lightweight concrete	1 1/2" lightweight concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	55 ⁽¹⁾	58 ⁽¹⁾	EOORE 5mm QTiscu® installed over gypsum concrete	1" gypsum concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	56 ⁽¹⁾	55	Proflex™ RCU 250 installed over lightweight concrete	1 1/2" lightweight concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	57 ⁽¹⁾	57	Proflex™ RCU 250 installed over gypsum concrete	1" gypsum concrete	3 1/2" (R-11) fiberglass
Engineered hardwood, 3/4" thick, floating	57 ⁽¹⁾	61 ⁽¹⁾	Acoust-mat® II HP installed under gypsum concrete	1" Maxxon® gypsum concrete underlayment	3 1/2" (R-11) fiberglass

(1) Value estimated by engineering analysis.
(2) Value from assembly tested with single-layer ceiling (Assembly H).

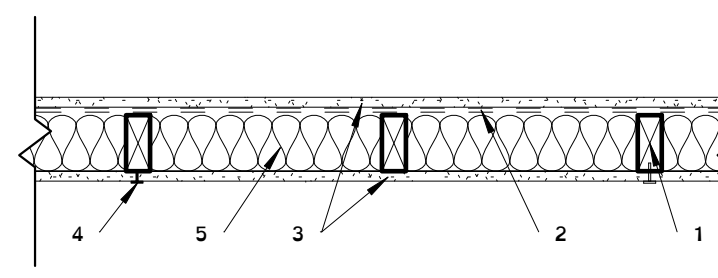
Notes:

The diameter or width of the gripping surfaces of a handrail or grab bar shall be 1-1/4 in to 1-1/2 in (32 mm to 38 mm), or the shape shall provide an equivalent gripping surface. If handrails or grab bars are mounted adjacent to a wall, the space between the wall and the grab bar shall be 1-1/2 in. Handrails may be located in a recess if the recess is a maximum of 3 in (75 mm) deep and extends at least 18 in (455 mm) above the top of the rail.

The structural strength of grab bars, tub and shower seats, fasteners, and mounting devices shall meet the following specification:

1. Bending stress in a grab bar or seat induced by the maximum bending moment from the application of 250 lbf (1112N) shall be less than the allowable stress for the material of the grab bar or seat.
2. Shear stress induced in a grab bar or seat by the application of 250 lbf (1112N) shall be less than the allowable shear stress for the material of the grab bar or seat. If the connection between the grab bar or seat and its mounting bracket or other support is considered to be fully restrained, then direct and torsional shear stresses shall be totaled for the combined shear stress, which shall not exceed the allowable shear stress.
3. Shear force induced in a fastener or mounting device from the application of 250 lbf (1112N) shall be less than the allowable lateral load of either the fastener or mounting device or the supporting structure, whichever is the smaller allowable load.
4. Tensile force induced in a fastener by a direct tension force of 250 lbf (1112N) plus the maximum moment from the application of 250 lbf (1112N) shall be less than the allowable withdrawal load between the fastener and the supporting structure.
5. Grab bars shall not rotate within their fittings.
6. Toilet paper dispenser must be at least 1 1/2" below or 12" above the grab bar.

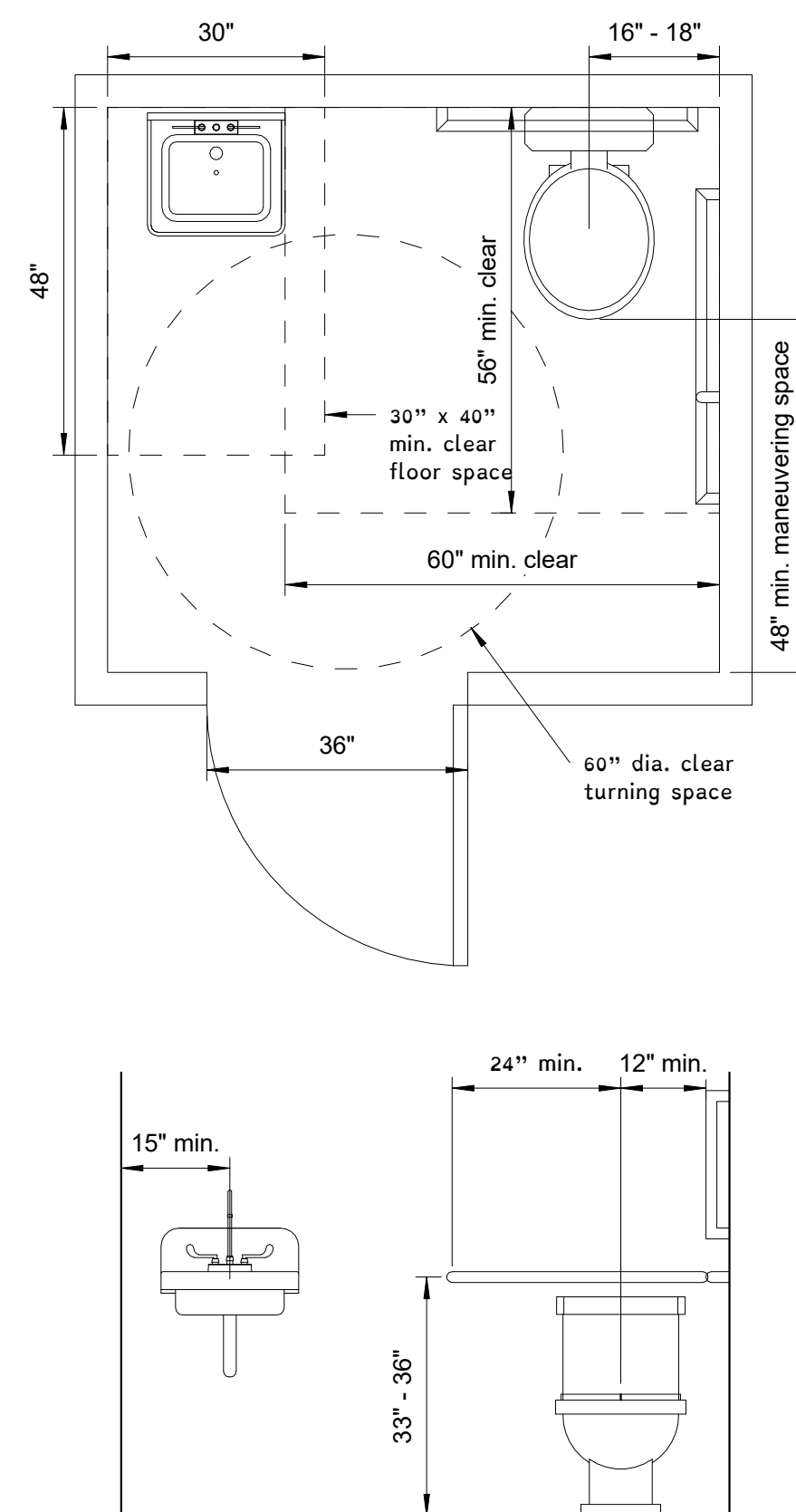
Design No. U311
Bearing Wall Rating - 1 Hr.
STC Rating - 52



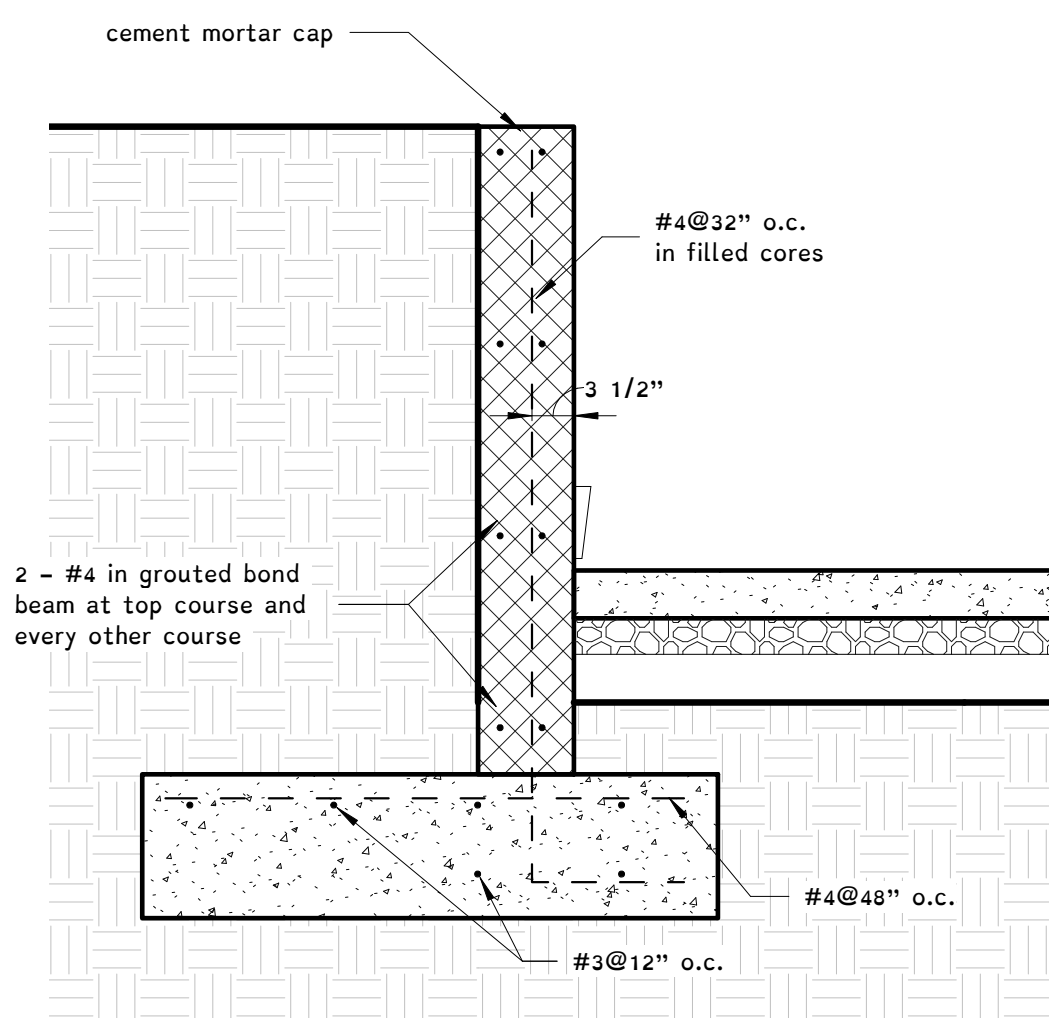
1. Wood Studs - Nom 2 by 4 in, spaced 16 in. OC max, effectively firestopped.
2. Resilient Channel - 25 MSG galv steel. Resilient Channels spaced vertically 24 in. o.c., flange portion screw attached to one side of studs with 1-1/4 in. long Type W coarse thread gypsum panel steel screws.
3. Gypsum Board* - 5/8 in. thick, 4 ft wide. Screw attached on one side of wall to furring channels with 1 in. long, self-drilling, self-tapping steel screws spaced 12 in. OC, vertical joints located midway between studs and back blocked with furring channels, attached with 1 in. long, self-drilling, self-tapping screws, spaced 12 in. OC, along each edge. Gypsum board on opposite side of wall attached directly to studs with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced 12 in. OC. Vertical joints shall be located over studs on this side of the wall.
4. Joints and Screw Heads - Wallboard joints covered with paper tape and joint compound. Screw heads covered with joint compound. As an alternate, non 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with joints reinforced with paper tape.
5. Batts and Blankets - 3-1/2 in. thick mineral wool batts, placed to fill interior of wall, attached to the 4-in. face of the studs with staples placed 24 in. OC, or fiberglass insulation.

Exterior grade drywall to be used on exterior walls.

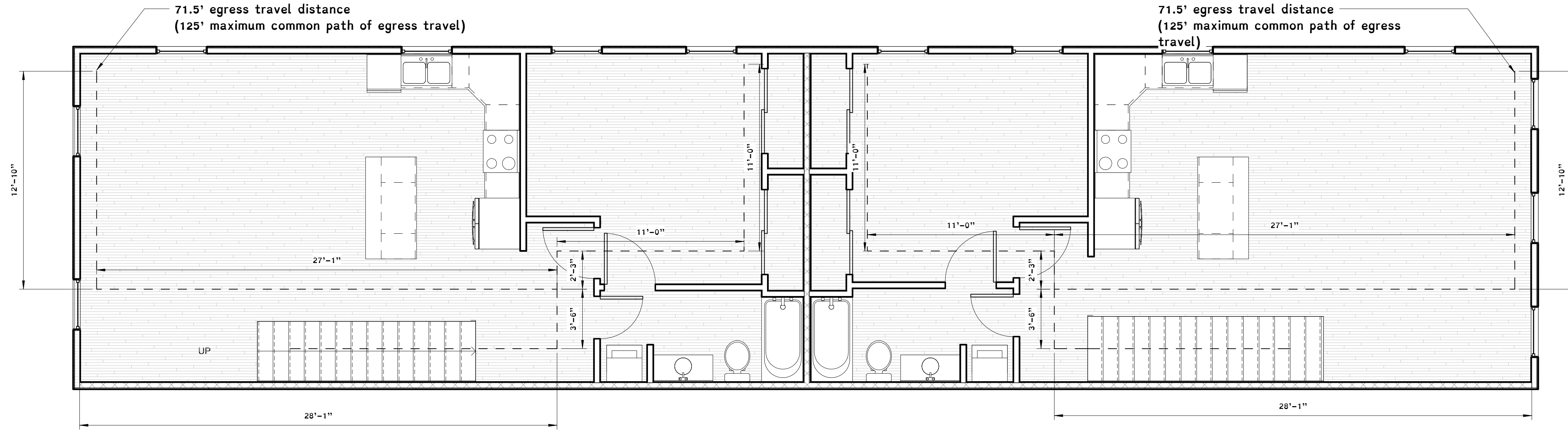
3 1 Hr Wall - Stud, U311
1" = 1'-0"



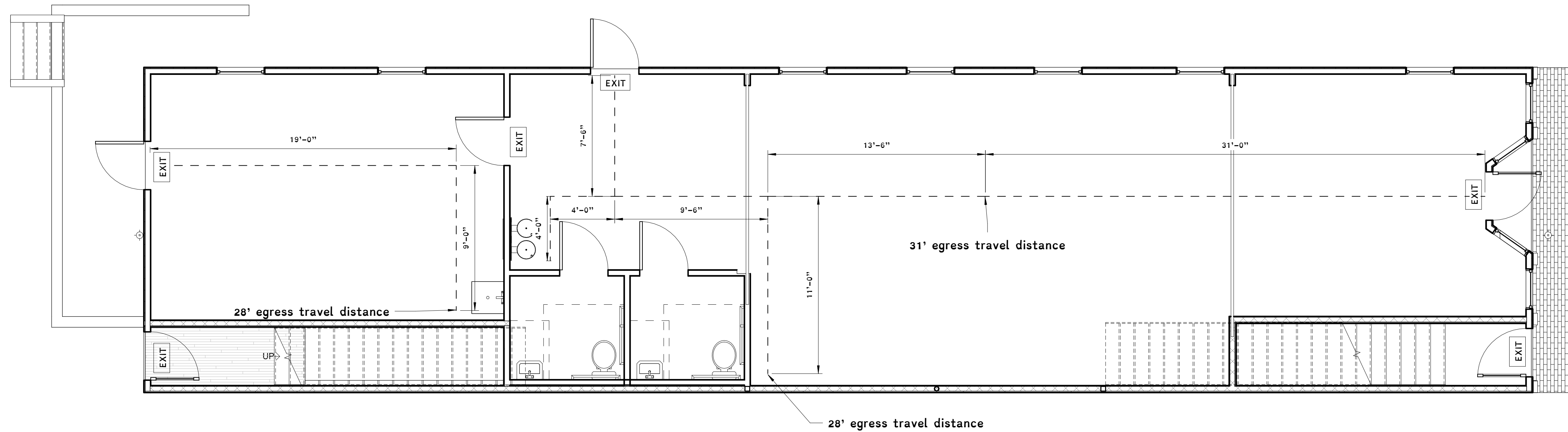
2 ADA Bathroom Detail
1/2" = 1'-0"



4 Retaining Wall Detail
3/4" = 1'-0"



2 2nd Floor - Egress Plan
1/4" = 1'-0"



1 1st Floor - Egress Plan
1/4" = 1'-0"

Rev.	Date	Description

Egress Plan
1121 N 25th St - Building Permit Plans
Garrett Augustine
 City of Richmond, VA
 rev. 8/29/2017
 November 3, 2016



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Effective Seismic Weight
1121 North 25th Street
Prepared by: CRF

2nd Floor

Table with 2 columns: Load Type and Value. Includes Dead Load (Floor Width 20 feet, Floor Length 86 feet, Floor Area 1720 sf, Floor Dead Load 10 psf, Dead Load 17,200 lbs) and Live Load (Residential Area 1741 sf, Code Live load 50 psf, Live Load 25% 12.7.2, Live Load 21,763 lbs).

Table with 2 columns: Load Type and Value. Includes Live Load (Residential Area 1741 sf, Code Live load 50 psf, Live Load 25% 12.7.2, Live Load 21,763 lbs) and Total Floor Load 38,963 lbs.

Roof

Table with 2 columns: Load Type and Value. Includes Dead Load (Width 20 feet, Length 86 feet, Area 1720 sf, Dead Load 11.9 psf, Dead Load 20,468 lbs) and Snow Load (Flat Roof, P_f = 0.7C_eC_iP_s, Eq. 7-1, Importance Factor, I 1.0 Table 7.4, Exposure Factor, C_e 1.0 Table 7.2, Thermal Factor, C_t 1.0 Table 7.3, Snow Load, P_s 20.0 psf Figure 7-1, Snow Load Flat Roof, P_f 14 psf, Flat Area 0.0 ft, Flat Roof Load - lbs, Sloped Roof, P_s = C_eP_f, Eq. 7.2, Roof Slope Factor, C_s 1 Figure 7-2a and b, Snow Load Slope, P_t 14 psf, Sloped Area 1720 sf, Sloped Roof Load 24,080 lbs, Total Roof Snow Load 24,080 lbs, Total Snow Load 44,548 lbs).

SIMPSON STRONG-TIE COMPANY INC. 5956 W. Las Positas Blvd., Pleasanton, CA 94588 (800) 999-5099 www.strongtie.com

Anchorage Design For:

Job Name: New Commercial Building Engineer: Charles R. Field, P.E. Date: 11/1/2016 Frame ID: 1 Strong Frame® Selector 4.5.1.0 Frame Model: OMF99-14x12

Foundation Type: Slab-on-Grade

Anchorage Model: MFSL-18-HS5-KT Anchorage Footing Width, W: 18.00" Anchorage Grade: A448, Diameter: 0.625" Extension Kit: Not Required Concrete Code: ACI 318-11 Concrete f'c: 3000 psi Step Height: 6" Concrete: Cracked SDC: D Min. Edge Distance: 1.25", Embedment, de: 6.00"

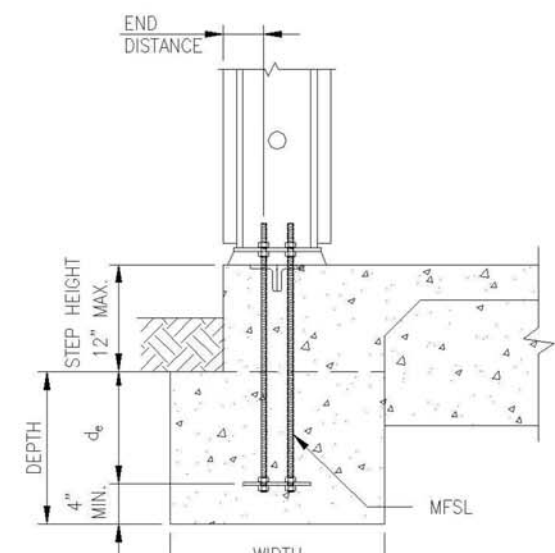
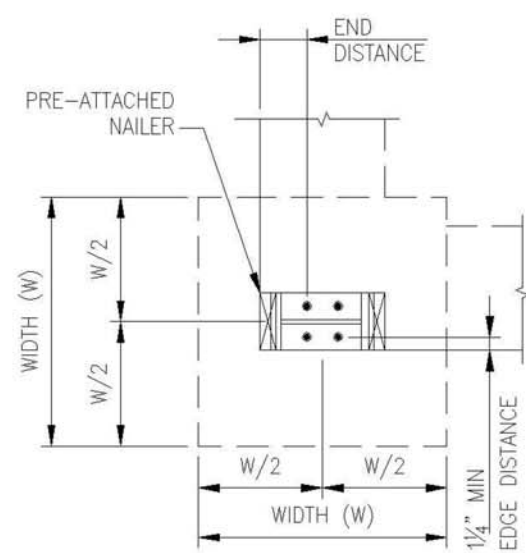
Left Column: End Distance: 4.500" (Additional studs are not required)

Right Column: End Distance: 4.500" (Additional studs are not required)

Final Frame W1 and W2 Dimensions (Including Additional End Distance where required for Anchorages): W1: 14'-4" W1 Final: 14'-4" W2: 16'-4" W2 Final: 16'-4"

Plan View:

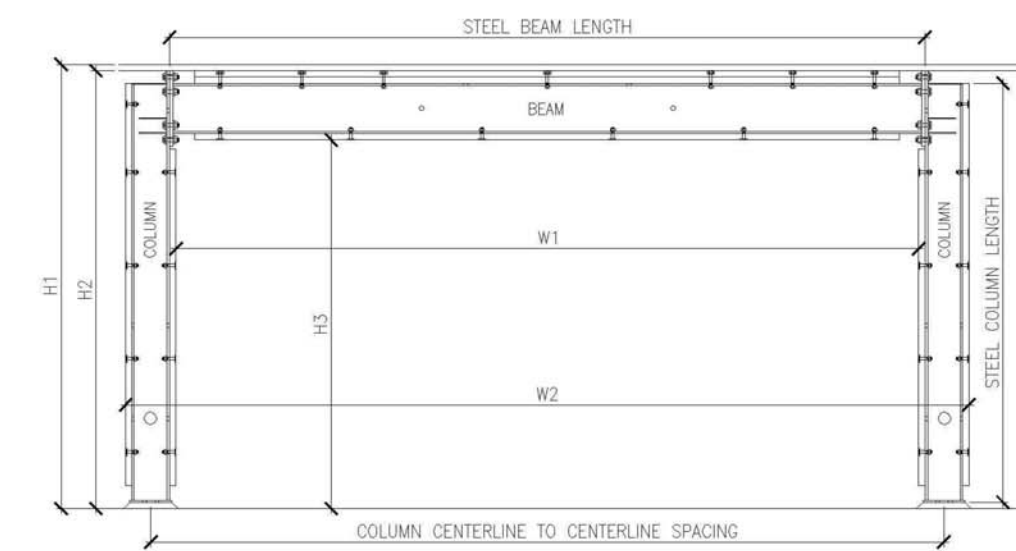
Section View:



- Notes: 1. Actual footing/grade beam size and reinforcing must be determined by Designer based on project specific geometry and allowable soil bearing pressures. 2. The following end distance corresponds to pre-installed wood nailer flush with end of concrete: C6-4 1/2", C9-4 1/2", C12-6", C15-7 1/2", C18H-9", C21H-10.5", W8A-4 1/4", W10-5 1/2", W12-6 1/2", W14-7", W16-8.25", W18B-8.5/8". 3. End distance is measured from centerline of nearest anchor bolt to edge of concrete.

SIMPSON STRONG-TIE COMPANY INC. 5956 W. Las Positas Blvd., Pleasanton, CA 94588 (800) 999-5099 www.strongtie.com

OMF Frame Summary:



Model: OMF99-12x12

Table with 2 columns: Property and Value. Includes Custom Size (No), Beam Size (B9, Steel Beam Depth: 8.5"), Column Size (C9, Steel Column Depth: 9"), W1 Dimension (12'-4"), W2 Dimension (14'-4"), Column C.C. Spacing (13'-4"), H1 Dimension (12'-0 3/4"), H2 Dimension (11'-11 1/4"), H3 Dimension (10'-10 1/4"), Steel Beam Length (12'-7"), Steel Column Length (11'-6 3/4"), End Plate Bolting (Pre-Tensioned), Min. Beam Top Nailer Bolt (2).

Notes:

- Notes: 1. H1, H2, and H3 dimensions assume 1-1/2" thick non-shrink grout. 2. H1 and H2 dimensions assume 1-1/2" thick field installed top plate. 3. Anchorage solution may require additional studs on side of columns, see anchorage design output for final W1 and W2 dimensions. For C18H and C21H, W2 assume (2) 2x6 for each column interior nailer. 4. Column and beam sizes shown are as depth of steel only and do not include nailers. 5. If custom beam or column is within 0.5" of stock length, stock beam or column will be used. 6. (1) 4x6 beam top nailer for frames with C18H and C21H columns. (2) 2x6 beam top nailer for frames with C6, C9, C12 and C15 columns. 7. Simpson Strong-Tie® Strong Frame® and the Yield-Link™ structural fuseare protected under US patent number 8,001,734, B2 and must be supplied or licensed through Simpson Strong-Tie.

SIMPSON STRONG-TIE COMPANY INC. 5956 W. Las Positas Blvd., Pleasanton, CA 94588 (800) 999-5099 www.strongtie.com

Anchorage Design For:

Job Name: New Commercial Building Engineer: Charles R. Field, P.E. Date: 11/1/2016 Frame ID: 1 Strong Frame® Selector 4.5.1.0 Frame Model: OMF99-12x12

Foundation Type: Slab-on-Grade

Anchorage Model: MFSL-18-HS5-KT Anchorage Footing Width, W: 18.00" Anchorage Grade: A448, Diameter: 0.625" Extension Kit: Not Required Concrete Code: ACI 318-11 Concrete f'c: 3000 psi Step Height: 6" Concrete: Cracked SDC: D Min. Edge Distance: 1.25", Embedment, de: 6.00"

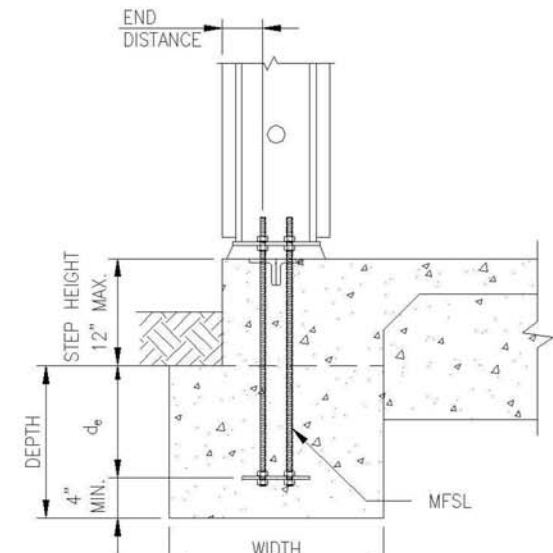
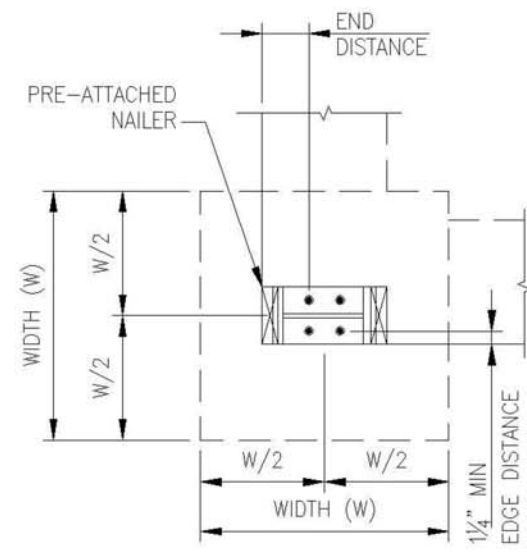
Left Column: End Distance: 4.500" (Additional studs are not required)

Right Column: End Distance: 4.500" (Additional studs are not required)

Final Frame W1 and W2 Dimensions (Including Additional End Distance where required for Anchorages): W1: 12'-4" W1 Final: 12'-4" W2: 14'-4" W2 Final: 14'-4"

Plan View:

Section View:

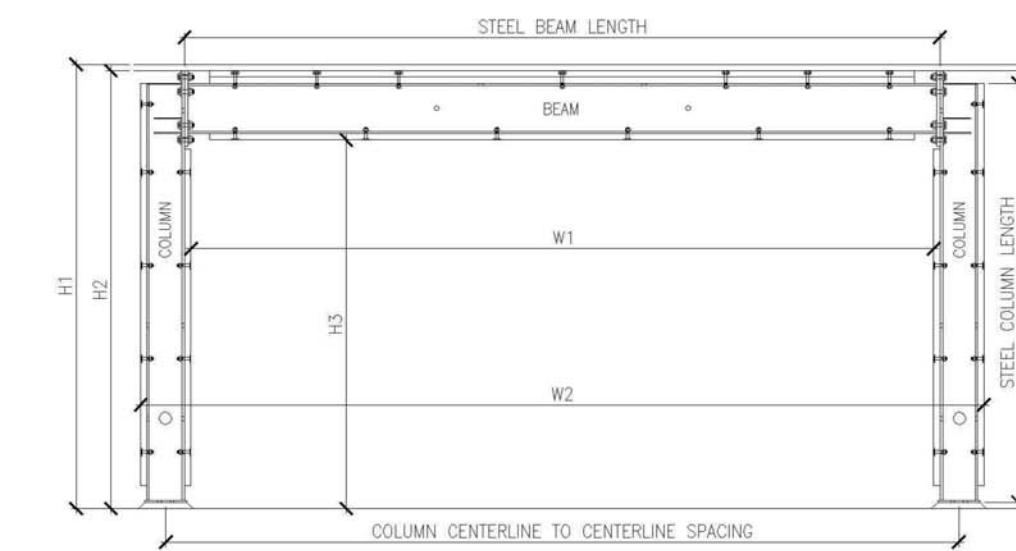


Notes:

- Notes: 1. Actual footing/grade beam size and reinforcing must be determined by Designer based on project specific geometry and allowable soil bearing pressures. 2. The following end distance corresponds to pre-installed wood nailer flush with end of concrete: C6-4 1/2", C9-4 1/2", C12-6", C15-7 1/2", C18H-9", C21H-10.5", W8A-4 1/4", W10-5 1/2", W12-6 1/2", W14-7", W16-8.25", W18B-8.5/8". 3. End distance is measured from centerline of nearest anchor bolt to edge of concrete.

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OMF Frame Summary:



Model: OMF99-14x12

Table with 2 columns: Property and Value. Includes Custom Size (No), Beam Size (B9, Steel Beam Depth: 8.5"), Column Size (C9, Steel Column Depth: 9"), W1 Dimension (14'-4"), W2 Dimension (16'-4"), Column C.C. Spacing (15'-4"), H1 Dimension (12'-0 3/4"), H2 Dimension (11'-11 1/4"), H3 Dimension (10'-10 1/4"), Steel Beam Length (14'-7"), Steel Column Length (11'-6 3/4"), End Plate Bolting (Pre-Tensioned), Min. Beam Top Nailer Bolt (2).

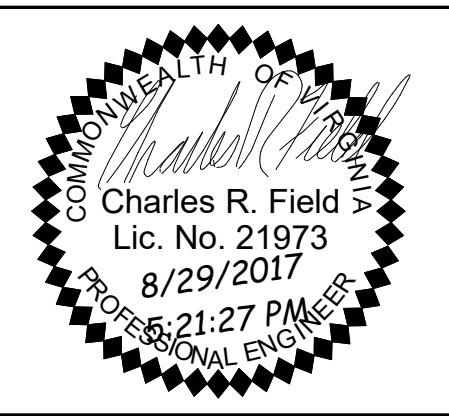
Notes:

- Notes: 1. H1, H2, and H3 dimensions assume 1-1/2" thick non-shrink grout. 2. H1 and H2 dimensions assume 1-1/2" thick field installed top plate. 3. Anchorage solution may require additional studs on side of columns, see anchorage design output for final W1 and W2 dimensions. For C18H and C21H, W2 assume (2) 2x6 for each column interior nailer. 4. Column and beam sizes shown are as depth of steel only and do not include nailers. 5. If custom beam or column is within 0.5" of stock length, stock beam or column will be used. 6. (1) 4x6 beam top nailer for frames with C18H and C21H columns. (2) 2x6 beam top nailer for frames with C6, C9, C12 and C15 columns. 7. Simpson Strong-Tie® Strong Frame® and the Yield-Link™ structural fuseare protected under US patent number 8,001,734, B2 and must be supplied or licensed through Simpson Strong-Tie.

S1

Table with 2 columns: Description and Date. Includes a blank row for description and a row for date.

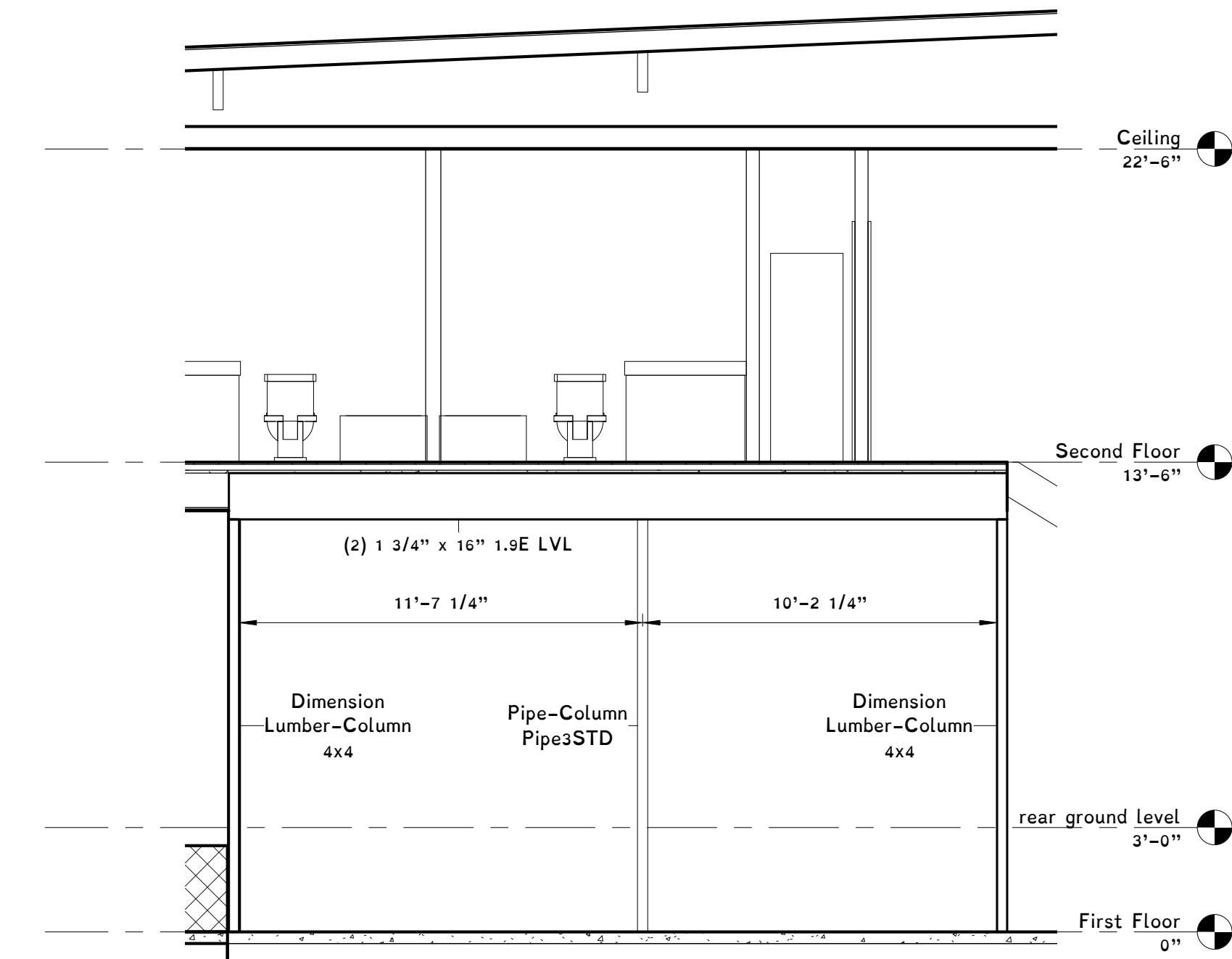
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Rev. Description Date

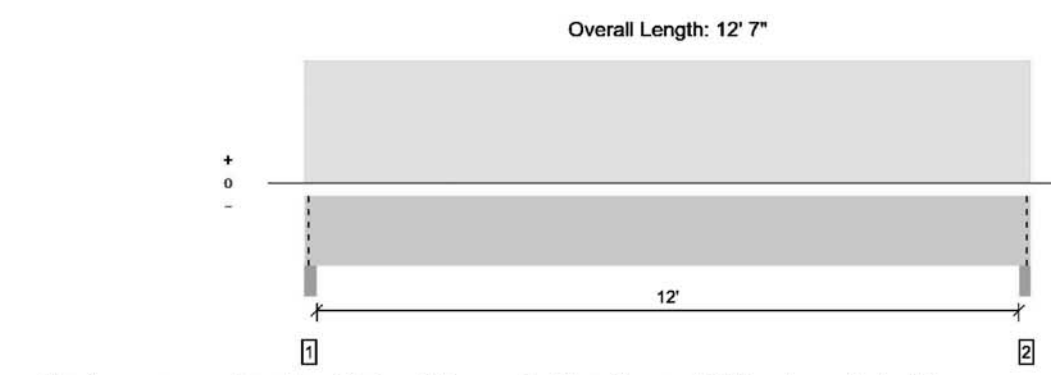
rev. 8/29/2017
November 3, 2016



1 Wall @ Property Line Section
1/4" = 1'-0"

FORTE MEMBER REPORT 2nd Floor, Floor support between properties
2 piece(s) 1 3/4" x 16" 1.9E Microlam® LVL

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDf	Load Combination (Pattern)
Member Reaction (lbs)	6788 @ 2"	9188 (3.50')	Passed (74%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	5035 @ 1' 7 1/2"	10640	Passed (47%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (ft-lbs)	30237 @ 6' 3 1/2"	31114	Passed (65%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.224 @ 6' 3 1/2"	0.306	Passed (L/655)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.285 @ 6' 3 1/2"	0.613	Passed (L/516)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Flush Beam
Building Use : Residential
Building Code : IRC 2012
Design Methodology : ASD

* Deflection criteria: LL (L/600) and TL (L/240).
* Top Edge Bracing (Lx): Top compression edge must be braced at 7' 8" o/c unless detailed otherwise.
* Bottom Edge Bracing (Lx): Bottom compression edge must be braced at 12' 7" o/c unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)		
	Total	Available	Required	Dead	Floor Live	Total
1 - Column - SYP	3.50'	3.50'	2.99'	1440	5348	6788
2 - Column - SYP	3.50'	3.50'	2.99'	1440	5348	6788

* Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

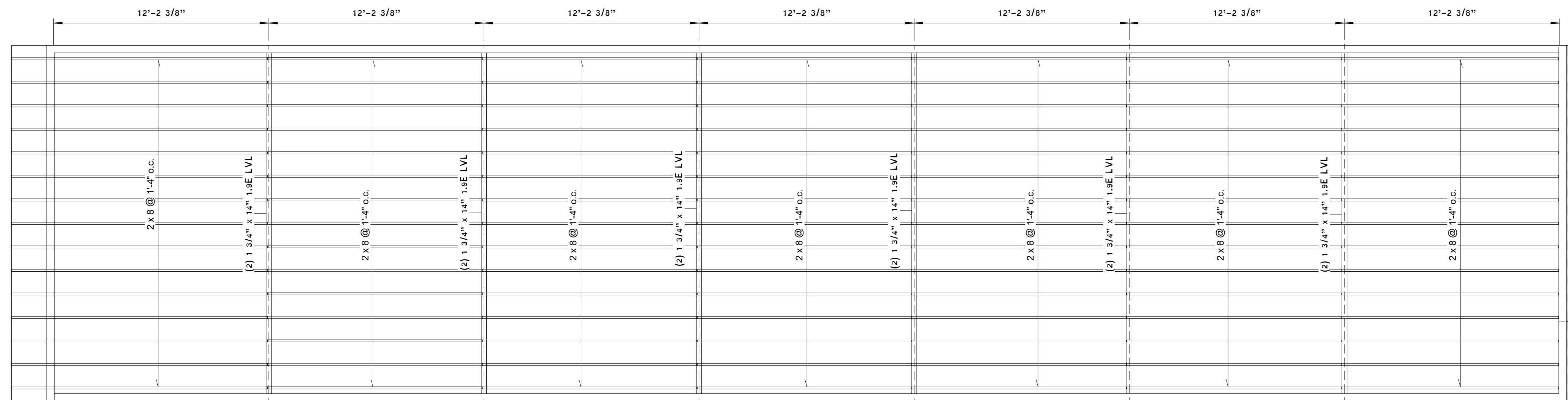
Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (L.00)	Comments
0 - Self Weight (PLF)	0 to 12' 7"	N/A	16.3		
1 - Uniform (PSF)	0 to 12' 7" (Top)	21' 3"	10.0	40.0	Second Floor - 1121 N. 25th Residential

Weyerhaeuser Notes
Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Refer to current Weyerhaeuser literature for installation details. (www.woodbyway.com) Accessories (Dim Board, Blocking Panels and Squash Blocks) are not designed by this software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or frame is responsible to assure that this calculation is compatible with the overall project. Products manufactured at Weyerhaeuser facilities are third party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under technical reports ESR-1113 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports refer to http://www.woodbyway.com/services/CodeReports.aspx. The product application, input design loads, dimensions and support information have been provided by Obsidian Inc.

SUSTAINABLE FORESTRY INITIATIVE

Fortis Software Operator	Job Notes
Kerian Steinruck Obsidian (804) 351-7325 keriansteinruck@gmail.com	1121 North 25th Street Building Permit Plans

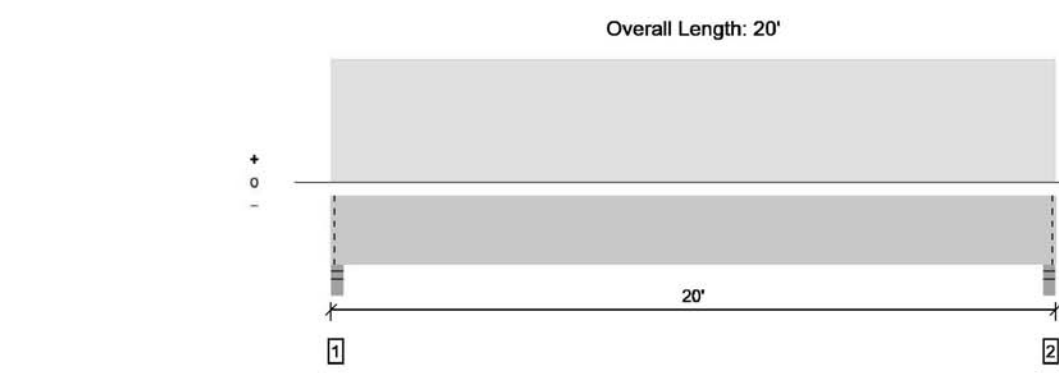
8/29/2017 2:00:42 PM
Forte v5.1, Design Engine: VB 6.0.14
1121 North 25th Street - Beam Calc: 476
Page 1 of 1



2 Roof - Framing
1/4" = 1'-0"

FORTE MEMBER REPORT Roof, Roof Support Beams
2 piece(s) 1 3/4" x 14" 1.9E Microlam® LVL

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDf	Load Combination (Pattern)
Member Reaction (lbs)	3803 @ 2"	6921 (3.50')	Passed (55%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (lbs)	3249 @ 1' 5 1/2"	11638	Passed (28%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (ft-lbs)	18388 @ 10'	30323	Passed (61%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (in)	0.569 @ 10'	0.656	Passed (L/415)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (in)	0.887 @ 10'	0.983	Passed (L/265)	--	1.0 D + 1.0 Lr (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IRC 2012
Design Methodology : ASD

* Deflection criteria: LL (L/360) and TL (L/240).
* Bracing (Lx): All compression edges (top and bottom) must be braced at 8' 5 1/2" o/c unless detailed otherwise. Proper attachment and positioning of lateral bracing is required to achieve member stability.

Supports	Bearing Length			Loads to Supports (lbs)		
	Total	Available	Required	Dead	Roof Live	Total
1 - Stud wall - SIP	3.50'	3.50'	1.92'	1364	2440	3804
2 - Stud wall - SIP	3.50'	3.50'	1.92'	1364	2440	3804

* Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Loads	Location (Side)	Tributary Width	Dead (0.90)	Roof Live (see note: 1.25)	Comments
0 - Self Weight (PLF)	0 to 20'	N/A	14.3		
1 - Uniform (PSF)	0 to 20' (Top)	12' 2 3/8"	10.0	20.0	Roof

Weyerhaeuser Notes
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SUSTAINABLE FORESTRY INITIATIVE

Fortis Software Operator	Job Notes
Kerian Steinruck Obsidian (804) 351-7325 keriansteinruck@gmail.com	1121 North 25th Street Building Permit Plans

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S2

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Garrett Augustine

rev. 8/29/2017
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City of Richmond, VA



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