



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804) 646-6569
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: 2204 E BROAD STREET, RICHMOND, VA 23223

Historic District: CHURCH HILL

Applicant information ☒ Billing Contact

Name: JOSEPH MOLNER

Email: jmolner.wep@gmail.com

Phone: 804.624.8964

Company: WEST END PROPERTIES, LLC

Mailing Address: 1001 E BYRD ST APT 9
RICHMOND, VA 23219

Applicant Type: ☒ Owner ☐ Agent ☐ Lessee

☐ Architect ☒ Contractor

Other (specify): _____

Owner information ☐ Billing Contact

☒ Same as Applicant

Name: _____

Email: _____

Phone: _____

Company: _____

Mailing Address: _____

****Owner must sign at the bottom of this page****

Project Information

Project Type: ☒ Alteration ☐ Demolition ☐ New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner

Date 8.30.22

2204 E Broad Street, Richmond, VA 23223

- Mortar and brick repair performed to match existing by Richmond Masonry restoration company.
- New 6/6 white aluminum clad windows to replace existing (details attached).
- Windowsills and exterior trim to be replaced with like material with same profile.
- Front door, transom, and panels to be salvaged unless beyond repair, then replace with new wood 4-panel door, stock details to best match existing.
- Front porch, stairs, columns, and balusters will be replaced to match existing with details follow neighboring property.
- Chimneys and dormers will be repaired to match existing.
- Rear addition will have painted wood siding and metal roof.
- Both rear and front decks will be covered in clear fir tongue and groove decking with natural oil finish.
- New gutters, leaders, and flashing will be copper.
- New rear addition consists of an entrance and powder room. It extends past the footprint of existing deck by 12" in order to install new footings. The additional property coverage is 7 square feet. The only new window faces the alley at rear.

Joseph Molner
West End Properties, LLC
804-624-8964

CONSTRUCTION NOTES

- GENERAL NOTES:
1. ALL DESIGN, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE
 2. THE BUILDER SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS AND DETAILS BEFORE STARTING WORK.
 3. THE BUILDER SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL LOCAL BUILDING CODES.
 4. THE BUILDER SHALL HIRE A PROFESSIONAL ENGINEER TO PROVIDE A SOILS REPORT, INCLUDING BORING RESULTS OF SAMPLES TAKEN ON THE BUILDING LOT. WHEN EXPANSIVE SOIL AT ANY EXTENT, OR OTHER SOIL ABNORMALITIES THAT WOULD AFFECT THE STABILITY OF THE STRUCTURE AS BE DETERMINED, THE ENGINEER SHALL DESIGN ALL FOOTINGS AND BASEMENT WALLS.
 5. THE BUILDER SHALL COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL WORK WITH THE STRUCTURAL CONTRACT DRAWINGS.
 6. THE BUILDER SHALL DETERMINE AND VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF WORK.
 7. THE BUILDER SHALL DETERMINE AND VERIFY ALL SITE CONDITIONS AND FIELD VERIFYING DIMENSIONS BEFORE THE COMMENCEMENT OF WORK. THE STRUCTURAL ENGINEER OF RECORD SHALL BE NOTIFIED OF ANY DISCREPANCIES OR DEVIATIONS FROM THE DRAWINGS.
 8. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
 9. THE BUILDER SHALL PROVIDE ALL SHORING, BRACING, AND TEMPORARY SYSTEMS REQUIRED TO STABILIZE AND PROTECT EXISTING STRUCTURES AND SYSTEMS DURING THE COURSE OF CONSTRUCTION.
 10. THESE DRAWINGS ARE CREATED TO PROVIDE DESIGN INTENT ONLY. THESE PLANS ARE NOT INTENDED TO SHOW EVERY DETAIL OR PROVIDE ALL THE INFORMATION REQUIRED TO COMPLETE THE CONSTRUCTION OF THIS PROJECT. MUCH OF THE DETAIL INFORMATION SHOULD BE DETERMINED BY THE OWNER AND THE BUILDER JOINTLY.
 11. CUSTOM HOMES / ADDITIONS AND THEIR WORKING DRAWINGS SHOULD BE CONSIDERED EQUIVALENT TO "PROTOTYPE" MANUFACTURING AND AS SUCH THERE MAY BE SOME FIELD ADJUSTMENTS NEEDED.
 12. THE BUILDER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE PLUMB, SQUARE & LEVEL. THE BUILDER SHALL AT THEIR EXPENSE REPAIR, REPLACE OR REBUILD ANY PORTION OF THE CONSTRUCTION THAT DOES NOT MEET THE ABOVE STANDARD.

- FOOTING NOTES:
1. ENGINEERS FOOTING DESIGNS BASED ON THE SOIL REPORT SHALL OVERRIDE THE FOOTING SIZES AND STEEL REINFORCING SHOWN ON THESE PLANS.
 2. ALL CONTINUOUS FOOTING SHALL HAVE 2 ROWS #4 REINFORCING BARS UNLESS NOTED OTHERWISE.
 3. FOOTINGS ARE DESIGNED TO BEAR ON RESIDUAL SOIL OR ENGINEERED COMPACTED FILL WITH AN ALLOWABLE BEARING PRESSURE OF 1500 PSF. VERIFY SOIL CAPACITY BEFORE BEGINNING ANY WORK.
 4. NORMAL-WEIGHT CONCRETE WITH PORTLAND CEMENT, TYPE I, OR TYPE IIA (AIR- ENTRAINING), OR TYPE II WITH THE ADDITION OF AIR-ENTRAINING ADMIXTURE. 28-DAY COMPRESSIVE STRENGTH OF 2500 PSI
- FOUNDATION NOTES:
1. MORTAR SHALL BE TYPE M OR S.
- CONCRETE SLAB NOTES:
1. CONCRETE USED IN GARAGE SLABS AND ALL EXTERIOR CONCRETE WORK SHALL BE 3500 PSI AIR ENTRAINED.
- LUMBER, ENGINEERED PRODUCTS AND STEEL GRADES NOTES:
1. LUMBER FOR ALL BEAMS, HEADERS, JOIST, AND RAFTERS SHALL BE SOUTHERN PINE NO. 2, OR EQUAL, UNLESS NOTED OTHERWISE. (UNO)
 2. LUMBER FOR 2 X 4 AND 2 X 6 STUDS SHALL BE STUD GRADE SPRUCE-PINE-FIR, OR EQUAL, UNLESS NOTED OTHERWISE. (UNO)
 3. LUMBER FOR 2 X 4 AND 2 X 6 WALL PLATES SHALL BE SPRUCE-PINE-FIR #2 OR BETTER, UNLESS NOTED OTHERWISE. (UNO)
 4. LAMINATED VENEER LUMBER (LVL) SHALL BE 1-3/4" WIDE, 2.0 E MIN.
 5. STEEL PLATES AND ANGLES SHALL BE ASTM A36
 6. STEEL BEAMS SHALL BE ASTM A992-50

- STRUCTURAL WOOD FRAMING NOTES:
1. ALL BEAMS AND GIRDER TRUSS SHALL BE SUPPORTED BY A MINIMUM OF (3) STUDS AT EACH END OF BEAM IF NOT DESIGNATED ON THE PLANS. SUPPORT TO BE CONTINUOUS TO FOUNDATION OR OTHER SUPPORT BELOW.
 2. FLITCH PLATE BEAMS WITH (1) ONE PIECE OF STEEL SHALL BE SANDWICHED BETWEEN (2) PIECES OF LUMBER. WHEN (2) PIECES OF PLATE ARE CALLED FOR THE PLACEMENT SHALL BE "LUMBER, STEEL PLATE, LUMBER, STEEL PLATE, LUMBER. EACH PIECE OF LUMBER AND STEEL SHALL BE CONTINUOUS FOR THE ENTIRE SPAN. THE BEAM SHALL BE THROUGH BOLTED WITH 1/2" DIAMETER BOLTS IN TWO ROWS, STAGGERED AT 16" ON CENTER, WITH TWO BOLTS AT EACH END.

- FLOOR FRAMING NOTES:
1. BLOCKING UNDER ALL BEAM ENDS AND GIRDER TRUSS BEARING POINTS.
 2. 2 X JOIST (SOLID SAWN LUMBER)
 - a. PROVIDE DOUBLE JOIST OR BLOCKING UNDER ALL PARALLEL PARTITIONS.
 - b. PROVIDE PRESSURE TREATED BAND AT ALL STOOPS, PORCHES AND DECKS.
 3. I-JOIST
 - a. PROVIDE BLOCKING PANELS OR SOLID BLOCKING AT UNDER ALL BEARING WALLS.
 - b. ALWAYS USE AND FOLLOW THE JOIST MANUFACTURERS INSTALLATION INSTRUCTIONS AND DETAILS.
 - c. VERIFY THE I-JOIST ARE OF THE SAME MANUFACTURER, SIZE, AND TYPE AS DESIGNATED ON THE FLOOR FRAMING PLANS BEFORE STARTING FLOOR FRAMING.

- WALL FRAMING NOTES:
1. ALL EXTERIOR WALLS ARE 4" IN THICKNESS UNLESS NOTED OTHERWISE (UNO). THE WALL IS COMPOSED OF A 3-1/2" STUD + 7/16" WALL SHEATHING. WHEN A 6" WALL IS NOTED THE WALL IS COMPOSED OF A 5-1/2" STUD + 7/16" WALL SHEATHING.
 2. ALL INTERIOR WALLS ARE 3-1/2" IN THICKNESS UNLESS NOTED OTHERWISE (UNO).
 3. HEADERS IN LOAD BEARING WALLS AND EXTERIOR WALLS WITH A SPAN OF LESS THAN 4'-0" SHALL BE 2 X 10 UNLESS NOTED OTHERWISE (UNO).
 4. HEADERS IN LOAD BEARING WALLS AND EXTERIOR WALLS WITH A SPAN OF 4'-0" OR GREATER ARE NOTED ON PLANS AT EACH OPENING. SHOULD A HEADER NOT BE DENOTED FOR SIZE, CALL "THE DESIGN GUY" AT (804) 768-9590 FOR HEADER SIZING.
 5. THE NUMBER JACKS UNDER HEADERS IN LOAD BEARING WALLS AND EXTERIOR WALLS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE (UNO). UP TO 3'-6" OPENING (1) ONE JACK EACH SIDE OF HEADER OVER 3'-6" TO 6'-0" (2) JACKS EACH SIDE OF OPENING. 6'-0" AND OVER THE NUMBER OF JACKS WILL BE DENOTED ON THE PLANS. SHOULD THE JACKS NOT BE DENOTED FOR SIZE, CALL "THE DESIGN GUY" AT (804) 768-9590 FOR THE JACK REQUIREMENTS.

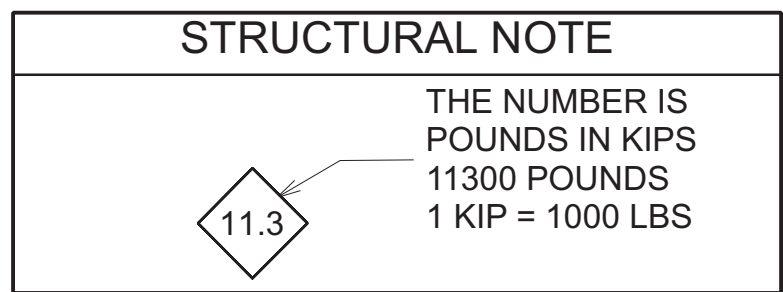
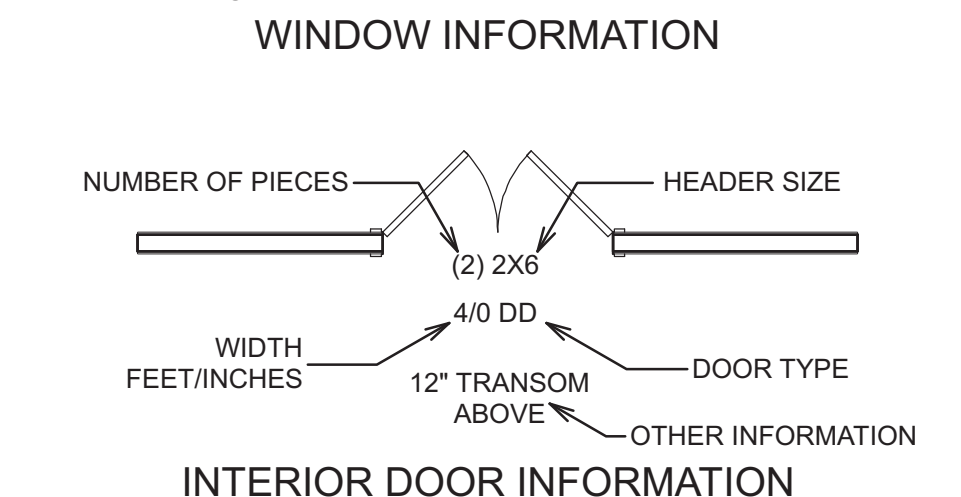
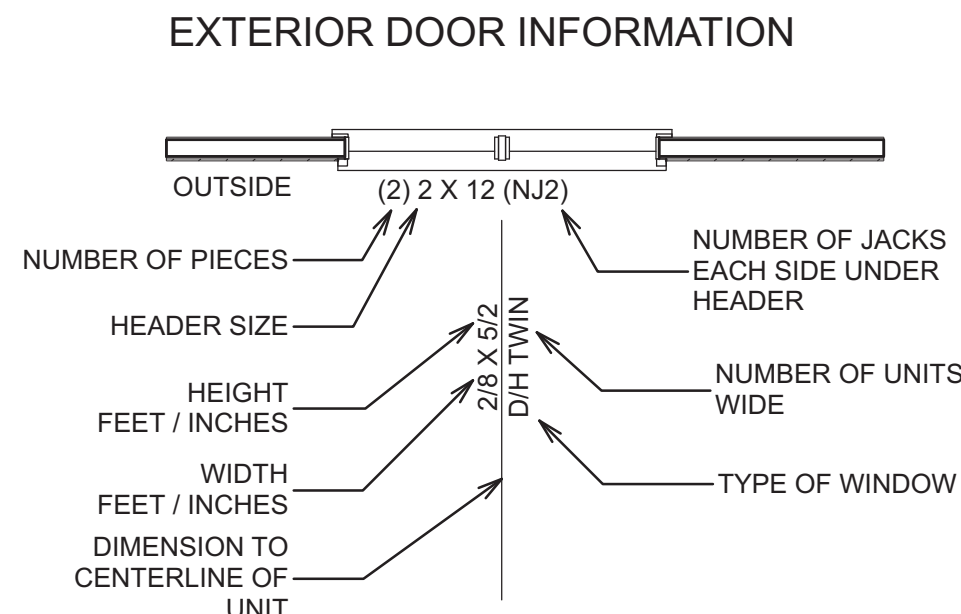
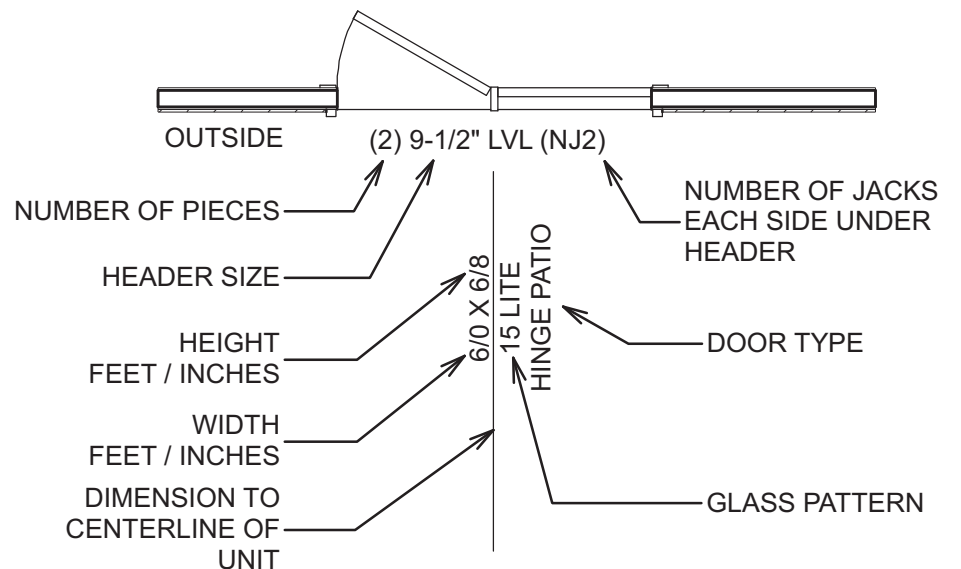
- ROOF FRAMING NOTES:
- TRUSS ROOF
1. THE MANUFACTURER OF THE PRE-ENGINEERED WOOD TRUSSES SHALL PROVIDE DRAWINGS OF EACH TRUSS SEALED BY A PROFESSIONAL ENGINEER IN THE STATE OF CONSTRUCTION. TRUSS DRAWINGS, REQUIREMENTS, INCLUDING A SEPARATE LIST OF ITEMS REQUIRING SPECIAL ATTENTION BY THE BUILDING DESIGNER AND ITEMS LISTED BELOW AS 2(B) SHALL BE PROVIDED TO THE DESIGN GUY FOR REVIEW AND APPROVAL PRIOR TO HAVING THE DRAWINGS APPROVED BY THE BUILDER, SEALED OR FABRICATED.
 2. THE TRUSS MANUFACTURER IS RESPONSIBLE FOR PROVIDING INSTALLATION DETAILS FOR ALL TRUSSES:
 - (A) INCLUDING THE DESIGN AND LOCATION OF ALL TEMPORARY AND PERMANENT BRACING.
 - (B) INCLUDING THE DESIGN AND LOCATION ALL TRUSS HANGERS, BEARING ENHANCERS AND OR CONNECTORS AS NEEDED FOR ALL TRUSS SUPPLIED.

- ADDITION & REMODEL NOTES:
1. THE CONTRACTOR MUST INSPECT THE PROPERTY. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER HAS THOROUGHLY EXAMINED THE SITE AND IS CONVERSANT WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
 2. ALL VISIBLE MATERIALS USED IN THIS PROJECT SHALL MATCH THE DESIGN COLOR, TEXTURE, AND MATERIALS OF THE ORIGINAL CONSTRUCTION OR GET WRITTEN APPROVAL FROM THE OWNER(S) ALLOWING THE CHANGE.
 3. ELECTRICAL SERVICE NOTES:

THE BUILDER SHALL BE RESPONSIBLE FOR UPGRADING THE ELECTRICAL SERVICE INCLUDING SERVICE CABLE(S), BREAKER PANELS, ETC TO CURRENT CODES

THIS PLAN SHOWS ONLY SPECIAL ELECTRICAL ITEMS FOR BIDDING. THE BUILDER & ELECTRICIAN SHALL WORK WITH THE HOMEOWNERS FOR SWITCH, LIGHT, OUTLET & ANY OTHER ELECTRICAL ITEMS TO MEET THE ELECTRICAL CODES.

BUILDING INFORMATION						
BUILDING CODE: VIRGINIA IRC 2015						
BUILDING CLASSIFICATION			SINGLE FAMILY			
GROUND SNOW LOAD	NOMINAL DESIGN WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIRED
			Weathering	Frost free depth	Termite	
20	115	A	SEVERE	24	MOD-HVY	YES
DESIGN LOADS						
FLOOR LOADS				LIVE	DEAD	MAX DEFLECTION
ALL ROOMS EXCEPT THOSE USED FOR SLEEPING AREAS AND ATTIC FLOORS				40 P.S.F.	10 P.S.F.	L / 360
ALL ROOMS USED FOR SLEEPING AREAS AND ATTIC FLOORS				30 P.S.F.	10 P.S.F.	L / 360
CEILING LOADS				20 P.S.F.	10 P.S.F.	L / 240
ROOF LOADS						
NO FINISHED CEILING LIGHT ROOF COVERING				20 P.S.F.	10 P.S.F.	L / 180
SUPPORTING GYPSUM CEILING LIGHT ROOF COVERING				20 P.S.F.	10 P.S.F.	L / 240
DECK LOADS				40 P.S.F.	10 P.S.F.	L / 360
TRUSS DESIGN CRITERIA						
WIND	HEIGHT	EXPOSURE CLASS				
115 MPH	25'	B				
INSULATION R-VALUES						
ELEMENT		NEW HOMES , ADDITIONS		SUNROOMS		
CEILINGS		R-38		R-38		
WALLS (WOOD FRAMED)		R-15 (2 X 4) / R-19 (2 X 6)		R-15 (2 X 4) / R-19 (2 X 6)		
FLOORS (WOOD FRAMED)		R-19 / R-38 @ CANTILEVER		R-19		
SLAB ON GRADE		R-10		R-10		
CONDITIONED CRAWL SPACE WALLS		R-10 / R-13(2)				
U-FACTORS						
WINDOWS / DOORS		0.35		0.50		
SKYLIGHTS		0.60		0.75		



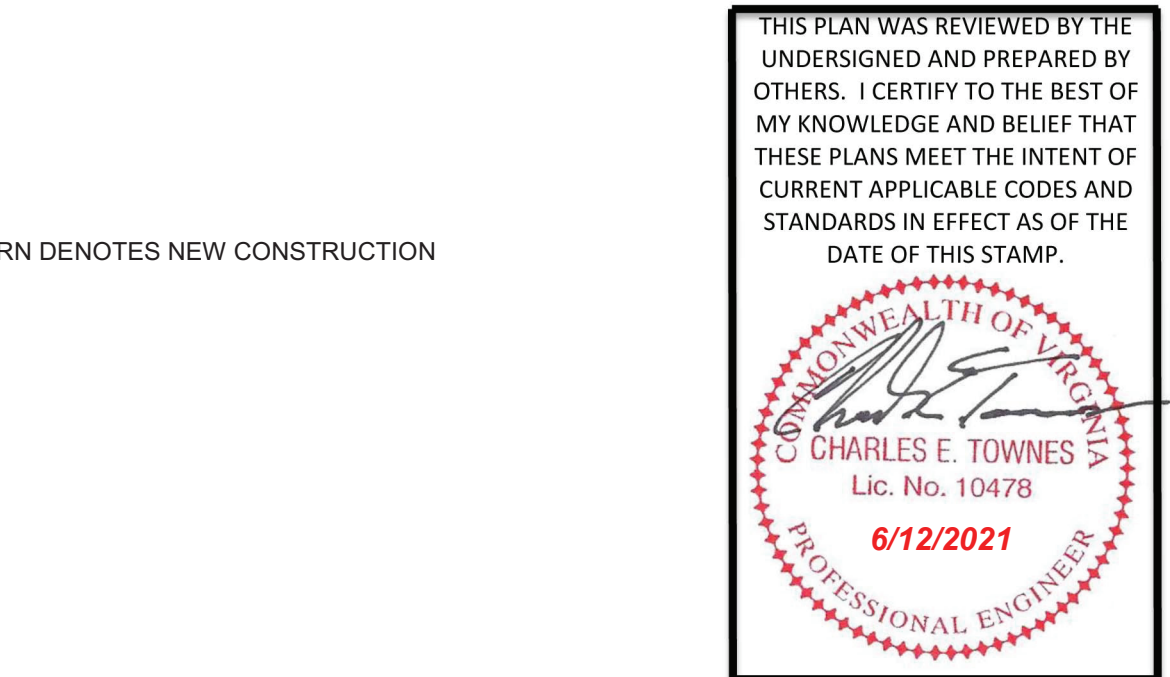
EXISTING REAR ELEVATION



REAR ELEVATION PERSPECTIVE



EXISTING FRONT ELEVATION



LAYOUT PAGES	
PAGE #	TITLE
1	PROJECT INFORMATION AND OVERVIEW
2	ELEVATIONS-TYPICAL WALL SECTION AND HOUSE SECTION
3	ASBUILT FLOOR PLAN SHOWING PROPOSED ADDITION
4	DEMO WALLS PLAN
5	FLOOR PLANS
6	PORCH SECTION-DETAILS- FLOOR AND ROOF FRAMING

The Design Guy LLC
Residential Design Specialists
Ken Latham, AIBD
Certified Professional Building Designer
E-MAIL - Ken@TheDesignGuyVa.com
Member VBCOA
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Chester, VA 23036
Phone 768-9590

www.TheDesignGuyVa.com

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WEST END PROPERTIES

2204
EAST BROAD ST.
RICHMOND, VA. 23233

PROJECT DESCRIPTION

INTERIOR REMODEL AND
ADD FIRST FLOOR
HALF BATH ADDITION

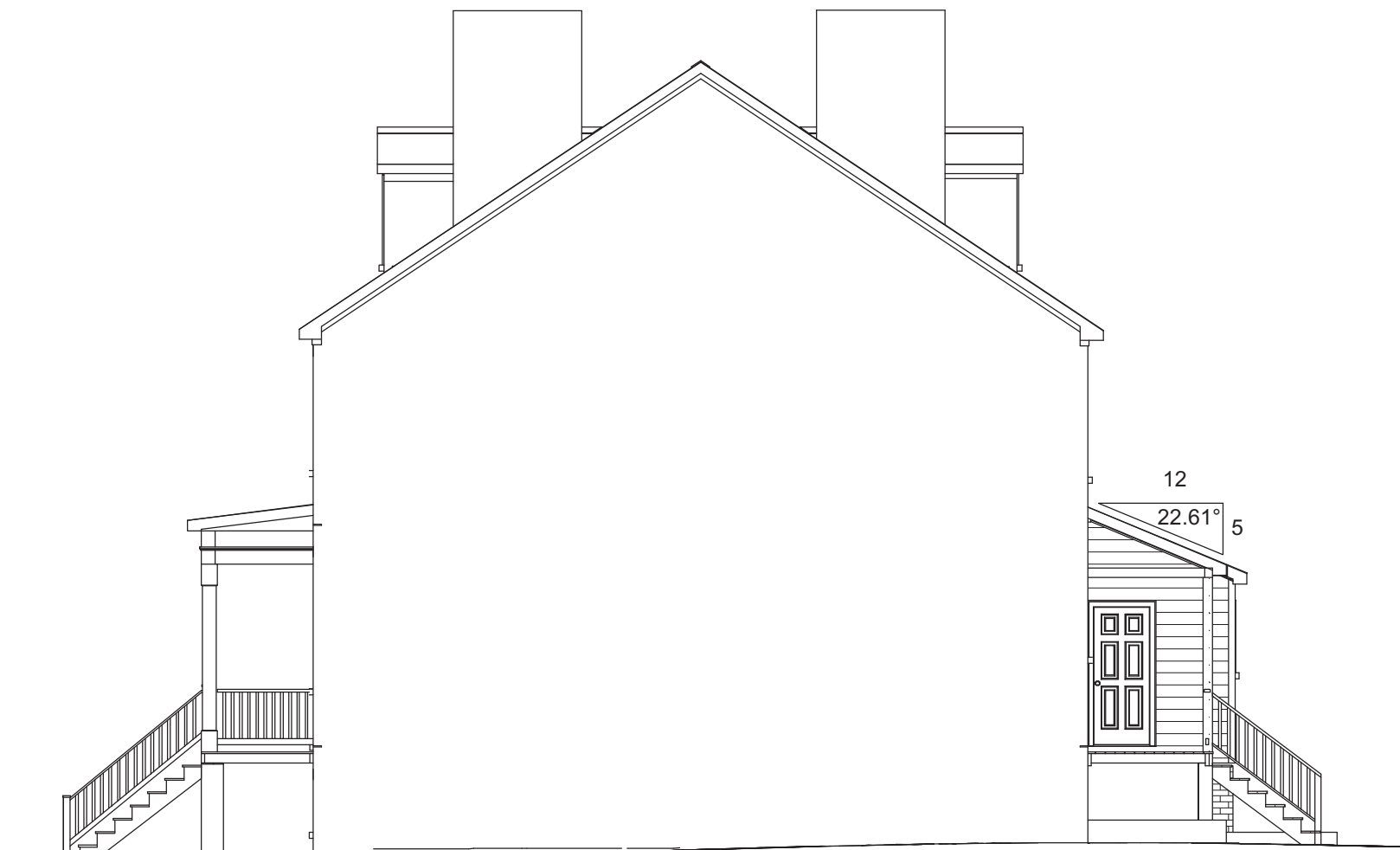
PERMIT PLAN
RELEASED FOR
CONSTRUCTION

SQUARE FOOTAGE

REVISED 05/21/2021	
HALF BATH/MUD ROOM	53 SF
BASEMENT	802 SF
FIRST FLOOR	802 SF
SECOND FLOOR	802 SF
THIRD FLOOR	675 SF
FLOOR TOTAL	3134 SF
FRONT PORCH	31 SF
REAR PORCH	82 SF

DATE: 6/11/2021
SCALE: 1/4" = 1'
BY: K.A.L.
PLAN #: 29015

PROJECT INFORMATION
AND OVERVIEW



RIGHT ELEVATION

SCALE 1/8" = 1 FT



LEFT ELEVATION

SCALE = 1/8 IN = 1 FT

Building Permit - Approved Construction Documents
Under general authority of the Building Code, this approved set of construction documents shall be kept on the job site at all times and shall not be copied without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from following all manufacturer instructions, Virginia Uniform Statewide Building Code and City of Richmond regulations whether noted, implied or omitted.
Approved Plans: 20220307_2204 E Broad St. BLD-103429-2022
06/06/2022 3:12:23 PM

Reviewed per the 2015 Virginia Residential Code.
The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>



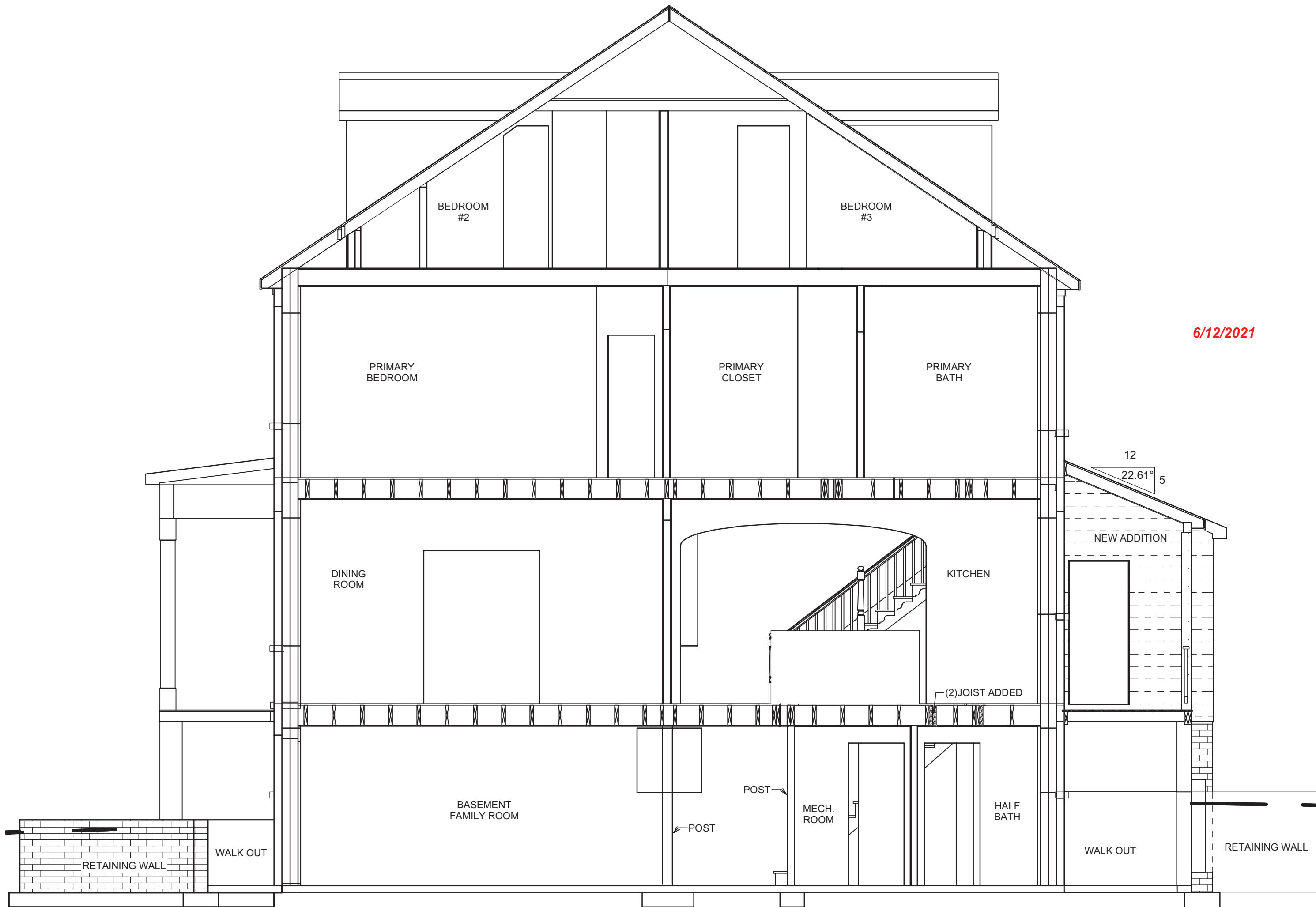
REAR ELEVATION

SCALE = 1/4 in = 1 ft



FRONT ELEVATION

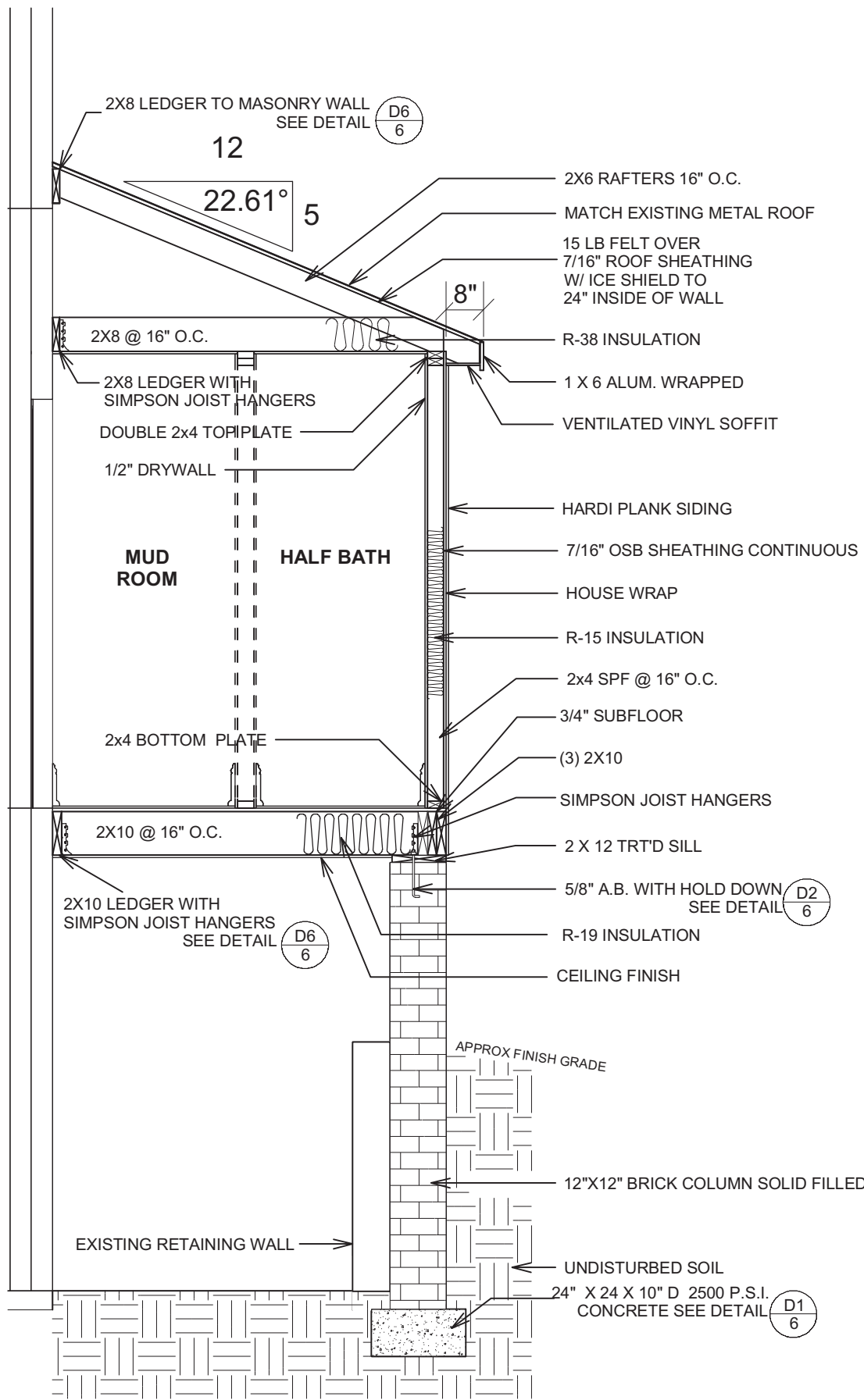
SCALE = 1/4" = 1 ft



SECTION

SCALE = 1/4 in = 1 ft

S2
2



TYPICAL WALL SECTION ADDITION

SCALE = 3/8 in = 1 ft

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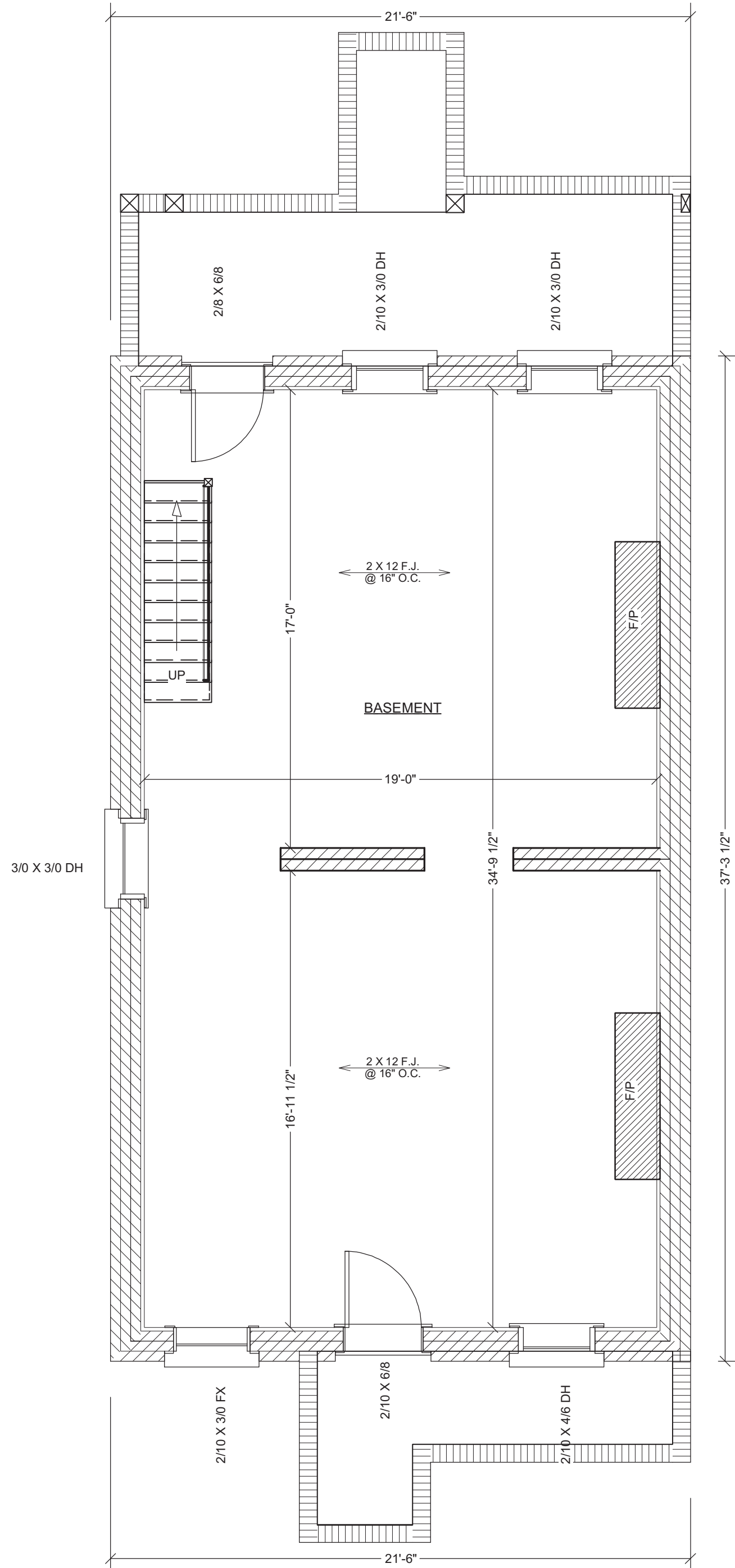
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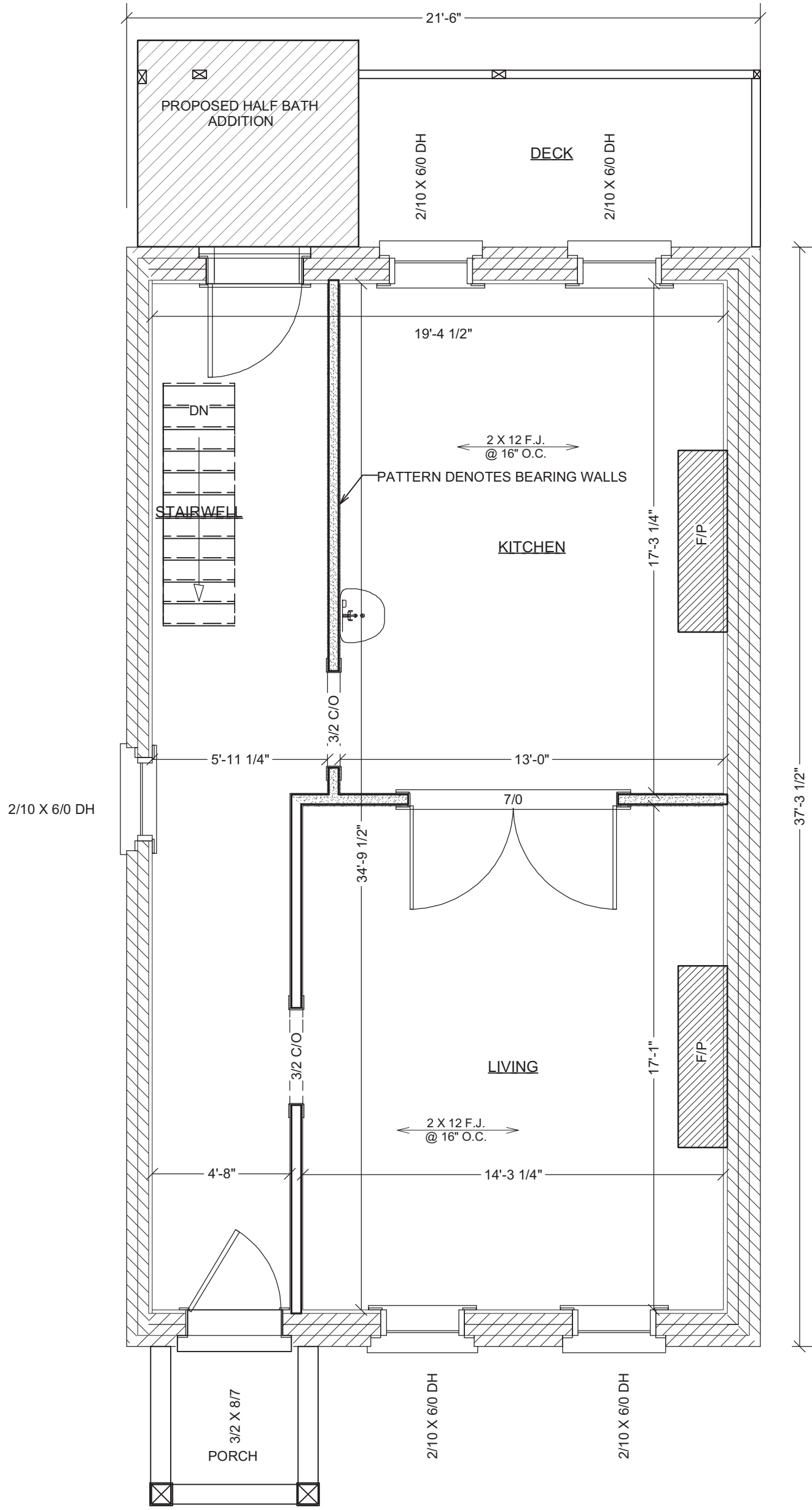
ELEVATIONS-TYPICAL
WALL SECTION AND
HOUSE SECTION

PAGE 2 of 6



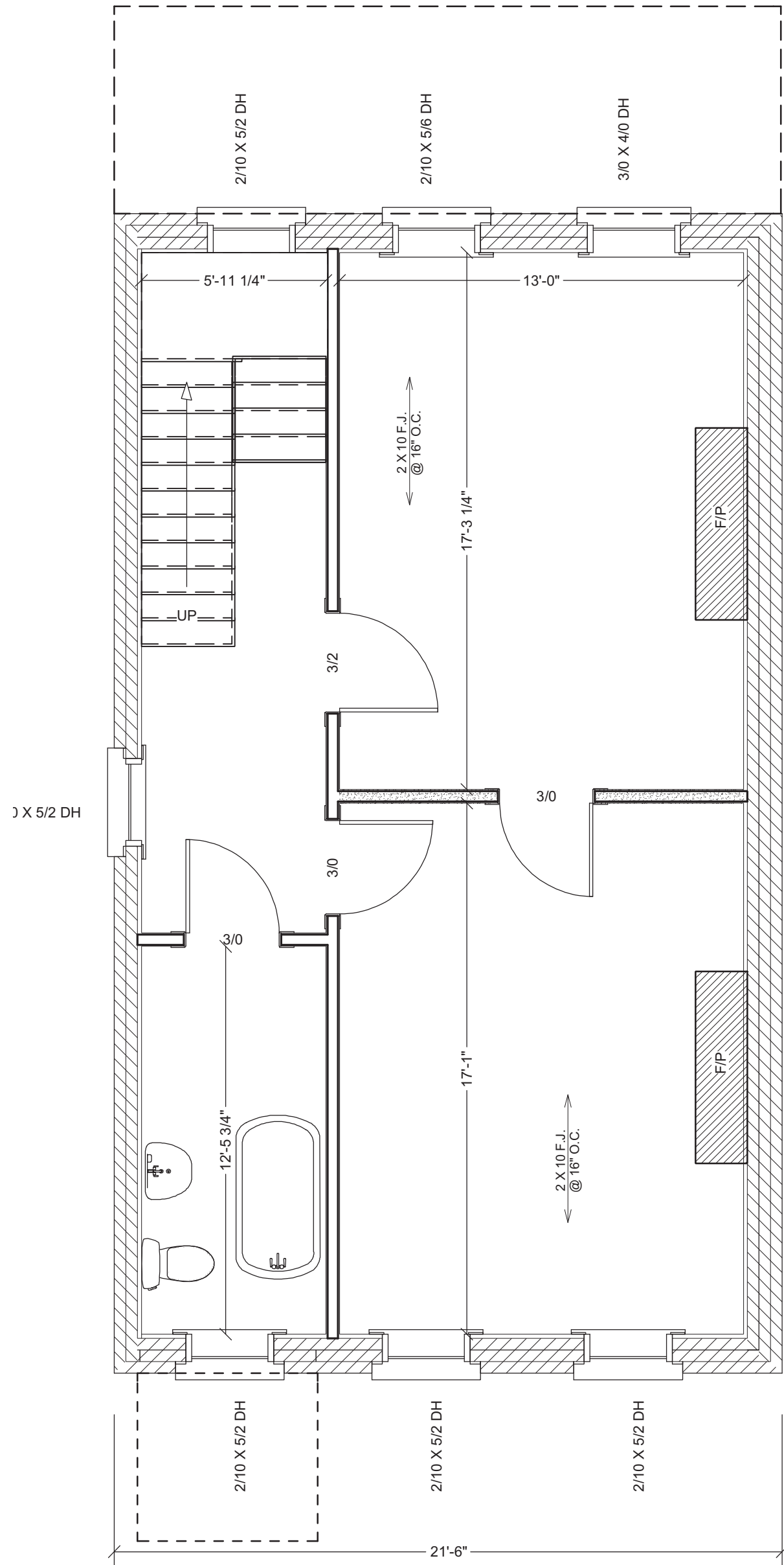
EXISTING BASEMENT PLAN

SCALE = 1/4 in = 1 ft



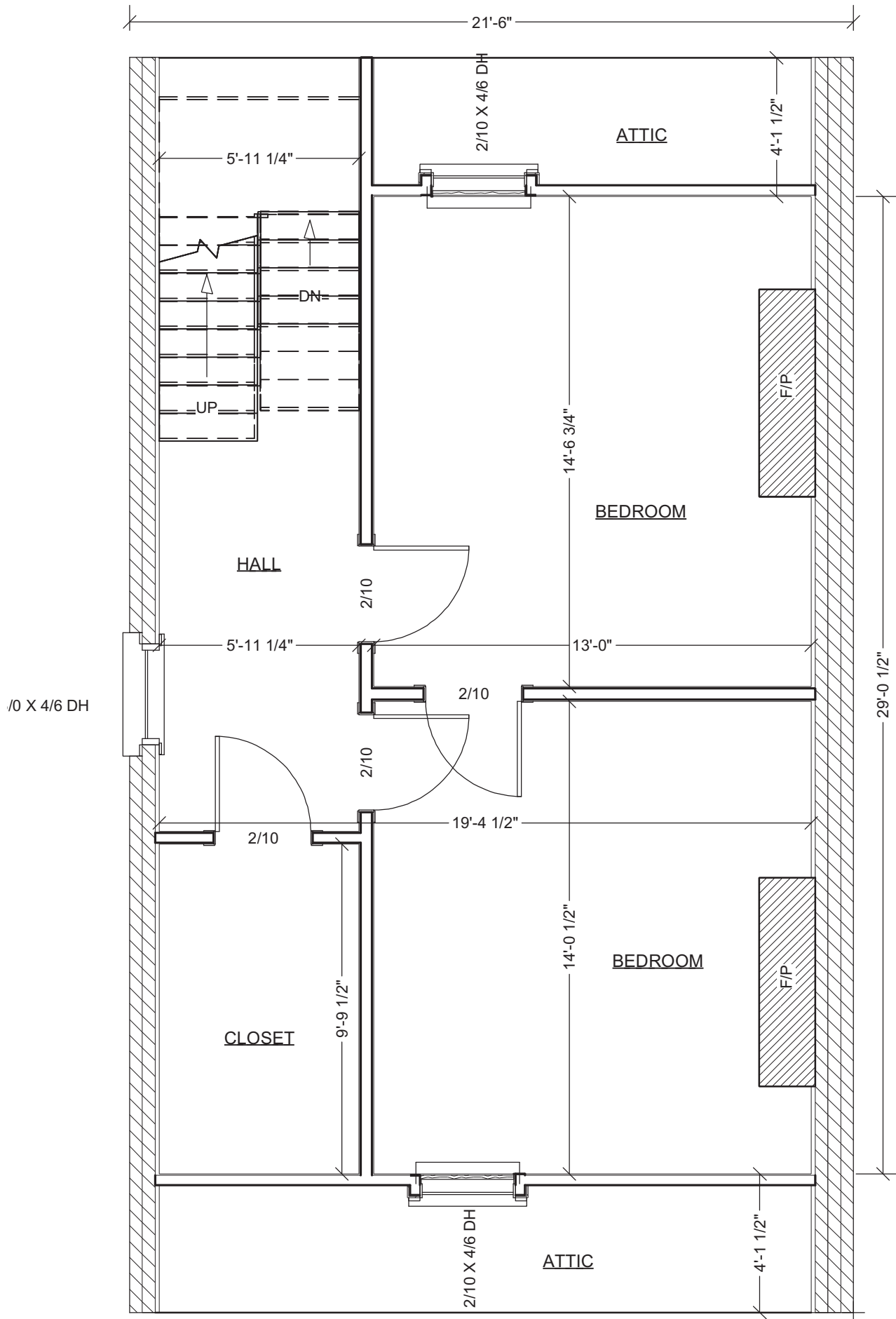
EXISTING 1ST FLOOR PLAN
SHOWING PROPOSED ADDITION LOCATION

SCALE = 1/4 in = 1 ft



EXISTING 2ND FLOOR PLAN

SCALE = 1/4 in = 1 ft



EXISTING 3RD FLOOR PLAN

SCALE = 1/4 in = 1 ft

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Approved Plans: 20220307, 2204 E. Broad St. BLDG-103429-2022
06/06/2022 3:12:30 PM

Reviewed per the 2015 Virginia Residential Code.
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2204 EAST BROAD ST. RICHMOND, VA. 23233

PROJECT DESCRIPTION

INTERIOR REMODEL AND ADD FIRST FLOOR HALF BATH ADDITION

PERMIT PLAN

RELEASED FOR CONSTRUCTION

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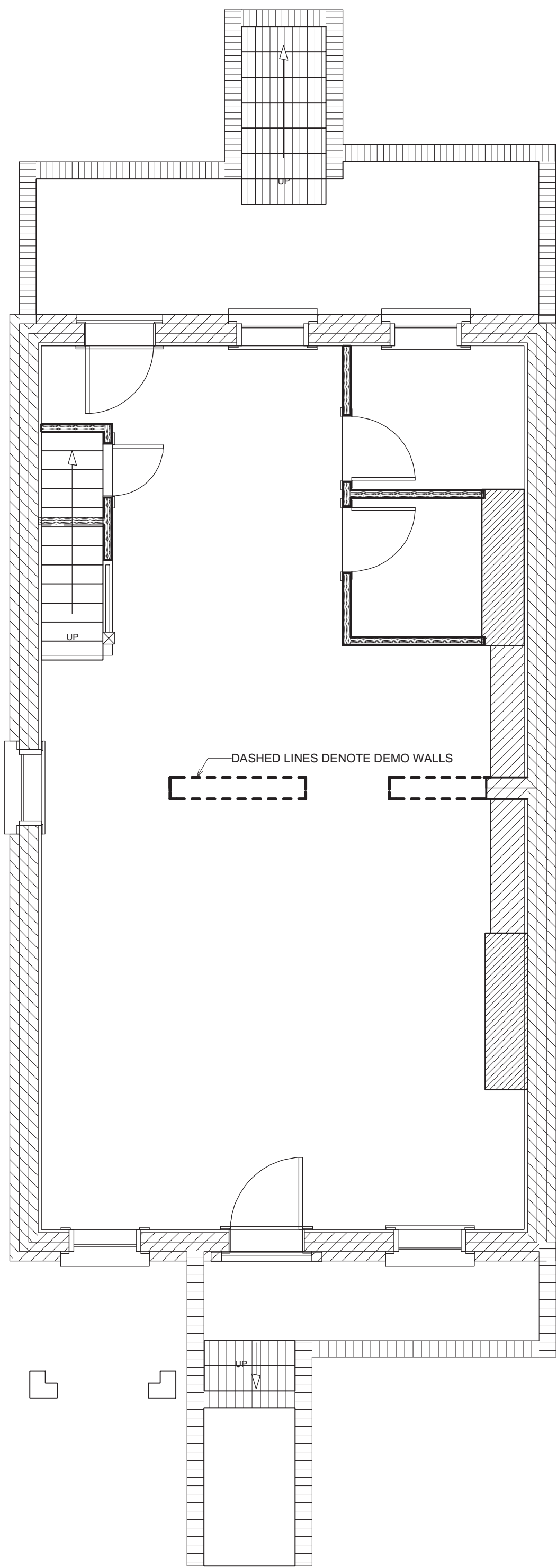
SCALE: 1/4" = 1'

BY: K.A.L.

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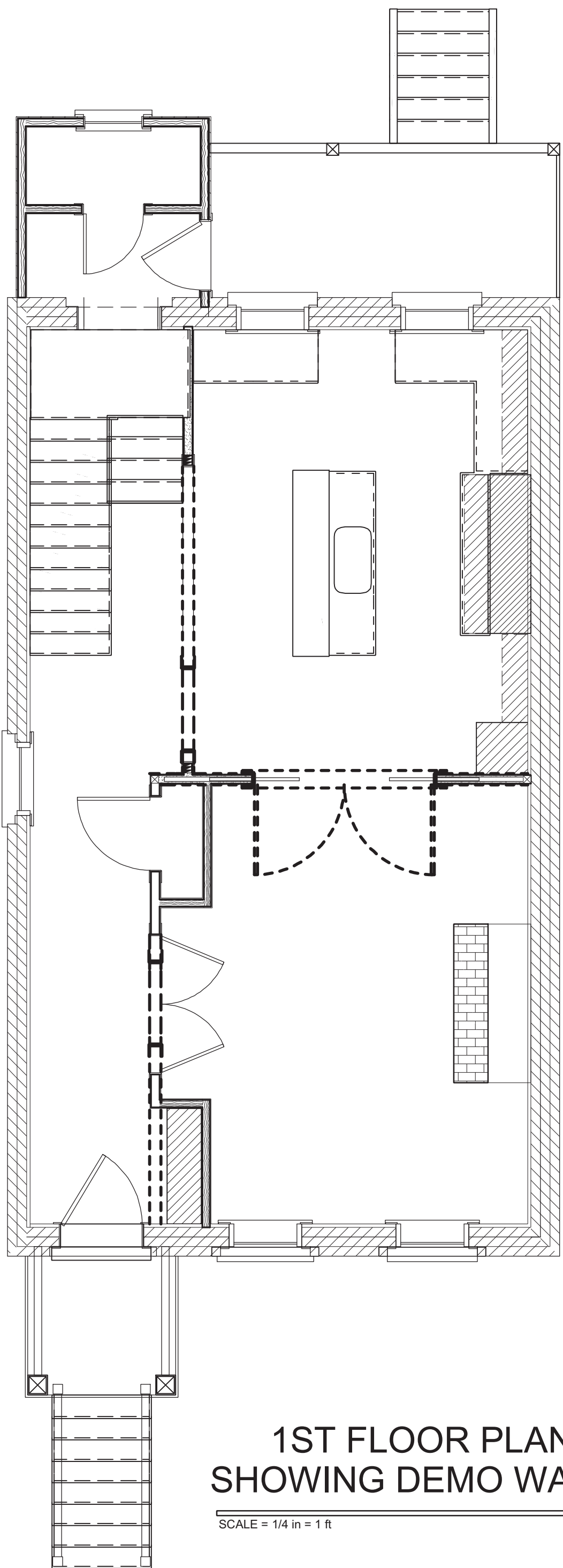
ASBUILT FLOOR PLAN

SHOWING PROPOSED ADDITION



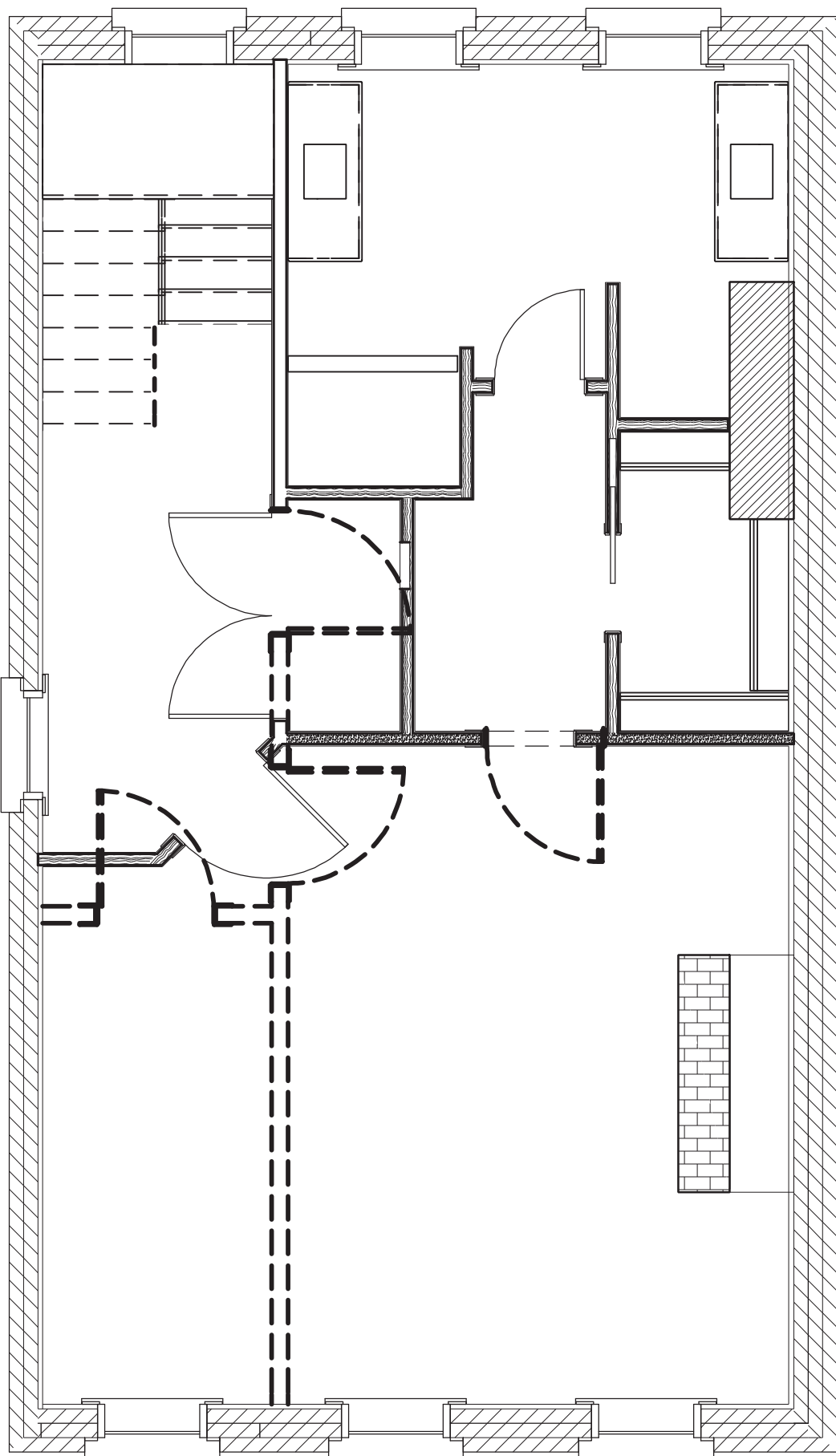
**BASEMENT FLOOR PLAN
SHOWING DEMO WALLS**

SCALE = 1/4 in = 1 ft



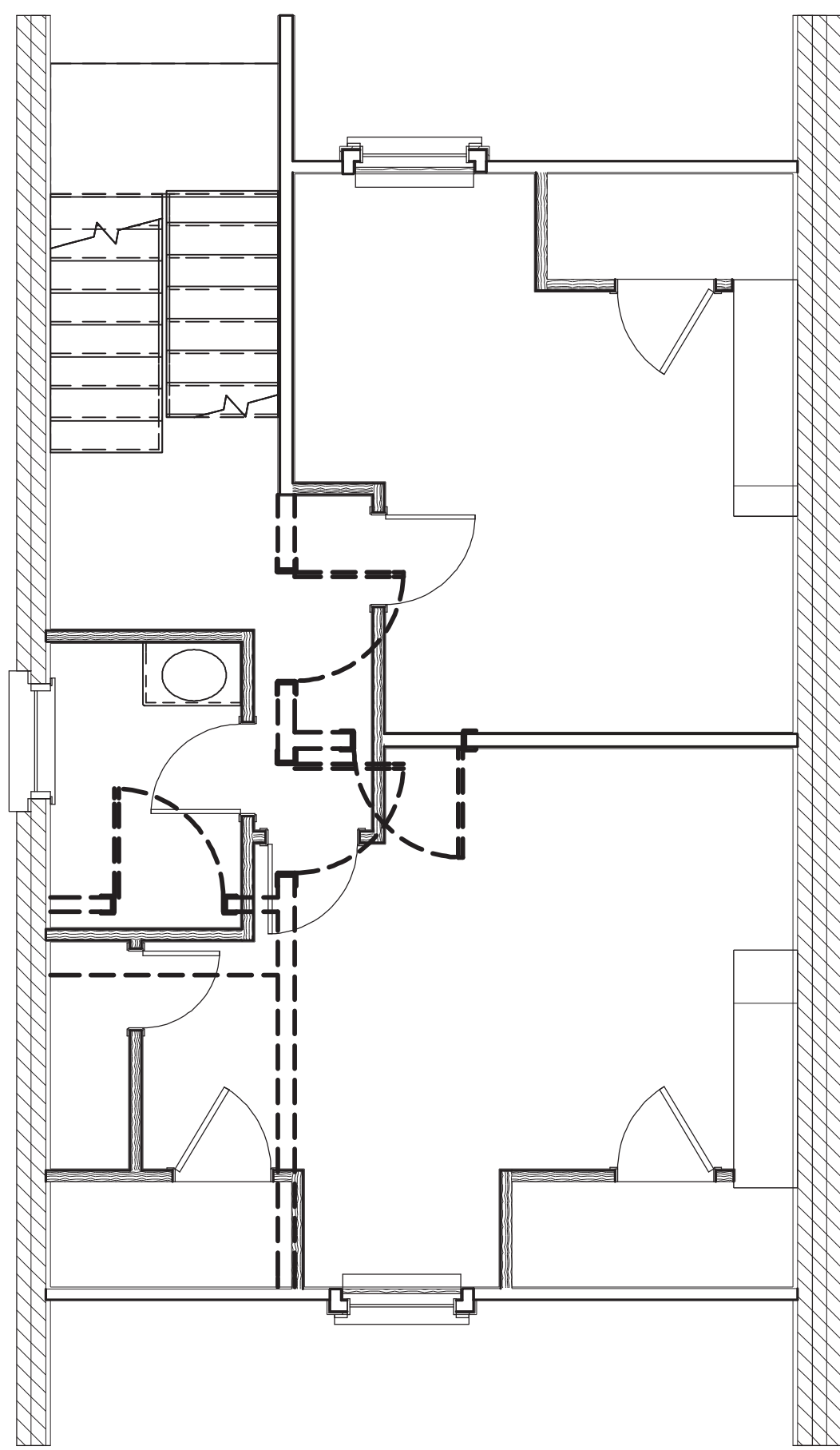
**1ST FLOOR PLAN
SHOWING DEMO WALLS**

SCALE = 1/4 in = 1 ft



**2ND FLOOR PLAN
SHOWING DEMO WALLS**

SCALE = 1/4 in = 1 ft



**3RD FLOOR PLAN
SHOWING DEMO WALLS**

SCALE = 1/4 in = 1 ft

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BY: K.A.L.

PLAN #: 29015

DEMO WALLS PLAN

PAGE 4 of 6

6/12/2021

NOTICE

This approval does not include any review of the mechanical, electrical, plumbing or other trade plans. This approval does not authorize any MEP work to begin.

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ADD FIRST FLOOR
HALF BATH ADDITION

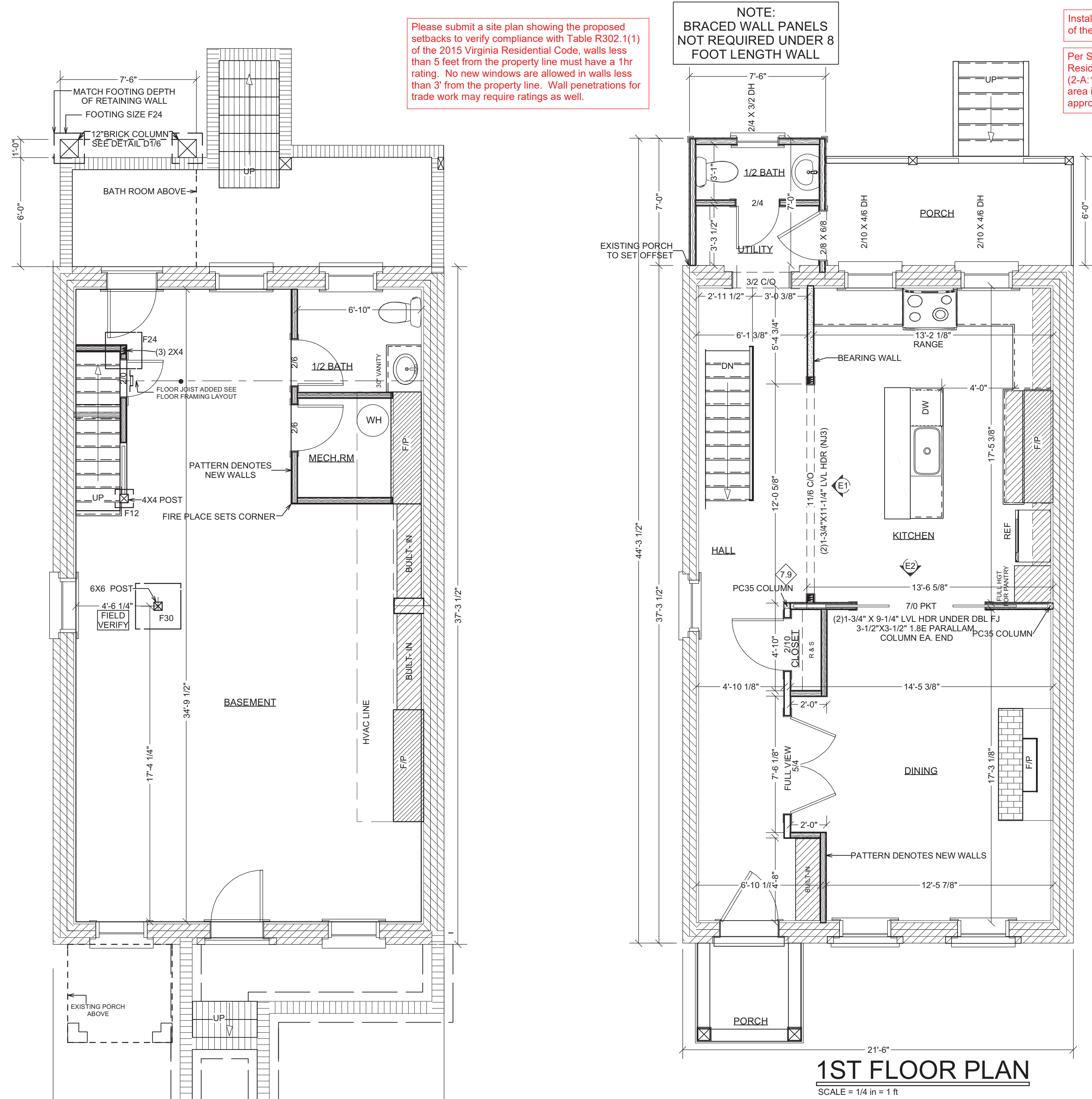
PERMIT PLAN
RELEASED FOR
CONSTRUCTION

SQUARE FOOTAGE

REVISED 05/21/2021	
HALF BATH/MUD ROOM	53 SF
BASEMENT	802 SF
FIRST FLOOR	802 SF
SECOND FLOOR	802 SF
THIRD FLOOR	675 SF
FLOOR TOTAL	3134 SF
FRONT PORCH	31 SF
REAR PORCH	82 SF

DATE: 6/11/2021
SCALE: 1/4" = 1'
BY: K.A.L.
PLAN #: 29015

FLOOR PLANS

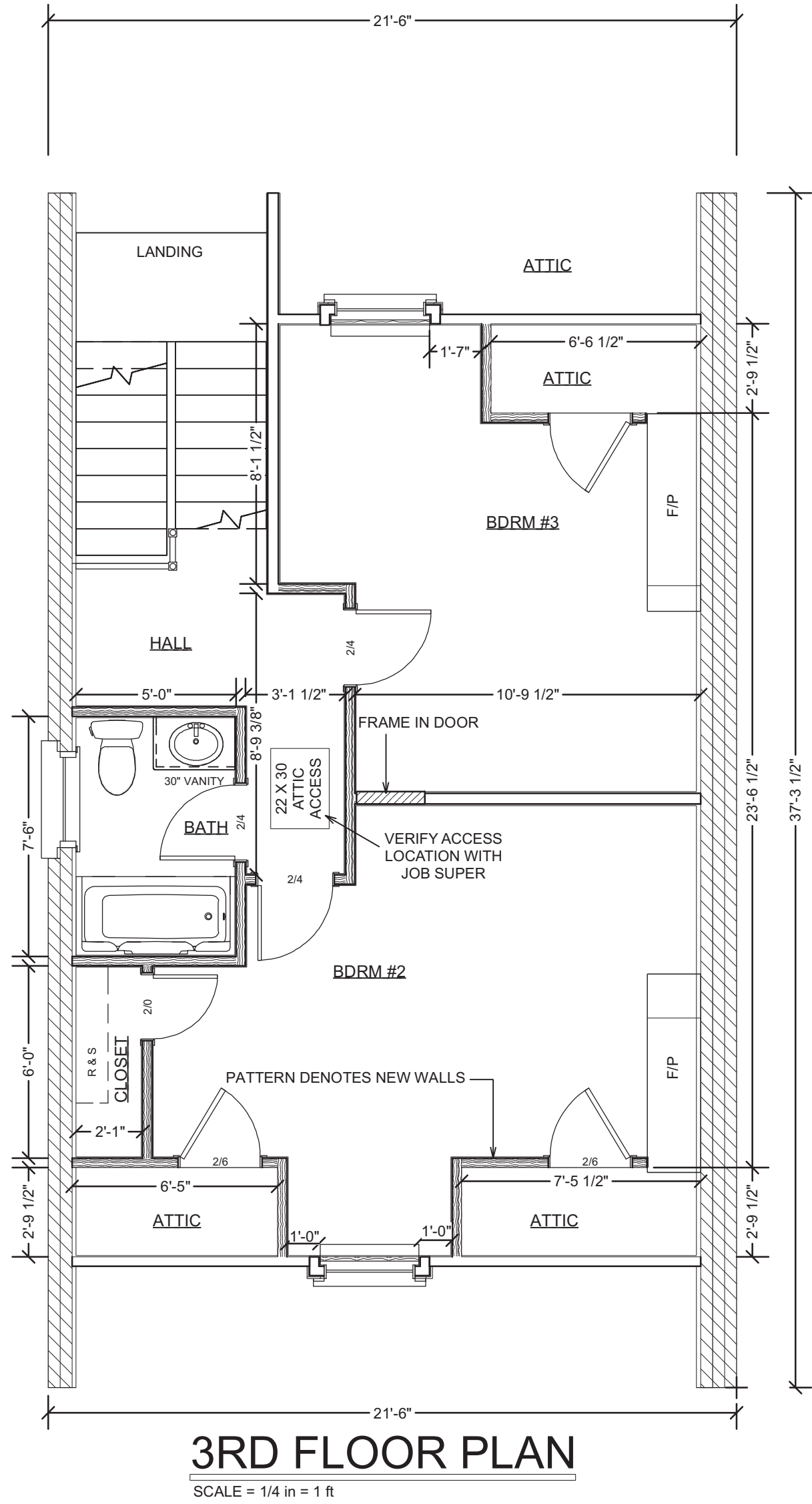
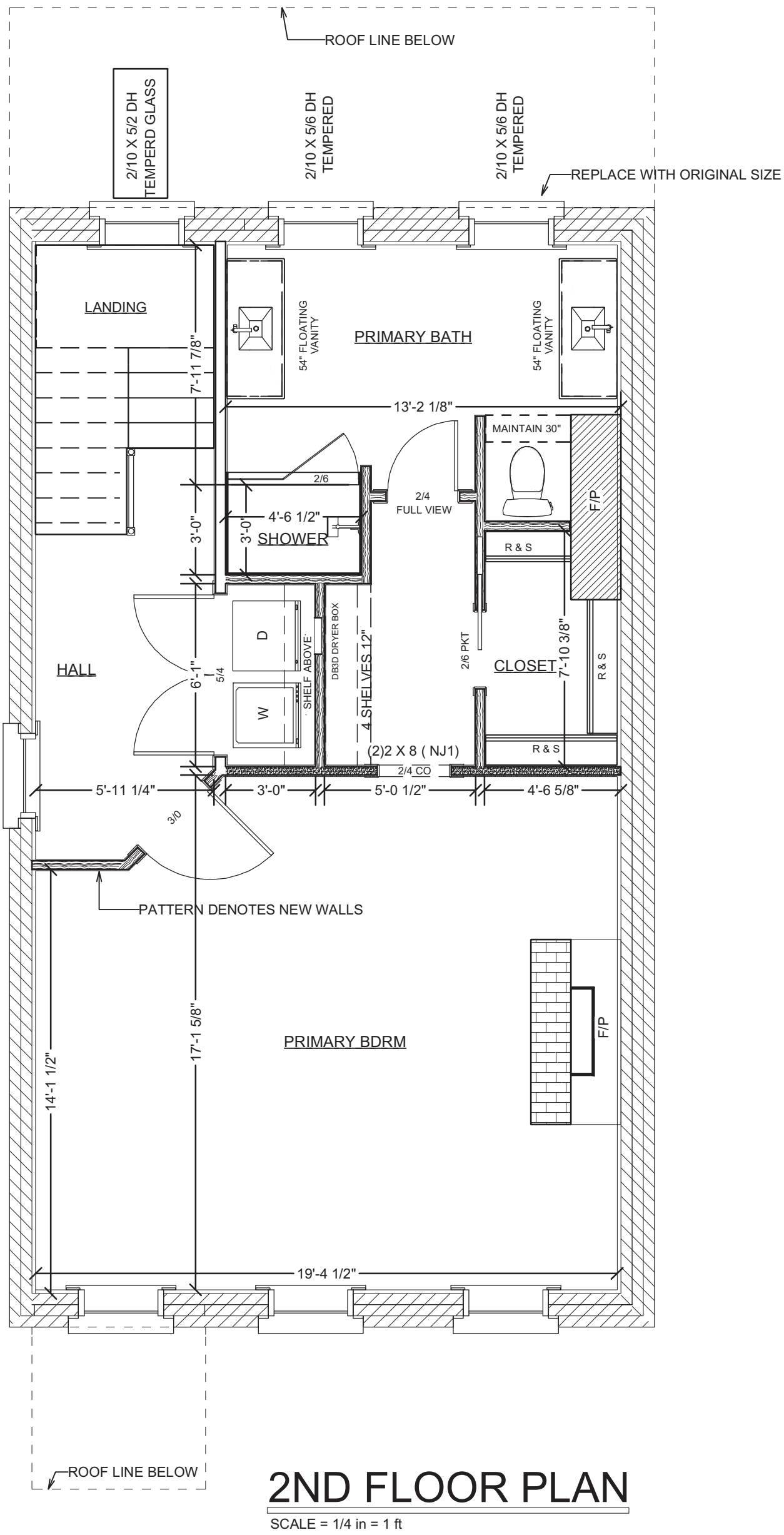


FOOTING SCHEDULE			
LABEL	LOAD CAPACITY	FOOTING SIZE	REINFORCING
F12	1500#	12"x12"x10"	NONE
F16	2600#	16"x16"x10"	#4 @ 10" EW
F24	6000#	24"x24"x10"	#4 @ 8" EW
F30	9300#	30"x30"x10"	#4 @ 7" EW

NOTES:

- 1) CONC STRENGTH TO BE 2500 PSI @ 28 DAYS
- 2) RNFC STEEL SHALL BE A-615 GRADE 40
PLACED 3" FROM BOTTOM OF FOOTING
- 3) SOIL BEARING PRESSURE 1500 PSF
- 4) BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE
BELOW FROST DEPTH LISTED IN DESIGN CRITERIA.

POST LEGEND		
STUDS UNDER BEAM. BLOCK BELOW		
	PT4	4x4 PRESSURE TREATED COLUMN
	PT6	6x6 PRESSURE TREATED COLUMN
	SP4	4x6 SP#2 COLUMN
	SP6	6x6 SP#2 COLUMN
	PC3	3-1/2" X 3-1/2" PS L COLUMN 1.8E
	PC35	3-1/2" X 5-1/4" PS L COLUMN 1.8E
	PC37	3-1/2" X 7" PS L COLUMN 1.8E
	PC5	5-1/4" X 5-1/4" PS L COLUMN 1.8E
	PC57	5-1/4" X 7" PS L COLUMN 1.8E
	PC7	7" X 7" PS L COLUMN 1.8E



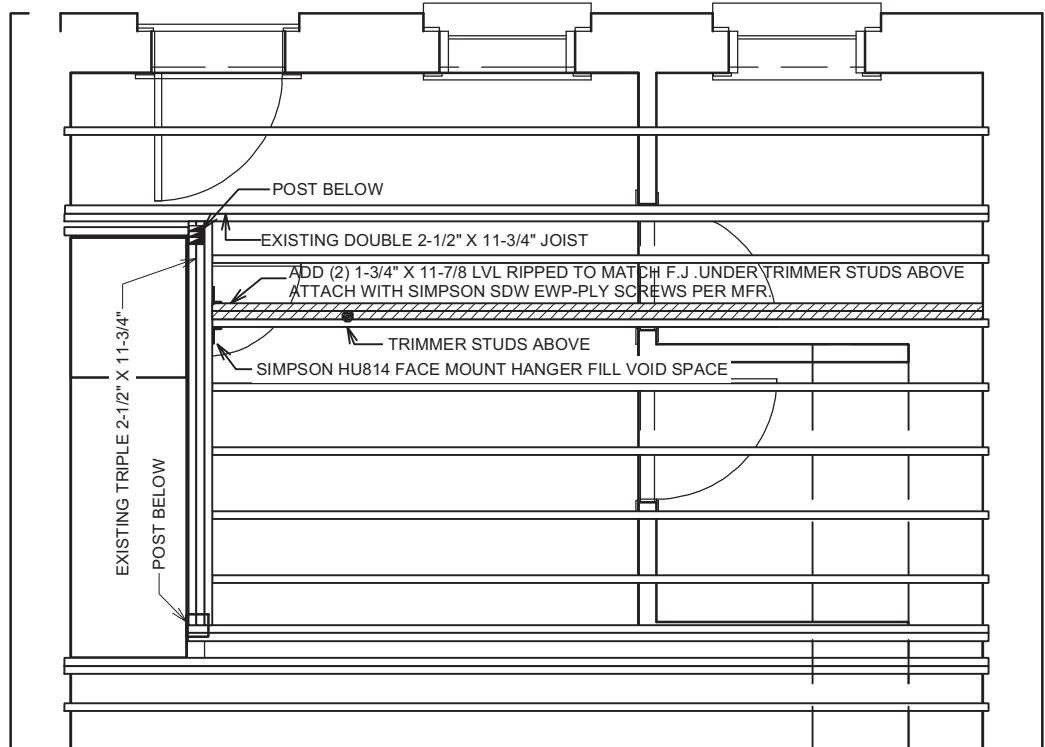
Building Permit - Approved Construction Documents
Under general authority of the Building Code, this approved set of construction documents shall be kept on the job site at all times and shall not be altered without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from complying with manufacturer instructions, Virginia Uniform Statewide Building Code and City of Richmond regulations whether noted, implied or omitted.
Approved Plans: 20220307 2204 E Broad St BLDR-103429-2022

Reviewed per the 2015 Virginia Residential Code.
The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

6/12/2021

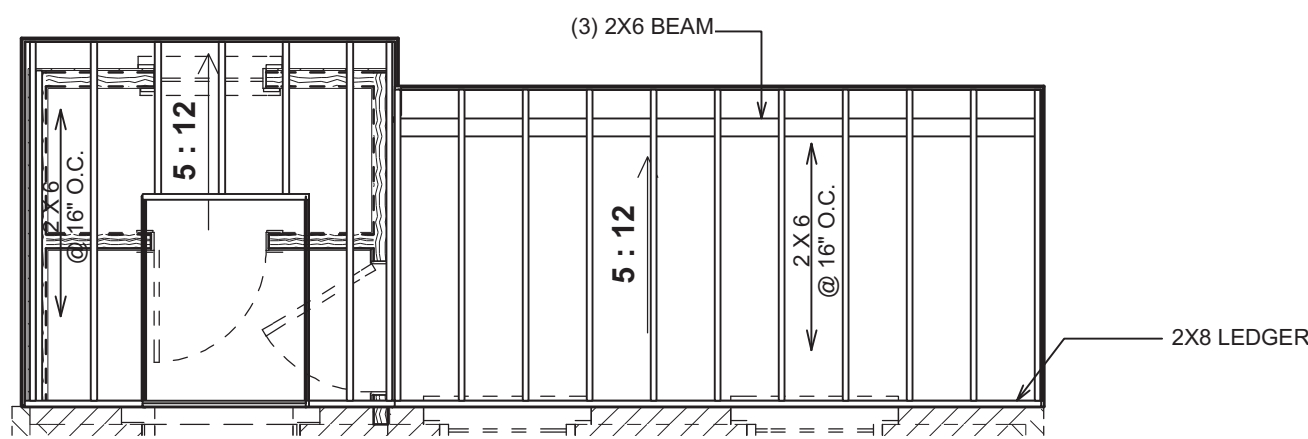
1ST FLOOR FRAMING LAYOUT AT STAIRWELL

SCALE = 1/4 in = 1 ft



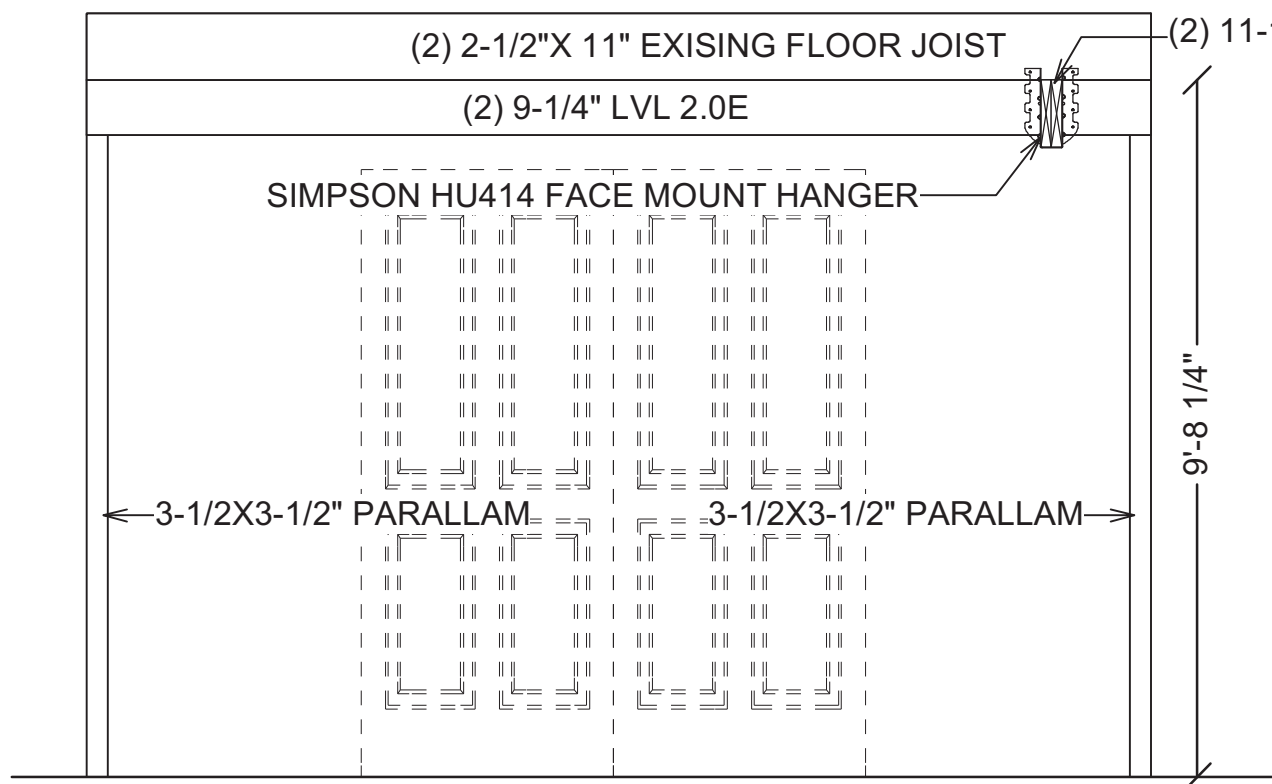
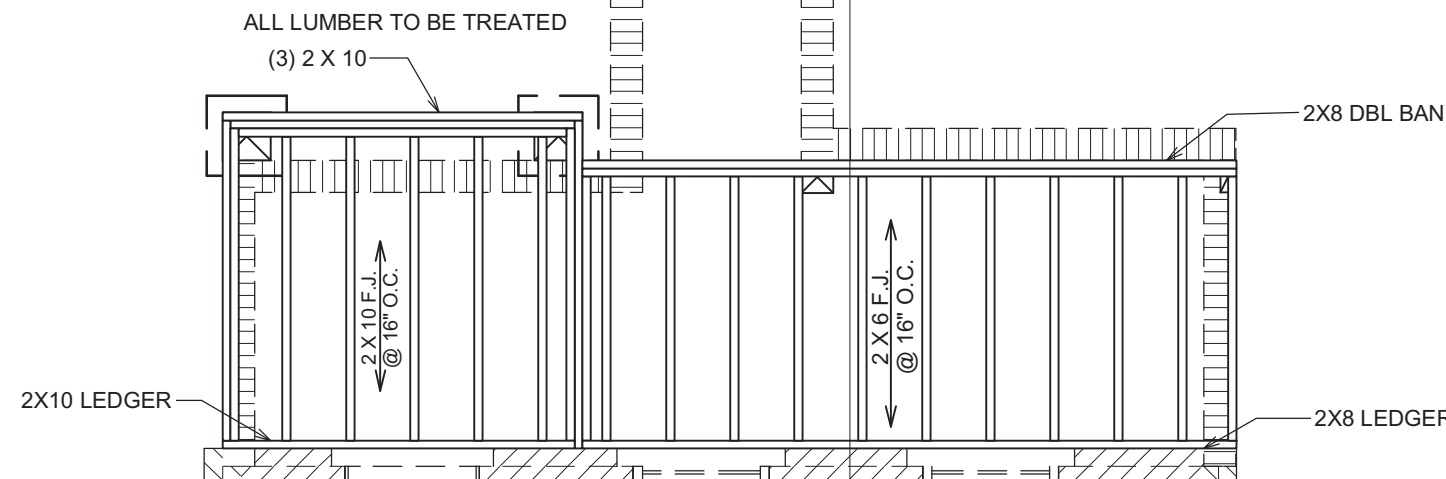
ADDITION AND PORCH ROOF FRAMING PLAN

SCALE = 1/4 in = 1 ft
NOTE: ALL ROOF FRAMING TO BE 2 X 6 @ 16" O.C. UNLESS NOTED OTHERWISE

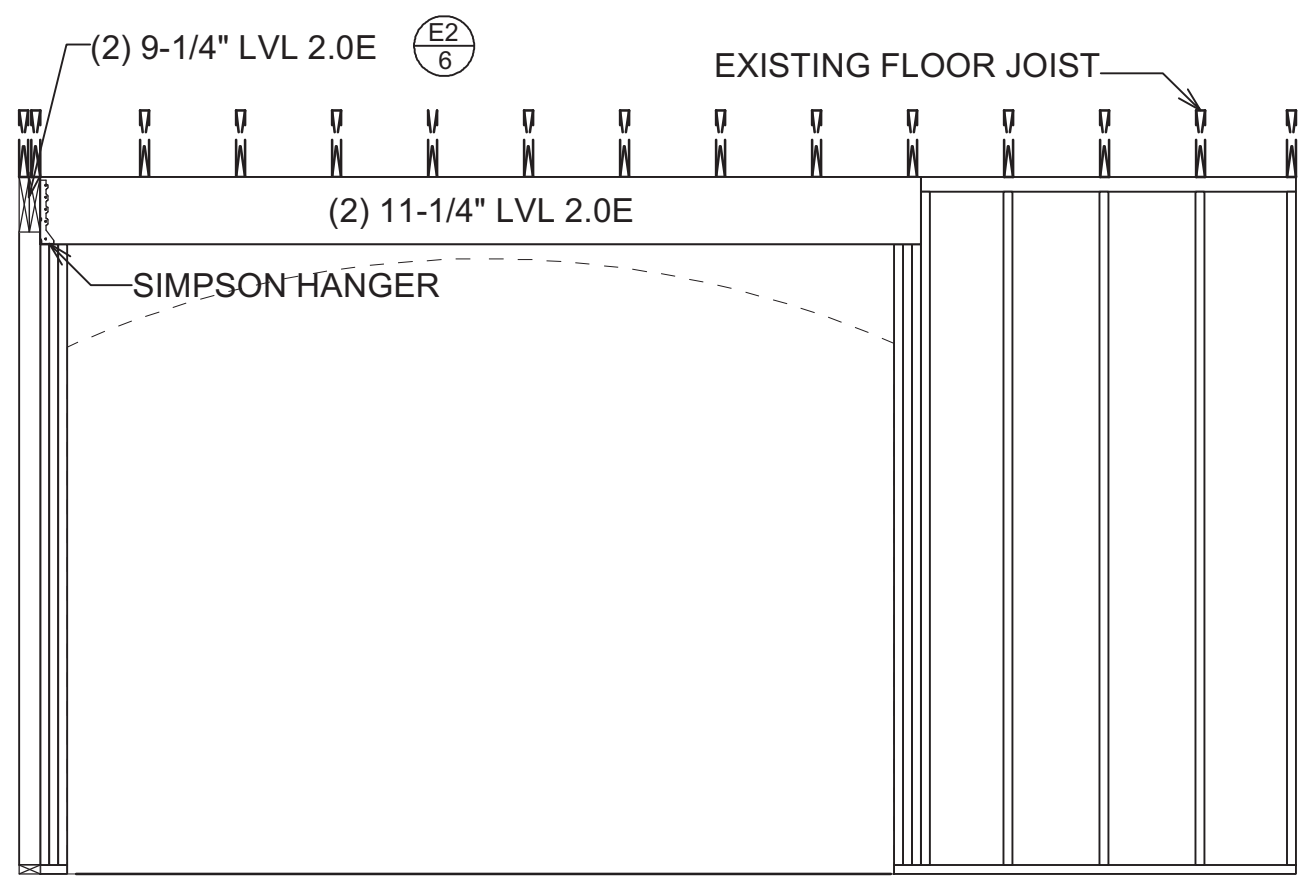


ADDITION AND PORCH FLOOR FRAMING LAYOUT

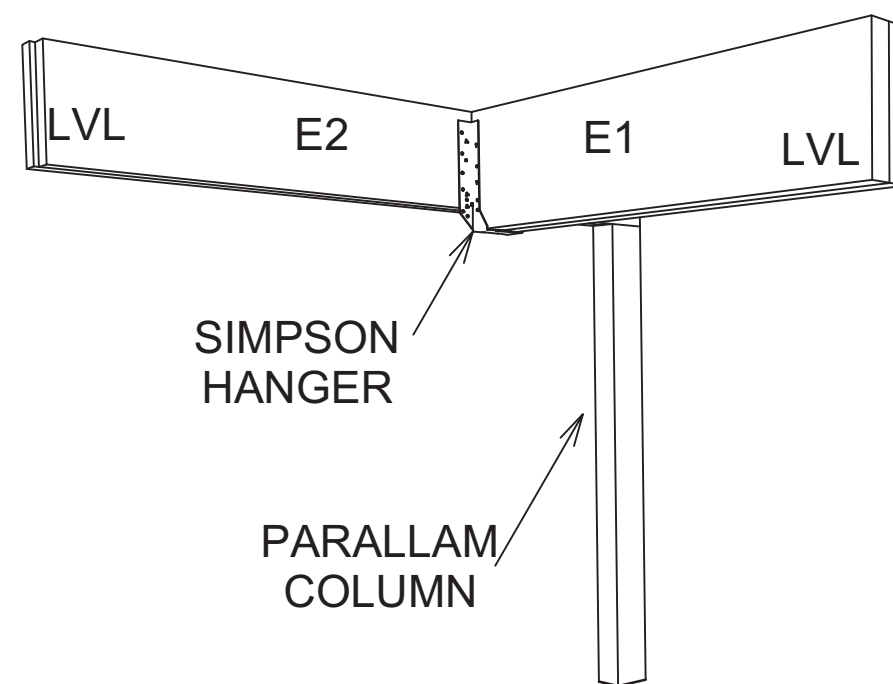
SCALE = 1/4 in = 1 ft



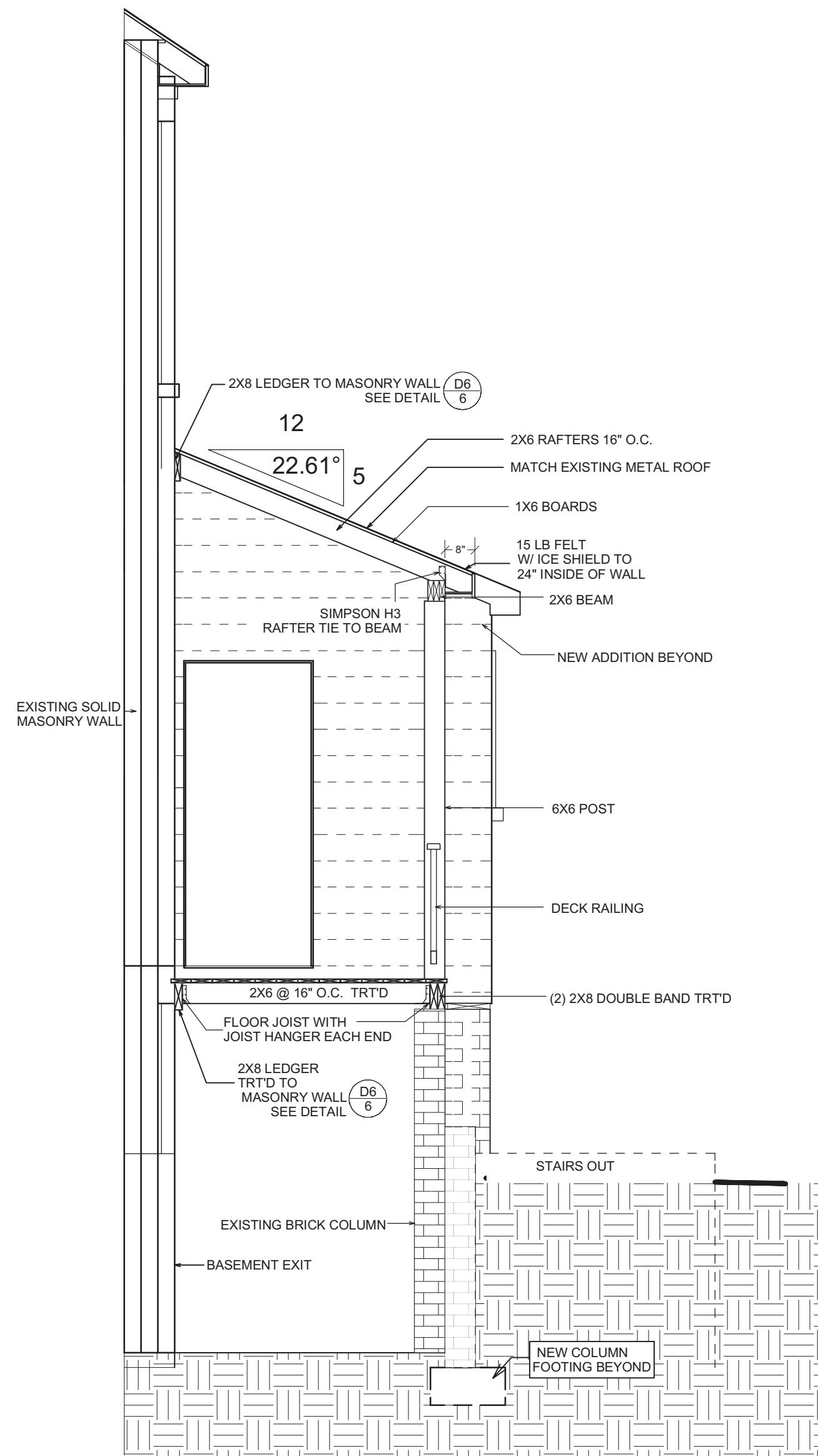
POCKET DOOR WALL
SCALE = 3/8 in = 1 ft



CASED OPENING WALL
SCALE = 3/8 in = 1 ft



CONNECTION VIEW AT E1-E2
NOT TO SCALE



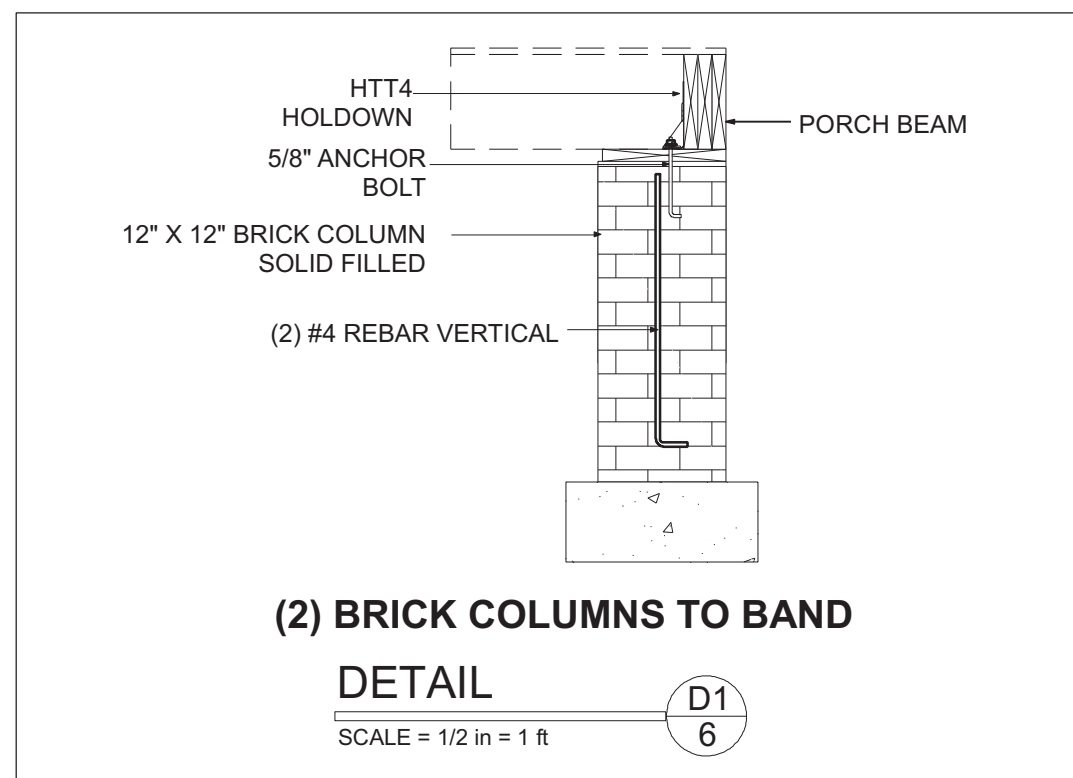
PORCH SECTION

SCALE = 3/8 in = 1 ft

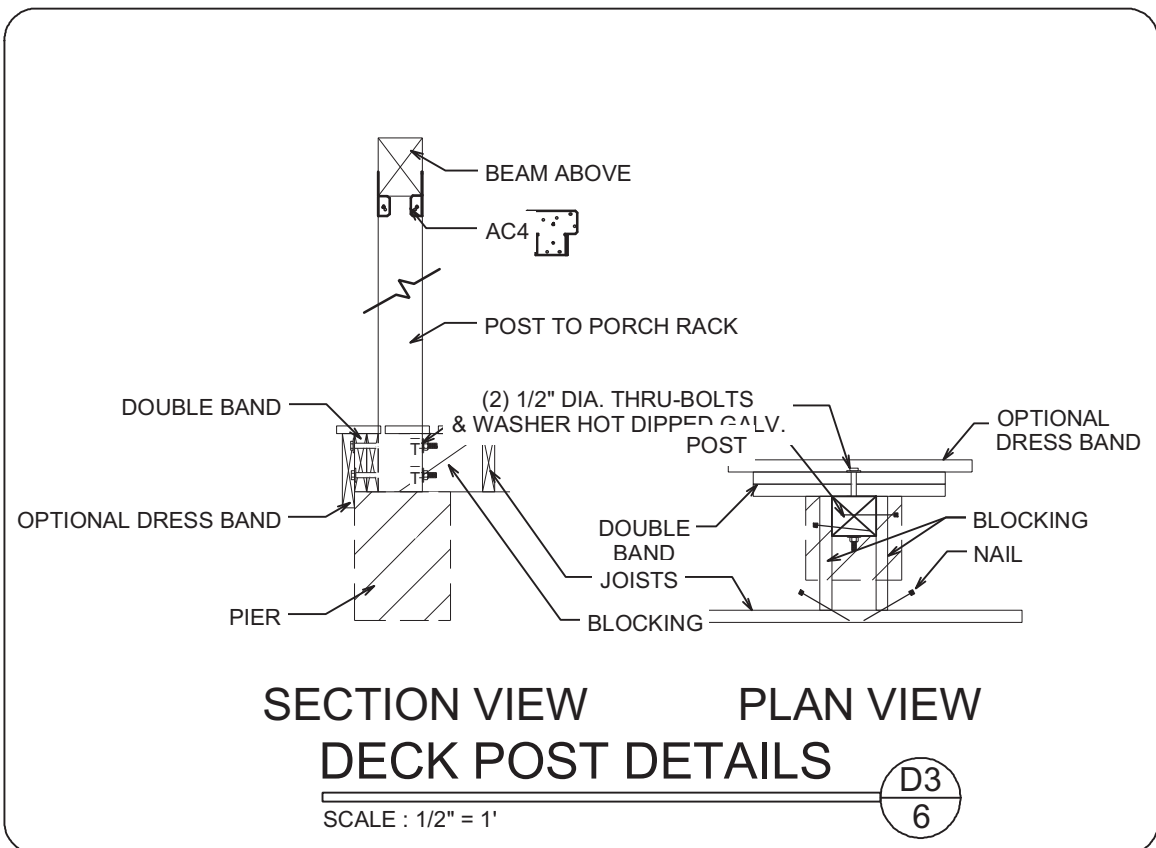
S1
6

Building Permit - Approved Construction Documents
Under general authority of the Building Code, the approved set of construction documents shall be kept on the job site at all times and shall not be altered without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from complying with manufacturer instructions, Virginia Uniform Statewide Building Code and City of Richmond regulations whether noted, implied or omitted.
Approved Plans: 20220307_2204 E. Broad St. BLD-103429-2022
06/06/2022 3:12:46 PM

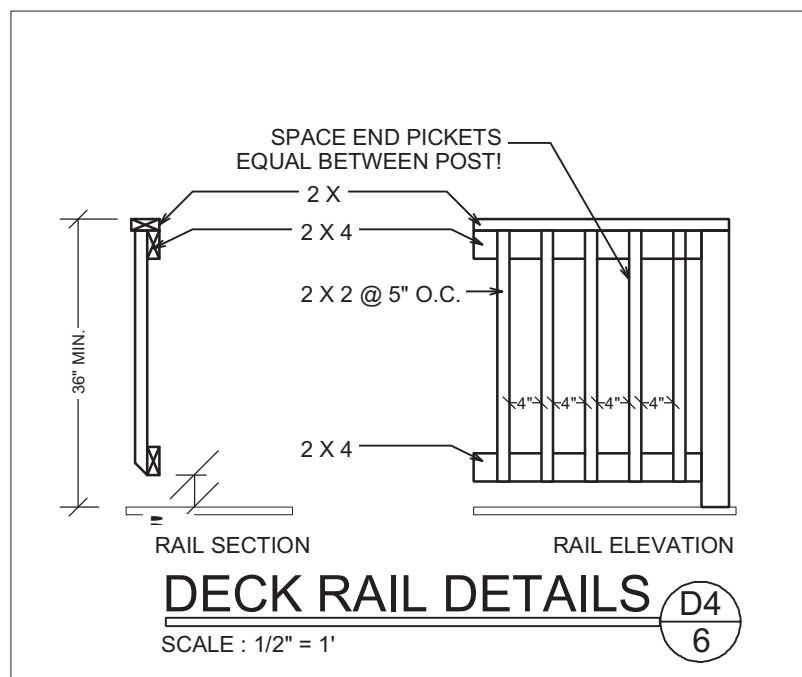
Reviewed per the 2015 Virginia Residential Code.
The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>



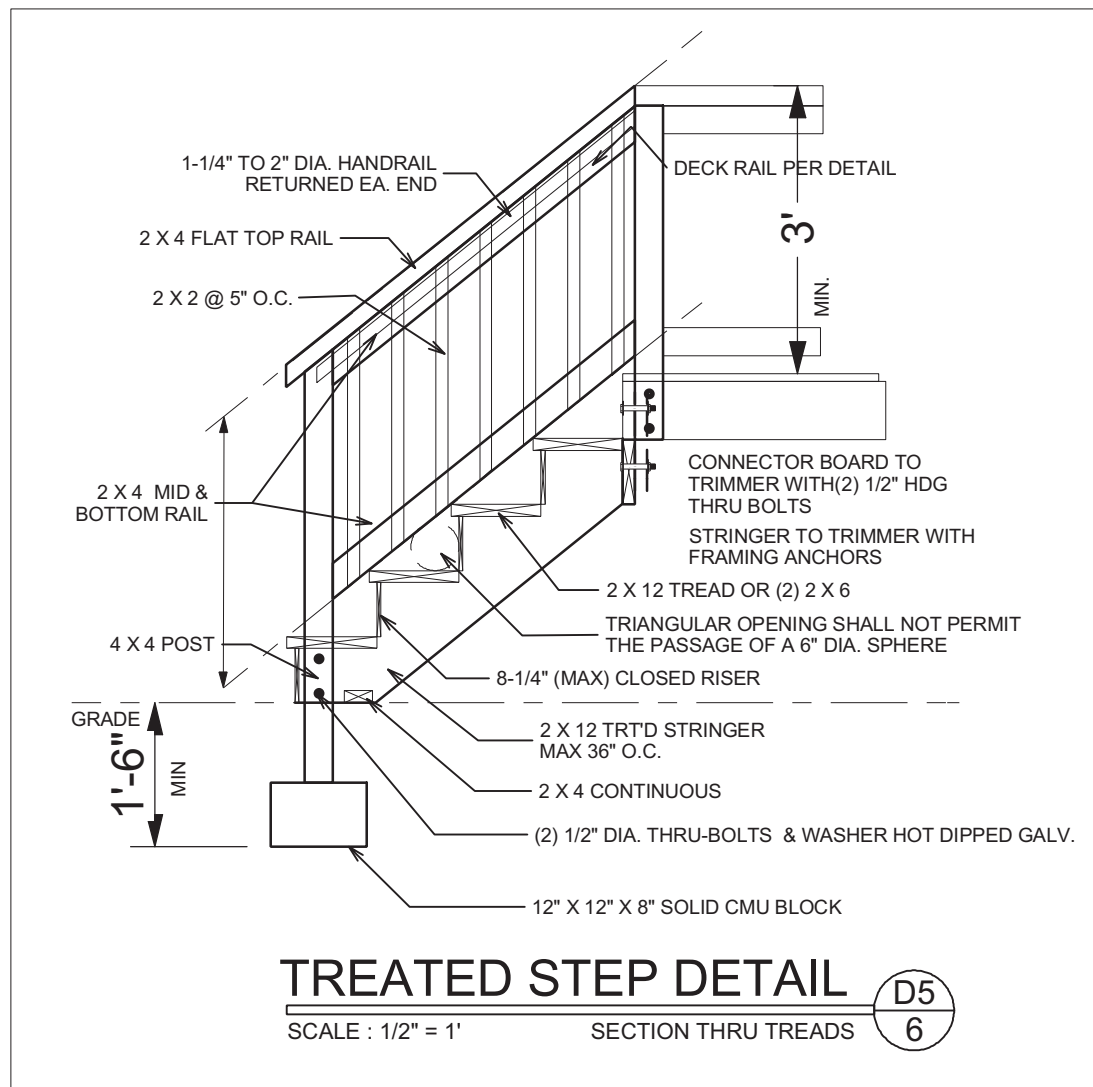
(2) BRICK COLUMNS TO BAND
DETAIL
SCALE = 1/2 in = 1 ft



SECTION VIEW PLAN VIEW
DECK POST DETAILS
SCALE: 1/2" = 1'



RAIL SECTION RAIL ELEVATION
DECK RAIL DETAILS
SCALE: 1/2" = 1'



TREATED STEP DETAIL
SCALE: 1/2" = 1' SECTION THRU TREADS

LEDGER BOARD FASTENER SPACING AND CLEARANCES

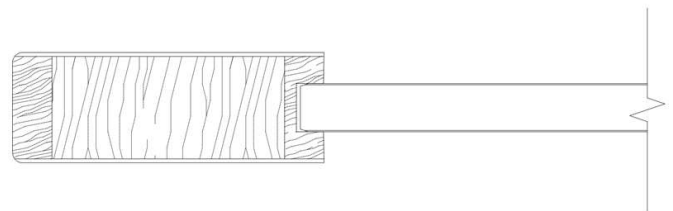
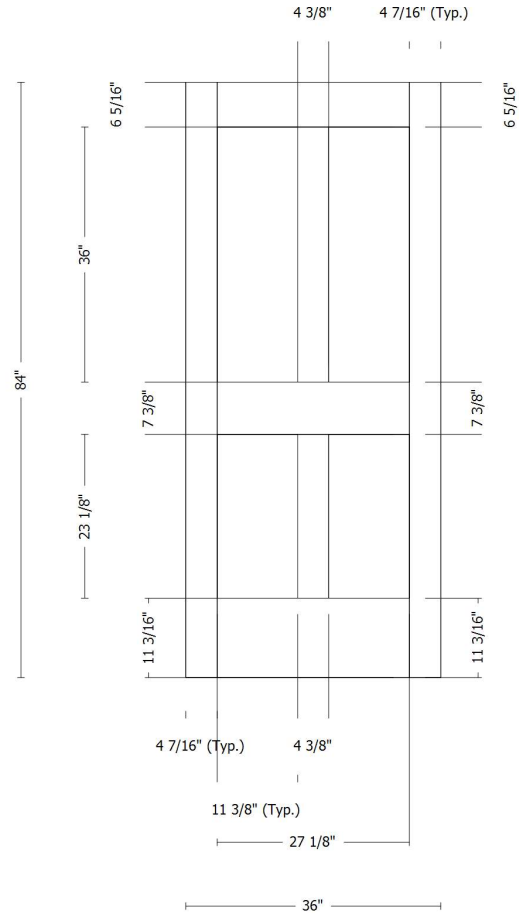
Diagram illustrating the fastener spacing and clearances for a ledger board. The diagram shows a ledger board of length 2' 10 1/2" attached to a masonry wall. The fastener spacing is 16" on center. The clearances are 2" from the end of the ledger board and 2" from the masonry wall. The fasteners are labeled as 2x6, 2x8, 2x10, 2x12, 2x14, 2x16, 2x18, 2x20, 2x22, 2x24, 2x26, 2x28, 2x30, 2x32, 2x34, 2x36, 2x38, 2x40, 2x42, 2x44, 2x46, 2x48, 2x50, 2x52, 2x54, 2x56, 2x58, 2x60, 2x62, 2x64, 2x66, 2x68, 2x70, 2x72, 2x74, 2x76, 2x78, 2x80, 2x82, 2x84, 2x86, 2x88, 2x90, 2x92, 2x94, 2x96, 2x98, 2x100, 2x102, 2x104, 2x106, 2x108, 2x110, 2x112, 2x114, 2x116, 2x118, 2x120, 2x122, 2x124, 2x126, 2x128, 2x130, 2x132, 2x134, 2x136, 2x138, 2x140, 2x142, 2x144, 2x146, 2x148, 2x150, 2x152, 2x154, 2x156, 2x158, 2x160, 2x162, 2x164, 2x166, 2x168, 2x170, 2x172, 2x174, 2x176, 2x178, 2x180, 2x182, 2x184, 2x186, 2x188, 2x190, 2x192, 2x194, 2x196, 2x198, 2x200, 2x202, 2x204, 2x206, 2x208, 2x210, 2x212, 2x214, 2x216, 2x218, 2x220, 2x222, 2x224, 2x226, 2x228, 2x230, 2x232, 2x234, 2x236, 2x238, 2x240, 2x242, 2x244, 2x246, 2x248, 2x250, 2x252, 2x254, 2x256, 2x258, 2x260, 2x262, 2x264, 2x266, 2x268, 2x270, 2x272, 2x274, 2x276, 2x278, 2x280, 2x282, 2x284, 2x286, 2x288, 2x290, 2x292, 2x294, 2x296, 2x298, 2x300, 2x302, 2x304, 2x306, 2x308, 2x310, 2x312, 2x314, 2x316, 2x318, 2x320, 2x322, 2x324, 2x326, 2x328, 2x330, 2x332, 2x334, 2x336, 2x338, 2x340, 2x342, 2x344, 2x346, 2x348, 2x350, 2x352, 2x354, 2x356, 2x358, 2x360, 2x362, 2x364, 2x366, 2x368, 2x370, 2x372, 2x374, 2x376, 2x378, 2x380, 2x382, 2x384, 2x386, 2x388, 2x390, 2x392, 2x394, 2x396, 2x398, 2x400, 2x402, 2x404, 2x406, 2x408, 2x410, 2x412, 2x414, 2x416, 2x418, 2x420, 2x422, 2x424, 2x426, 2x428, 2x430, 2x432, 2x434, 2x436, 2x438, 2x440, 2x442, 2x444, 2x446, 2x448, 2x450, 2x452, 2x454, 2x456, 2x458, 2x460, 2x462, 2x464, 2x466, 2x468, 2x470, 2x472, 2x474, 2x476, 2x478, 2x480, 2x482, 2x484, 2x486, 2x488, 2x490, 2x492, 2x494, 2x496, 2x498, 2x500, 2x502, 2x504, 2x506, 2x508, 2x510, 2x512, 2x514, 2x516, 2x518, 2x520, 2x522, 2x524, 2x526, 2x528, 2x530, 2x532, 2x534, 2x536, 2x538, 2x540, 2x542, 2x544, 2x546, 2x548, 2x550, 2x552, 2x554, 2x556, 2x558, 2x560, 2x562, 2x564, 2x566, 2x568, 2x570, 2x572, 2x574, 2x576, 2x578, 2x580, 2x582, 2x584, 2x586, 2x588, 2x590, 2x592, 2x594, 2x596, 2x598, 2x600, 2x602, 2x604, 2x606, 2x608, 2x610, 2x612, 2x614, 2x616, 2x618, 2x620, 2x622, 2x624, 2x626, 2x628, 2x630, 2x632, 2x634, 2x636, 2x638, 2x640, 2x642, 2x644, 2x646, 2x648, 2x650, 2x652, 2x654, 2x656, 2x658, 2x660, 2x662, 2x664, 2x666, 2x668, 2x670, 2x672, 2x674, 2x676, 2x678, 2x680, 2x682, 2x684, 2x686, 2x688, 2x690, 2x692, 2x694, 2x696, 2x698, 2x700, 2x702, 2x704, 2x706, 2x708, 2x710, 2x712, 2x714, 2x716, 2x718, 2x720, 2x722, 2x724, 2x726, 2x728, 2x730, 2x732, 2x734, 2x736, 2x738, 2x740, 2x742, 2x744, 2x746, 2x748, 2x750, 2x752, 2x754, 2x756, 2x758, 2x760, 2x762, 2x764, 2x766, 2x768, 2x770, 2x772, 2x774, 2x776, 2x778, 2x780, 2x782, 2x784, 2x786, 2x788, 2x790, 2x792, 2x794, 2x796, 2x798, 2x800, 2x802, 2x804, 2x806, 2x808, 2x810, 2x812, 2x814, 2x816, 2x818, 2x820, 2x822, 2x824, 2x826, 2x828, 2x830, 2x832, 2x834, 2x836, 2x838, 2x840, 2x842, 2x844, 2x846, 2x848, 2x850, 2x852, 2x854, 2x856, 2x858, 2x860, 2x862, 2x864, 2x866, 2x868, 2x870, 2x872, 2x874, 2x876, 2x878, 2x880, 2x882, 2x884, 2x886, 2x888, 2x890, 2x892, 2x894, 2x896, 2x898, 2x900, 2x902, 2x904, 2x906, 2x908, 2x910, 2x912, 2x914, 2x916, 2x918, 2x920, 2x922, 2x924, 2x926, 2x928, 2x930, 2x932, 2x934, 2x936, 2x938, 2x940, 2x942, 2x944, 2x946, 2x948, 2x950, 2x952, 2x954, 2x956, 2x958, 2x960, 2x962, 2x964, 2x966, 2x968, 2x970, 2x972, 2x974, 2x976, 2x978, 2x980, 2x982, 2x984, 2x986, 2x988, 2x990, 2x992, 2x994, 2x996, 2x998, 2x1000, 2x1002, 2x1004, 2x1006, 2x1008, 2x1010, 2x1012, 2x1014, 2x1016, 2x1018, 2x1020, 2x1022, 2x1024, 2x1026, 2x1028, 2x1030, 2x1032, 2x1034, 2x1036, 2x1038, 2x1040, 2x1042, 2x1044, 2x1046, 2x1048, 2x1050, 2x1052, 2x1054, 2x1056, 2x1058, 2x1060, 2x1062, 2x1064, 2x1066, 2x1068, 2x1070, 2x1072, 2x1074, 2x1076, 2x1078, 2x1080, 2x1082, 2x1084, 2x1086, 2x1088, 2x1090, 2x1092, 2x1094, 2x1096, 2x1098, 2x1100, 2x1102, 2x1104, 2x1106, 2x1108, 2x1110, 2x1112, 2x1114, 2x1116, 2x1118, 2x1120, 2x1122, 2x1124, 2x1126, 2x1128, 2x1130, 2x1132, 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QUOTE #: 2889241-100
QUOTE VALID THROUGH: 10/8/2022

SERIES:
DOOR DESIGN: 70744
QUANTITY: 1

DOOR SPECIFICATIONS

SPECIES: Fir
WOOD GRADE: Select
WIDTH: 3'-0"
HEIGHT: 7'-0"
THICKNESS: 1 3/4"
PROFILE: Shaker
PANEL: 3/4" Flat
ADDITIONAL OPTIONS:
Cartoned



Approved _____

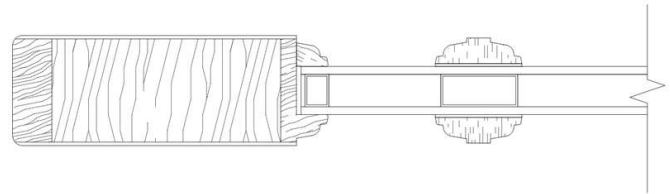
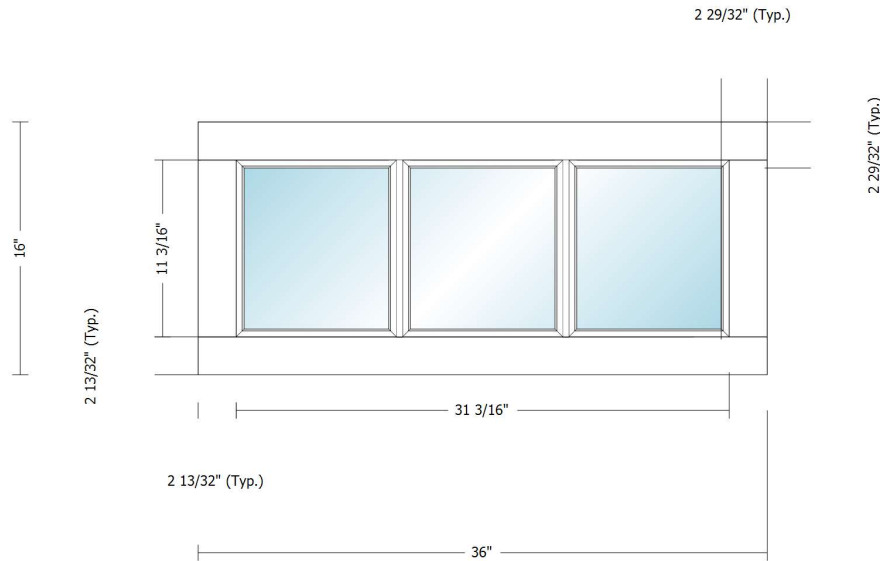
Date _____

QUOTE #: 2889241-100
QUOTE VALID THROUGH: 10/8/2022

SERIES:
DOOR DESIGN: 37723
QUANTITY: 1
***Door subject to additional lead time.**

DOOR SPECIFICATIONS

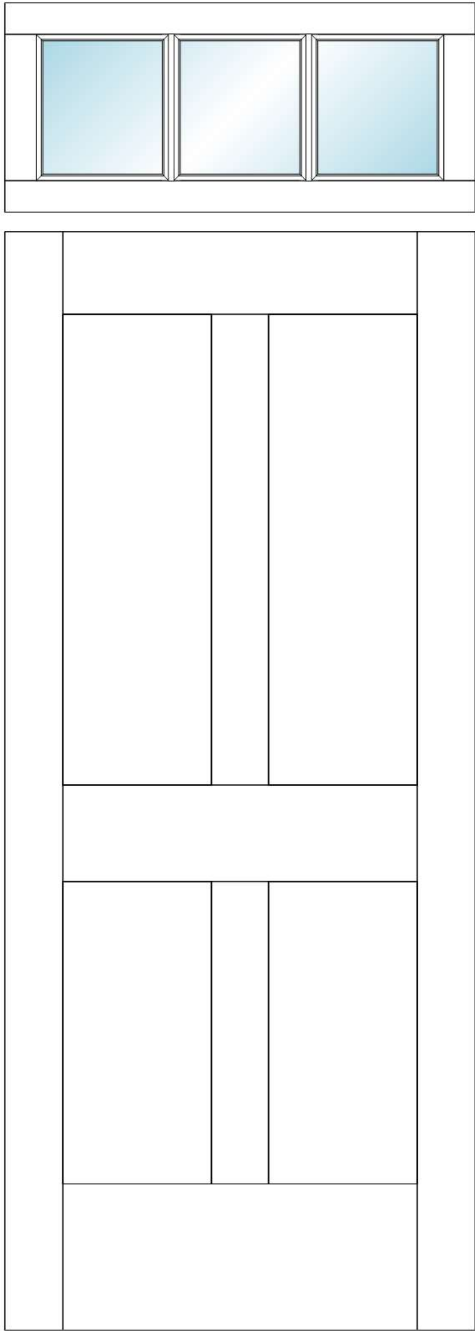
SPECIES: Fir
WOOD GRADE: Select
WIDTH: 3'-0"
HEIGHT: 1'-4"
THICKNESS: 1 3/4"
PROFILE: Ovolo Sticking
GLASS: Clear / Low-E with Argon
GRILLE: 1 3/8" Ovolo SDL
ADDITIONAL OPTIONS:
Cartoned



Approved _____

Date _____

Line Item: 100



Approved _____

Date _____

CERTIFIED DOOR QUOTE SUMMARY

Fir 3-0" x 7-0" x 1 3/4"; Quantity: 1

Fir 3-0" x 1-4" x 1 3/4"; Quantity: 1

Approved _____

Date _____





















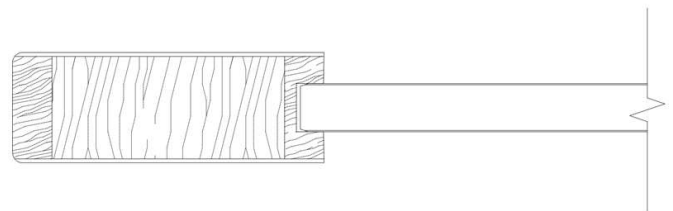
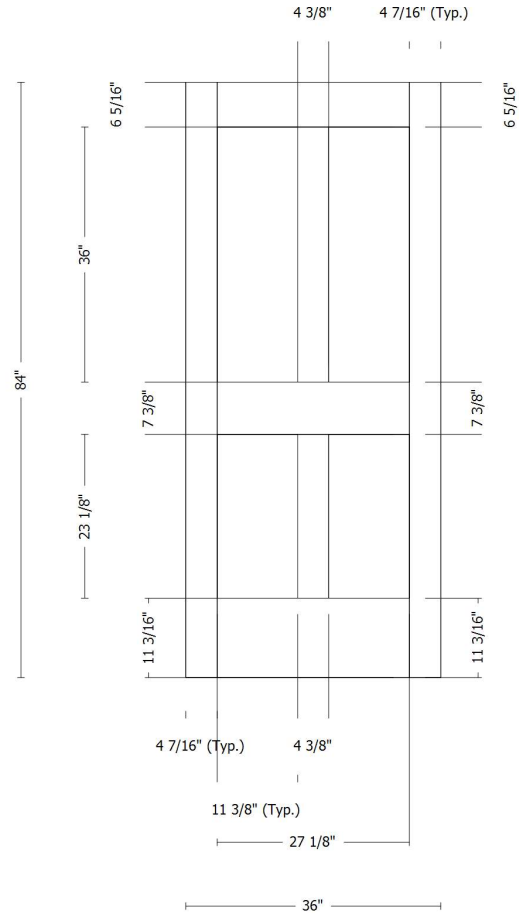


QUOTE #: 2889241-100
QUOTE VALID THROUGH: 10/8/2022

SERIES:
DOOR DESIGN: 70744
QUANTITY: 1

DOOR SPECIFICATIONS

SPECIES: Fir
WOOD GRADE: Select
WIDTH: 3'-0"
HEIGHT: 7'-0"
THICKNESS: 1 3/4"
PROFILE: Shaker
PANEL: 3/4" Flat
ADDITIONAL OPTIONS:
Cartoned



Approved _____

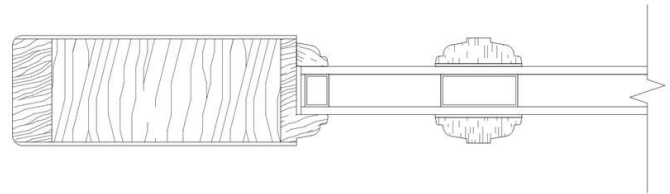
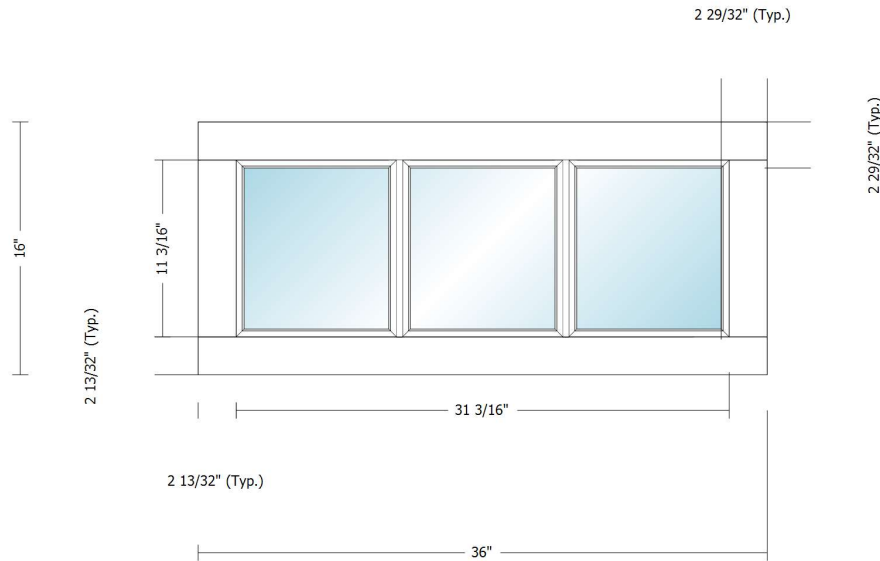
Date _____

QUOTE #: 2889241-100
QUOTE VALID THROUGH: 10/8/2022

SERIES:
DOOR DESIGN: 37723
QUANTITY: 1
***Door subject to additional lead time.**

DOOR SPECIFICATIONS

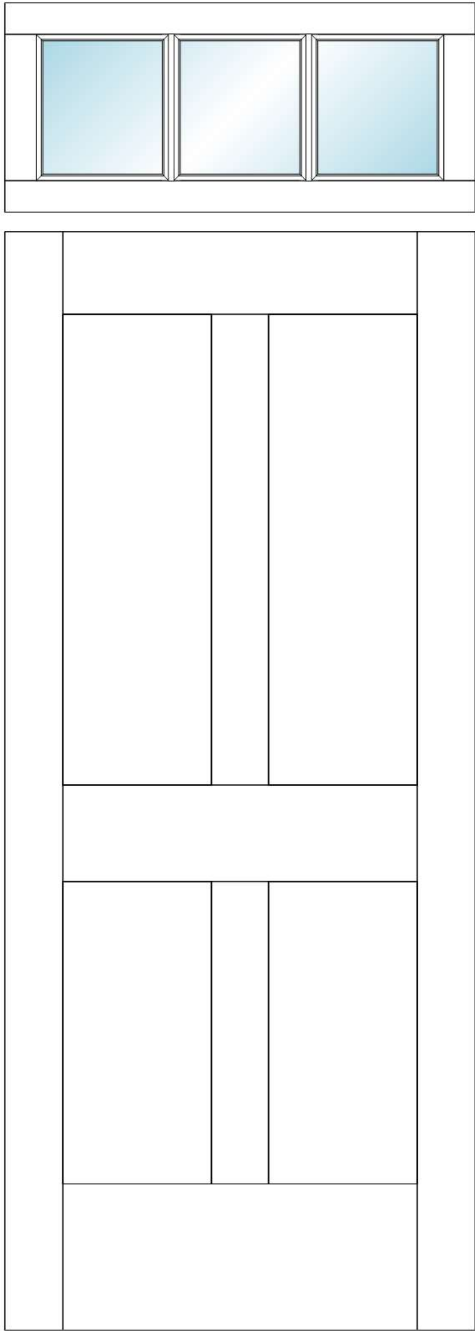
SPECIES: Fir
WOOD GRADE: Select
WIDTH: 3'-0"
HEIGHT: 1'-4"
THICKNESS: 1 3/4"
PROFILE: Ovolo Sticking
GLASS: Clear / Low-E with Argon
GRILLE: 1 3/8" Ovolo SDL
ADDITIONAL OPTIONS:
Cartoned



Approved _____

Date _____

Line Item: 100



Approved _____

Date _____

CERTIFIED DOOR QUOTE SUMMARY

Fir 3-0" x 7-0" x 1 3/4"; Quantity: 1

Fir 3-0" x 1-4" x 1 3/4"; Quantity: 1

Approved _____

Date _____