



DEPARTMENT OF  
**PLANNING AND  
DEVELOPMENT  
REVIEW**

**BOARD OF  
ZONING APPEALS**

August 11, 2023

City of Richmond Department of Public Works  
900 East Broad Street, Room 701  
Richmond, Virginia 23219

Lynne Lancaster  
900 East Broad Street, Room 707  
Richmond, Virginia 23219

To Whom It May Concern:

**RE: BZA 33-2023**

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, September 6, 2023 at 1:00 PM** in the 5<sup>th</sup> Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to construct a new fire station (FS 21) at 2505 RICHMOND HIGHWAY (Tax Parcel Number S008-0275/005), located in a B-3 (General Business) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **977 783 632#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2023 drop-down, click meeting details for September 6, 2023 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at [Chuck.Davidson@rva.gov](mailto:Chuck.Davidson@rva.gov) for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 33-2023  
Page 2  
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association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,



Roy W. Benbow, Secretary  
Phone: (804) 240-2124  
E-mail: [Roy.Benbow@rva.gov](mailto:Roy.Benbow@rva.gov)

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Carpenter E R Co Inc  
Po Box 27205  
Richmond, VA 23261

Halibut Llc  
425 Riverview Ct  
Chester, VA 23836

James River Villas Llc  
6501 Goldleaf Dr  
Bethesda, MD 20817

Leeper William Iii & Georgia T  
2503 Columbia St  
Richmond, VA 23224

Pathlux Llc  
101 Oakwood Ln  
Worcester, MA 01604

S & K Leasing Llc  
5119 Terrace Arbor Cir  
Midlothian, VA 23112

Valladares Rafael  
11410 Moravia Rd  
Midlothian, VA 23112

**Property: 2505 Richmond Hwy Parcel ID: S0080275005****Parcel**

**Street Address:** 2505 Richmond Hwy Richmond, VA 23234-  
**Owner:** CITY OF RICHMOND PUBLIC WORKS  
**Mailing Address:** 900 E BROAD ST RM 701, RICHMOND, VA 2321900000  
**Subdivision Name :** NONE  
**Parent Parcel ID:**  
**Assessment Area:** 480 - Jeff Davis  
**Property Class:** 466 - B Fire/Police/Public  
**Zoning District:** B-3 - Business (General Business)  
**Exemption Code:** 100 - General Government(Inside of Corp. Limits)

**Current Assessment**

**Effective Date:** 01/01/2023  
**Land Value:** \$109,000  
**Improvement Value:** \$169,000  
**Total Value:** \$278,000  
**Area Tax:** \$0  
**Special Assessment District:** None

**Land Description**

**Parcel Square Feet:** 21990  
**Acreage:** 0.505  
**Property Description 1:** ENG CO NO 21  
**Property Description 2:** 0150.00X0146.60 0000.000  
**State Plane Coords( ?):** X= 11789081.999996 Y= 3702919.228362  
**Latitude:** 37.48786001 , **Longitude:** -77.44486357

**Description**

**Land Type:** Commercial S1  
**Topology:**  
**Front Size:** 150  
**Rear Size:** 146  
**Parcel Square Feet:** 21990  
**Acreage:** 0.505  
**Property Description 1:** ENG CO NO 21  
**Property Description 2:** 0150.00X0146.60 0000.000  
**Subdivision Name :** NONE  
**State Plane Coords( ?):** X= 11789081.999996 Y= 3702919.228362  
**Latitude:** 37.48786001 , **Longitude:** -77.44486357

**Other**

**Street improvement:**  
**Sidewalk:**

**Assessments**

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2023	\$109,000	\$169,000	\$278,000	Reassessment
2022	\$99,000	\$169,000	\$268,000	Reassessment
2021	\$99,000	\$165,000	\$264,000	Reassessment
2020	\$99,000	\$165,000	\$264,000	Reassessment
2019	\$96,000	\$161,000	\$257,000	Reassessment
2018	\$73,000	\$155,000	\$228,000	Reassessment
2017	\$73,000	\$155,000	\$228,000	Reassessment
2016	\$73,000	\$155,000	\$228,000	Reassessment
2015	\$82,000	\$146,000	\$228,000	Reassessment
2014	\$82,000	\$146,000	\$228,000	Reassessment
2013	\$66,000	\$162,000	\$228,000	Reassessment
2012	\$66,000	\$162,000	\$228,000	Reassessment
2011	\$66,000	\$162,000	\$228,000	CarryOver
2010	\$66,000	\$162,000	\$228,000	Reassessment
2009	\$66,200	\$162,400	\$228,600	Reassessment
2008	\$66,200	\$137,400	\$203,600	Reassessment
2007	\$63,000	\$137,400	\$200,400	Reassessment
2006	\$52,500	\$137,400	\$189,900	Reassessment
2005	\$50,000	\$130,900	\$180,900	Reassessment

**Transfers**

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
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**Planning**

**Master Plan Future Land Use:** C-MU  
**Zoning District:** B-3 - Business (General Business)  
**Planning District:** Broad Rock  
**Traffic Zone:** 1207  
**City Neighborhood Code:** JFDV  
**City Neighborhood Name:** Jeff Davis  
**Civic Code:**  
**Civic Association Name:**  
**Subdivision Name:** NONE  
**City Old and Historic District:**  
**National historic District:**  
**Neighborhoods in Bloom:**  
**Redevelopment Conservation Area:**

**Economic Development**

**Care Area:** - Jefferson Davis  
**Enterprise Zone:** 1

**Environment**

**100 YEAR Flood Plain Flag:** Contact the Water Resources Division at 646-7586.  
**500 YEAR Flood Plain Flag:** N  
**Resource Protection Flag:** Contact the Water Resources Division at 646-7586.  
**Wetland Flag:** N

**Census**

Census Year	Block	Block Group	Tract
2000	2006	0608002	060800
1990	109	0608981	060898

**Schools**

**Elementary School:** Oak Grove

**Middle School:** Boushall

**High School:** Wythe

**Public Safety**

**Police Precinct:** 2

**Police Sector:** 213

**Fire District:** 21

**Dispatch Zone:** 134B

**Public Works Schedules**

**Street Sweep:** TBD

**Leaf Collection:** TBD

**Refuse Collection:** Thursday

**Bulk Collection:** TBD

**Government Districts**

**Council District:** 8

**Voter Precinct:** 806

**State House District:** 79

**State Senate District:** 15

**Congressional District:** 4

**Extension 1 Details**

**Extension Name:** C01 - Fire Station #21  
**Year Built:** 1900  
**Stories:** 1  
**Units:** 0  
**Number Of Rooms:** 0  
**Number Of Bed Rooms:** 0  
**Number Of Full Baths:** 0  
**Number Of Half Baths:** 0  
**Condition:** normal for age  
**Foundation Type:**  
**1st Predominant Exterior:**  
**2nd Predominant Exterior:** N/A  
**Roof Style:** 1  
**Roof Material:**  
**Interior Wall:**  
**Floor Finish:**  
**Heating Type:** 0 sf  
**Central Air:** N  
**Basement Garage Car #:** 0  
**Fireplace:** N  
**Building Description (Out Building and Paving  
Yard Items) :**

**Extension 1 Dimensions**

**Finished Living Area:** 6066 Sqft  
**Attic:** 0 Sqft  
**Finished Attic:** 0 Sqft  
**Basement:** 0 Sqft  
**Finished Basement:** 0 Sqft  
**Attached Garage:** 0 Sqft  
**Detached Garage:** 0 Sqft  
**Attached Carport:** 0 Sqft  
**Enclosed Porch:** 0 Sqft  
**Open Porch:** 0 Sqft  
**Deck:** 0 Sqft

**Property Images**

Name: Desc:

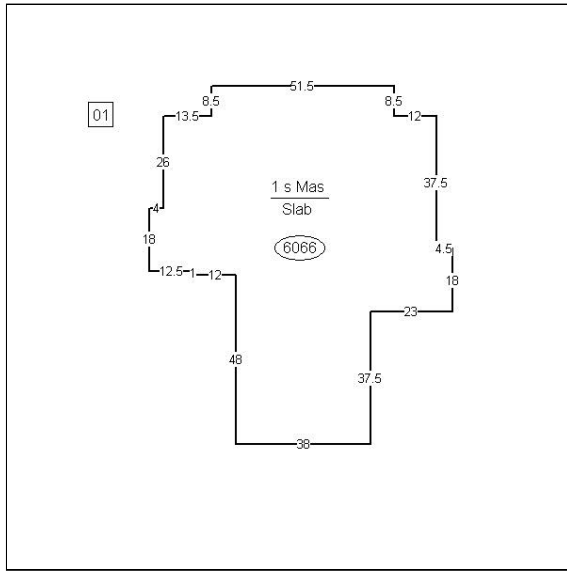


[Click here for Larger Image](#)



Sketch Images

Name:S0080275005 Desc:C01



**RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM**



**THE RICHMOND ZONING ADMINISTRATION OFFICE  
ROOM 110, CITY HALL, 900 EAST BROAD STREET  
RICHMOND, VIRGINIA 23219  
(804) 646-6340**

**TO BE COMPLETED BY THE APPLICANT**

**PROPERTY** City of Richmond **PHONE:** (Home) ( ) \_\_\_\_\_ (Mobile) ( ) \_\_\_\_\_  
**OWNER:** Department of Public Works **FAX:** ( ) \_\_\_\_\_ (Work) ( ) \_\_\_\_\_  
**ADDRESS** 900 East Broad Street, Room 701 **E-mail Address:**  
Richmond, Virginia 23219

**PROPERTY OWNER'S**

**REPRESENTATIVE:** Lynne Lancaster **PHONE:** (Home) ( ) \_\_\_\_\_ (Mobile) ( ) \_\_\_\_\_  
**(Name/Address)** 900 East Broad Street, Room 707 **FAX:** ( ) \_\_\_\_\_ (Work) (804) 646-6006  
Richmond, Virginia 23219 **E-mail Address:** lynne.lancaster@rva.gov

**TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE**

**PROPERTY ADDRESS (ES)** 2505 Richmond Highway  
**TYPE OF APPLICATION:**  VARIANCE  SPECIAL EXCEPTION  OTHER \_\_\_\_\_  
**ZONING ORDINANCE SECTION NUMBERS(S):** 30-300, 30-438.3(3), 30-438.5 & 30-438.6(a) & (b)  
**APPLICATION REQUIRED FOR:** A building permit to construct a new fire station (FS 21).  
**TAX PARCEL NUMBER(S):** S008-0275/005 **ZONING DISTRICT:** B-3 (General Business)  
**REQUEST DISAPPROVED FOR THE REASON THAT:** The rear yard (setback), building height, and parking and circulation of vehicle requirements are not met. A rear yard of twenty (20) feet is required; 3.00 feet is proposed. A maximum building height of 35 feet is permitted; 38.67 feet is proposed. Areas devoted to the parking or circulation of vehicles shall not be located between the main building and the street line and such areas shall not be located closer to the street line than the main building on the lot; parking circulation is proposed in front of the building. No driveway intersection on a street that constitutes the principal street frontage of a lot shall be permitted when other street frontage or alley access is available to serve the lot; a new (second) driveway and expansion of an existing driveway is proposed.  
**DATE REQUEST DISAPPROVED:** July 6, 2023 **FEE WAIVER:** YES  NO:   
**DATE FILED:** July 14, 2023 **TIME FILED:** 2:48 p.m. **PREPARED BY:** Josh Young **RECEIPT NO.** BZAC-133288-2023  
**AS CERTIFIED BY:** [Signature] (ZONING ADMINSTRATOR)

**I BASE MY APPLICATION ON:**

**SECTION 17.20 PARAGRAPH(S)** (C) **OF THE CHARTER OF THE CITY OF RICHMOND**  
**SECTION 15.2 -2309.2**  **OF THE CODE OF VIRGINIA**  **[OR]**  
**SECTION 1040.3 PARAGRAPH(S)** \_\_\_\_\_ **OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND**

**TO BE COMPLETED BY APPLICANT**

**I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter***   
**I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.**  
**SIGNATURE OF OWNER OR AUTHORIZED AGENT:** [Signature] **DATE:** 7-25-23

**\*\*\* TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS \*\*\***

**CASE NUMBER:** BZA 33-2023 **HEARING DATE:** September 6, 2023 **AT** 1:00 **P.M.**

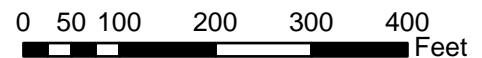
BOARD OF ZONING APPEALS CASE BZA 33-2023  
150' Buffer

APPLICANT(S): City of Richmond Department of Public Works

PREMISES: 2505 Richmond Highway  
(Tax Parcel Number S008-0275/005)

SUBJECT: A building permit to construct a new fire station (FS 21).

REASON FOR THE REQUEST: Based on Sections 30-300, 30-438.3(3), 30-438.5 & 30-438.6(a) & (b) of the Zoning Ordinance for the reason that:  
The rear yard (setback), building height, and parking and circulation of vehicle requirements are not met.





## BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at [PDRZoningAdministration@Richmondgov.com](mailto:PDRZoningAdministration@Richmondgov.com). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

**Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).**

4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: \_\_\_\_\_

## **§ 17.20. Powers of board of zoning appeals**

(c) To permit, when reasonably necessary in the public interest, the use of land, or the construction or use of buildings or structures, in any district in which they are prohibited by the ordinance, by any agency of the city, county or Commonwealth or the United States, provided such construction or use shall adequately safeguard the health, safety and welfare of the occupants of the adjoining and surrounding property, shall not unreasonably impair an adequate supply of light and air to adjacent property, shall not increase congestion in streets and shall not increase public danger from fire or otherwise affect public safety.

# CITY OF RICHMOND - NEW FIRE STATION #21

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2505 RICHMOND HIGHWAY – RICHMOND, VIRGINIA

## BZA APPLICATION – OWNER’S REQUEST FOR SPECIAL APPROVAL / EXCEPTIONS

The City of Richmond, the owner, is replacing the existing Fire Station #21 with a new Fire Station #21 at 2505 Richmond Highway. The existing station has served the area since 1945 and has undergone several renovations though none have brought the station to the operational standards of a modern fire station. The property represents the most ideal location for constructing the new Fire Station #21 facility from an ‘optimum response time’ perspective to permit continued service the surrounding residential, commercial, and industrial areas. In addition to accommodating the existing two fire companies from Fire Station #21, the new Fire Station #21 will house a third company which requires a larger facility than the existing fire station to include an additional emergency apparatus vehicle bay and additional space for added company of fire fighters.

The site is zoned B-3 General Business. The applicant is requesting the Board of Zoning Appeals permit, per §17.20.c. of the City Code, the construction of Fire Station #21 consistent with the attached plans as a fire station of this scale and design at this location is necessary in the public interest to continue to provide fire and emergency medical service to the surrounding community. The proposed design is required for the expansion of the fire station to accommodate the third company and larger emergency apparatus vehicles, to ensure adequate and safe access to and parking on the site, and to facilitate quick response times. Additionally, the proposed design does not impact the surrounding properties more than the existing use. Outlined below are the provisions of the B-3 zoning district which will not be met with the proposed design.

- **Yards: Rear yard of not less than twenty (20) feet is required..**

### Request for Special Exception:

*The Owner is requesting special approval/exception to allow the proposed new emergency generator to be located within the rear yard 20’-0” setback, given the limited available area due to limitations of existing physical site constraints, and the need for the emergency generator to be placed as close proximity to the electrical at rear of the new building.*

### Justification for this request (case for need):

- *This property is currently the home of the existing Fire Station #21 (FS#21) facility, and the City feels this property represents the most ideal location for constructing the new FS#21 facility from an ‘optimum response time’ perspective. The new FS#21 will be a larger building than the existing FS#21, designed to accommodate an additional fire company and larger fire trucks and related site circulation criteria, thus occupying more space on this existing site and leaving limited available space for the generator.*
  - *Since the new building is considered an ‘essential facility’ (mission critical – emergency services), it’s important to locate the generator in close proximity to the electrical room whenever possible, not only from a practicality standpoint, but also as an intended CPTED safety strategy (Crime Prevention Through Environmental Design). The proposed location is close to the electrical room at rear of the building, which helps to reduce the chances of unauthorized access to and possibly compromise of the integrity of the generator, which could jeopardize the fire station’s ability to remain fully operable during unexpected power outages.*
  - *This proposed generator location also helps to minimize undesirable sightlines from Richmond Hwy and will also include a protective masonry screenwall to also minimize undesirable views of the actual generator unit from the rear alley.*
  - *Furthermore, it is noted that the emergency generator is intended to operate during power outages versus being in ongoing operation and as such is not anticipated to be disrupt adjacent properties.*
- 
- **Screening: Screening of parking areas and refuse areas shall be provided as set forth in Sections 30-660 and 30-710.12**
- ### Request for Special Exception:
- The Owner is requesting special approval/exception to eliminate screening of parking areas near rear alley.*
- ### Justification for this request (case for need):
- *The new FS#21 facility is considered an ‘essential facility’ (mission critical – emergency services) and must remain fully operable 24-hours a day, 7-days a week, 365-days year. To ensure the safety and well-being of the staff arriving and leaving during multiple shift changes (day and night), it’s imperative the new site layout provides for optimum security and safety measures. Therefore, the current proposed site plan layout does not include providing new screening of parking areas as an intended CPTED safety*

# CITY OF RICHMOND - NEW FIRE STATION #21

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2505 RICHMOND HIGHWAY – RICHMOND, VIRGINIA

*strategy (Crime Prevention Through Environmental Design), to ensure the staff can effectively monitor the entire facility at all times, without contending with significant visual barriers that may reduce their ability to maintain a safe and secure environment.*

- *Refer to the enclosed conceptual design drawings for additional information.*
- **Building Height:** *No building or structure shall exceed 35 feet in height in the B-3 General Business District, provided that additional height, not to exceed a total height of 60 feet, shall be permitted when all yards exceed the minimum required by not less than one foot for each one foot of building height in excess of 35 feet.*

## **Request for Special Exception:**

*The Owner is requesting special approval/exception to allow the building height at rear of the building to be proposed 38'-8" high (exceed the current stated maximum 35'-0" height criteria)*

### **Justification for this request (case for need):**

- *The new FS#21 facility will house new emergency apparatus vehicles (fire trucks), that are significantly larger in length and height than older vehicles. As such, the building height of the apparatus bay structure must be constructed higher than traditional 'floor-to-floor' heights to accommodate the larger vehicles, specialty equipment, lighting systems and other ceiling equipment.*
- *With the above in mind, due to the existing site constraints, this new facility was designed to be a 3-story structure to accommodate all the fire department's critical space needs, specialty equipment and unique functionality requirements.*
- *As such, this required the 3<sup>rd</sup> floor level height to be carefully coordinated with the required "higher" building roof height for the apparatus bay structure, since a portion of the 3<sup>rd</sup> floor structure will be constructed above the apparatus bay structure. This resulted in the need for the main station building height to exceed 35'-0" height. The proposed building height at the top level is 38'-8", which takes into account the above noted critical height needs, and includes provisions for accommodating the roof structure framing, and all the complex MEP and specialty equipment that will be installed between the roof line and finish ceilings.*
- **Parking and Circulation of Vehicles:**
  - *Areas devoted to the parking or circulation of vehicles shall not be located between the main building on a lot and the street line and such areas shall not be located closer to the street than the main building on the lot. On a lot having more than one street frontage, this subsection shall apply to the principal street frontage, as the term "principal street frontage" is defined in Section 30-1220.86.*
  - *Areas driveway intersection on a street that constitutes the principal street frontage of a lot shall be permitted when other street frontage or alley access is available to serve the lot.*

## **Request for Special Exception:**

*The Owner is requesting special approval/exception to allow the proposed one parking space and concrete drive between the main building and principal street, due to existing site constraints and limited available space for new parking spaces.*

*The Owner is requesting special approval/exception to allow the proposed 2<sup>nd</sup> site access driveway shown coming off of Richmond Hwy, which is intended to also serve as an alternate 2<sup>nd</sup> means of site egress for fire trucks.*

### **Justification for this request (case for need):**

- *The new FS#21 is considered an 'essential facility' (mission critical – emergency services) and must remain fully operable 24-hours a day, 7-days a week, 365-days year. Therefore, it's imperative the new facility include key building elements and site amenities that provide the optimum environment for the station staff to consistently meet the critical turn-out time performance standards as prescribed by the National Fire Protection Association (NFPA Standard 1710), which essentially states that fire stations must consistently achieve a turn-out time of 80 seconds or less for fire calls, and 60 seconds or less for EMS calls. As a standard practice, most modern-day fire stations are designed to have at least (2) dedicated means of site ingress/egress within the property limits whenever possible, to enable the fire staff to have an alternate means of egress route out of the site when responding to a call.*
- **Parking (Sec. 30-700):**
  - *Areas a parking area or parking lot abuts or is situated within 50 feet of property in an R, RO, HO or I district, unless separated therefrom by an alley providing access to such parking area or parking lot, the parking area or parking lot shall be effectively screened from view from such property by evergreen vegetative material not less than 3½ feet in height at the time of installation or by an opaque structural fence or wall not less than four feet in height, provided that such parking area or parking lot need not be screened from an adjacent parking area or parking lot containing five or more parking spaces or from an adjacent loading area. Evergreen vegetative material intended to satisfy this subsection shall be planted at such intervals that will result in a continuous visual screen within one year of planting. **The parking***

# CITY OF RICHMOND - NEW FIRE STATION #21

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2505 RICHMOND HIGHWAY – RICHMOND, VIRGINIA

**spaces provided must be screened along the alley except for where the drive aisle giving access to the parking area from the alley is located.**

- **Perimeter buffers; landscaping requirements: The parking area needs to be screened from view along Richmond Hwy using buffer alternative F, G, or H.**

## **Request for Special Exception:**

*The Owner is requesting special approval/exception to eliminate screening of parking areas near Richmond Hwy.*

## **Justification for this request (case for need):**

- *The new FS#21 facility is considered an ‘essential facility’ (mission critical – emergency services), and must remain fully operable 24-hours a day, 7-days a week, 365-days year. To ensure the safety and well-being of the staff arriving and leaving during multiple shift changes (day and night), it’s imperative the new site layout provides for optimum security and safety measures. Therefore, the current proposed site plan layout does not include providing new screening of parking areas as an intended CPTED safety strategy (Crime Prevention Through Environmental Design), to ensure the staff can effectively monitor the entire facility at all times, without contending with significant visual barriers that may reduce their ability to maintain a safe and secure environment.*
- *Refer to the enclosed conceptual design drawings for additional information.*





# New Fire Station #21

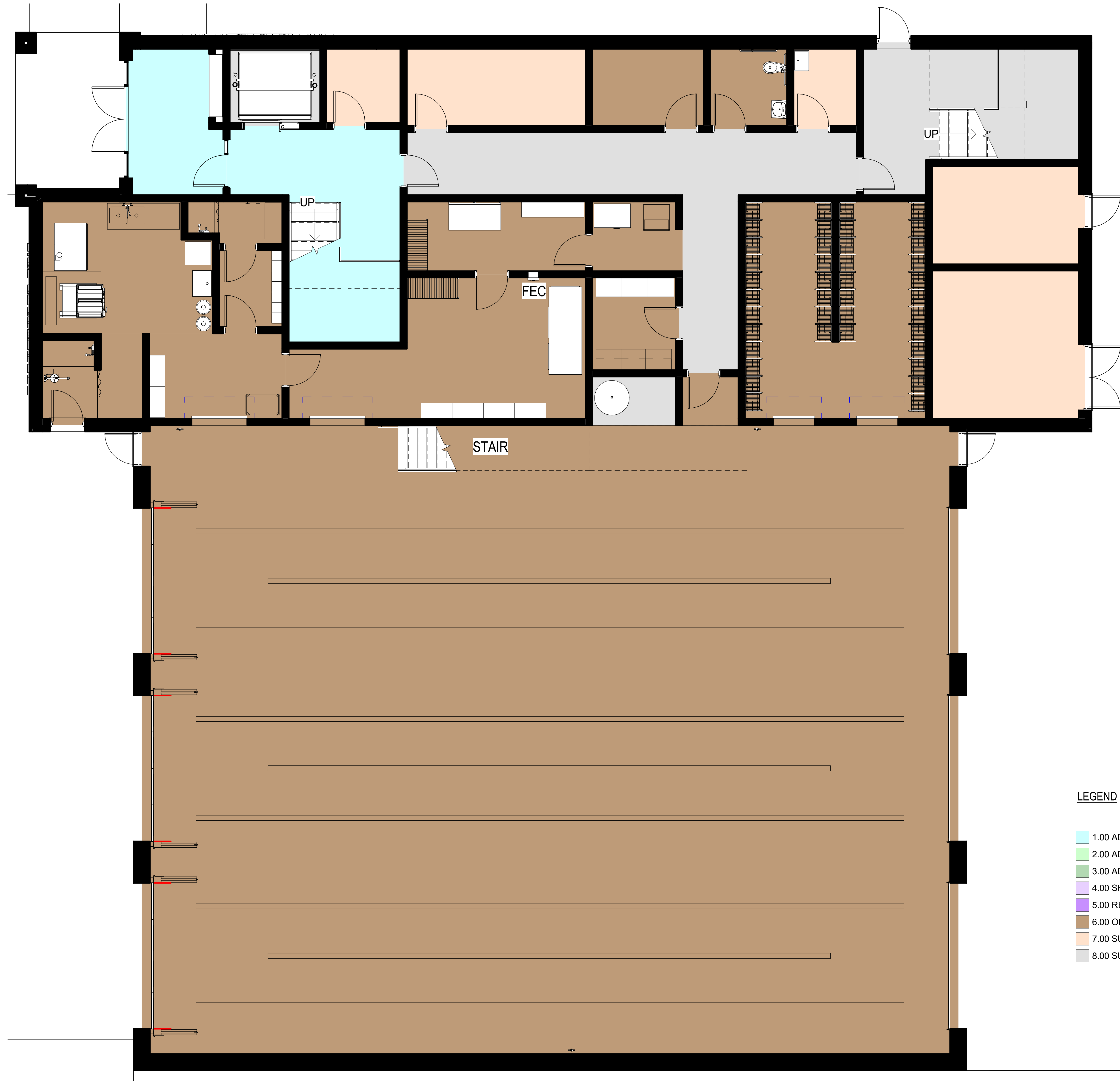
( 3-Bay / 3-Story Building )

## BZA Application Submission

( Reference Information - Conceptual Design Drawings )

July 14, 2023

# City of Richmond: New Fire Station #21



## LEGEND

- 1.00 ADMINISTRATIVE - MAIN PUBLIC ENTRANCE
- 2.00 ADMINISTRATIVE - WATCH ROOM / SHARED ADMIN SPACES
- 3.00 ADMINISTRATIVE - STAFF OFFICE SPACES (OFFICER / STAFF)
- 4.00 SHARED STAFF - WORK / LIVING SPACES
- 5.00 RESIDENTIAL - STAFF SLEEPING AREA (BUNK ROOMS + TLT-SHWR ROOMS)
- 6.00 OPERATION - APPARATUS BAYS & SUPPORT SPACES
- 7.00 SUPPORT SPACES - BUILDING SERVICES
- 8.00 SUPPORT SPACES - CIRCULATION-CONSTRUCTION ("NET-TO-GROSS")



## FLOOR PLAN: FIRST FLOOR

# City of Richmond: New Fire Station #21



## LEGEND

- 1.00 ADMINISTRATIVE - MAIN PUBLIC ENTRANCE
- 2.00 ADMINISTRATIVE - WATCH ROOM / SHARED ADMIN SPACES
- 3.00 ADMINISTRATIVE - STAFF OFFICE SPACES (OFFICER / STAFF)
- 4.00 SHARED STAFF - WORK / LIVING SPACES
- 5.00 RESIDENTIAL - STAFF SLEEPING AREA (BUNK ROOMS + TLT-SHWR ROOMS)
- 6.00 OPERATION - APPARATUS BAYS & SUPPORT SPACES
- 7.00 SUPPORT SPACES - BUILDING SERVICES
- 8.00 SUPPORT SPACES - CIRCULATION-CONSTRUCTION ("NET-TO-GROSS")



## FLOOR PLAN: SECOND FLOOR

# City of Richmond: New Fire Station #21



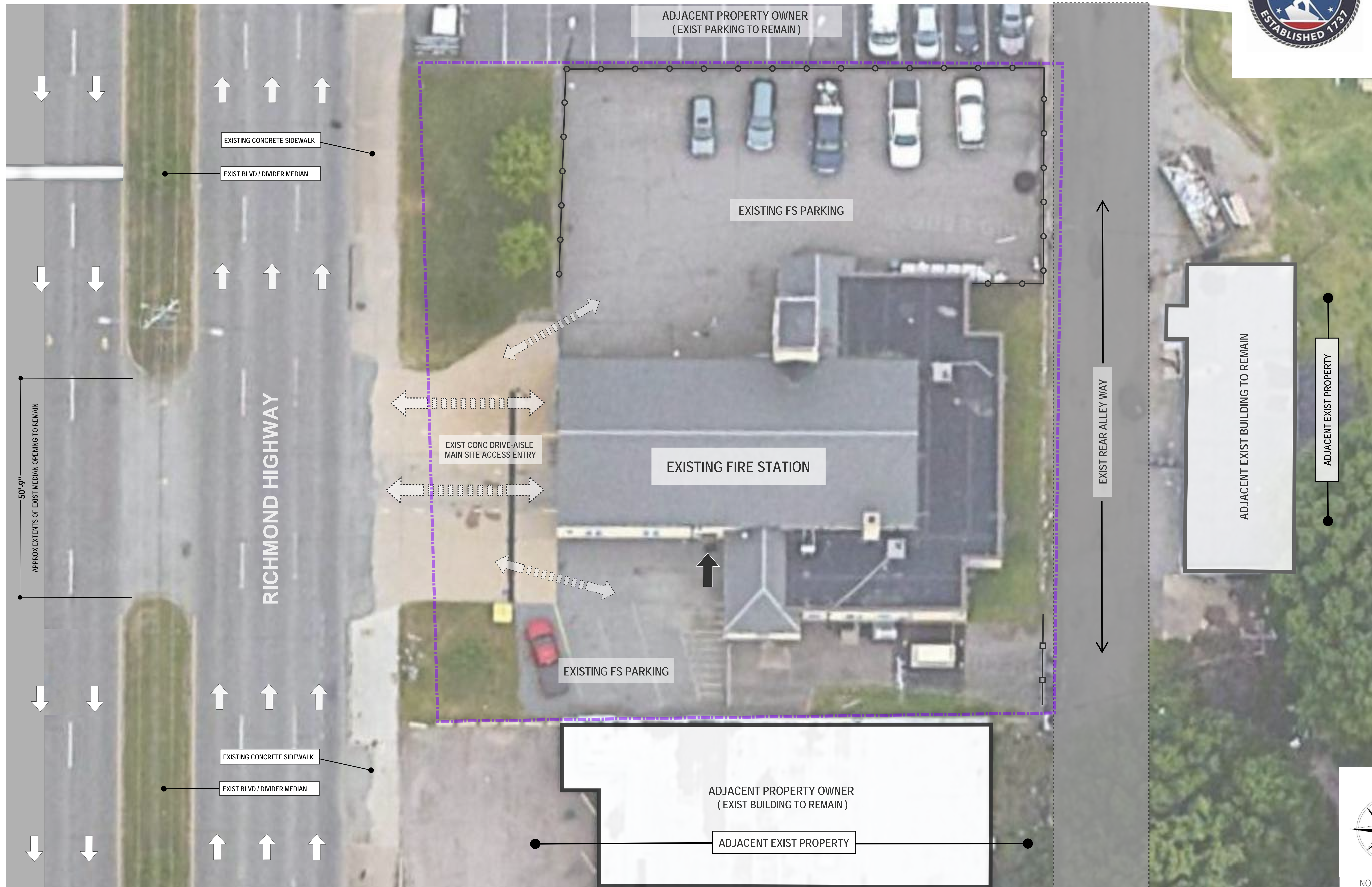
## LEGEND

- 1.00 ADMINISTRATIVE - MAIN PUBLIC ENTRANCE
- 2.00 ADMINISTRATIVE - WATCH ROOM / SHARED ADMIN SPACES
- 3.00 ADMINISTRATIVE - STAFF OFFICE SPACES (OFFICER / STAFF)
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- 7.00 SUPPORT SPACES - BUILDING SERVICES
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## FLOOR PLAN: THIRD FLOOR

# City of Richmond: New Fire Station #21



NOT TO SCALE

Reference Image - Overall Existing Site Plan Layout (Current Conditions)

# City of Richmond: New Fire Station #21



Reference Image - Aerial Site Plan View ( Current Existing Conditions )

# City of Richmond: New Fire Station #21



Reference Image - Aerial Site Plan View ( Current Existing Conditions )

# City of Richmond: New Fire Station #21



Reference Image - Existing Site Views ( Current Existing Conditions )



# City of Richmond: New Fire Station #21



Reference Image - Aerial Site Plan View ( Current Existing Conditions )





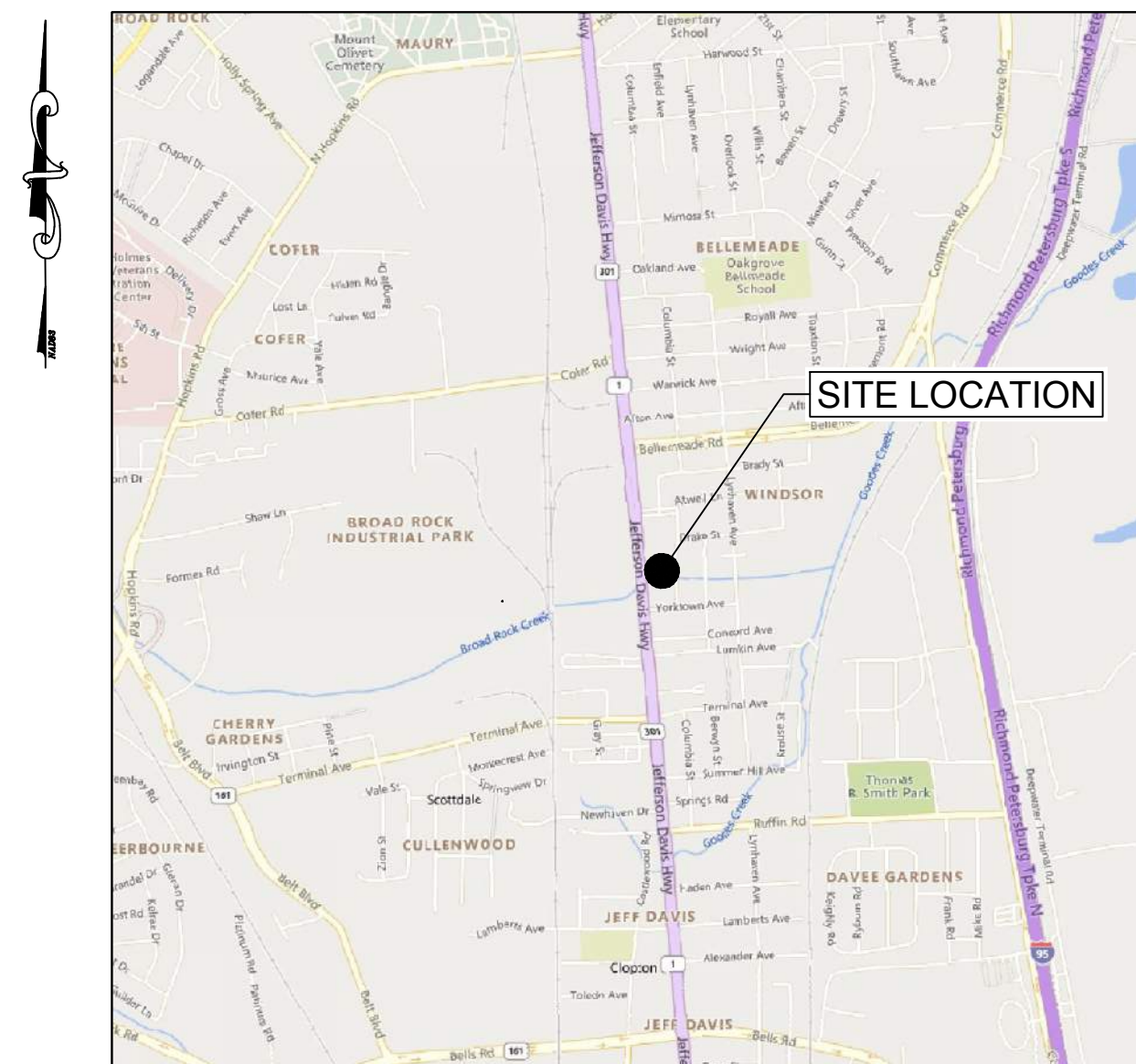
# CITY OF RICHMOND FIRE STATION 21

## 2505 RICHMOND HIGHWAY

### BROAD ROCK DISTRICT CITY OF RICHMOND, VIRGINIA

Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS PLAN
C4.00	SITE LAYOUT PLAN



**VICINITY MAP**  
SCALE: 1" = 2,000'

#### PROJECT SUMMARY

<b>ADDRESSES:</b>	2505 RICHMOND HIGHWAY
<b>PARCEL ID's:</b>	S0080275005
<b>ZONING:</b>	B-3 - Business (General Business)
<b>SETBACK REQUIREMENTS:</b>	FRONT YARD - 0 FT SIDE YARD - 0 FT REAR YARD - 20 FT <small>*BASED ON CITY OF RICHMOND ZONING ORDINANCE Sec. 30-438.3</small>
<b>DISTRICT:</b>	BROAD ROCK
<b>EXISTING USE:</b>	FIRE STATION
<b>EXISTING CONDITIONS:</b>	CITY OF RICHMOND UTILITY MAPS; CITY OF RICHMOND GIS; ALTA/NSPS SURVEY BY TIMMONS GROUP DATED MAY 13, 2015
<b>DATUM:</b>	HORIZONTAL DATUM: (NAD83) VIRGINIA STATE PLANE COORDINATE SYSTEM SOUTHZONE (1983)
<b>PROPOSED USE:</b>	FIRE STATION
<b>COMBINED SITE / LOT AREA:</b>	<b>0.505 ACRES (21,990 SQ.FT.)</b>
<b>AREA TO BE DISTURBED:</b>	<b>0.505 ACRES</b>
<b>BUILDING HEIGHT   TOTAL GROSS FLOOR AREA:</b>	38'-8" HIGH ( SEE ARCHITECTURAL EXTERIOR ELEVATIONS ) 3 FLOORS   TOTAL GROSS FLOOR AREA = ±17,897 SQ.FT.

#### USABLE OPEN SPACE:

Usable Open Space				Floor Area			AREAS THAT DO NOT COUNT AS "FLOOR AREA"							
	Space outside extents of Building	Balconies	Patios	Courtyards	Lobby	Stairwells and Elevators	Hallways	Garage	Amenity	MEP Rooms	Maintenance	Laundry	Rec. Areas	Sitting Areas
Ground Level	4399.56				3136.00			4900.00	600.00					
Level 2					2876.00				1000.00					
Level 3		300.00			4285.00				1100.00					
Level 4														
Level 5														
Mezzanine														
	Total Open Space			4,700	Total Floor Area			10,297						

<b>Usable Open Space Ratio</b>	<b>0.456</b>
--------------------------------	--------------

Site Area (sf) = 21990

.128 Usable open space means that portion of a lot or that portion of a development site which is not covered by building area or vehicular area and including usable roof area and exterior balconies, terraces or patios not covered by enclosed building space. (Ord. No. 2010-20, § 1, 3-8-2010)

.129 Usable open space ratio means the total square foot amount of usable open space on a lot for each square foot of floor area on the lot or on the development site. The usable open space ratio is determined by dividing the amount of usable open space by the amount of floor area. (Ord. No. 2010-20, § 1, 3-8-2010)

.35 Floor area means the sum of the horizontal areas of enclosed building space on all floors of all buildings on a lot measured from the exterior face of exterior walls and including intervening partitions, halls, lobbies, stairways and elevator shafts. The following shall be excluded from calculation of floor area:

- (1) Open exterior balconies and other unenclosed spaces.
- (2) Uncovered terraces, patios, porches, or steps.
- (3) Garages, carports or other areas, enclosed or unenclosed, used for the parking or circulation of motor vehicles.
- (4) Areas for housing major mechanical equipment which serves the building as a whole or major portion thereof, but not including utility areas within individual dwelling units.
- (5) Areas for common special purpose use by occupants of the premises, including laundries, recreation areas, sitting areas and libraries in buildings devoted to dwelling use, and storage areas, and areas devoted exclusively to management and/or maintenance of the premises in buildings devoted to any use, but not including incidental commercial activities in any case.



# City of Richmond: New Fire Station #21

## BZA Application Submission

**ARCHITECT**  
RRMM ARCHITECTS  
1317 Executive Blvd, Suite 200  
Chesapeake, VA 23320  
CONTACT: Brian Wolf, LEED AP BD+C  
TELEPHONE: 757.213.6341  
EMAIL: bwolf@rrmm.com

**CIVIL ENGINEER**  
TIMMONS GROUP  
1001 Boulders Pkwy, Suite 300  
Richmond, VA 23225  
CONTACT: Amelia Wehunt, PE  
TELEPHONE: 804.200.6544  
EMAIL: amelia.wehunt@timmons.com

THIS DRAWING PREPARED AT THE  
CORPORATE OFFICE  
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225  
TEL 804.200.6500 FAX 804.560.1016 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
06/27/2023  
DRAWN BY  
K. UNDERBERG  
DESIGNED BY  
C. NELSON  
CHECKED BY  
A. WEHUNT  
SCALE  
1" = 10'

**TIMMONS GROUP**  
CITY OF RICHMOND FIRE STATION 21  
BROAD ROCK DISTRICT - CITY OF RICHMOND - VIRGINIA  
COVER SHEET  
JOB NO.  
60040  
SHEET NO.  
C0.00



# City of Richmond: New Fire Station #21

### LEGEND

- = Deciduous Tree
- = Drainage Grate Inlet
- = Electric Box
- = Electric Guy Wire
- = Electric Light Pole
- = Natural Gas Meter
- = Natural Gas Valve
- = Sanitary Sewer Manhole
- = Sign
- = Utility Pole
- = Water Fire Hydrant
- = Water Meter
- = Water Valve
- = Water Vault
- = Monitoring Well
- = Telephone Manhole
- = Roof Drain / Downspout
- = Bollard
- = Telephone Pedestal
- = Electric Meter
- = Flag Pole
- = Cleanout
- = Utility Manhole

- = Underground Natural Gas Line
- = Underground Water Line
- = Underground Communication Line
- = Underground Power Line
- = Underground Unknown Utility Line or Signal

EOI = End of Information For Underground Utility Line  
- Signal Ended At This Location.

**OWNER INFORMATION**  
CITY OF RICHMOND GENERAL SERVICES  
PARCEL ID: S0080275005  
D.B. 898, PG. 354  
#2505 JEFFERSON DAVIS HWY.

### TOPOGRAPHIC SURVEY NOTES:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF M. DWAYNE DUNEVANT, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION, THAT THE ORIGINAL DATA WAS OBTAINED ON THE FOLLOWING DATES: 05-13-2015, 05-18-2015 AND 05-20-2015. THIS PLAT, MAP AND DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

HORIZONTAL DATUM: NAD83 (VA South)

VERTICAL DATUM: NAVD88

DATUM ESTABLISHED BY RTK ON 05-13-2015 (CORRECTIONS FROM RTCM-REF 0577)

### Underground Utility Location Notes:

- There May Be Abandoned Underground Utility Lines In Project Limits.
- All Sizes and Types of Underground Utility Lines Are Taken From Reference Mapping Or Pre-Existing Miss Utility Markings.

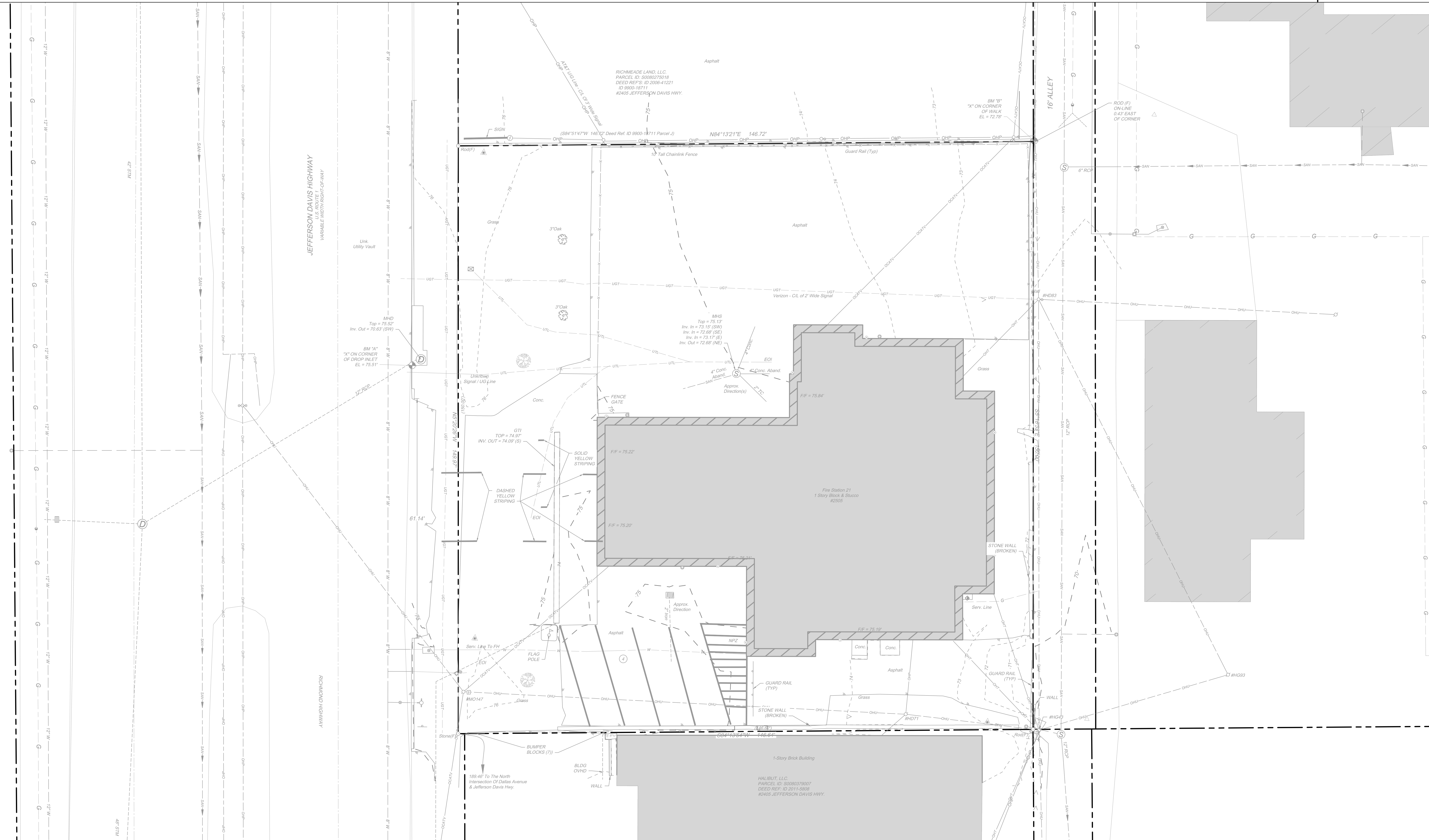
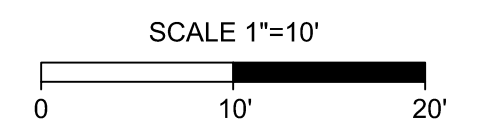
### Underground Utility Owners:

- Natural Gas - City Of Richmond
- Waterline - City Of Richmond
- Communication - AT&T  
Verizon Communications
- Power - Dominion Power

### BOUNDARY NOTES:

(184.05' Plat) = Denotes Bearings And Distances Of Property Lines From Recorded Deeds and Plats.

No Title Report Was Provided For This Survey. Easements May Exist That Are Not Shown.



THIS DRAWING PREPARED AT THE  
**CORPORATE OFFICE**  
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225  
TEL 804-200-6500 FAX 804-560-1016 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
06/27/2023	

DRAWN BY  
**K. UNDERBERG**

DESIGNED BY  
**C. NELSON**

CHECKED BY  
**A. WEHUNT**

SCALE  
**1" = 10'**

**TIMMONS GROUP**

CITY OF RICHMOND FIRE STATION 21  
BROAD ROCK DISTRICT - CITY OF RICHMOND - VIRGINIA  
EXISTING CONDITIONS PLAN

## Overall Master Site Plan Existing Conditions Plan

BZA Application Submission

JOB NO. <b>60040</b>
SHEET NO. <b>C1.00</b>

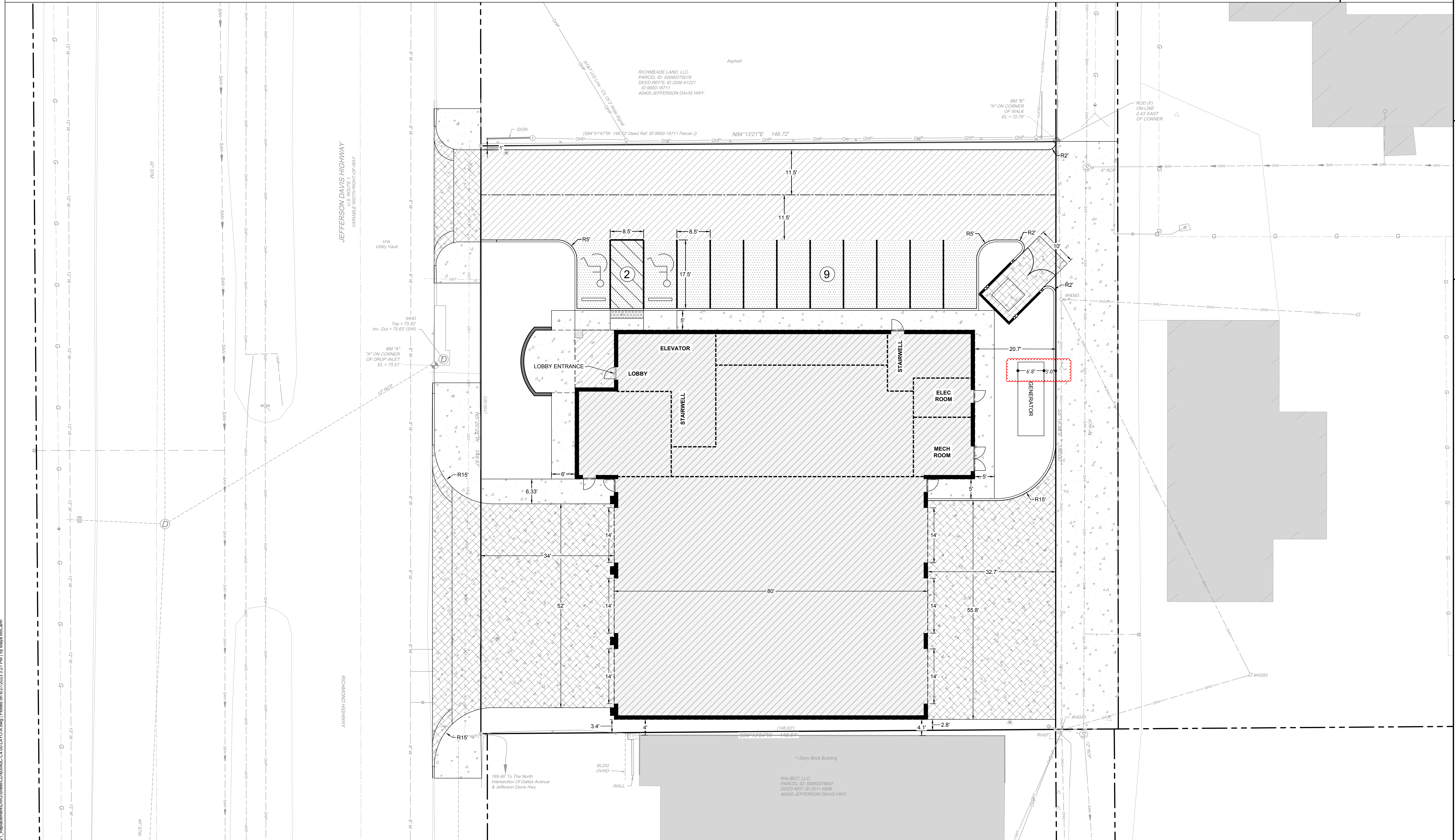
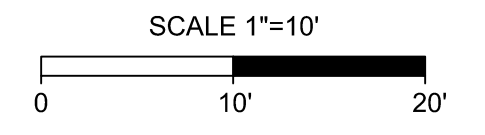
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# City of Richmond: New Fire Station #21

**LAYOUT HATCH LEGEND**

	HEAVY DUTY CONCRETE SECTION		MILL & OVERLAY SECTION
	CONCRETE SECTION		LIGHT DUTY ASPHALT PAVEMENT SECTION
	EXTENTS OF BUILDING AT GRADE		HEAVY DUTY ASPHALT PAVEMENT SECTION
	EXTENTS OF BUILDING OVERHEAD		



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DATE	REVISION DESCRIPTION
06/27/2023	

**TIMMONS GROUP**

CITY OF RICHMOND FIRE STATION 21  
 BROAD ROCK DISTRICT - CITY OF RICHMOND - VIRGINIA  
 SITE LAYOUT PLAN

SCALE  
 1" = 10'

DESIGNED BY	C. NELSON
CHECKED BY	A. WEHUNT
DRAWN BY	K. UNDERBERG
DATE	06/27/2023

## Overall Master Site Plan - Proposed New Site Plan

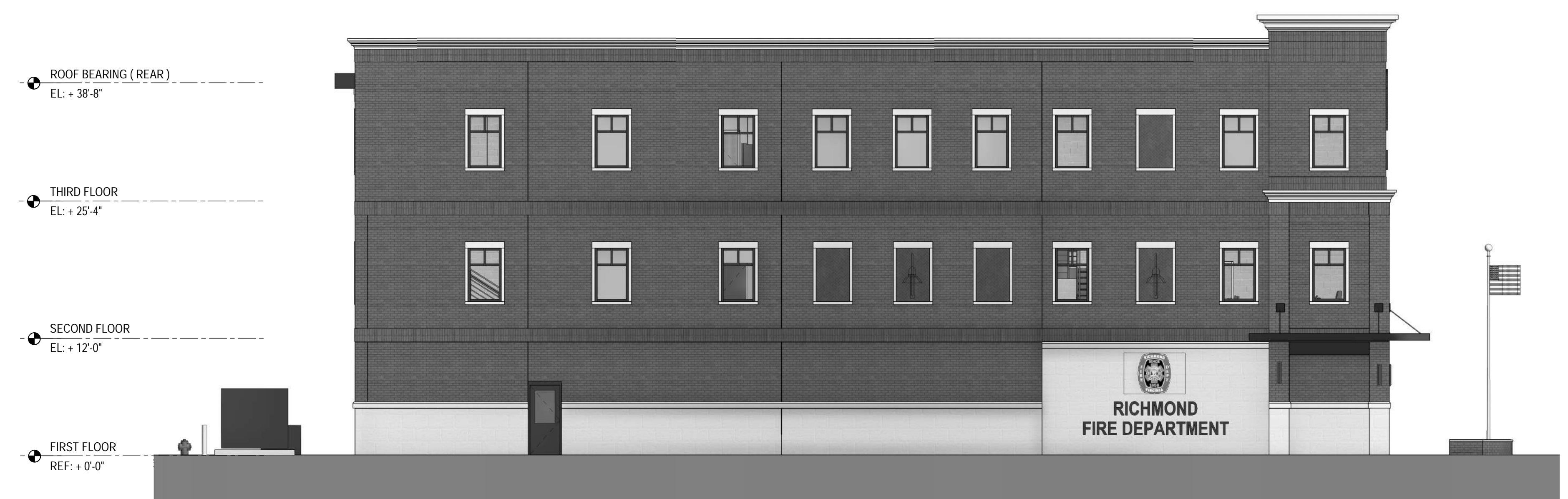
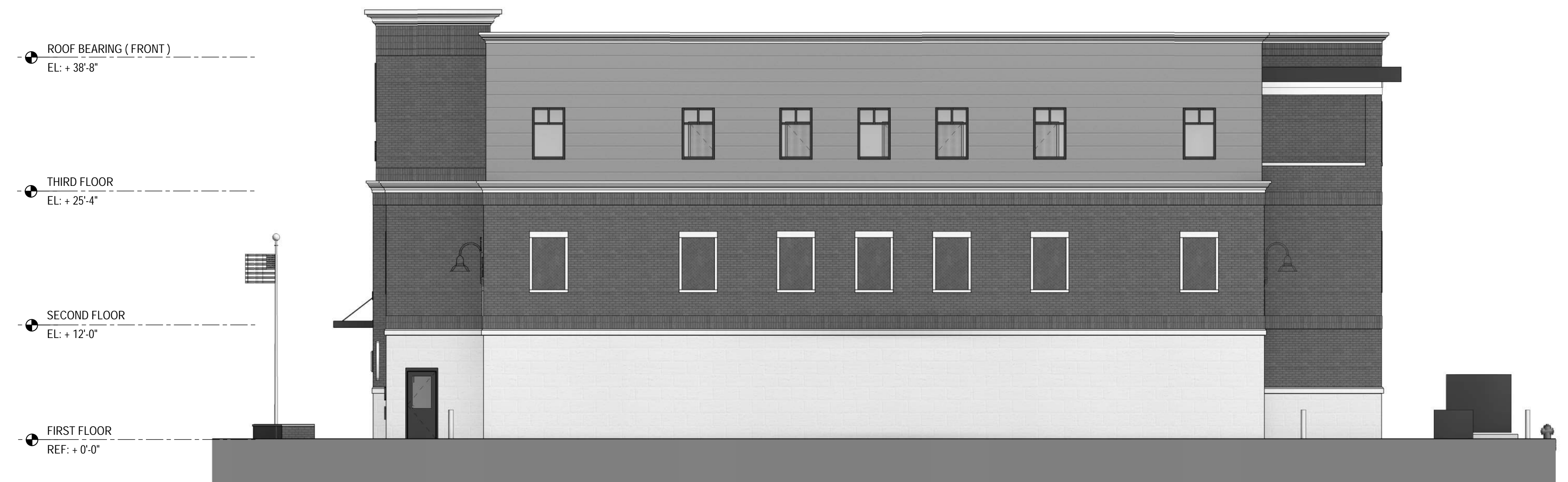
BZA Application Submission

JOB NO.  
60040

SHEET NO.  
C4.00

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# City of Richmond: New Fire Station #21



## Proposed Building Design Concept - Overall 2D Exterior Views

# City of Richmond: New Fire Station #21



## Proposed Building Design Concept - Overall 3D Exterior Views

# City of Richmond: New Fire Station #21



- (A) ARCHITECTURAL BRICK VENEER W/ ACCENT SOLDIER COURSING
- (B) ARCHITECTURAL PRECAST CONCRETE BASE SYSTEM
- (C) PREFINISHED ALUMINUM COMPOSITE MAIN ENTRY CANOPY
- (D) TINTED, HIGH PERFORMANCE INSULATED GLAZING IN THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING
- (E) PREFINISHED ARCHITECTURAL METAL WALL PANEL SYSTEM
- (F) ARCHITECTURAL PRECAST CONCRETE CAP/COPING SYSTEM

## Conceptual Design - Proposed Exterior Building Materials



# City of Richmond: New Fire Station #21



**View of Rear of the Building**

# City of Richmond: New Fire Station #21



View of Public Parking