



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

August 11, 2023

Jackmo LLC
7602 Hampshire Road
Richmond, Virginia 23229

Baker Development Resources
530 East Main Street, Suite 730
Richmond, VA 23219
Attn: Mark Baker

To Whom It May Concern:

RE: BZA 29-2023

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, September 6, 2023 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a lot split and building permit to construct a new single-family (detached) dwelling at 217 EAST 15th STREET (Tax Parcel Number S000-0191/007), located in an R-7 (Single- and Two-Family Urban Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **977 783 632#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2023 drop-down, click meeting details for September 6, 2023 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 29-2023
Page 2
August 11, 2023

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in cursive script that reads "Roy W. Benbow".

Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

City Of Richmond School Board
301 N 9th St 17th Fl
Richmond, VA 23219

Collins Margaret Elizabeth
209 E 15th St
Richmond, VA 23224

Johnson Timothy C & Pearl E
210 E 16th St
Richmond, VA 23224

Krapf Georgia R
212 E 16th St
Richmond, VA 23224

Perez Renovations Inc
637 Clearlake Rd
N Chesterfield, VA 23236

Poindexter Kent
7107 Dell Dr
Richmond, VA 23235

Richmond Redevelopment And Housing
Authority
600 E Broad St 4th Fl
Richmond, VA 23219

Riley Loretia M
201 E 15th St
Richmond, VA 23224

Robbins Clement J V
214 E 16th St
Richmond, VA 23224

Roberts Amanda M
223 E 15th St
Richmond, VA 23224

Sivard Joseph David
221 E 15th St
Richmond, VA 23224

Turner Judith M
219 E 15th St
Richmond, VA 23224

Property: 217 E 15th St Parcel ID: S0000191007

Parcel

Street Address: 217 E 15th St Richmond, VA 23224-
Owner: JACKMO LLC
Mailing Address: 7602 HAMPSHIRE RD, RICHMOND, VA 23229
Subdivision Name : NONE
Parent Parcel ID:
Assessment Area: 352 - Bainbridge/Manchester/Blackwell North
Property Class: 120 - R Two Story
Zoning District: R-7 - Residential (Single & 2 Family Urban)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2023
Land Value: \$63,000
Improvement Value: \$92,000
Total Value: \$155,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 5293.8
Acreage: 0.122
Property Description 1: 0051.90X0102.00 0000.122 AC
State Plane Coords(?): X= 11788893.500004 Y= 3713505.540133
Latitude: 37.51701240 , **Longitude:** -77.44488056

Description

Land Type: Residential Lot B
Topology: Level
Front Size: 51
Rear Size: 102
Parcel Square Feet: 5293.8
Acreage: 0.122
Property Description 1: 0051.90X0102.00 0000.122 AC
Subdivision Name : NONE
State Plane Coords(?): X= 11788893.500004 Y= 3713505.540133
Latitude: 37.51701240 , **Longitude:** -77.44488056

Other

Street improvement: Paved
Sidewalk: Yes

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2023	\$63,000	\$92,000	\$155,000	Reassessment
2022	\$63,000	\$84,000	\$147,000	Reassessment
2021	\$35,000	\$58,000	\$93,000	Reassessment
2020	\$25,000	\$59,000	\$84,000	Reassessment
2019	\$25,000	\$59,000	\$84,000	Reassessment
2018	\$20,000	\$58,000	\$78,000	Reassessment
2017	\$20,000	\$54,000	\$74,000	Reassessment
2016	\$20,000	\$25,000	\$45,000	Reassessment
2015	\$20,000	\$25,000	\$45,000	Reassessment
2014	\$20,000	\$25,000	\$45,000	Reassessment
2013	\$20,000	\$25,000	\$45,000	Reassessment
2012	\$20,000	\$29,000	\$49,000	Reassessment
2011	\$20,000	\$30,000	\$50,000	CarryOver
2010	\$20,000	\$30,000	\$50,000	Reassessment
2009	\$19,800	\$29,900	\$49,700	Reassessment
2008	\$19,800	\$29,900	\$49,700	Reassessment
2007	\$18,000	\$29,900	\$47,900	Reassessment
2006	\$24,000	\$21,200	\$45,200	Reassessment
2005	\$21,800	\$17,700	\$39,500	Reassessment
2004	\$20,000	\$16,200	\$36,200	Reassessment
2003	\$2,700	\$16,200	\$18,900	Reassessment
2002	\$2,700	\$16,000	\$18,700	Reassessment
1998	\$2,600	\$15,400	\$18,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
06/06/2023	\$153,000	15TH STREET TRUST TRS	ID2023-8326	1 - VALID SALE-Valid, Use in Ratio Analysis
06/25/2018	\$70,000	TURNER JAMES E JR & CAROLYN A	ID2018-12719	2 - INVALID SALE-Special Financing/Terms, etc.
03/29/1978	\$17,500	Not Available	00532-0647	
12/31/1973	\$0	Not Available	000435-00593	

Planning

Master Plan Future Land Use: R
Zoning District: R-7 - Residential (Single & 2 Family Urban)
Planning District: Old South
Traffic Zone: 1190
City Neighborhood Code: BLKW
City Neighborhood Name: Blackwell
Civic Code:
Civic Association Name: Blackwell Historic Community Civic Association
Subdivision Name: NONE
City Old and Historic District:
National historic District: Blackwell Historic District
Neighborhoods in Bloom: Blackwell
Redevelopment Conservation Area: HOPE IV/Blackwell

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	2034	0603002	060300
1990	314	0603003	060300

Schools

Elementary School: Blackwell
Middle School: River City
High School: Armstrong

Public Safety

Police Precinct: 1
Police Sector: 112
Fire District: 13
Dispatch Zone: 155A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Thursday
Bulk Collection: TBD

Government Districts

Council District: 8
Voter Precinct: 802
State House District: 79
State Senate District: 14
Congressional District: 4

Extension 1 Details

Extension Name: R01 - Residential record #01
Year Built: 1918
Stories: 2
Units: 0
Number Of Rooms: 8
Number Of Bed Rooms: 3
Number Of Full Baths: 1
Number Of Half Baths: 0
Condition: poor for age
Foundation Type: Full Crawl
1st Predominant Exterior: Alum/Vinyl
2nd Predominant Exterior: N/A
Roof Style: Flat or Shed
Roof Material: Metal
Interior Wall: Plaster
Floor Finish: Hardwood-std oak
Heating Type: Forced hot air
Central Air: N
Basement Garage Car #: 0
Fireplace: N
Building Description (Out Building and Yard Items) :

Extension 1 Dimensions

Finished Living Area: 1470 Sqft
Attic: 0 Sqft
Finished Attic: 0 Sqft
Basement: 0 Sqft
Finished Basement: 0 Sqft
Attached Garage: 0 Sqft
Detached Garage: 0 Sqft
Attached Carport: 0 Sqft
Enclosed Porch: 0 Sqft
Open Porch: 85 Sqft
Deck: 0 Sqft

Property Images

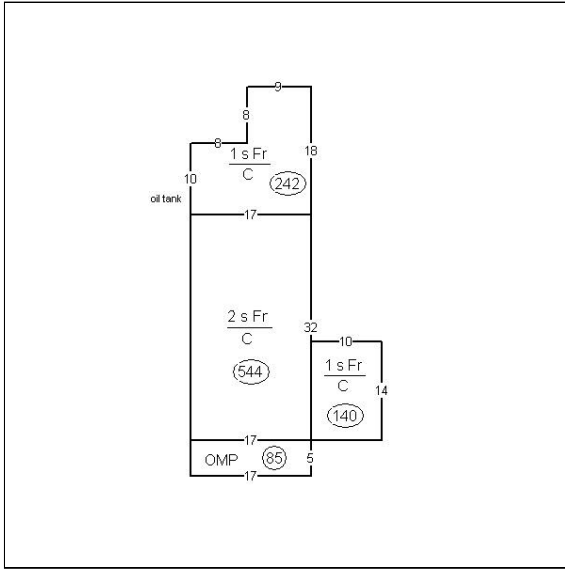
Name:S0000191007 Desc:R01



[Click here for Larger Image](#)

Sketch Images

Name:S0000191007 Desc:R01



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



**THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340**

TO BE COMPLETED BY THE APPLICANT

PROPERTY

OWNER: Jackmo LLC

PHONE: (Home) () _____ (Mobile) () _____

ADDRESS 7602 Hampshire Road

FAX: () _____ (Work) () _____

Richmond, VA 23229

E-mail Address: _____

PROPERTY OWNER'S

REPRESENTATIVE: Baker Development Resources

PHONE: (Home) () _____ (Mobile) (804) 874-6275

(Name/Address) 530 East Main Street, Suite 730

FAX: () _____ (Work) () _____

Richmond, VA 23219

E-mail Address: markbaker@bakerdevelopmentresources.com

Attn: Mark Baker

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 217 East 15th Street

TYPE OF APPLICATION: VARIANCE SPECIAL EXCEPTION OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-413.5(1)

APPLICATION REQUIRED FOR: A lot split and building permit to construct a new single-family detached dwelling.

TAX PARCEL NUMBER(S): S000-0191/007 **ZONING DISTRICT:** R-7(Single- and Two-Family Urban Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The lot area and lot width requirements are not met. Lot areas of three thousand six hundred square feet (3,600 SF) and lot widths of thirty feet (30') are required. For zoning purposes, one (1) lot having a lot area of 5,294 square feet and a lot width of 51.9 feet currently exists. A lot area of 3,142 square feet and lot width of 30.8 feet are proposed for No. 215 and a lot area of 2,152 square feet and lot width of 21.1 feet are proposed for No. 217.

DATE REQUEST DISAPPROVED: 7/11/2023

FEE WAIVER: YES NO:

DATE FILED: 07/11/2023 **TIME FILED:** 3:10 p.m. **PREPARED BY:** Colleen Dang **RECEIPT NO.** BZAR-133633-2023

AS CERTIFIED BY: [Signature] (ZONING ADMINSTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) _____ **OF THE CHARTER OF THE CITY OF RICHMOND**

SECTION 15.2 -2309.2 **OF THE CODE OF VIRGINIA** [OR]

SECTION 1040.3 PARAGRAPH(S) _____ (2) **OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND**

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] **DATE:** 7/31/23

***** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS *****

CASE NUMBER: BZA 29-2023 **HEARING DATE:** September 6, 2023 **AT** 1:00 **P.M.**

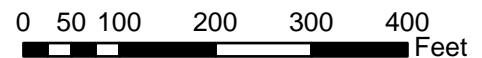
BOARD OF ZONING APPEALS CASE BZA 29-2023
150' Buffer

APPLICANT(S): Jackmo LLC

PREMISES: 217 East 15th Street
(Tax Parcel Number S000-0191/007)

SUBJECT: A lot split and building permit to construct a new single-family (detached) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-413.5(1)
of the Zoning Ordinance for the reason that:
The lot area and lot width requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

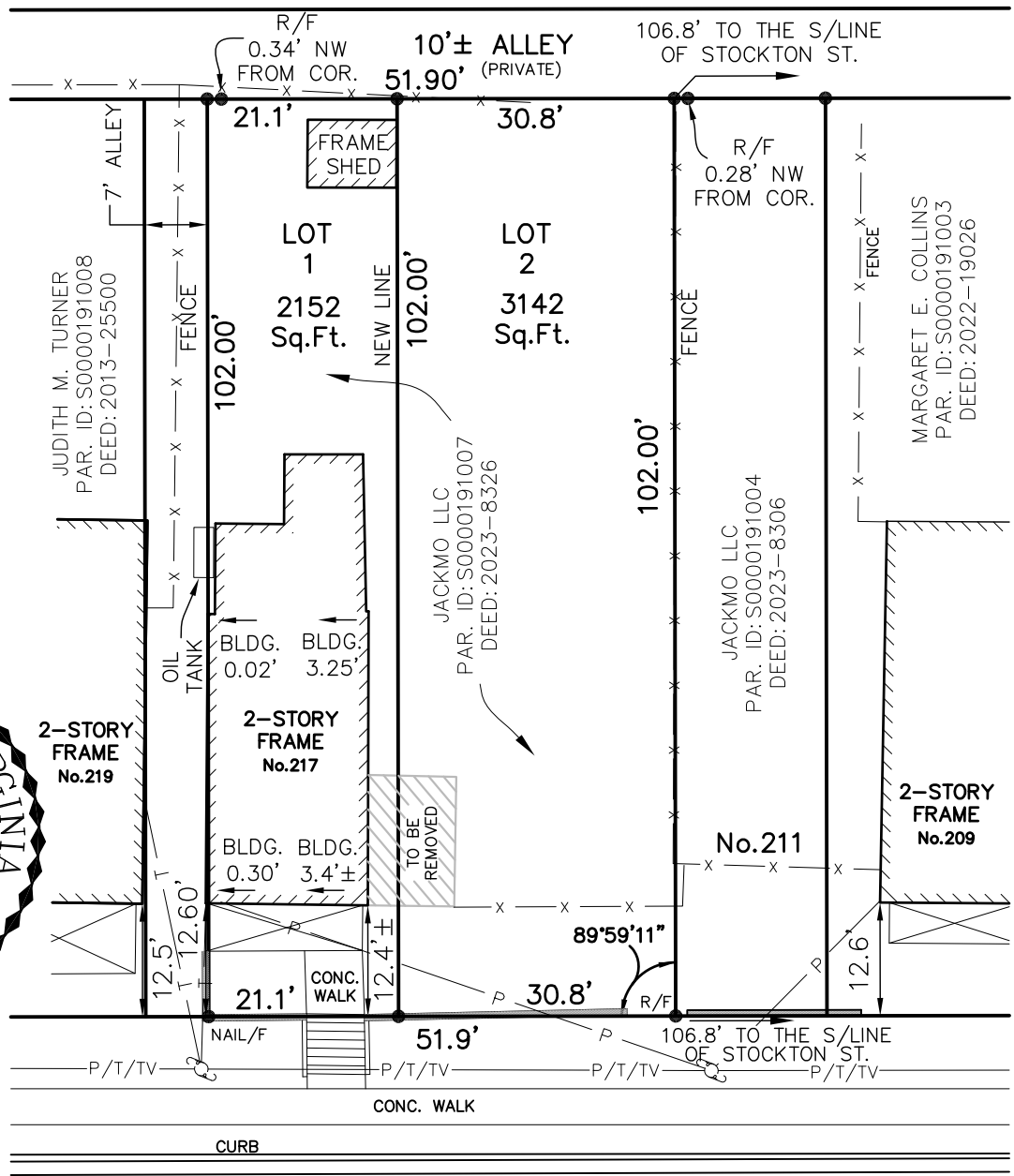
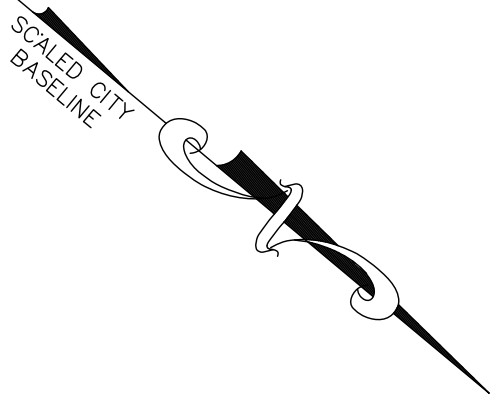
1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. [The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.](#)
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing.** The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

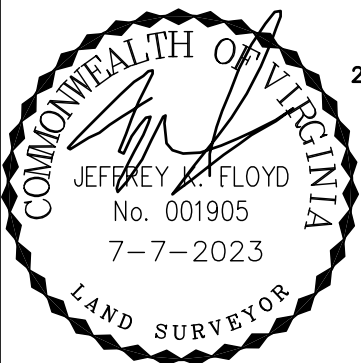
Acknowledgement of Receipt by Applicant or Authorized Agent: _____

This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 7-6-2023 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.



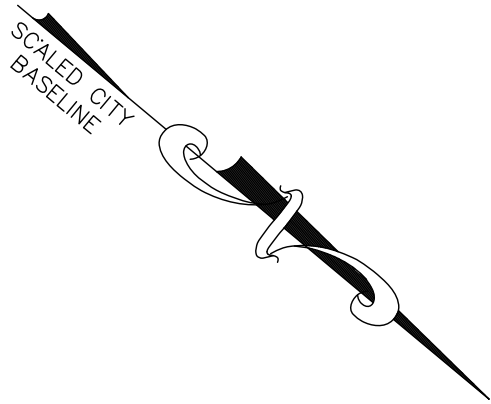
E 15TH STREET
50± R/W

**MAP SHOWING THE DIVISION OF
No. 217 E 15th STREET
IN THE CITY OF RICHMOND, VA.**

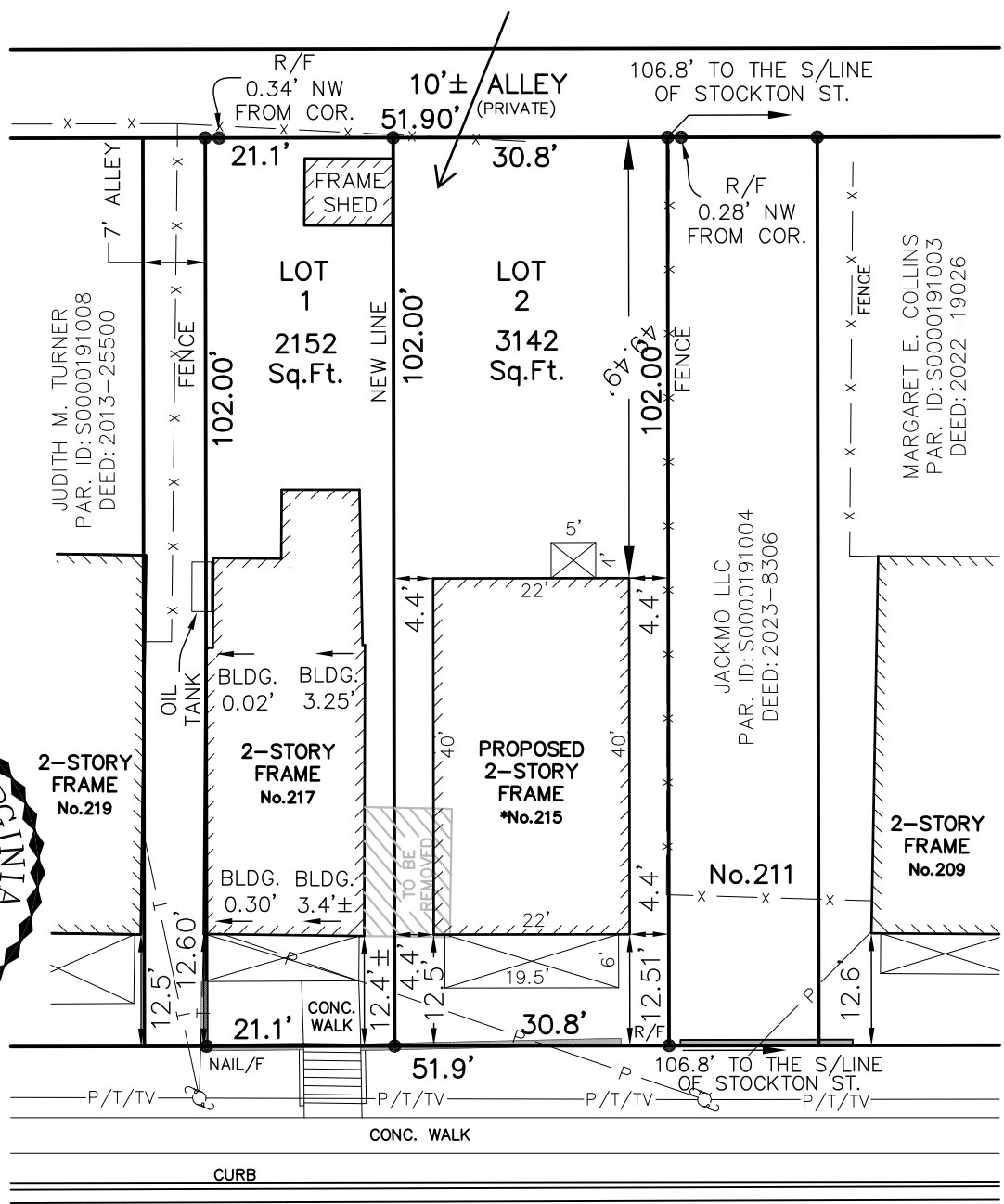


Virginia Surveys
P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
COPYRIGHT © VIRGINIA SURVEYS
All rights reserved.

DATE: 7-7-2023
CERTIFIED BY JEFFREY K. FLOYD
VIRGINIA CERTIFICATE NO. 001905
SCALE: 1"=20'
JOB NO. 230615813

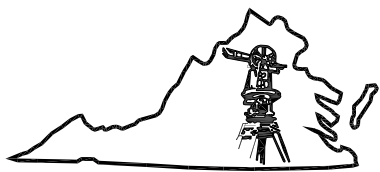
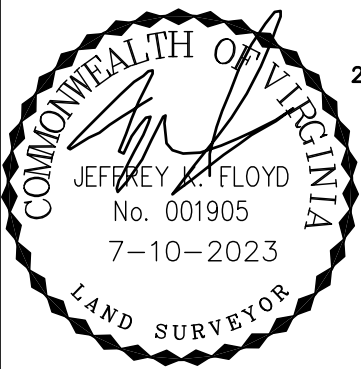


Note: Existing Corrugated Shed On LOT 2 To Be Removed



E 15TH STREET
50'± R/W

SKETCH SHOWING THE PROPOSED
IMPROVEMENTS ON
LOT 2, No. 215 E 15th STREET
IN THE CITY OF RICHMOND, VA.



Virginia Surveys

P.O. BOX 118
CHESTERFIELD, VA 23832

(804) 748-9481
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DATE: 7-10-2023

CERTIFIED BY JEFFREY K. FLOYD

VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=20'

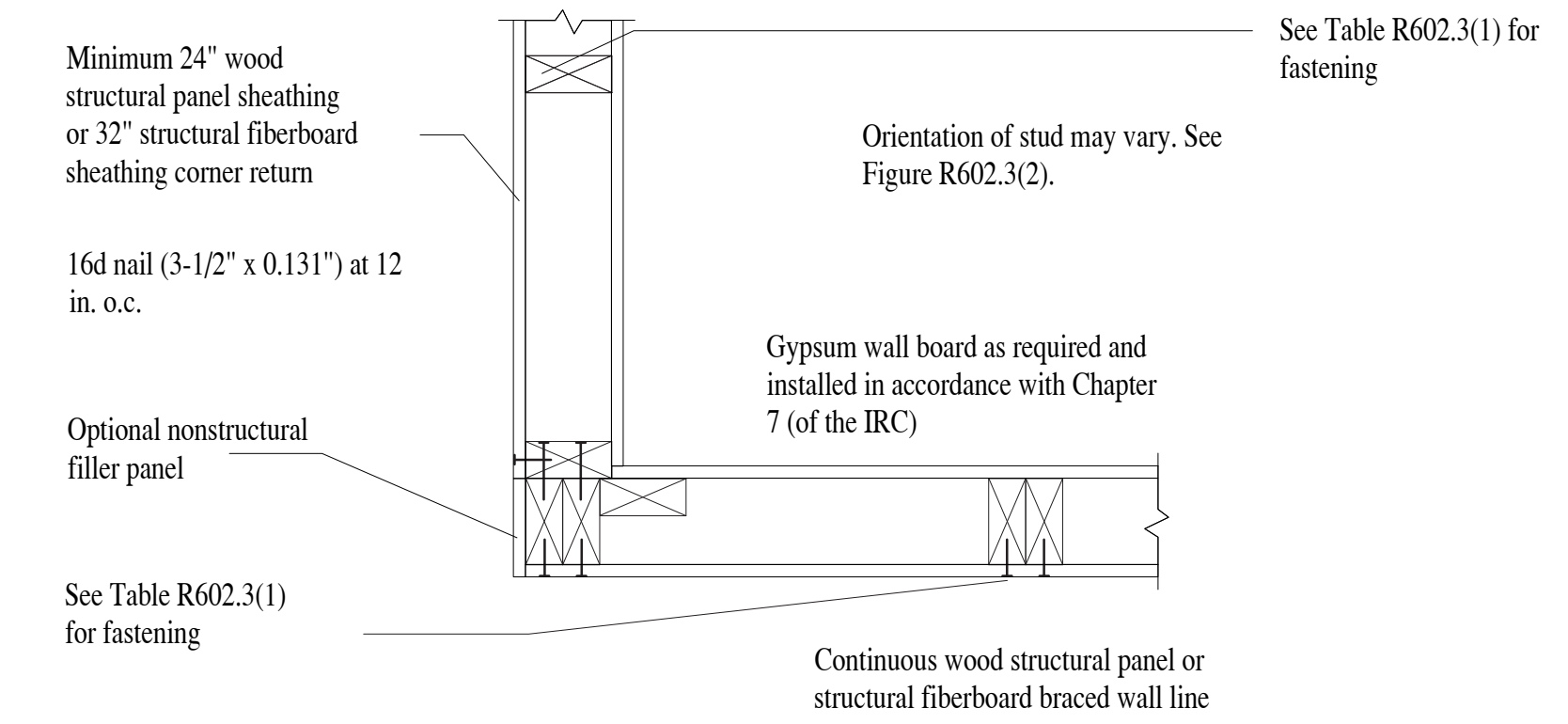
JOB NO. 230615813

ALL SINGLE WINDOW AND DOOR HEADERS
TO BE (2) 2X8 MIN. UNLESS OTHERWISE NOTED.

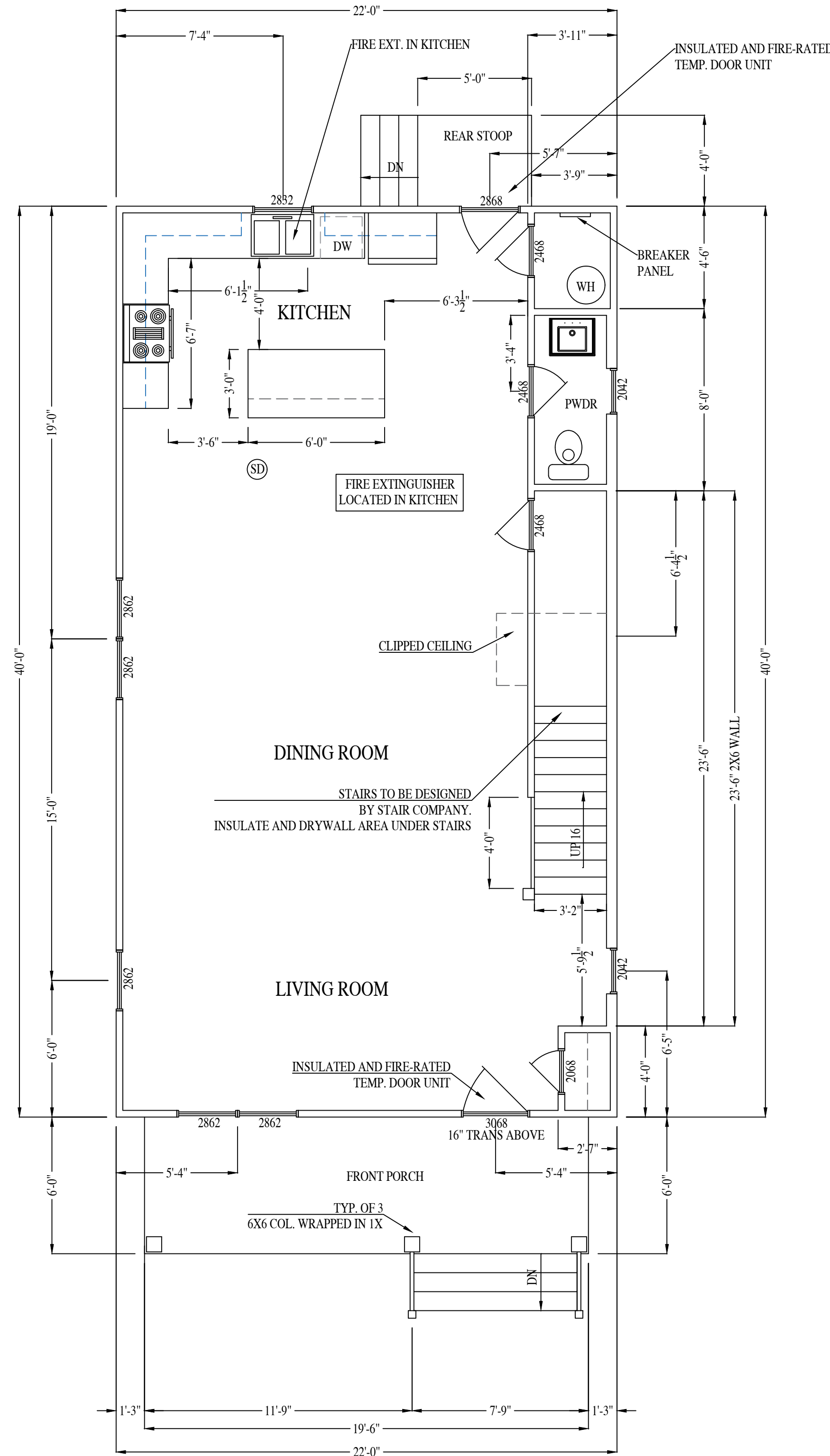
1ST FLOOR HEATED SQ. FOOTAGE: 880 S.F.
2ND FLOOR HEATED SQ. FOOTAGE: 841 S.F.

VERIFY WITH WINDOW AND DOOR MAN.:
FRAME OUT R.O. +1" AROUND PLAN CALL OUT SIZE.

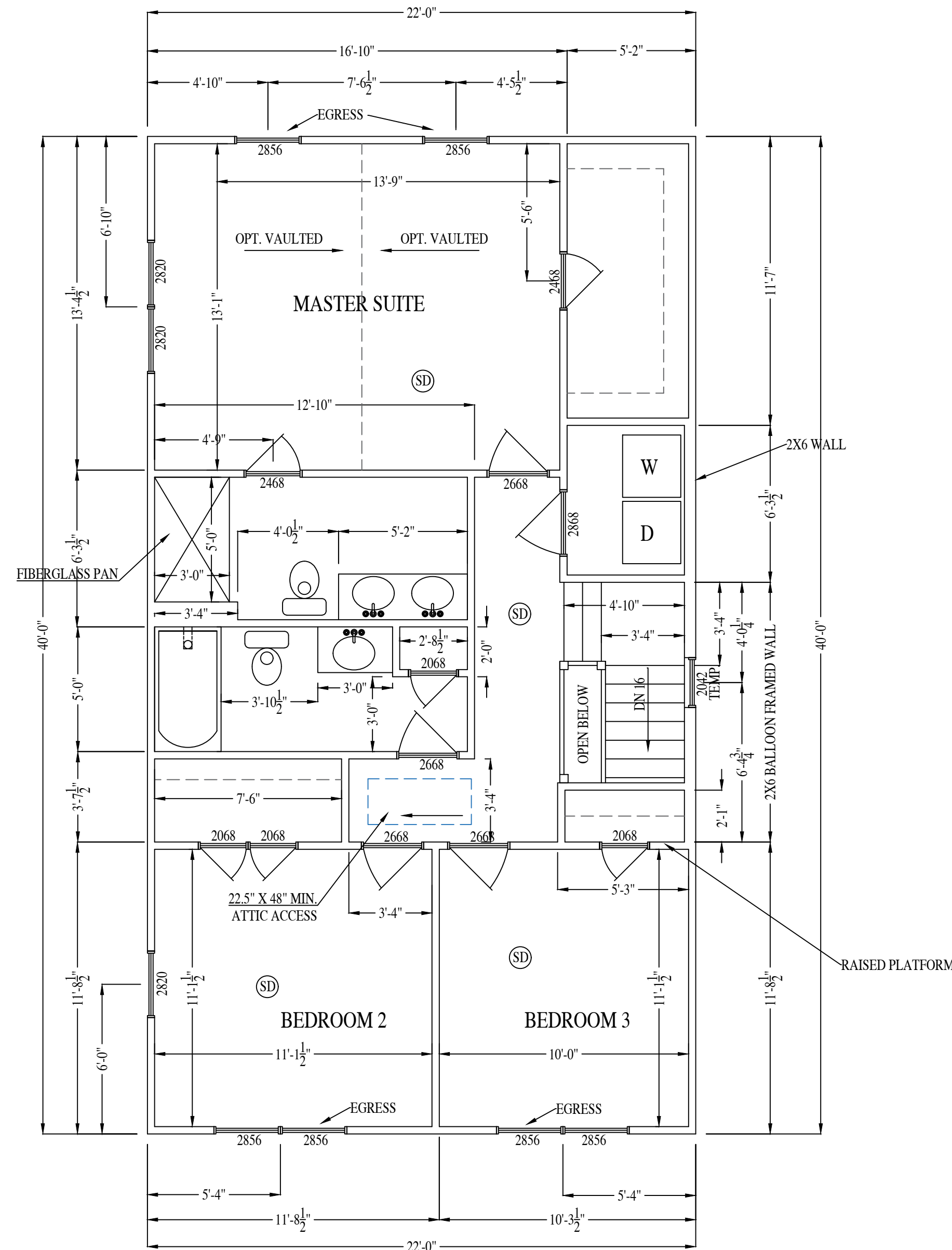
CORNER DETAIL



COPYRIGHT - RIVER MILL DEVELOPMENT, LLC
DO NOT COPY OR REPLICATE IN ANY WAY.

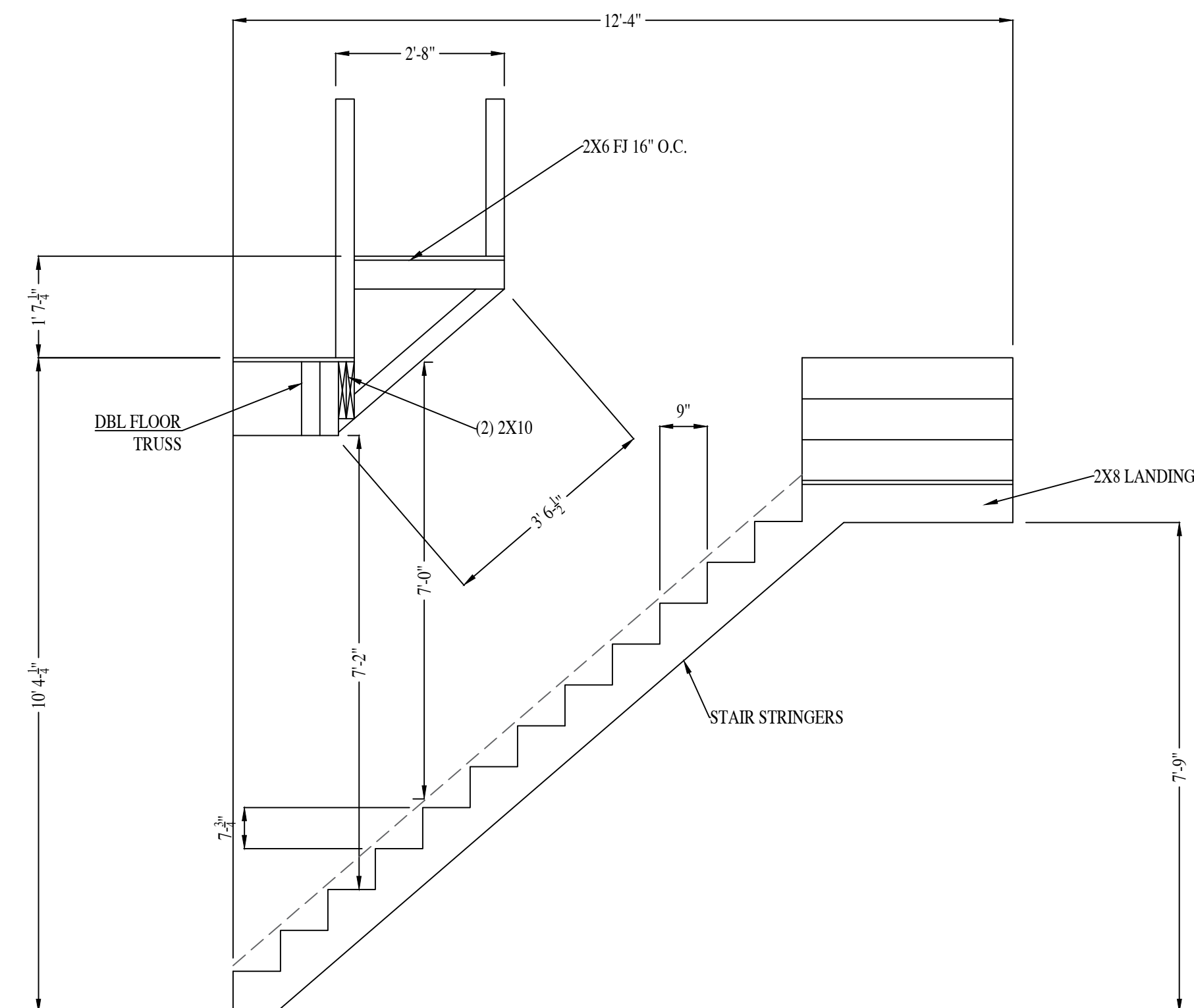


FIRST FLOOR PLAN



SECOND FLOOR PLAN

NOTE: DOOR & WINDOW GLAZING SHALL HAVE A MAX U-FACTOR OF 0.35
NOTE: DOOR & WINDOW GLAZING SHALL HAVE A MAX SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.4
NOTE: WALLS DRAWN AT THICKNESS OF 3.5"



STAIR SECTION

215 E 15TH ST.

RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM

REVISION NOTES

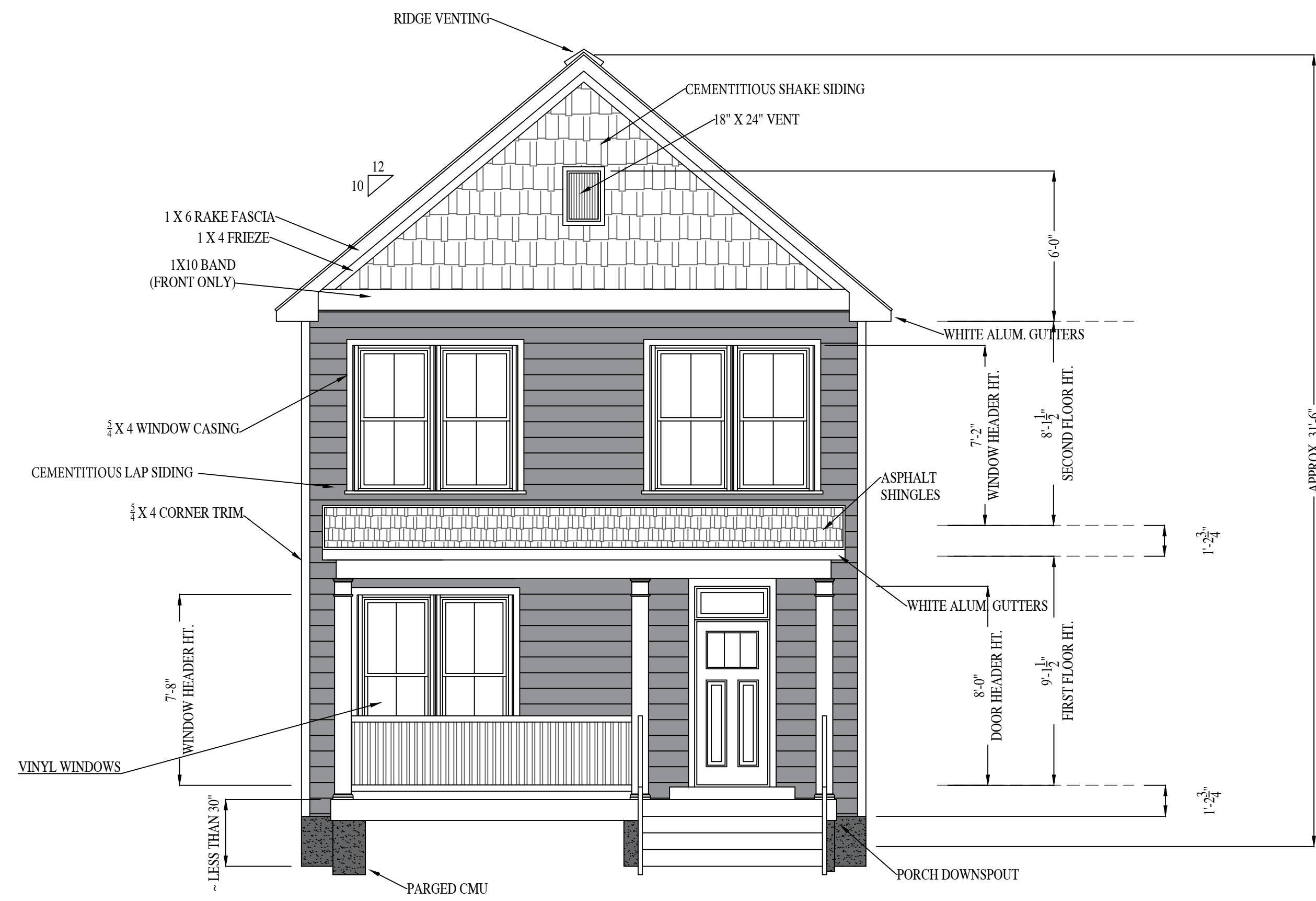
2-21-2020	START

SCALE:
1/4" = 1'-0"

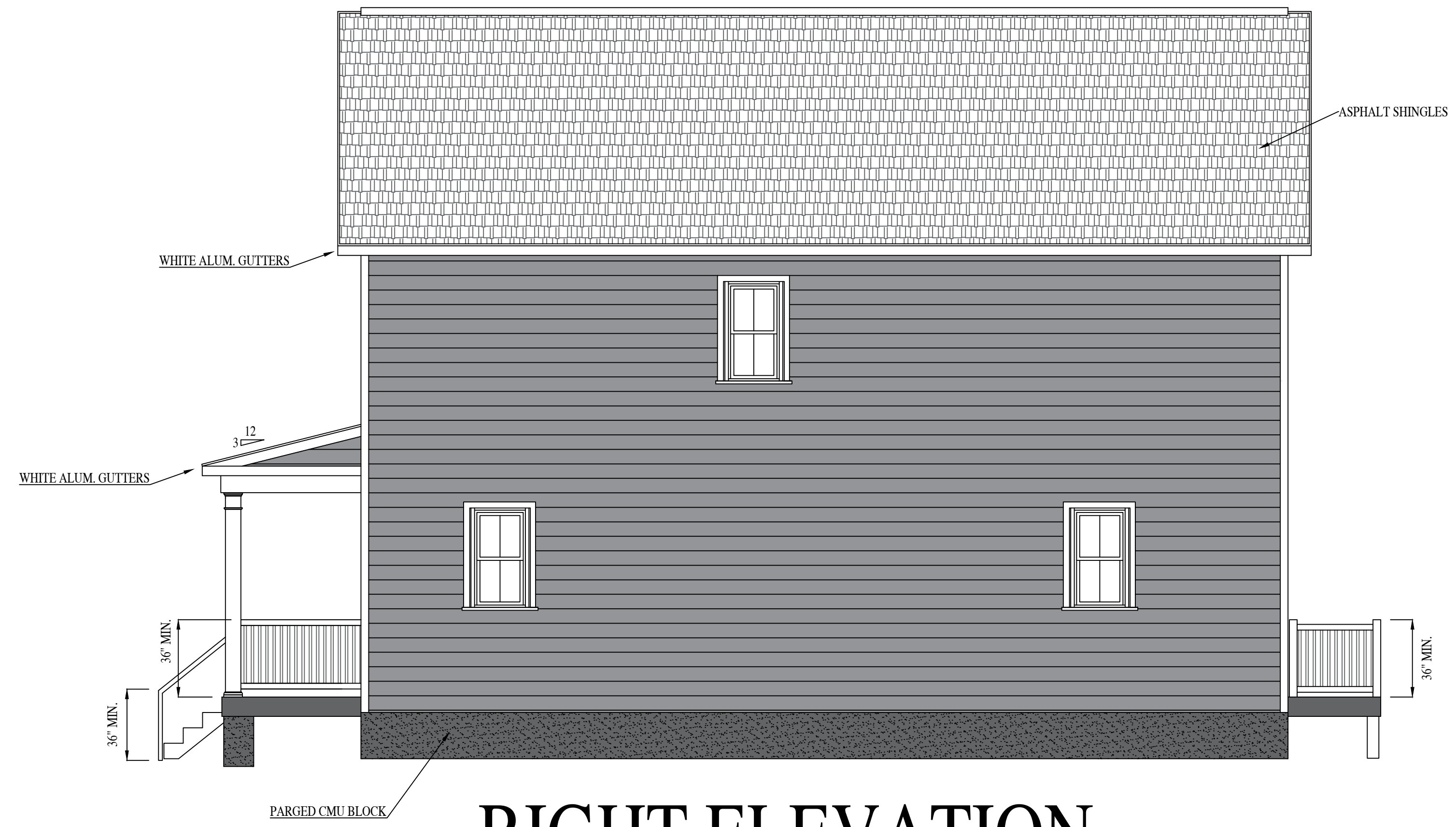
DATE:
7-10-2023

SHEET:
A1.1

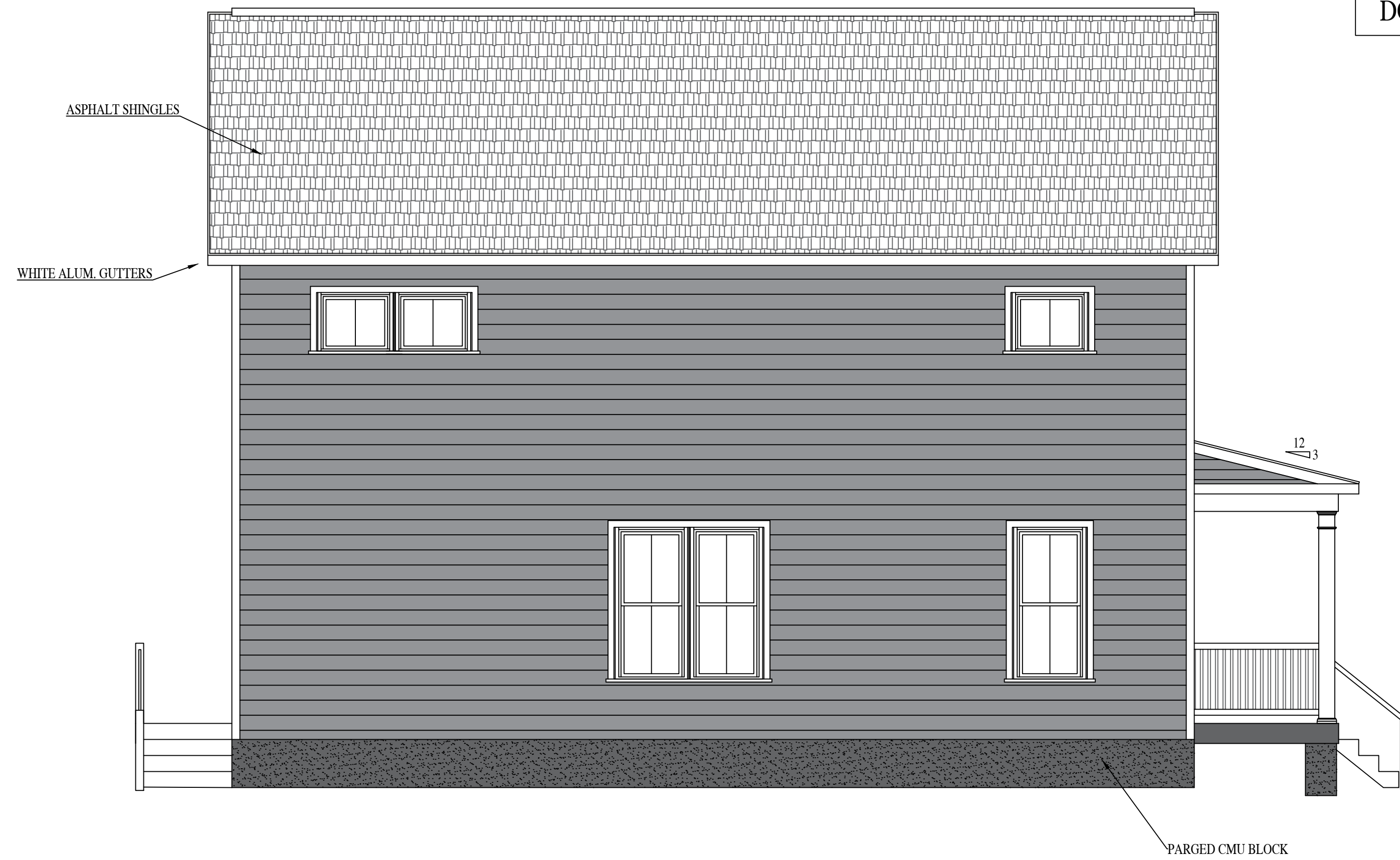




FRONT ELEVATION

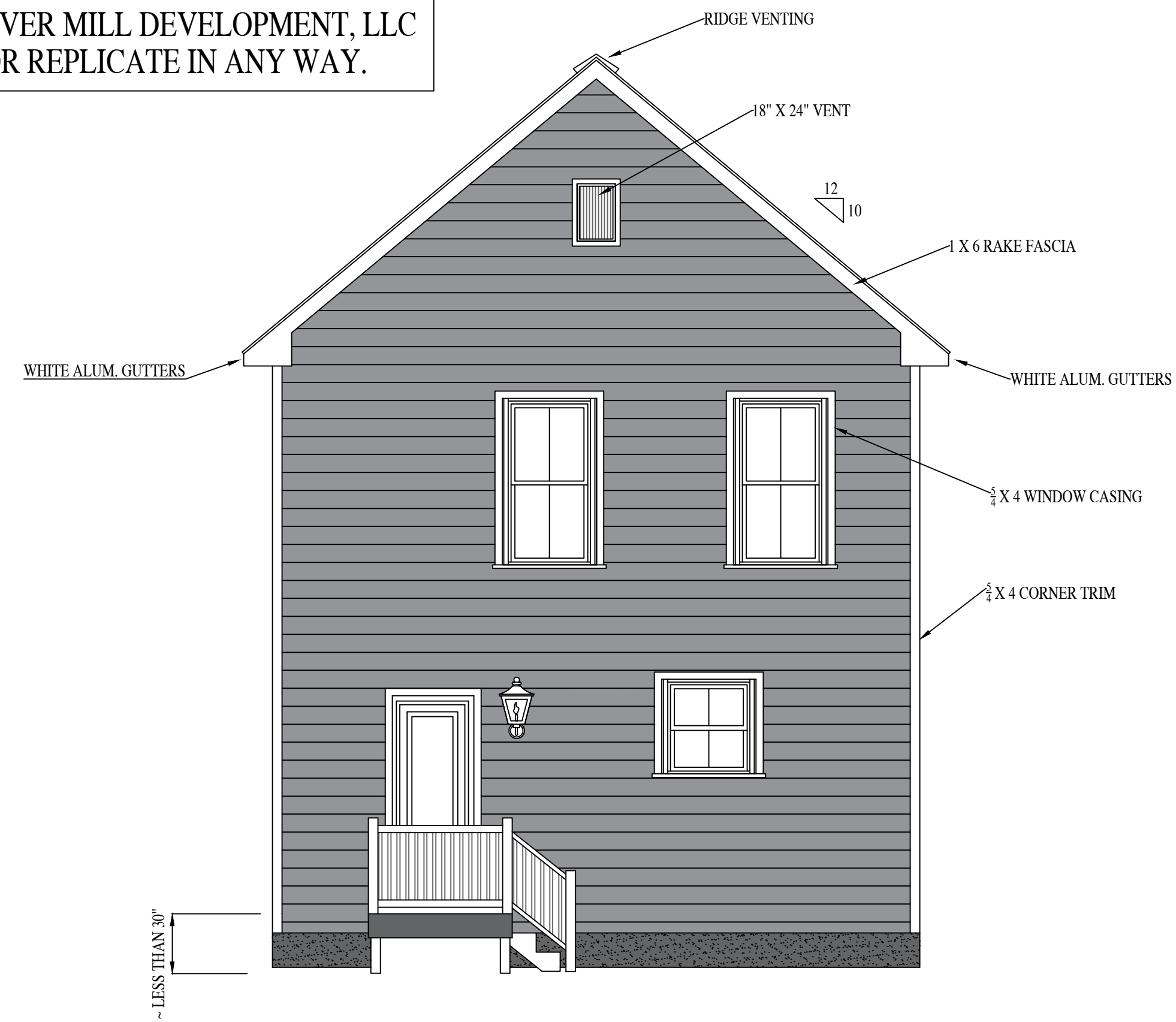


RIGHT ELEVATION



LEFT ELEVATION

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REAR ELEVATION

215 E 15TH ST.

RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM

REVISION NOTES

DATE	DESCRIPTION
2-21-2020	START

SCALE:
1/4" = 1'-0"

DATE:
7-10-2023

SHEET:
A2.1

