

INTRODUCED: May 11, 2020

AN ORDINANCE No. 2020-122

To authorize the special use of the property known as 301 West 6<sup>th</sup> Street for the purpose of a multifamily dwelling containing up to 350 dwelling units, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: JUN 8 2020 AT 6 P.M.

WHEREAS, the owner of the property known as 301 West 6<sup>th</sup> Street, which is situated in a RF-2 Riverfront District, desires to use such property for the purpose of a multifamily dwelling containing up to 350 dwelling units, which use, among other things, is not currently allowed by sections 30-447.12(2), concerning yards and setbacks, and 30-447.14, concerning building dimensions and space between buildings, of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2019), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES:                8                NOES:                0                ABSTAIN: \_\_\_\_\_

ADOPTED:   JUN 8 2020   REJECTED: \_\_\_\_\_ STRICKEN: \_\_\_\_\_

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 301 West 6<sup>th</sup> Street and identified as Tax Parcel No. S000-0014/001 in the 2020 records of the City Assessor, being more particularly shown on a plat entitled “Topographic Survey of Parcel Five of Reynolds South Plant, 301 W 6<sup>th</sup> Street, City of Richmond, VA,” prepared by Nyfeler Associates, and dated May 30, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a multifamily dwelling containing up to 350 dwelling units, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “RT2, 501 Perry Street, (still being determined), Richmond, Virginia,” prepared by Ratio, PC, dated December 6, 2019, and last revised March 6, 2020, and entitled “Reynolds Tower 2,” prepared by Gradient, and dated March 7, 2020, hereinafter referred to together as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a multifamily dwelling containing up to 350 dwelling units and amenity spaces, substantially as shown on the Plans, and may contain other uses permitted in the underlying zoning district. The improvements shown on the Plans

located off of the Property and contained within a portion of the property known as 405 West 6<sup>th</sup> Street and identified as Tax Parcel No. S000-0023/001 in the 2020 records of the City Assessor shall be made substantially as shown on the Plans. No certificate of occupancy for the Property shall be issued until (i) the Owner acquires that portion of the property known as 405 West 6<sup>th</sup> Street and identified as Tax Parcel No. S000-0023/001 in the 2020 records of the City Assessor as shown on the Plans and (ii) the improvements contained within such portion of the property known as 405 West 6<sup>th</sup> Street and identified as Tax Parcel No. S000-0023/001 in the 2020 records of the City Assessor as shown on the Plans are completed.

(b) Up to 366 interior parking spaces and 29 exterior parking spaces shall be provided, substantially as shown on the Plans.

(c) The height of the Special Use shall not exceed the height shown on the Plans.

(d) All building elevations, materials, and site improvements, including landscaping, shall be substantially as shown on the Plans. Alternative design, materials, and colors may be used, subject to the approval of the Director of Planning and Development Review in accordance with applicable law, prior to the issuance of a building permit.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Storage for no fewer than 55 resident bicycles and ten visitor bicycles shall be provided on the Property.

(g) Signs pertaining to the Special Use shall be in accordance with the sign regulations applicable to the underlying zoning district.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the public right-of-way, including a handicapped accessible ramp at the corner of Perry Street and West 6<sup>th</sup> Street, which improvements may be completed in one or more phases approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby

authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

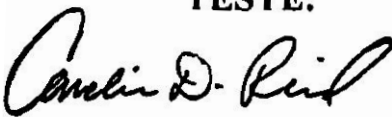
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as

amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Zoning Administrator is authorized to issue a building permit for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:  
TESTE:**  
  
**City Clerk**



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.richmondgov.com

## Item Request

File Number: PRE.2020.083

### O & R Request

**DATE:** April 13, 2020

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)  
(This in no way reflects a recommendation on behalf of the Mayor)  5/7/2020

**THROUGH:** Lenora G. Reid, Acting Chief Administrative Officer  4/20/2020

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning 

**FROM:** Mark A. Olinger, Director, Department of Planning and Development Review 

**RE:** To authorize the special use of the property known as 301 West 6th Street and a portion of 405 West 6th Street, for the purpose of a multi-family dwelling containing up to 350 dwelling units, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 301 West 6th Street and a portion of 405 West 6th Street, for the purpose of a multi-family dwelling containing up to 350 dwelling units, upon certain terms and conditions.

**REASON:** The applicant has requested a special use permit to allow a multi-family dwelling that would not meet zoning requirements pertaining to side and rear yards, and building dimensions and space between buildings.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its June 1, 2020, meeting.



**BACKGROUND:** The subject property consists of an unimproved parcel known as 301 West 6th Street (97,705 SF; 2.24 acres) and an adjacent portion of 405 West 6th Street consisting of approximately 23,500 SF. The properties are located in the City's Old Town Manchester neighborhood of the Old South Planning District, at the northwest corner of West 6th Street and Perry Street. The project consists of a multi-family dwelling containing 348 units, served by 366 structured parking spaces and 29 parking spaces along a private street.

The City of Richmond's Downtown Master Plan designates a future land use category for the subject properties as Downtown - Urban Center Area (DT-UCA). The Urban Center area is characterized by higher density, mixed-use development, typically arranged on a fine-grained street network, with wide sidewalks, regular tree planting, and minimal setbacks.

The current zoning for the subject property is RF-2, Riverfront District. The intent of the RF-2 Riverfront District is to provide for medium scale planned mixed-use development on relatively large sites in close proximity to the riverfront in a manner that will protect prominent views of the James River from public spaces and will encourage public and private use of and access to the riverfront. The district is intended to facilitate the economic development benefits that will accrue through enhanced commercial and residential development and increased tourism generated by riverfront redevelopment. Finally, the district regulations are intended to promote a concentration of uses that result in a high degree of pedestrian attraction and activity along the riverfront, while protecting the area at the shore of the river from building development.

Property to the east is zoned RF-2, property to the south and west is zoned B-7, mixed-use business. A mix of commercial, industrial, office, and multi-family land uses are present in the vicinity.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No

**REVENUE TO CITY:** \$2,400

**DESIRED EFFECTIVE DATE:** Upon Adoption

**REQUESTED INTRODUCTION DATE:** May 11, 2020

**CITY COUNCIL PUBLIC HEARING DATE:** June 8, 2020

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
June 1, 2020

*File Number: PRE.2020.083*

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**AFFECTED AGENCIES:** Office of Chief Administration Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

**STAFF:** Jonathan Brown, Senior Planner, Land Use Administration, 804-646-6304



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 51  
Richmond, Virginia 23219  
(804) 646-6304

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

**Project Name/Location**

Property Address: 301 West 6th Street Date: 12/8/2019  
 Tax Map #: S0000014001 Fee \$2,400  
 Total area of affected site in acres: 2.243 total acres

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

**Zoning**

Current Zoning RF-2 Riverfront District

Existing Use Vacant

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)

Mixed-use residential  
Existing Use Vacant

Is this property subject to any previous land use cases?

Yes  No  If Yes, please list the Ordinance Number \_\_\_\_\_

**Applicant/Contact Person:** Lory Markham

Company: Markham Planning LLC

Mailing Address: 23 West Broad Street

City: Richmond State: VA Zip Code: 23241

Telephone: (804) 248-2581 Fax: ( )

Email: lory@markhamplanning.com

**Property Owner:** City View Tower Llc

If Business Entity, name and title of authorized signer: Drew Wiltshire

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 11100 West Broad Street

City: Glen Allen State: VA Zip Code: 23060

Telephone: (804) 399-8130 Fax: ( )

Email: drew.wiltshire@thalhimer.com

**Property Owner Signature:** [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



December 11, 2019

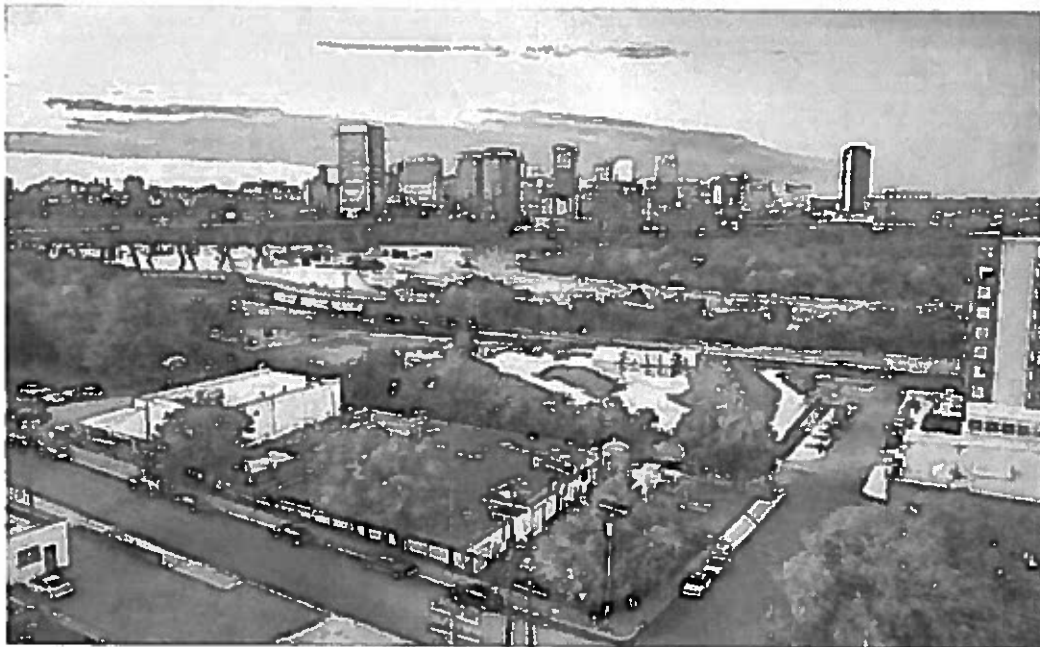
Mark Olinger, Director  
Department of Planning & Development Review  
900 East Broad Street, Suite 511  
Richmond, VA 23219  
mark.olinger@richmondgov.com

Re: Reynolds Tower II Request for Special Use Permit (RF-2)

Dear Mr. Olinger,

Please accept this letter as the Applicant's Report for the Special Use Permit application for the property S0000014001. With this application both the property owner and developer, City View Tower LLC, are petitioning City Council for a Special Use Permit to waive the setback and building dimension requirements. This would allow for the development of 348 units in two (2) residential towers mounted on one podium.

*Existing Site Conditions*



The subject property is listed with the City as 301 West 6<sup>th</sup> Street. The parcel is located in the Old South Planning District in the Old Town Manchester neighborhood. It is also within the Manchester Industrial *National* Historic District. The property sits northwest of the intersection of West 6<sup>th</sup> (owned by Norfolk

MARKHAM PLANNING  
23 West Broad Street #304 - Richmond, Virginia 23220  
(804) 248-2561

Southern) and Perry Streets. Norfolk Southern property is directly adjacent to the subject property on three sides. This property was part of the former site of the Reynolds Aluminum South Plant. The building pad only remains. The site is currently a leveled, unimproved lot and has a land area of 97,705 square feet (2.243 acres).

This development team also improved the parcel southeast of the subject property into a constructed streetscape for Perry Street. It was dedicated as a public right of way to continue Perry Street towards the river. At this time, the property's only technical street frontage is on this portion of public right of way. With that, the *principal* street frontage for this development is on Perry Street and an alternate street address would be 501 Perry Street.

Also, the property owner is proposing to purchase the portion of West 6th Street that abuts the property and this portion of Perry Street from Norfolk Southern. The intent is to improve this portion of West 6th Street to meet City standards. It will remain a private street. A 2019 survey is enclosed.

#### *Master Plan Future Land Use*

The 2000 Master Plan, which includes land use categories from the 2008 Downtown Plan, labels this parcel as DT-UCA Downtown Urban Center Area for future land use planning.

A 2009 City initiative rezoned specific parcels within the watershed of the river, including the subject property, to R-2 Riverfront.

The drafted Richmond 300 Master Plan, which is in the process of approval for 2020, designates this parcel within the "Regional Activity Center" as Nodal Mixed-Use which supports tall, high-density residential buildings.

#### *Zoning*

The property is currently zoned within the RF-2 Riverfront District, which allows for a variety of uses including dwelling units. This property does *not* front on "streets designated as street oriented commercial frontage" as stated in the City's zoning ordinance adopted on November 9, 2015 and which includes all amendments through July 22, 2019. Also, this zoning district restricts building above 13 stories in height.

Per this zoning ordinance:

"The intent of the RF-2 riverfront district is to provide for medium scale planned mixed-use development on relatively large sites in close proximity to the riverfront in a manner that will protect prominent views of the James River from public spaces....The district is intended to facilitate the economic development benefits that will accrue through enhanced commercial and residential development and increased tourism generated by riverfront redevelopment."

Regulations in the RF-2 District allow a maximum 10-foot front yard setback. Otherwise, none is required. A 25-foot setback is required for side and rear yards where lot lines abut another property. In

In addition, no building can penetrate the incline plane originating from the lot line at a 1:3-foot horizontal to vertical ratio.

In the RF-2 District no building, or combination of multiple buildings, can exceed a total dimension of 300 feet along a lot line or street without an intervening uncovered open space at ground level of not less than 50 feet in width along such lot line or street. The purpose of this is to provide for river view corridors in between buildings at ground level.

Also, portions of a building or of multiple buildings that are over four stories in height shall not exceed a total dimension of 300 feet along a lot line or street without an intervening uncovered open space of not less than 100 feet in width along such lot line or street. The purpose is to provide for river view corridors between portions of buildings over four stories in height.

### *Proposal*

The proposed eleven (11) story development involves 348 residential units within two (2) residential towers mounted on one podium. Principal street frontage is on Perry Street. Again, the property owner is proposing to purchase the portion of West 6th Street that abuts the property and Perry Street from Norfolk Southern. The intent is to improve this portion of West 6th Street to meet City standards. It will remain a private street.

The 1<sup>st</sup> and 2<sup>nd</sup> floors are comprised of podium parking levels. The 3<sup>rd</sup> floor is the first residential floor. All floors above this are separated into two (2) separate towers, with the exception of the 10<sup>th</sup> floor which will connect the two with a skybridge. The topographical survey, conceptual site and floor plans, elevations and preliminary schematics are enclosed.

Please note, all proposed plans are conceptual. The developer is taking a methodical approach for conceptual through the Special Use Permit first before proceeding with subsequent, detailed permit drawings. It is requested that the ordinance include language allowing the Director of Planning & Development Review to approve the final design at the time of building permit review so as to avoid future SUP amendments.

The property owner and developer are requesting exceptions from the setback and building dimension requirements.

The front yard setback requirement (a zero-foot setback allowed with a 10-foot maximum) will be met on the east lot line (and designated principal street frontage) with Perry Street, a public right of way. The 25-foot rear yard setback requirement will also be met on the west lot line shared with Norfolk Southern property. The side yard setback from the north lot line abutting the Norfolk Southern property on the river side will not meet the required 25-foot side yard setback. The proposed side yard setback from the south lot line towards Legend's Brewery will meet the 25-foot requirement once the Norfolk Southern property (West 6th Street) is purchased. As defined in the current zoning code, a combination of contiguous lots under common ownership is considered a "lot". With that, the setback will then be measured from the lot line shared with Legend's property.

The purpose of the building dimension requirements is to provide river view corridors in between buildings at ground level and in between portions above 4 stories.

At ground level, the proposed building footprint (podium) along the "West 6th Street" lot line is 443' 4' in length. The maximum continuous length allowed is 300 feet. However, as it currently exists the river view at ground level is permanently obstructed by the City's floodwall. Also, the podium length may exceed the 300-foot maximum, but the proposed design of the building above the plane of the floodwall breaks up the length with the two towers, which are on average 50 feet in distance apart. This is a variable distance based on material, columns, etc. Legend's Brewery will still maintain a view to the river with the proposed design. The orientation of the building and its two-tower design takes this into consideration and is best illustrated on Sheet AS04 with approximate existing grades of the floodwall, the subject property and the Legends site.

#### *Neighborhood Communication*

The development team met with the Manchester Alliance in December. We are confirming the possible receipt of a letter of support with David Bass, president of the civic association for the neighborhood.

The team also met with Legends Brewing Company since the subject property sits between the brewery and the river. Their site is above the grade of the proposed development site. Currently patrons can view the site, railway lines, the floodwall, and the river. The developer received favorable responses since the two tower design accounts for this view through to the downtown skyline beyond. Due to the existing topography, the proposed building's podium will obstruct the floodwall from line of sight.

The developer has reached out to Councilwoman Ellen F. Robertson to discuss this proposed development in the 6<sup>th</sup> Voter District.

#### *City Charter Conditions*

We trust that you will agree with us that this proposed SUP meets the City Charter criteria for the granting of SUPs as the project will not (i) be detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to overcrowding of land and cause an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air.

Thank you for your consideration of this special use permit. Please feel free to contact me at [lory@markhamplanning.com](mailto:lory@markhamplanning.com) or (804) 248-2561 if you have any questions or require additional materials to process the application.

Very Truly Yours,

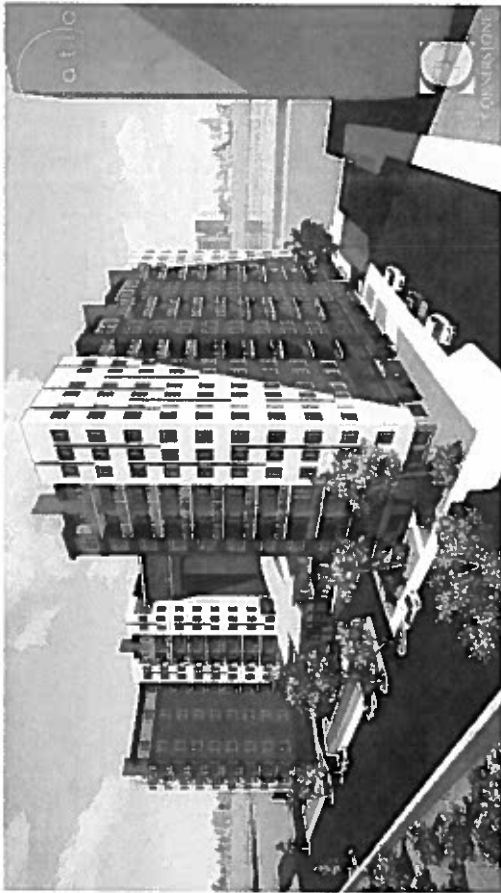


Lory Markham

Enclosure: application form, fee payment, site survey, conceptual plan set (digital)

cc: Matthew Ebinger, Secretary to the City Planning Commission  
The Honorable Ellen F. Robertson, 6<sup>th</sup> District  
Drew Wiltshire, Thalhimer  
Matt Raggi, Thalhimer  
Guy Blundon, CMB Development  
Mark Purcell, Purcell Construction  
Patrick Coe, Purcell Construction  
Bruce Shirley, Ratio, PC  
Gabi Syska, Markham Planning





# RT2

501 Perry Street  
(still being determined)  
Richmond, Virginia



**RATIO PC**  
1475 Commonwealth Avenue  
Richmond, VA 23227  
703-977-2474

**OWNER**

City View Tower, LLC  
1475 Commonwealth Avenue  
Richmond, VA 23227

**GENERAL CONTRACTOR**

W. H. Johnson Construction  
2730 Westmoreland Road  
Richmond, VA 23227  
804-752-4115

**ARCHITECT**

Ratio PC  
1475 Commonwealth Avenue, Suite 103  
Richmond, VA 23227  
804-344-1779

**ASSOCIATE ARCHITECT**

Construction Architects, Inc./Interior Design  
23 W. Broad Street, Suite 200  
Richmond, VA 23220  
804-353-2001

**CIVIL ENGINEER**

GRANDER PC  
1475 Commonwealth Avenue  
Richmond, VA 23227  
804-971-0900

**STRUCTURAL ENGINEER**

Seidinger International Engineers  
1125 MacCormac Way  
Virginia Beach, VA 23454  
757-574-9127

**MEP ENGINEER**

PACE Collaborative, PC  
701 A. Campbell House, Suite 200  
Richmond, VA 23274  
804-279-2722

**SPRINKLER ENGINEER**

IBO



**01 VICINITY MAP**  
SCALE: 1" = 100' APPROX.

### CODE INFORMATION

Building Code: 2015 International Building Code (IBC) with amendments for VA.

For more information, see the code books listed below.

1. For the purpose of this code, the following definitions apply:

1.1. **Accessory Use**: A use that is subordinate to the principal use of the premises and is located on the same lot.

1.2. **Alteration**: A change to an existing structure or system that affects its structural integrity, fire resistance, or life safety.

1.3. **Approved**: Accepted by the authority having jurisdiction.

1.4. **Authority Having Jurisdiction (AHJ)**: An organization, department, or official responsible for enforcing the code.

1.5. **Building Official**: The authority having jurisdiction for the building.

1.6. **Change Order**: A written authorization for a change to the approved plans.

1.7. **Conform**: To meet the requirements of the code.

1.8. **Department**: A branch of government.

1.9. **Design Professional**: A person licensed to practice architecture, engineering, or other design profession.

1.10. **Dimensions**: The measurements of a building or structure.

1.11. **Existing**: A building, structure, or system that is already in place.

1.12. **Final Plans**: The approved plans for the building or structure.

1.13. **General**: Applicable to all buildings unless otherwise specified.

1.14. **Height**: The vertical distance from the finished ground level to the highest point of the building.

1.15. **Incidental Use**: A use that is not a primary use of the premises and is located on a different lot.

1.16. **Intermediate**: A building or structure that is not a final building.

1.17. **Maximum**: The greatest amount or extent.

1.18. **Minimum**: The least amount or extent.

1.19. **Occupancy**: The use of a building or structure.

1.20. **Original**: The first version of a drawing or document.

1.21. **Revised**: A drawing or document that has been changed.

1.22. **Shall**: Indicates a mandatory requirement.

1.23. **Shall Not**: Indicates a mandatory prohibition.

1.24. **Structural Steel**: Steel used in the construction of a building.

1.25. **Structural System**: The structural framework of a building.

1.26. **Substantial**: A significant amount or extent.

1.27. **Unapproved**: Not accepted by the authority having jurisdiction.

1.28. **Use Group**: A classification of buildings based on their occupancy.

1.29. **Vertical Clearance**: The height from the ground to the lowest part of an overhead structure.

1.30. **Volume**: The amount of space occupied by a building.

1.31. **Work**: The construction of a building or structure.

### PROJECT ZONING INFORMATION

1. **Zoning District**: The zoning district in which the building is located.

2. **Setbacks**: The required distances from the building to the property lines.

3. **Height**: The maximum height allowed for the building.

4. **Area**: The total area of the building and its setbacks.

5. **Use**: The permitted use of the building.

### GENERAL NOTES

1. The building shall be constructed in accordance with the latest edition of the International Building Code (IBC) and all applicable amendments.
2. The building shall be constructed in accordance with the approved plans and specifications.
3. The building shall be constructed in accordance with the approved contract documents.
4. The building shall be constructed in accordance with the approved permit conditions.
5. The building shall be constructed in accordance with the approved zoning requirements.
6. The building shall be constructed in accordance with the approved fire and life safety requirements.
7. The building shall be constructed in accordance with the approved structural requirements.
8. The building shall be constructed in accordance with the approved energy and sustainability requirements.
9. The building shall be constructed in accordance with the approved accessibility requirements.
10. The building shall be constructed in accordance with the approved environmental requirements.
11. The building shall be constructed in accordance with the approved cultural and historic preservation requirements.
12. The building shall be constructed in accordance with the approved noise and vibration requirements.
13. The building shall be constructed in accordance with the approved transportation requirements.
14. The building shall be constructed in accordance with the approved utility requirements.
15. The building shall be constructed in accordance with the approved telecommunications requirements.
16. The building shall be constructed in accordance with the approved information technology requirements.
17. The building shall be constructed in accordance with the approved security requirements.
18. The building shall be constructed in accordance with the approved safety requirements.
19. The building shall be constructed in accordance with the approved health and safety requirements.
20. The building shall be constructed in accordance with the approved environmental health and safety requirements.

### DRAWING INDEX

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FIRST FLOOR PLAN	A1003
SECOND FLOOR PLAN	A1004
THIRD FLOOR PLAN	A1005
MECHANICAL PLAN	A1006
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SECTION A	A1011
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SECTION U	A1031
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SECTION W	A1033
SECTION X	A1034
SECTION Y	A1035
SECTION Z	A1036

### INTENDED PERMITS

1. Building Permit
2. Mechanical Permit
3. Electrical Permit
4. Plumbing Permit
5. Fire Marshal Permit
6. Sign Permit
7. Historic Preservation Permit
8. Accessory Structure Permit
9. Demolition Permit
10. Temporary Use Permit
11. Temporary Sign Permit
12. Temporary Construction Permit
13. Temporary Occupancy Permit
14. Temporary Use of Existing Structure Permit
15. Temporary Use of Existing Signs Permit
16. Temporary Use of Existing Structures Permit
17. Temporary Use of Existing Signs and Structures Permit
18. Temporary Use of Existing Structures and Signs Permit
19. Temporary Use of Existing Structures, Signs, and Signs Permit
20. Temporary Use of Existing Structures, Signs, Signs, and Signs Permit

1. The building shall be constructed in accordance with the approved plans and specifications.

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13. The building shall be constructed in accordance with the approved utility requirements.

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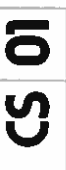
15. The building shall be constructed in accordance with the approved information technology requirements.

16. The building shall be constructed in accordance with the approved security requirements.

17. The building shall be constructed in accordance with the approved safety requirements.

18. The building shall be constructed in accordance with the approved health and safety requirements.

19. The building shall be constructed in accordance with the approved environmental health and safety requirements.



RT2 - Reynolds Tower 02

CS 01



Cornerstone

1050 West Street, Suite 1000, Arlington, VA 22202

ratio

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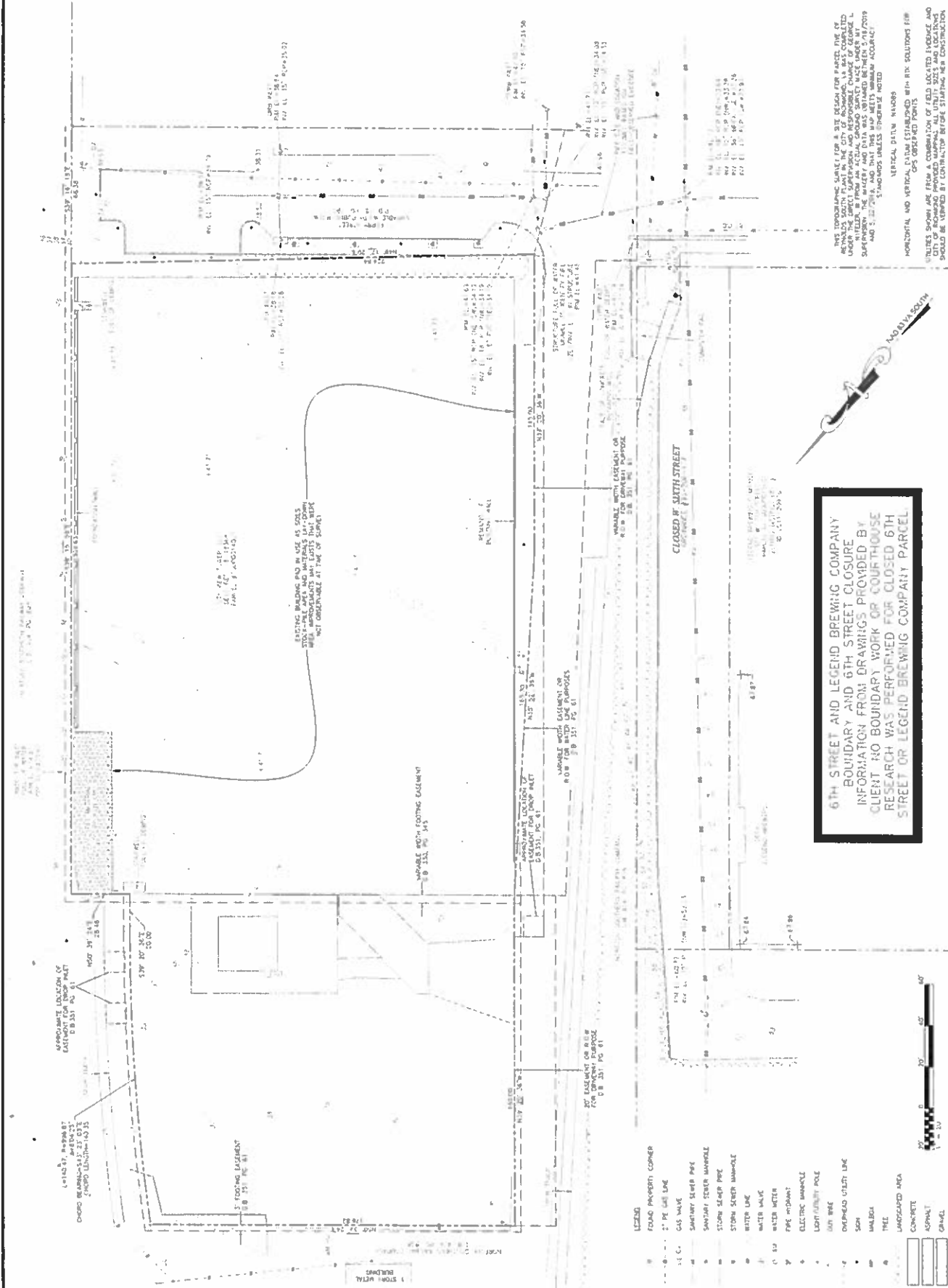


**NYFFELER ASSOCIATES**  
 LAND SURVEYING & MAPPING  
 619 W CARY STREET, RICHMOND, VA 23220  
 804-277-4273 nyffelerassociates.com

DATE	12/15/10
PROJECT	6TH STREET AND 6TH STREET CLOSURE
SCALE	AS SHOWN
JOB NUMBER	10000
DRAWN BY	JAR
CHECKED BY	JAR

**TOPOGRAPHIC SURVEY OF PARCEL FIVE OF REYNOLDS SOUTH PLANT 301 W 6TH STREET CITY OF RICHMOND, VA**

SHEET NO. 1 OF 1



**6TH STREET AND LEGEND BREWING COMPANY BOUNDARY AND 6TH STREET CLOSURE INFORMATION FROM DRAWINGS PROVIDED BY CLIENT. NO BOUNDARY WORK OR COURTHOUSE RESEARCH WAS PERFORMED FOR CLOSED 6TH STREET OR LEGEND BREWING COMPANY PARCEL.**

THIS TOPOGRAPHIC SURVEY FOR THE DESIGN FOR PARCEL FIVE OF REYNOLDS SOUTH PLANT IN THE CITY OF RICHMOND, VA WAS COMPLETED BY NYFFELER ASSOCIATES, INC. ON 12/15/2010. THE SURVEY WAS PERFORMED FROM AN ACTUAL GRADE SURVEY MADE UNDER THE SUPERVISION OF JEFFREY A. REYNOLDS, LICENSED PROFESSIONAL SURVEYOR AND S. J. REYNOLDS, AND THAT THE MAP MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

VERTICAL DATUM: NAVD83  
 HORIZONTAL AND VERTICAL CURVES ESTABLISHED WITH SIX SOLUTIONS FOR OPENED POINTS.

VALUES SHOWN ARE FROM A COMBINATION OF FIELD LOCATED EVIDENCE AND CALCULATED VALUES. FIELD LOCATED EVIDENCE AND CALCULATED VALUES SHOULD BE COMPARED BY CONTINUATION BEFORE UTILIZATION IN ANY CONSTRUCTION.

- LEGEND**
- ROAD PAVEMENT CORNER
  - 2" PE GAS LINE
  - GAS VALVE
  - SANITARY SEWER PIPE
  - SANITARY SEWER MANHOLE
  - STONE SEWER PIPE
  - STONE SEWER MANHOLE
  - WATER LINE
  - WATER VALVE
  - WATER METER
  - FIRE MIDDANT
  - ELECTRIC MANHOLE
  - ELECTRIC POLE
  - UTILITY POLE
  - OVERHEAD UTILITY LINE
  - CONCRETE
  - ASPHALT
  - GRAVEL
  - UNGRADED AREA

REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512

LEGEND

●	4" P. CAS LINE
○	6" P. CAS LINE
—	SUBMITTER'S PROPERTY LINE
—	STONY CREEK BOUNDARY
○	STONE STUB PILE
○	STONE BEES BOUNDARY
○	WATER LINE
○	SEWER MAIN
○	SEWER SERVICE
○	FIRE HYDRANT
○	EXISTING MANHOLE
○	UTILITY POLE
○	AUT. WIRE
○	DRENCHER BUILT L.A.
○	SIDING
○	WALKWAY
○	NET
○	LANDSCAPED AREA
○	CONCRETE
○	ASPHALT
○	GRAVEL

REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512

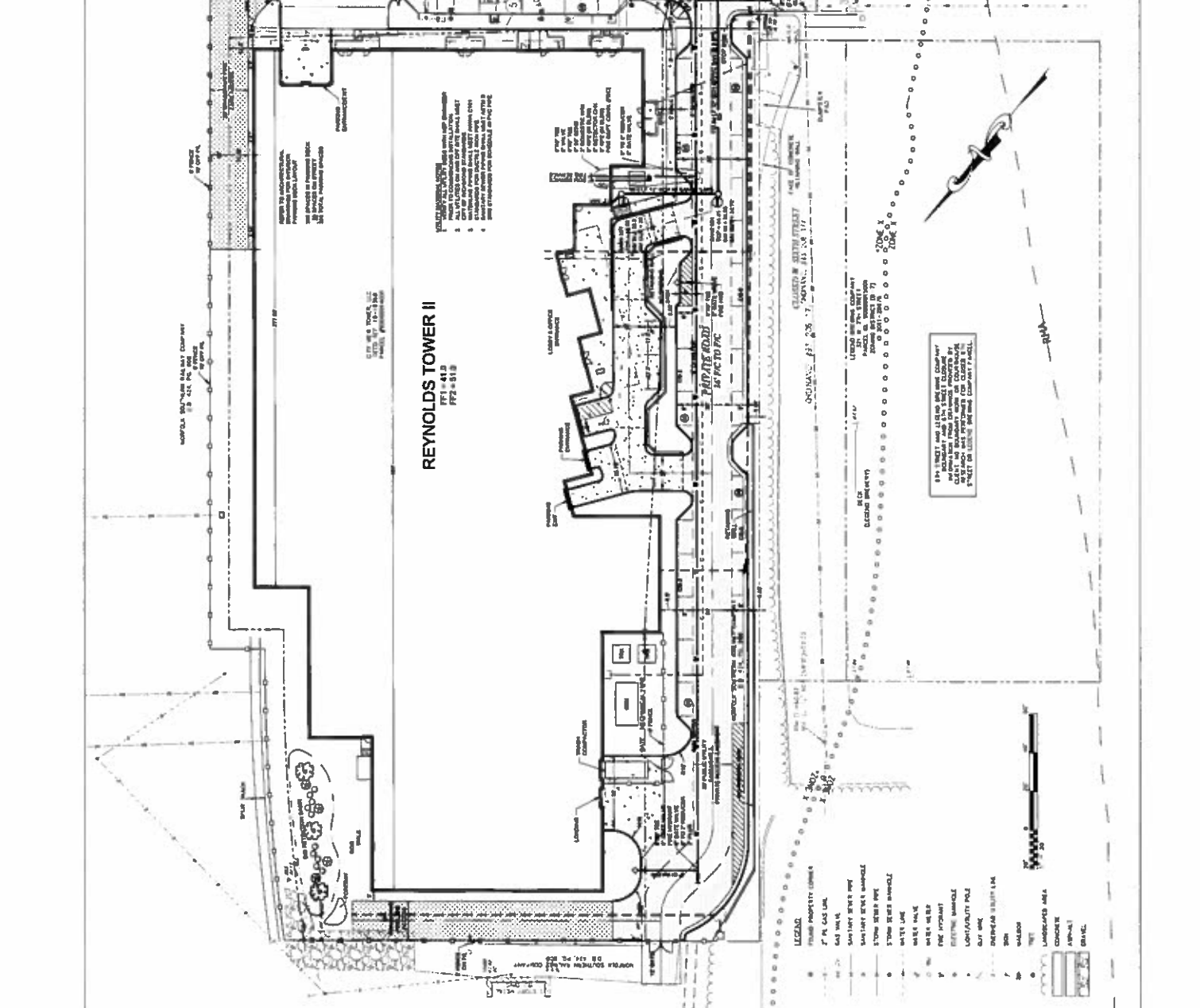
REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512

REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512

REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512

REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512

REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512



REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512

LEGEND

●	4" P. CAS LINE
○	6" P. CAS LINE
—	SUBMITTER'S PROPERTY LINE
—	STONY CREEK BOUNDARY
○	STONE STUB PILE
○	STONE BEES BOUNDARY
○	WATER LINE
○	SEWER MAIN
○	SEWER SERVICE
○	FIRE HYDRANT
○	EXISTING MANHOLE
○	UTILITY POLE
○	AUT. WIRE
○	DRENCHER BUILT L.A.
○	SIDING
○	WALKWAY
○	NET
○	LANDSCAPED AREA
○	CONCRETE
○	ASPHALT
○	GRAVEL

REYNOLDS TOWER II  
 PF1 - 412  
 PF2 - 512



ratio

RT2 - Reynolds Tower 02

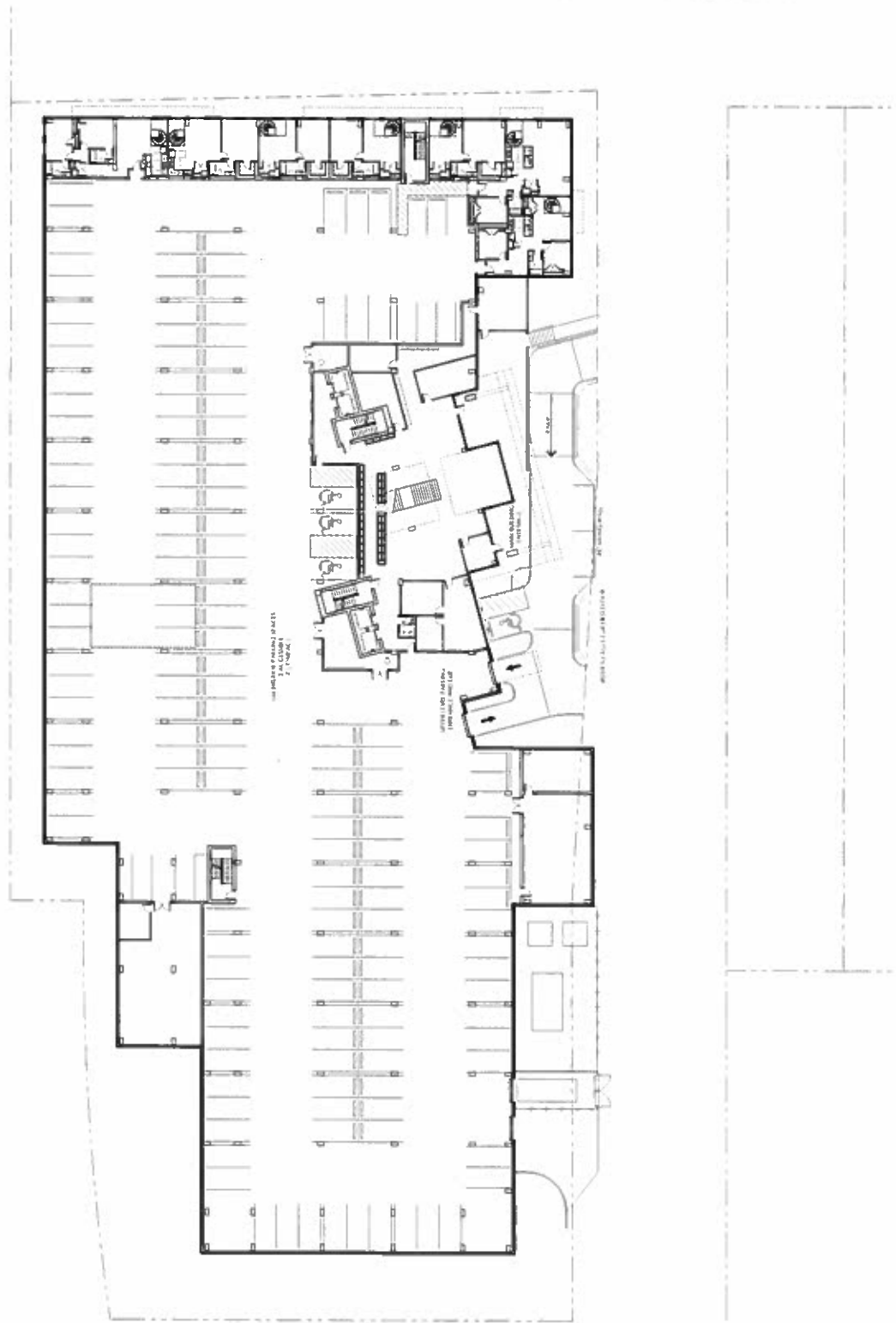
Architect: Reynolds

AS 03

SECOND FLOOR ARCHITECTURAL SITE PLAN

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01 SECOND FLOOR ARCHITECTURAL SITE PLAN

ratio

RT2 - Reynolds Tower 02

1475 Reynolds Tower  
Reynolds, VA 22137  
1-800-845-7279  
www.cornerstone.com

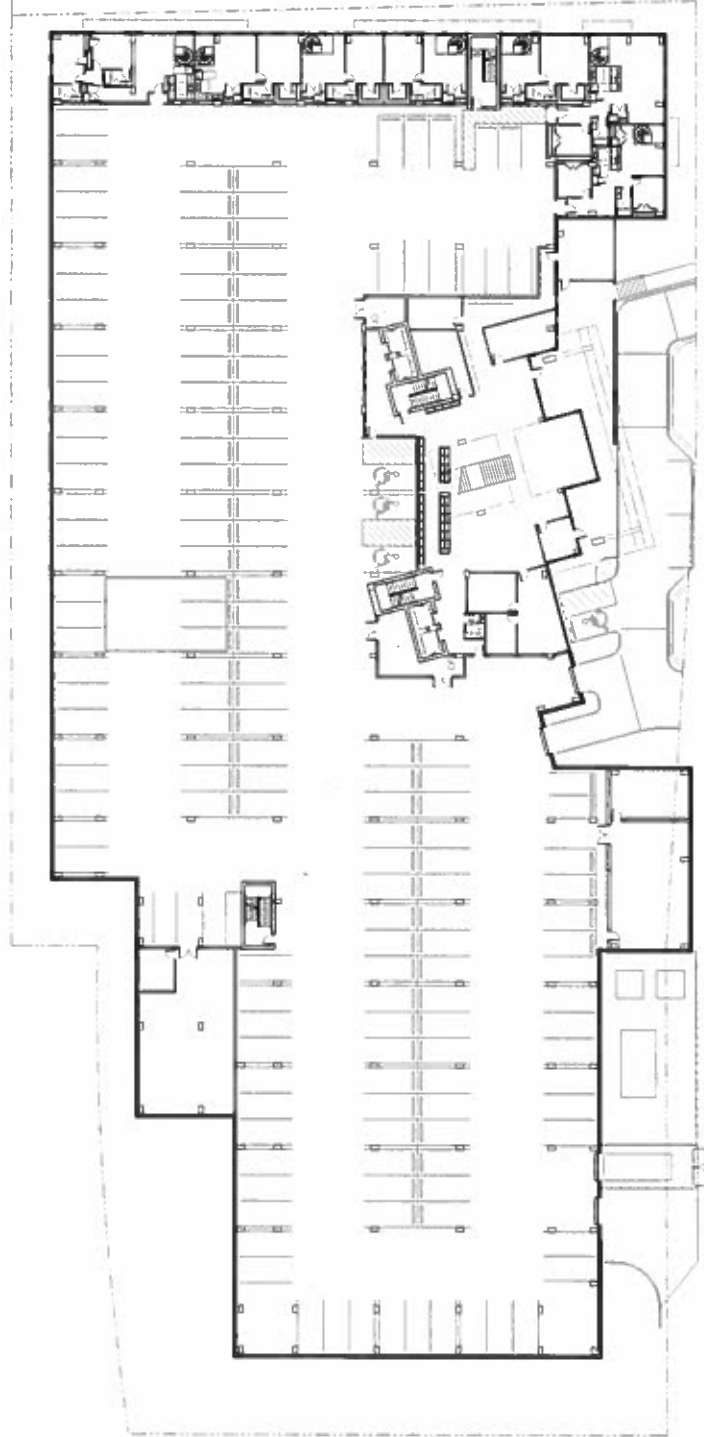


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13 08 18  
14 08 18  
15 08 18

FP 02

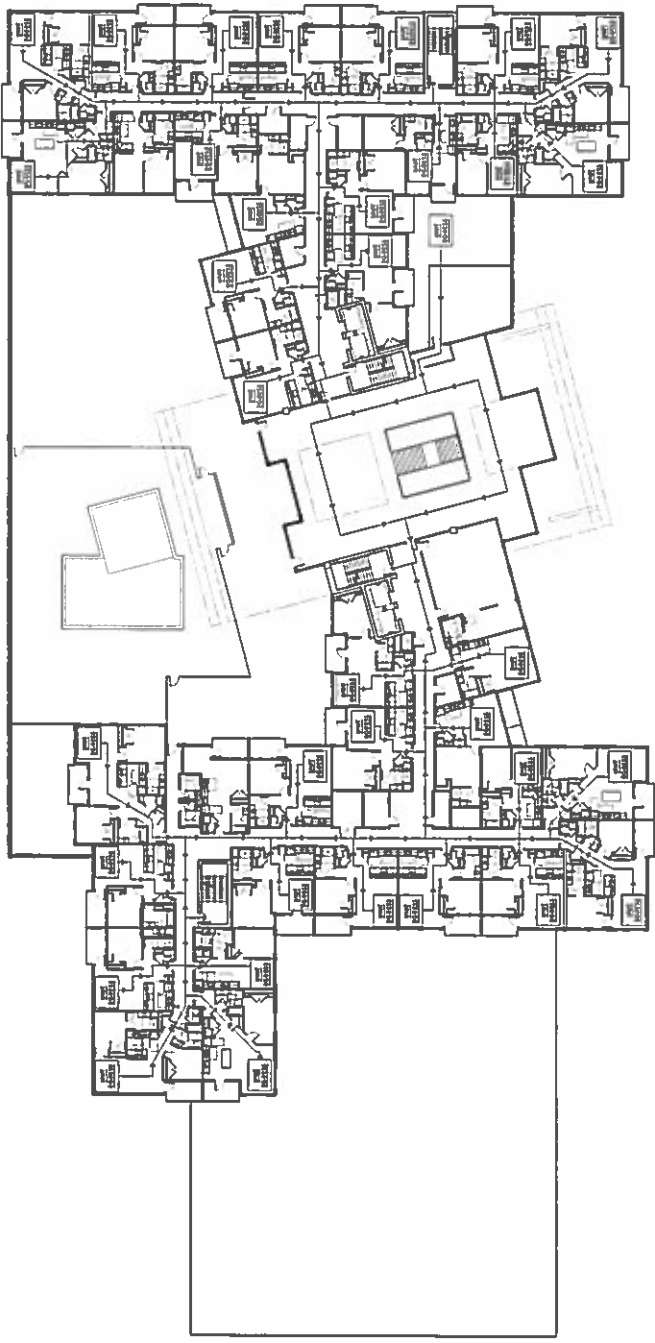
SECOND FLOOR  
EGRESS PLAN  
& PART SCHEDULE

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01 SECOND FLOOR EGRESS PLAN





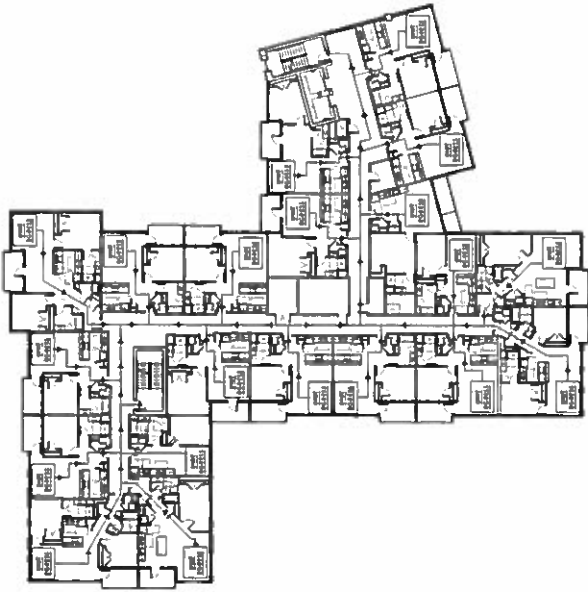
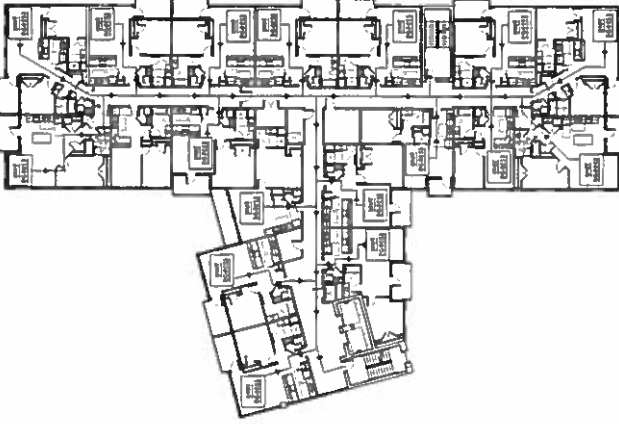
THIRD FLOOR EXPRESS PLAN

<p>ARCHITECTURE          1475...          1475...          1475...</p>	 <p>CORNERSTONE</p>	<p>1475...          1475...          1475...</p>	<p>RT2 - Reynolds Tower 02</p>	<p><b>FP 03</b></p> <p>THIRD FLOOR          EXPRESS PLAN          &amp; LIGHT SCHEDULE</p>
--	--	--	--------------------------------	--

r a t i o

© 2012





01 FOURTH FLOOR EGRESS PLAN



Typical

FP 04

FOURTH FLOOR  
CORPORATE  
EGRESS SCHEDULE

RT2 - Reynolds Tower 02

Architect: [unreadable]  
 Date: [unreadable]

**CORNERSTONE**  
 ARCHITECTS  
 1000 [unreadable]  
 [unreadable] [unreadable]

ratio

ratio

RT2 - Reynolds Tower 02

RT2  
Reynolds Tower

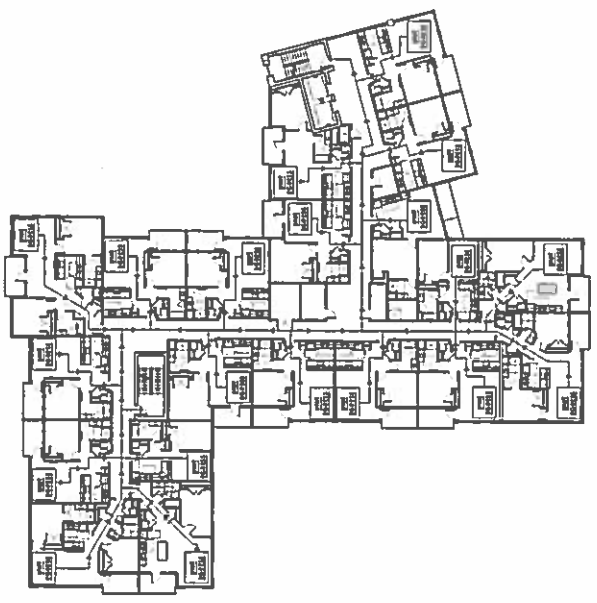
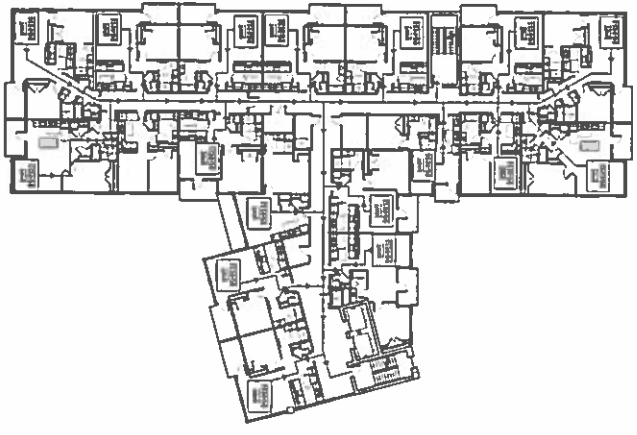
**FP 09**

NINTH FLOOR  
EGRESS PLAN  
& LIFT BOSS/CL

M.S. Architects Inc.  
111 Adelaide Street  
Toronto, Ontario  
M5H 1A1



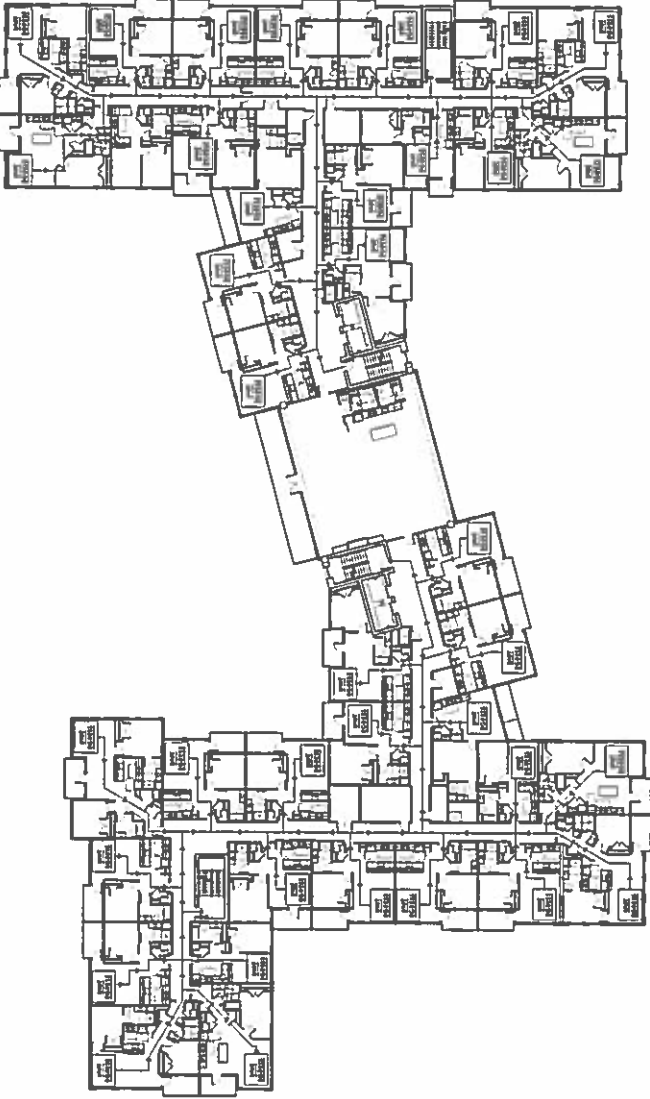
12.06.08  
S.P. Ladd  
S.P. Ladd  
S.P. Ladd



**01** NINTH FLOOR EGRESS PLAN



10/09/08



10 | Tenth Floor Egress Plan



ratio

100% Compliance  
 Approved by the  
 Fire Department  
 100% Compliance  
 Approved by the  
 Fire Department



100% Compliance  
 Approved by the  
 Fire Department  
 100% Compliance  
 Approved by the  
 Fire Department

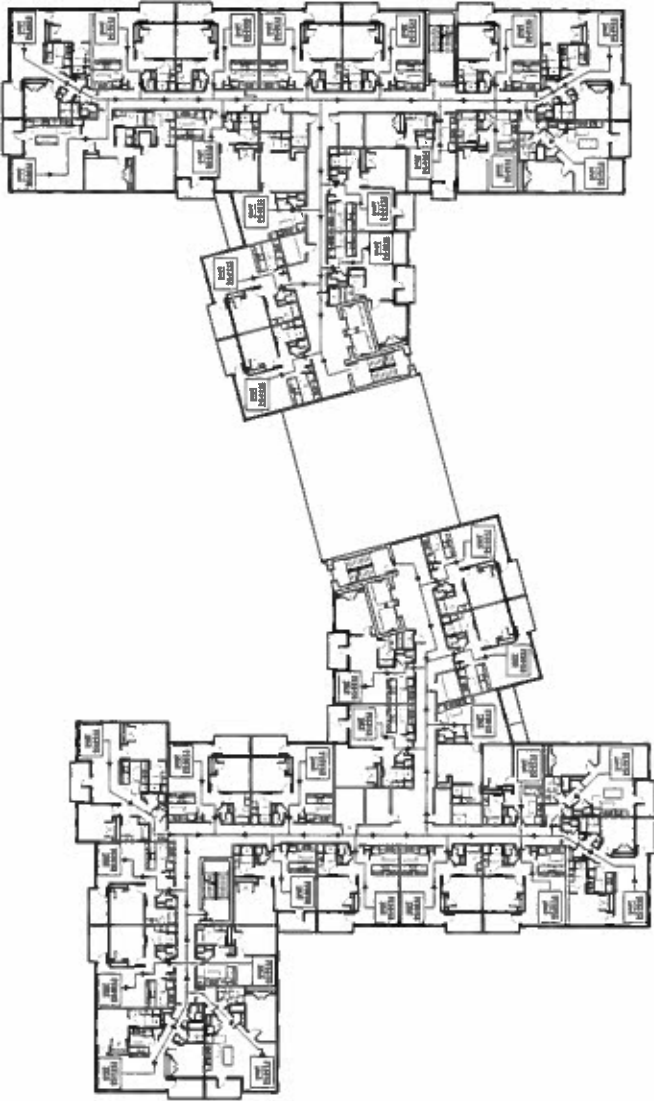
RT2 - Reynolds Tower 02

Richard King  
 100% Compliance  
 Approved by the  
 Fire Department

FP 10

Tenth Floor  
 Egress Plan

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**01** ELEVENTH FLOOR EXPRESS PLAN

RT2 - Reynolds Tower 02

**FP 11**

ELEVENTH FLOOR  
EXPRESS PLAN

11.000.00

ratio

100% Reinforced Concrete  
Reynolds Tower 02  
11.000.00



11.000.00  
S.P. Submittal  
11.000.00  
S.P. Complete Requirements

11.000.00  
S.P. Submittal  
11.000.00  
S.P. Complete Requirements

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A4 01

RT2 - Reynolds Tower 02

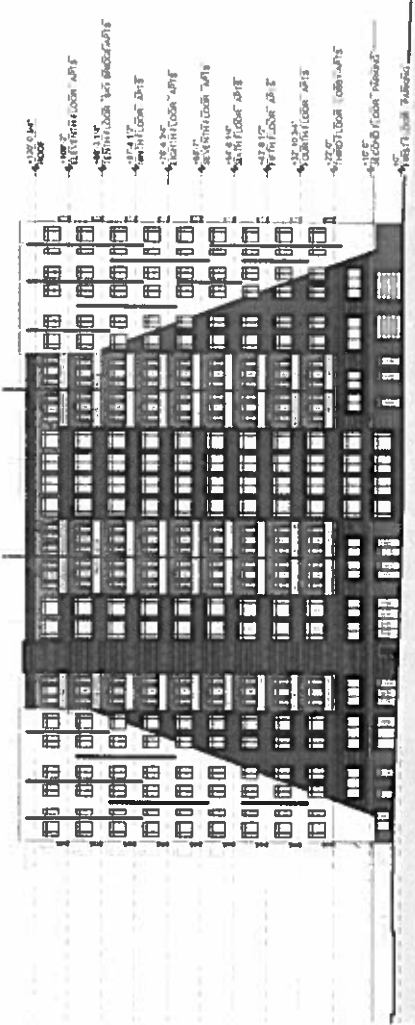
8 GEORGE STREET  
SYDNEY NSW 2000



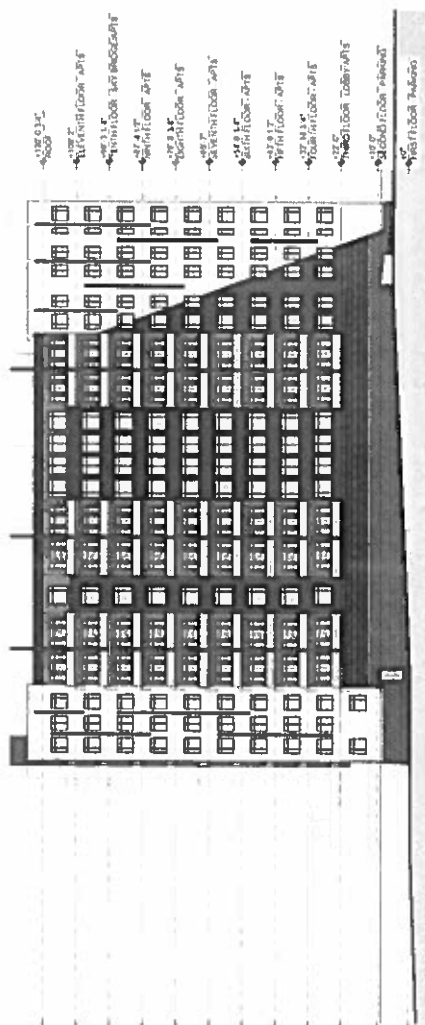
CORNERSTONE  
ARCHITECTURE  
P.O. BOX 207  
121 CANTON ST  
SYDNEY NSW 2000  
PH: (61) 2 9231 1111  
WWW.CORNERSTONEARCHITECTURE.COM

RT2 - Reynolds Tower 02  
121 CANTON ST  
SYDNEY NSW 2000  
PH: (61) 2 9231 1111  
WWW.CORNERSTONEARCHITECTURE.COM

ratio

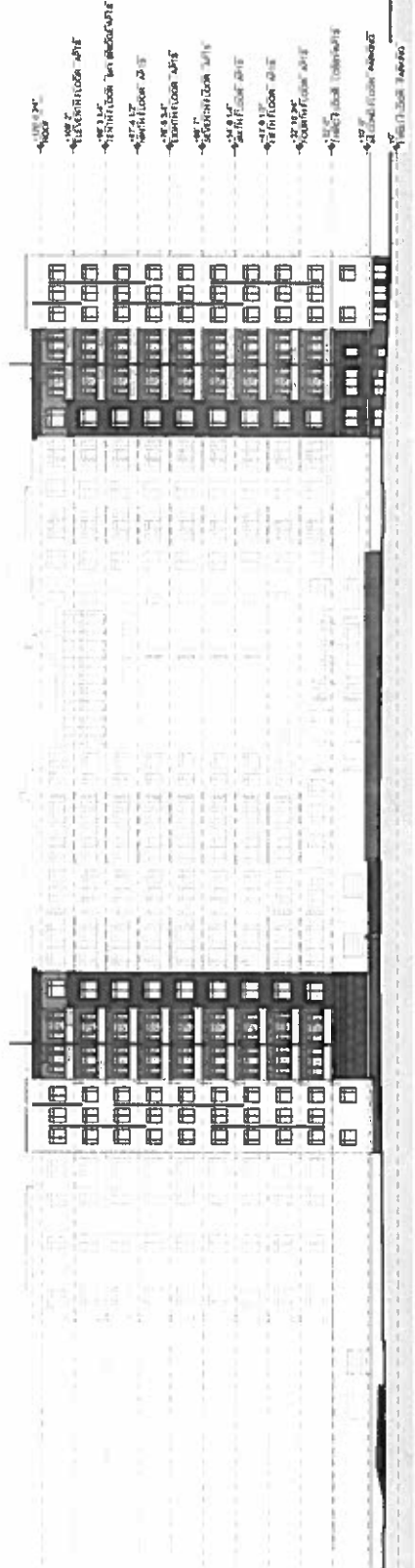


EAST ELEVATION  
SCALE 1:100

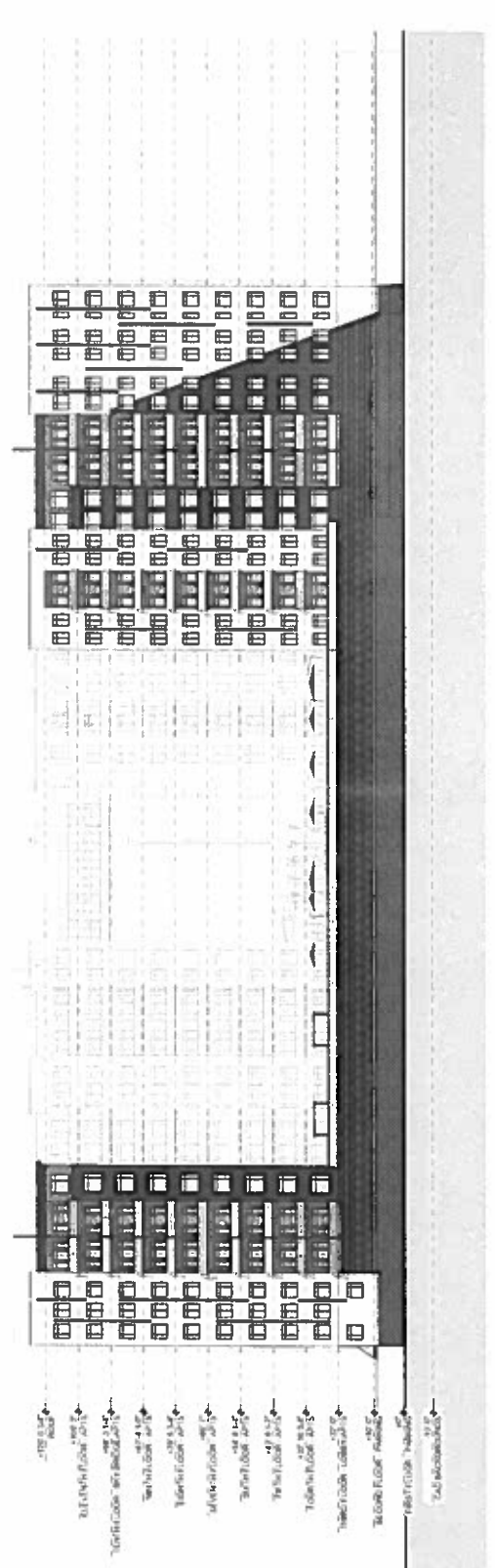


WEST ELEVATION  
SCALE 1:100

3 SOUTH ELEVATION



3 NORTH ELEVATION



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A4 02

RT2 - Reynolds Tower 02



ratio

EXTENSION

1000 Reynolds Street  
Plymouth, Virginia

A403

QUAD A1 EXTERIOR ELEVATIONS

RT2 - Reynolds Tower 02

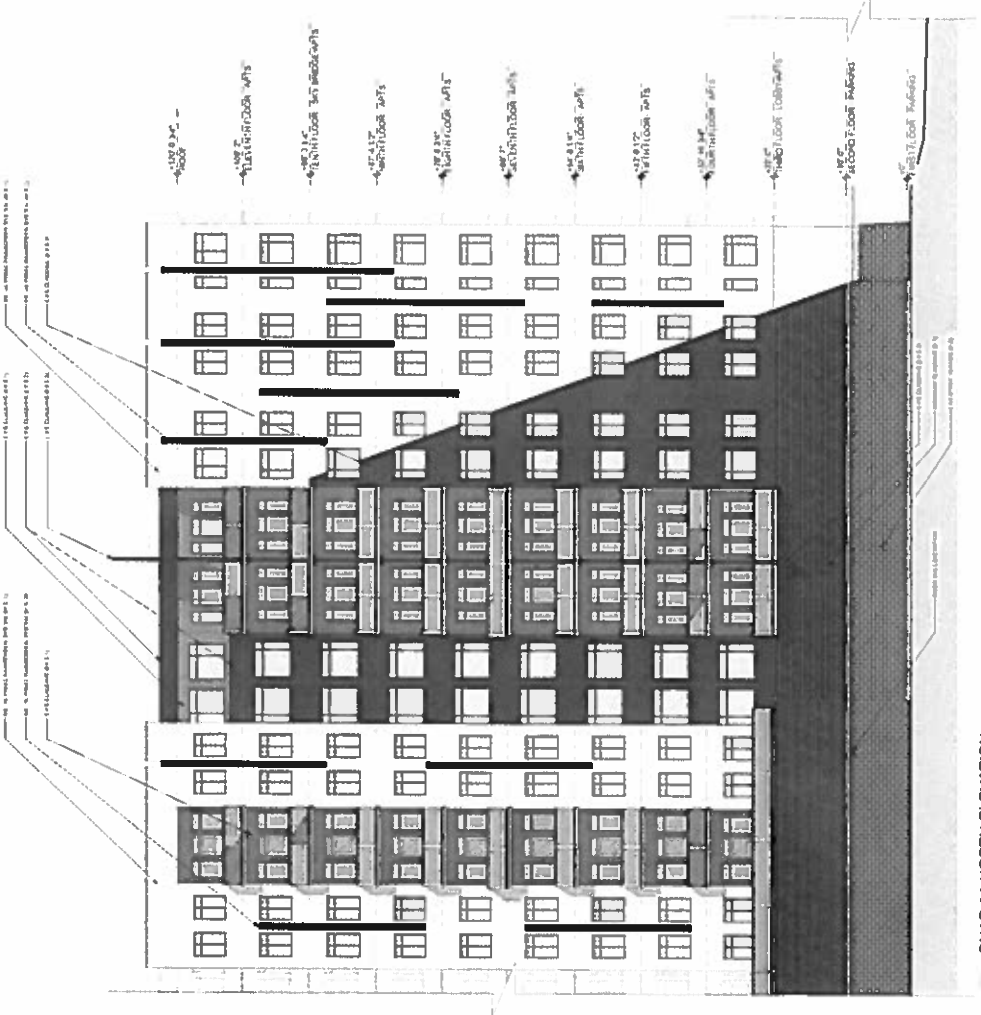
ratio



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01 QUAD A1 WEST ELEVATION

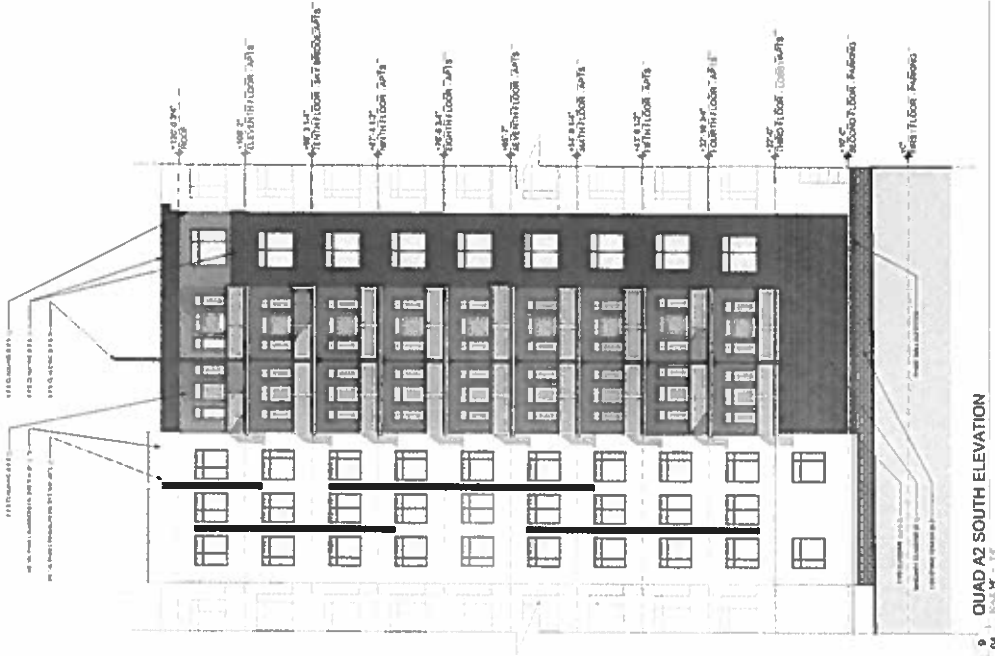


02 QUAD A1 NORTH ELEVATION

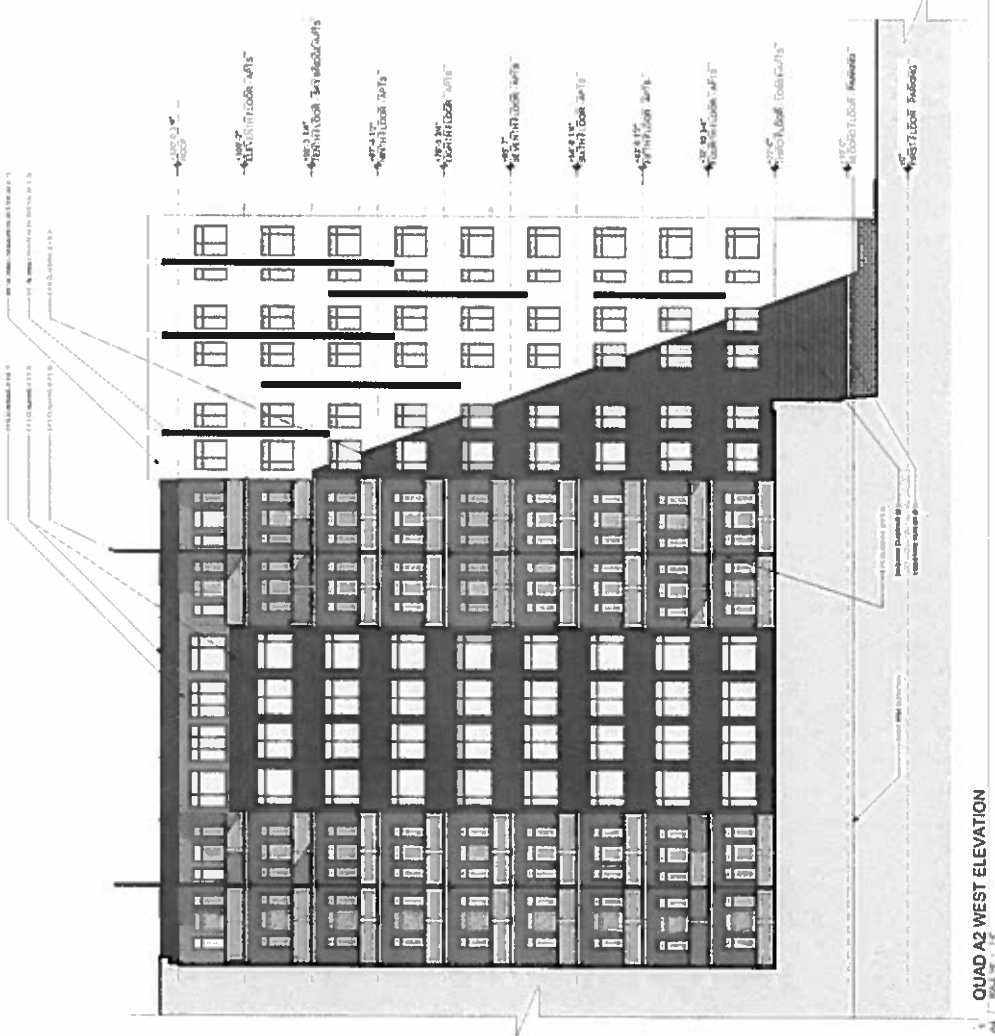
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ratio


  
 CONCRETE CONSTRUCTION
   
 1111 S. 1st St.
   
 Suite 100
   
 Phoenix, AZ 85004
   
 (602) 498-1111
   
 www.concreteconstruction.com



QUAD A2 SOUTH ELEVATION



QUAD A2 WEST ELEVATION



**A4 05**

QUAD B1 EXTERIOR ELEVATIONS

DATE: 02/27/19

**RT2 - Reynolds Tower 02**

3033 Fulton Street  
Overland Park, KS

**CONNERSTONE**  
ARCHITECTS  
1111 W. 19th St., Suite 200  
Overland Park, KS 66209  
TEL: 913.241.7900  
WWW.CONNERSTONEARCHITECTS.COM

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**QUAD B1 NORTH ELEVATION**



**QUAD B1 EAST ELEVATION**



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A4 06

RT2 - Reynolds Tower 02

500 Piedmont Street  
Norfolk, Virginia

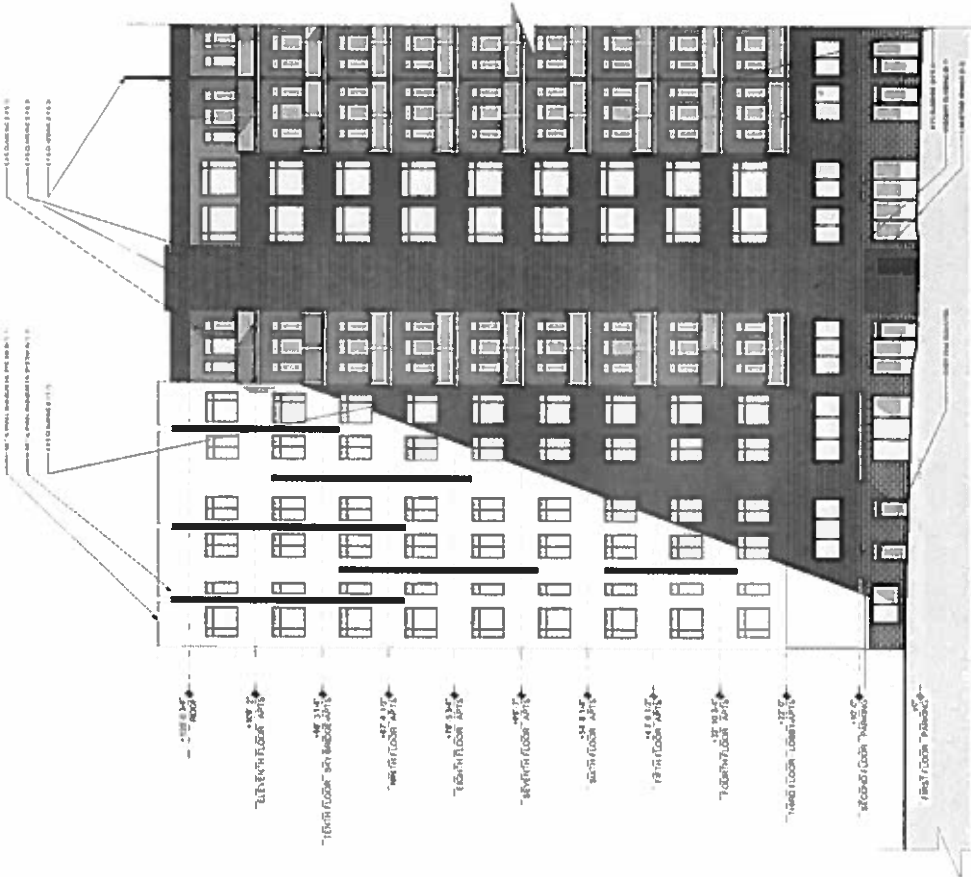
CONSTRUCTION  
DRAWINGS

DATE: 08/20/18



CONNESTONE  
ARCHITECTURE  
1115 14th Street, Suite 200  
Norfolk, VA 23510  
757.644.1111  
www.connestone.com

ratio



5 QUAD B2 EAST ELEVATION

06



1 QUAD B2 SOUTH ELEVATION

06

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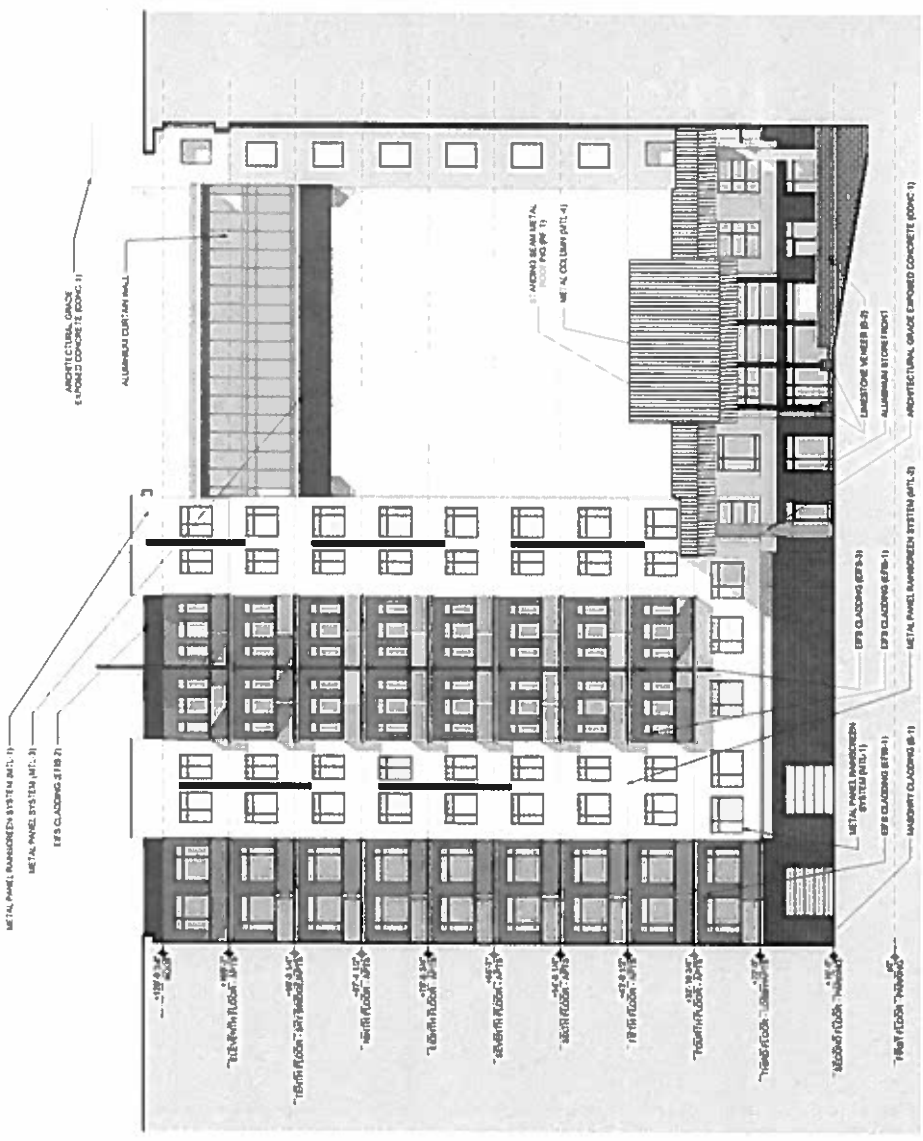
A4 07

SOUTHEAST  
ELEVATION

RT2 - Reynolds Tower 02  
Renaissance Virginia  
1001 E. Main Street  
Richmond, Virginia

CONNERSTONE  
ARCHITECTURE  
1001 E. Main Street  
Richmond, VA 23219  
703.348.1234  
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ratio



SOUTHEAST EXTERIOR ELEVATION

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A4 08

NORTHWEST  
ELEVATION  
ELEVATION

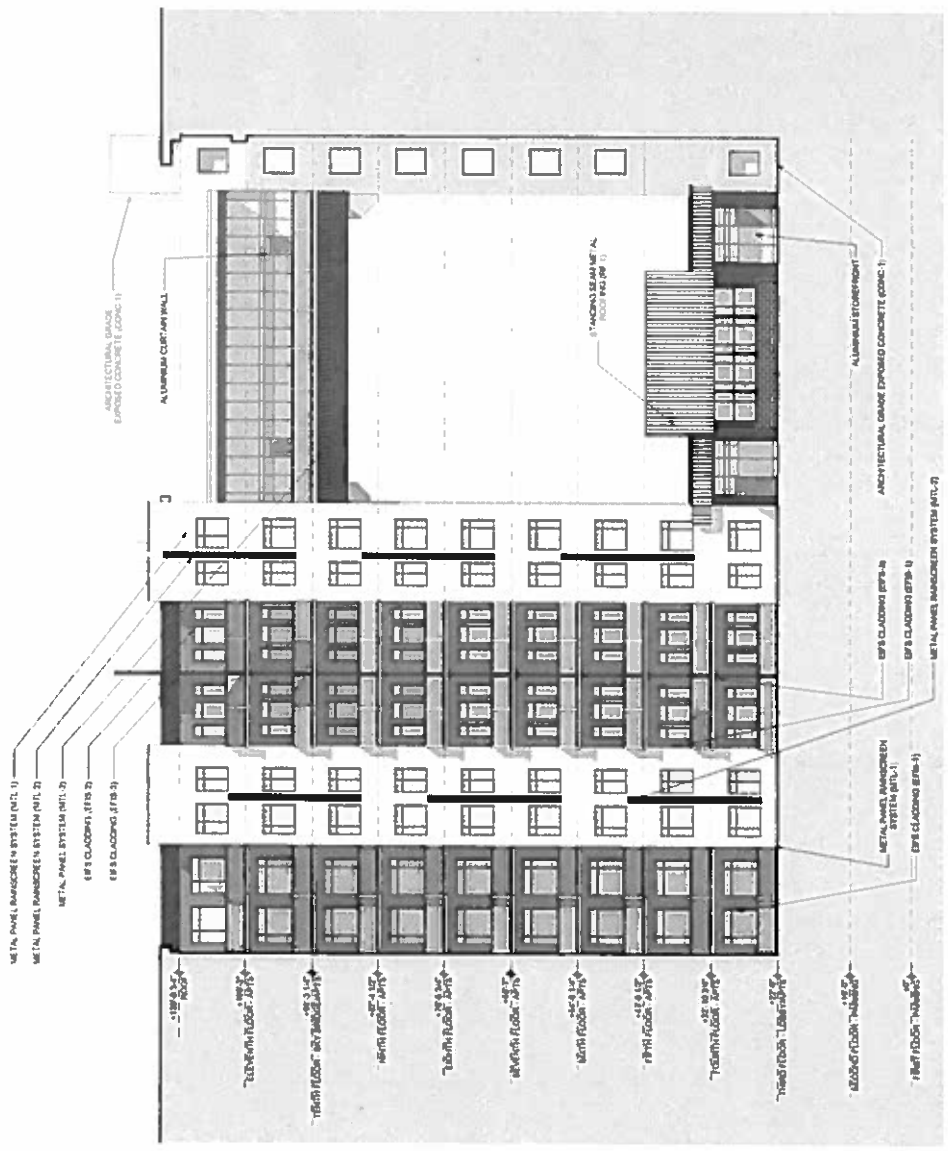
RT2 - Reynolds Tower 02

RT2 - Reynolds Tower 02  
Reynolds Tower 02  
11100 Reynolds Blvd  
Dallas, TX 75241



11100 Reynolds Blvd  
Dallas, TX 75241  
11100 Reynolds Blvd  
Dallas, TX 75241

r a t i o



1 NORTHWEST EXTERIOR ELEVATION

A4 09

INTERIOR EASTERN OVER ELEVATION

DATE: 02/27/18

RT2 - Reynolds Tower 02  
C.D. PETERSON ARCHITECTS  
10000 Reynolds Blvd  
Reynolds, VA 22040

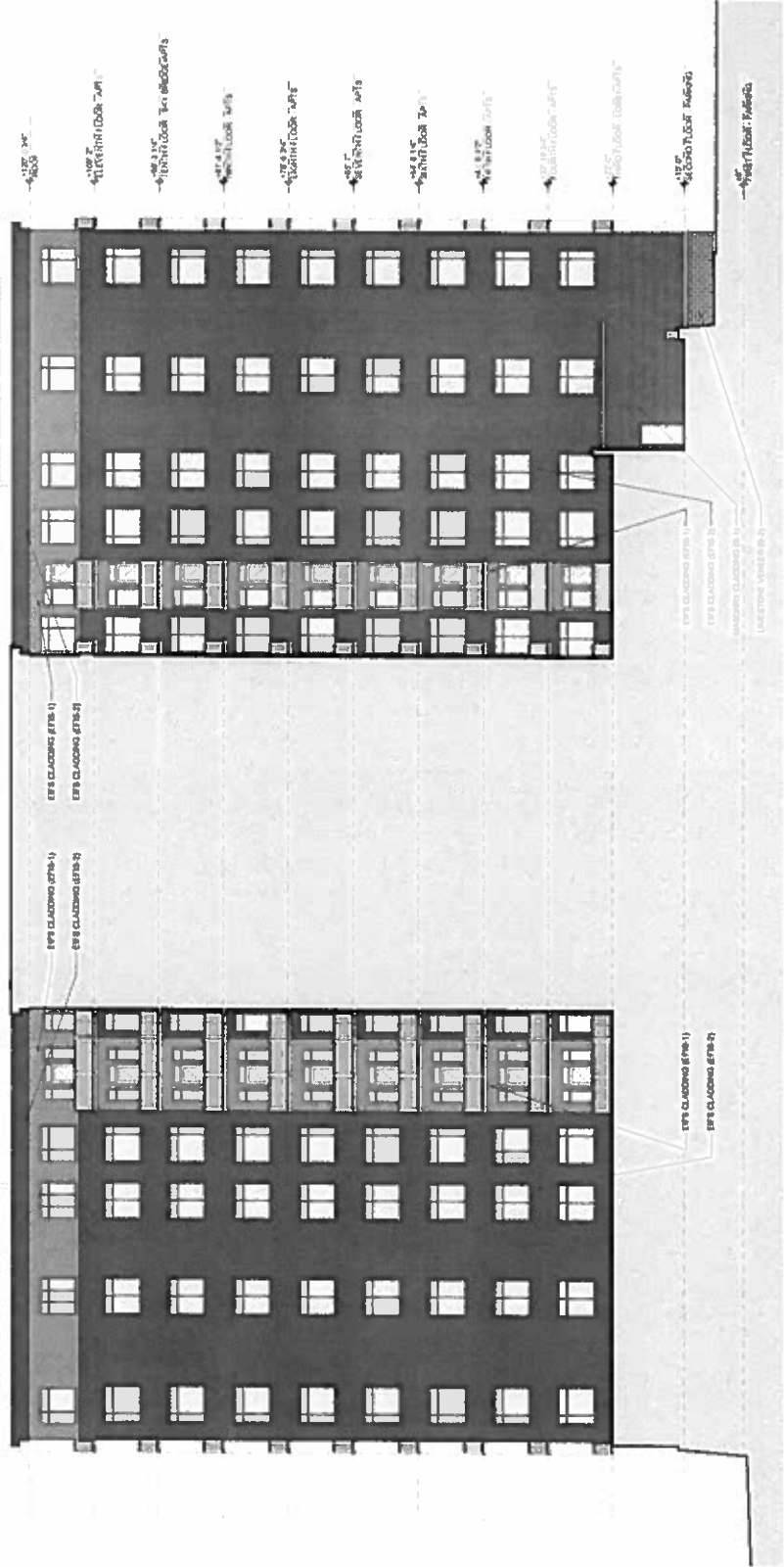
**CORNERSTONE**  
ARCHITECTS

10000 Reynolds Blvd  
Reynolds, VA 22040  
Tel: 703.432.1234  
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10000 Reynolds Blvd  
Reynolds, VA 22040  
Tel: 703.432.1234  
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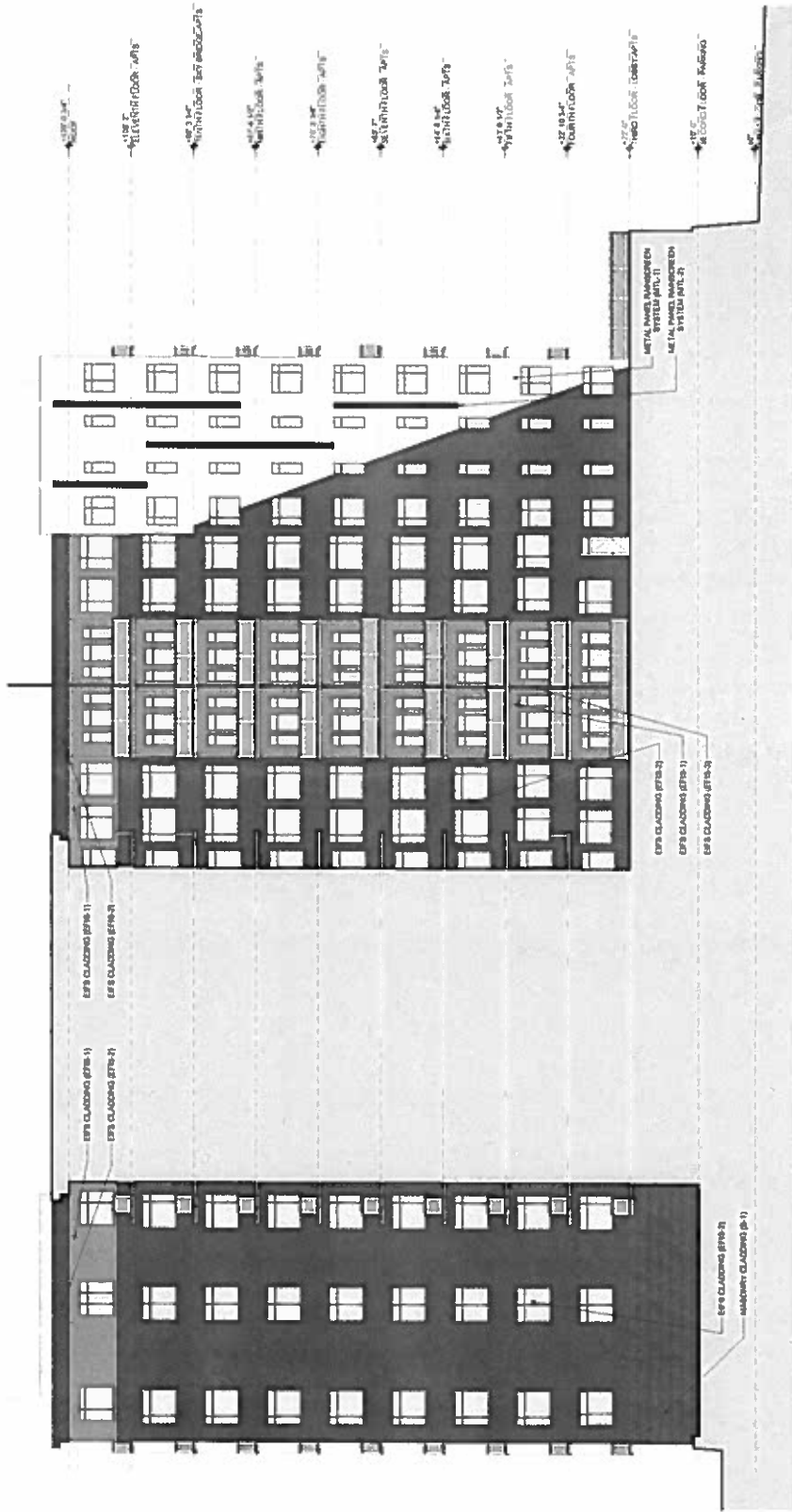


INTERIOR EASTERN TOWER ELEVATION

1  
2  
3  
4

ratio

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INTERIOR WESTERN TOWER ELEVATION

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A4 10

REYNOLDS WESTERN TOWER ELEVATION

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 Phoenix, AZ 85004  
 Phone: 602.441.1100  
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 www.connerstone.com

REYNOLDS WESTERN TOWER ELEVATION