

* BUILDING FOOTPRINTS ON ADJACENT PROPERTIES ARE APPROXIMATED BASED ON AERIAL PHOTOGRAPHS AVAILABLE ONLINE



CONTEXTUAL SITE PLAN

1" = 40'-0"

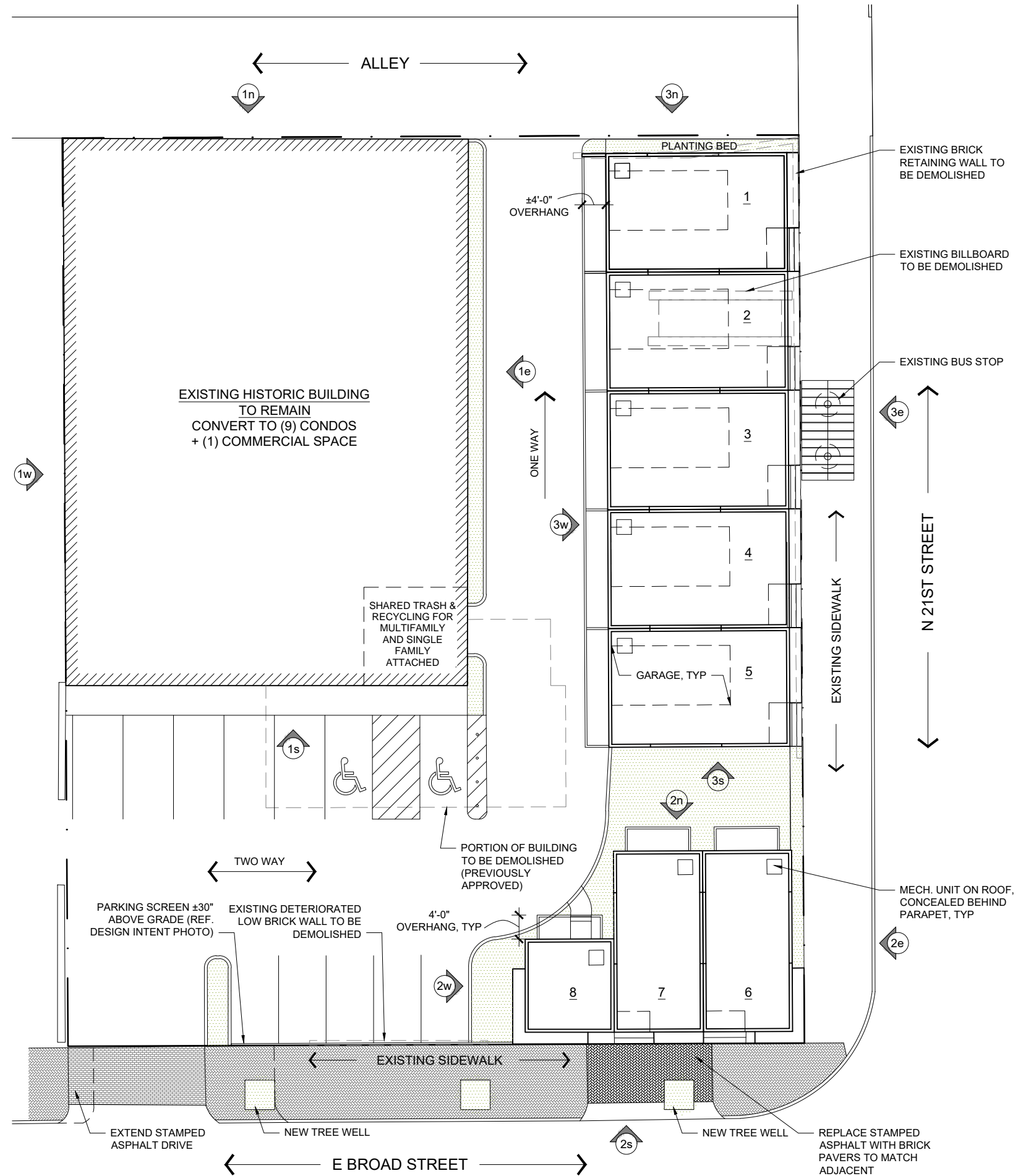
CITY OF RICHMOND CAR SUBMISSION | 04.30.2021

N 21ST & E BROAD | CRESCENT DEVELOPMENT





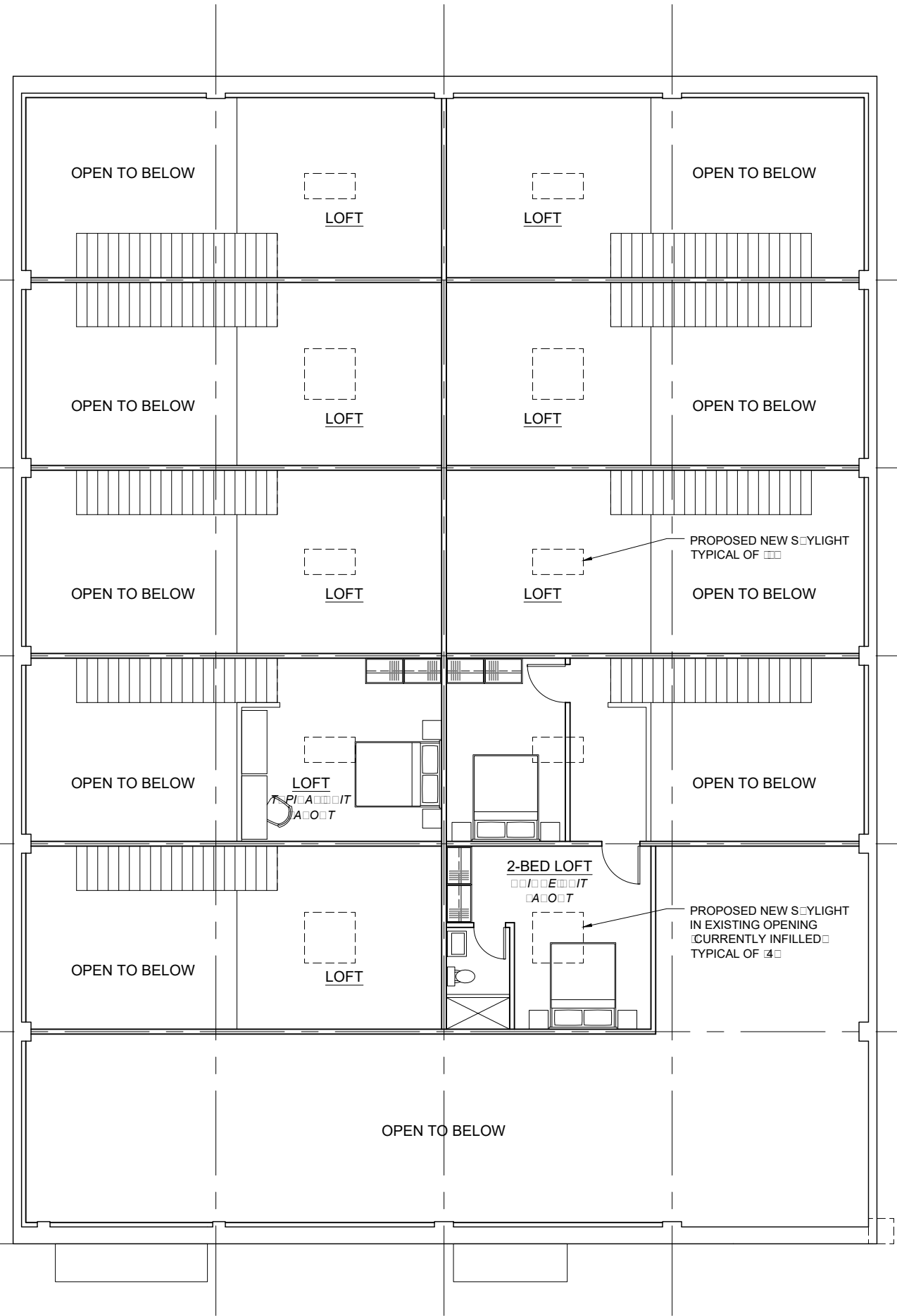
DESIGN INTENT - PARKING SCREEN (REFERENCED FOR STYLE, HEIGHT TO BE +/-30")



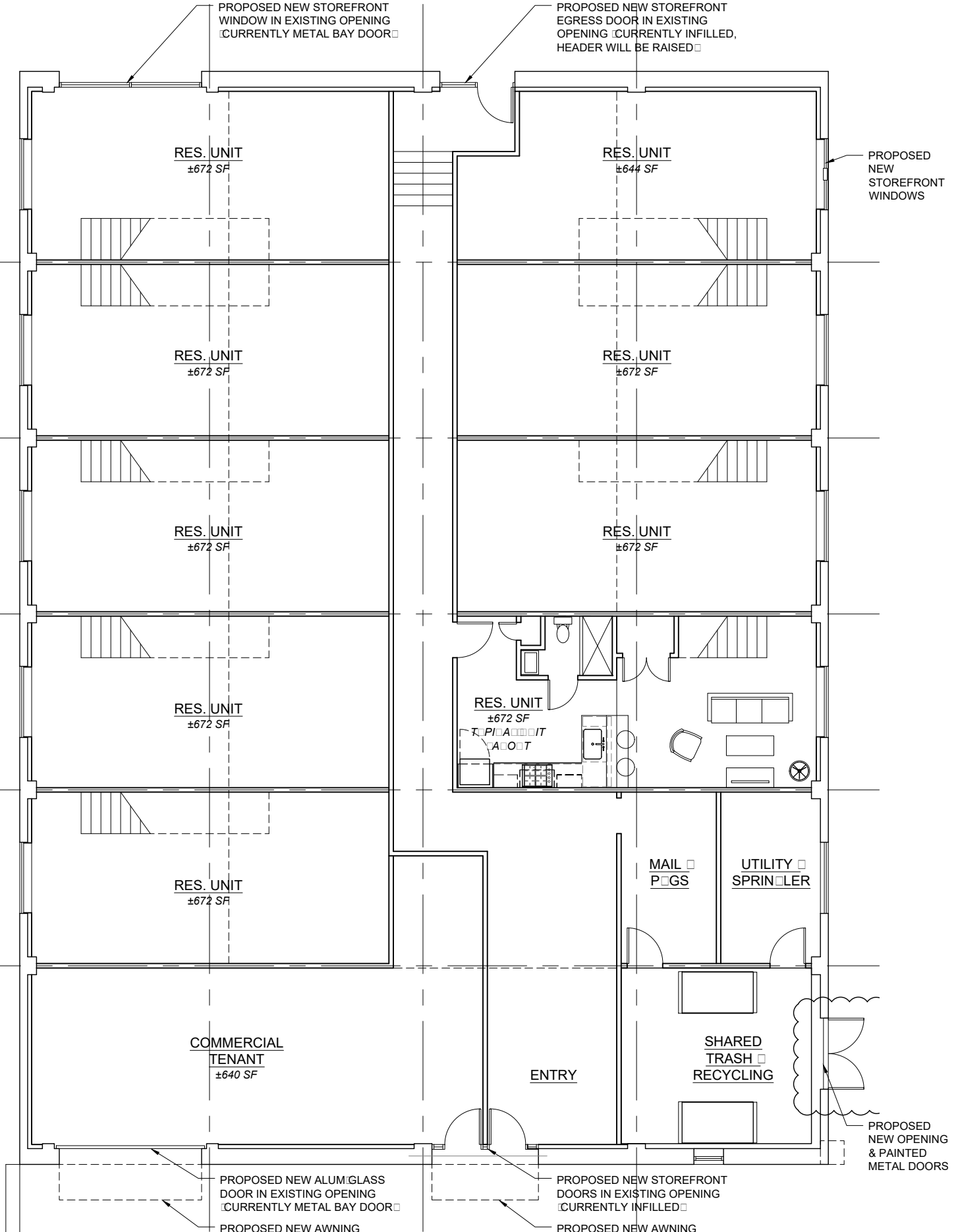
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N 21ST & E BROAD | CRESCENT DEVELOPMENT

ARCHITECTURAL SITE PLAN
1" = 20'-0"

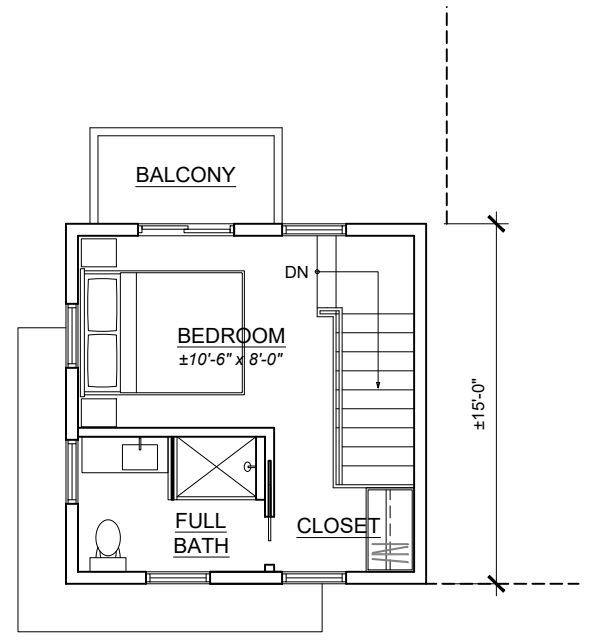
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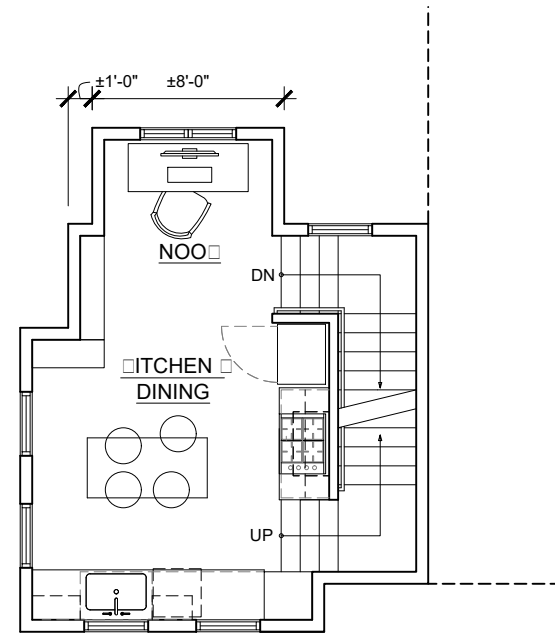
LEVEL 2



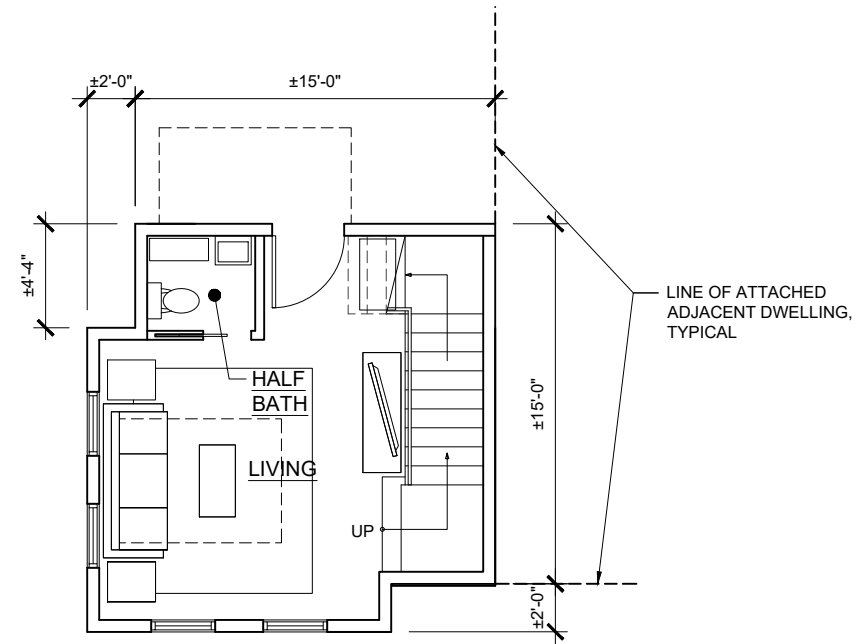
LEVEL 1



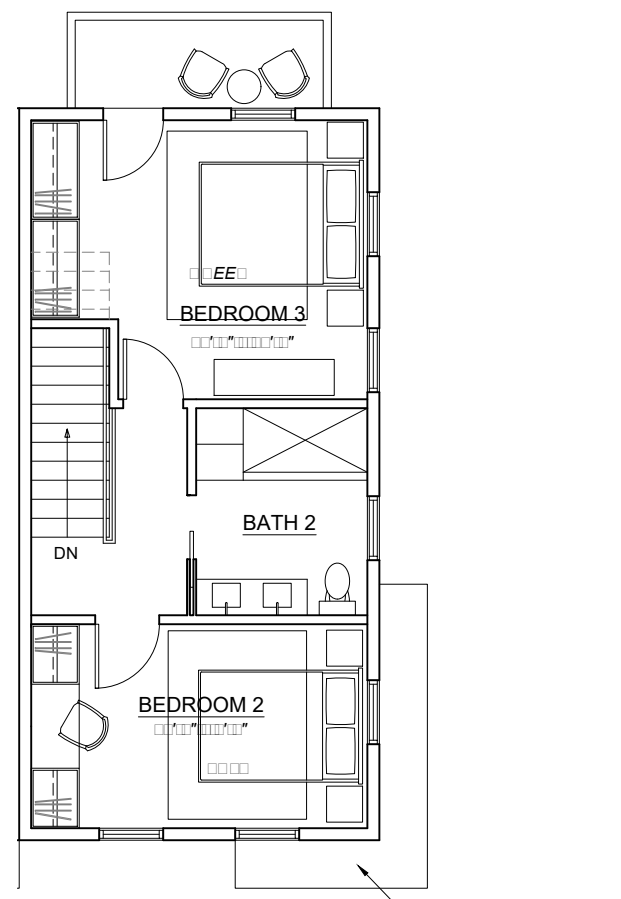
LEVEL 3
 IT
 ±225 sf + balcony



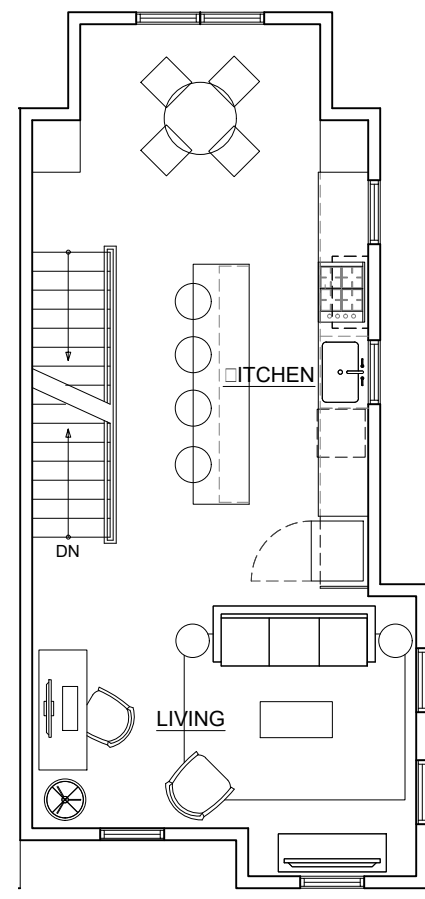
LEVEL 2
 IT
 ±304 sf



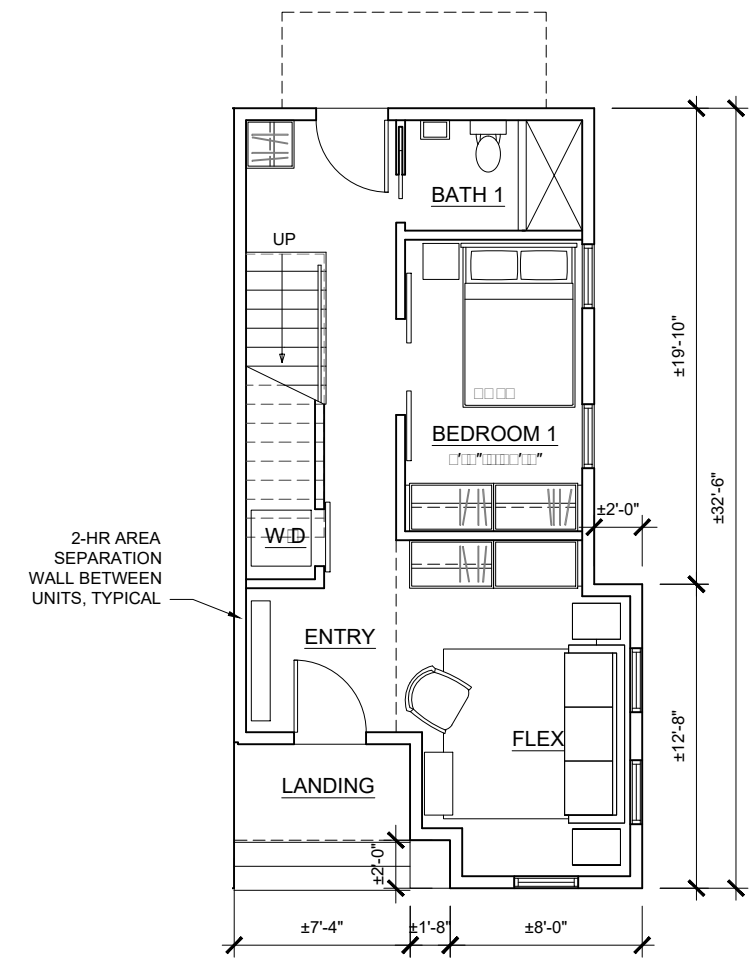
LEVEL 1
 IT
 ±272 sf



LEVEL 3
 ITIMAR
 ±458 sf

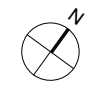


LEVEL 2
 ITIMAR
 ±495 sf

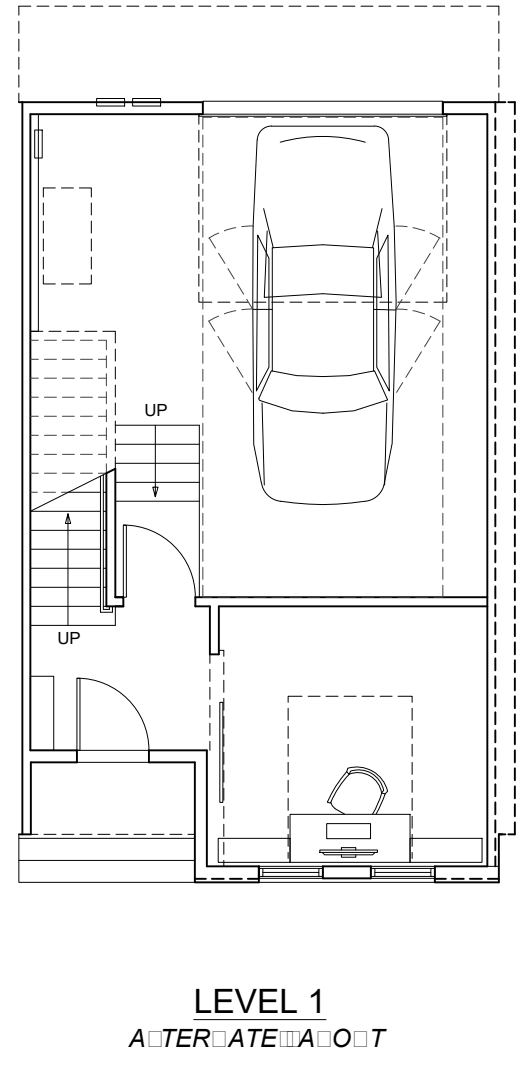
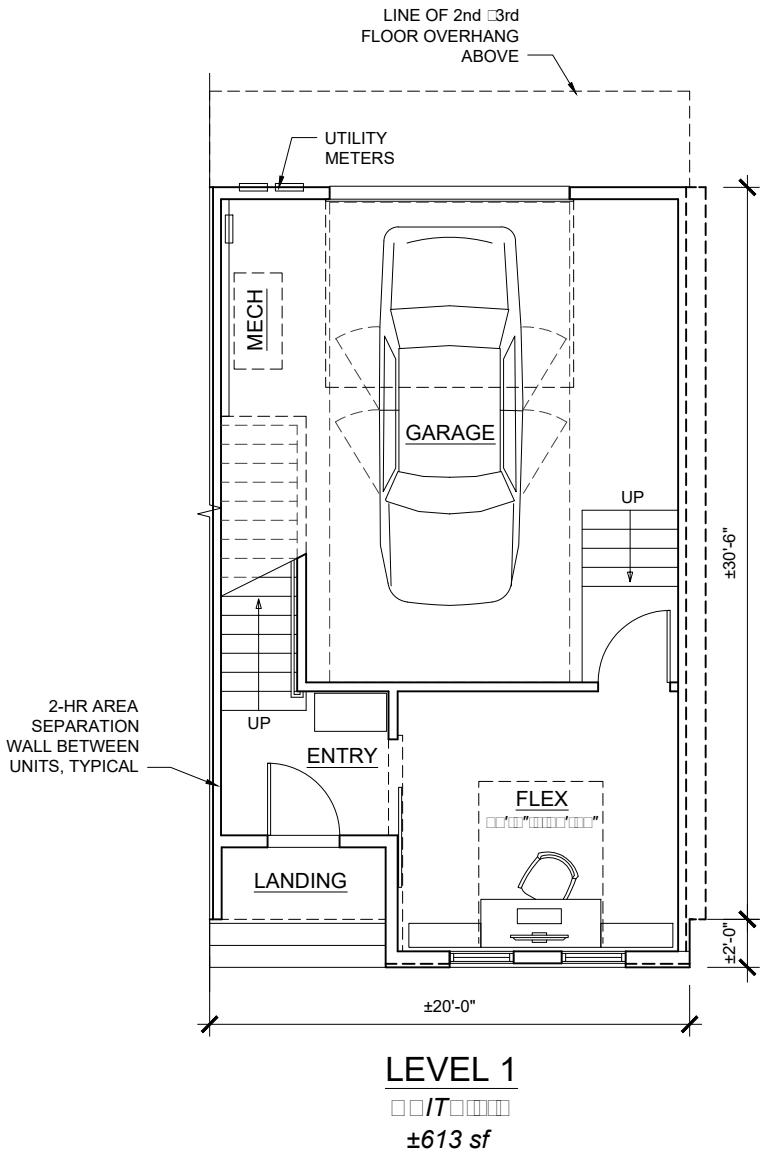
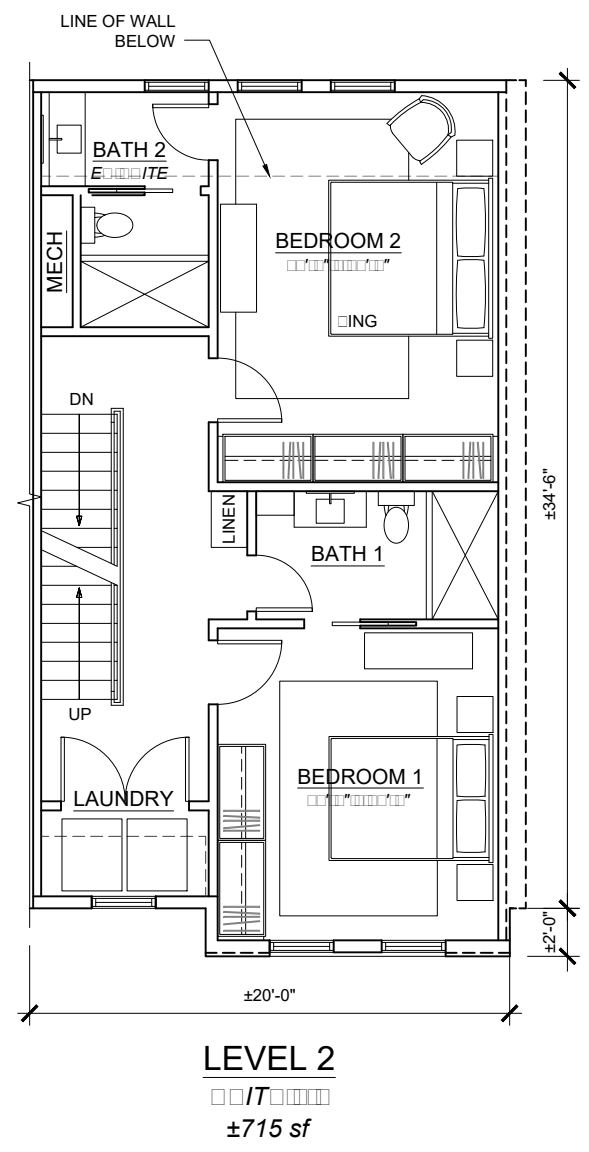
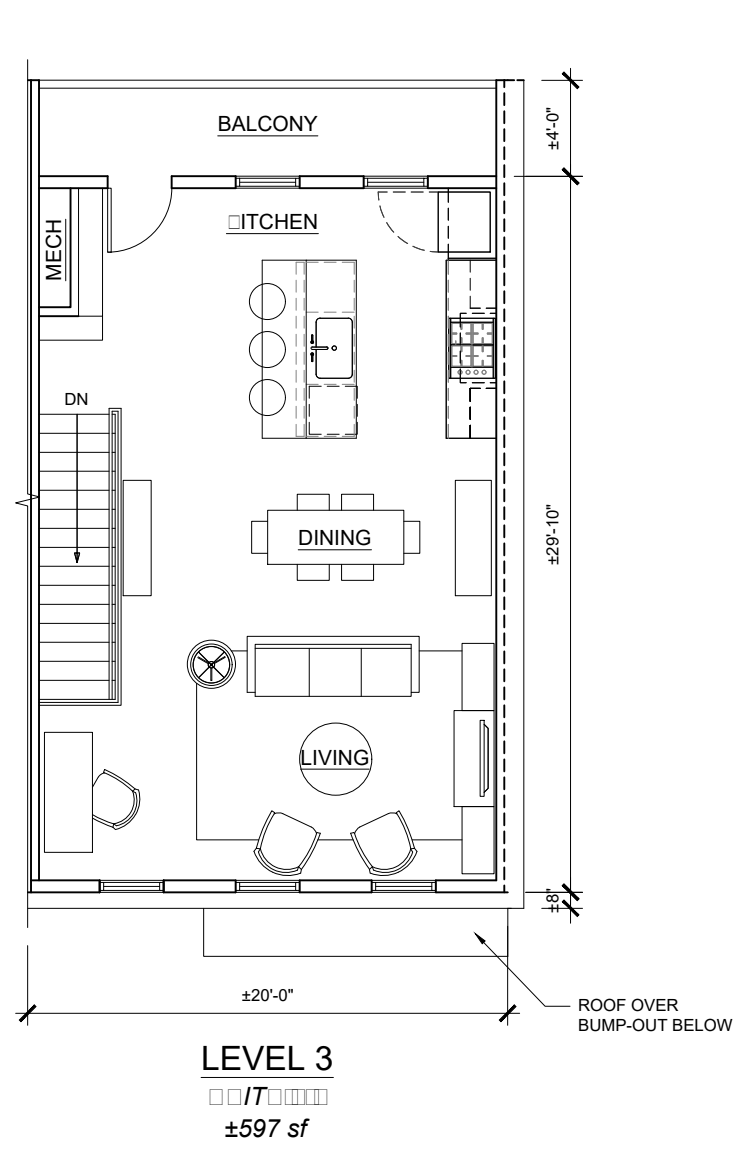


LEVEL 1
 ITIMAR
 ±466 sf

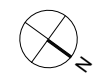
← E BROAD STREET →



1/4" = 1'-0"



← N 21st STREET →





EXAMPLE STOREFRONT DOOR



PRECEDENT - METAL AWNING AMERICAN TOBACCO BUILDING

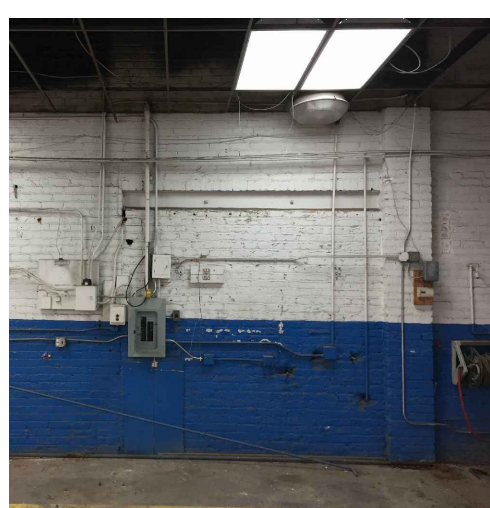


PHOTO S2

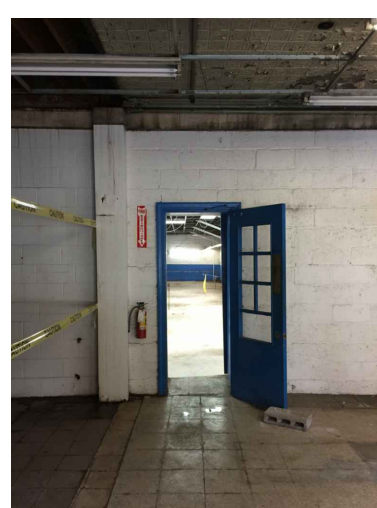
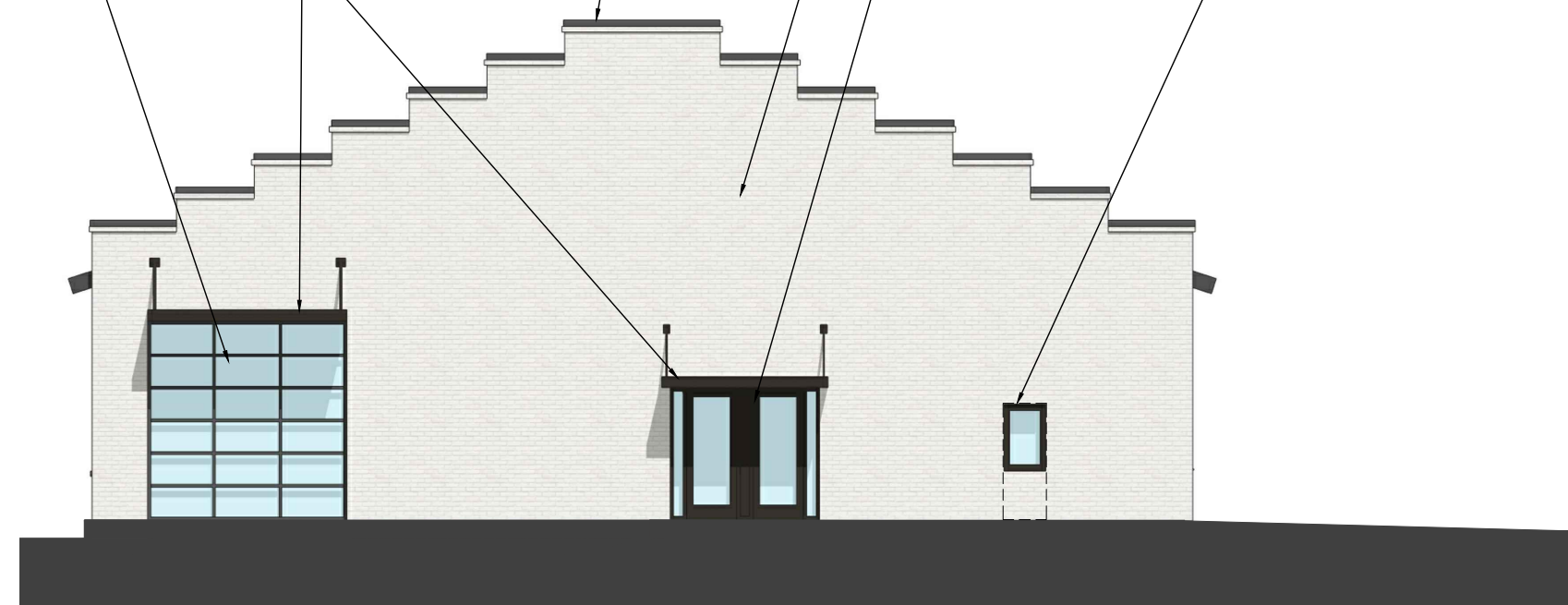


PHOTO S1



EXISTING SOUTH ELEVATION | FACING E BROAD ST

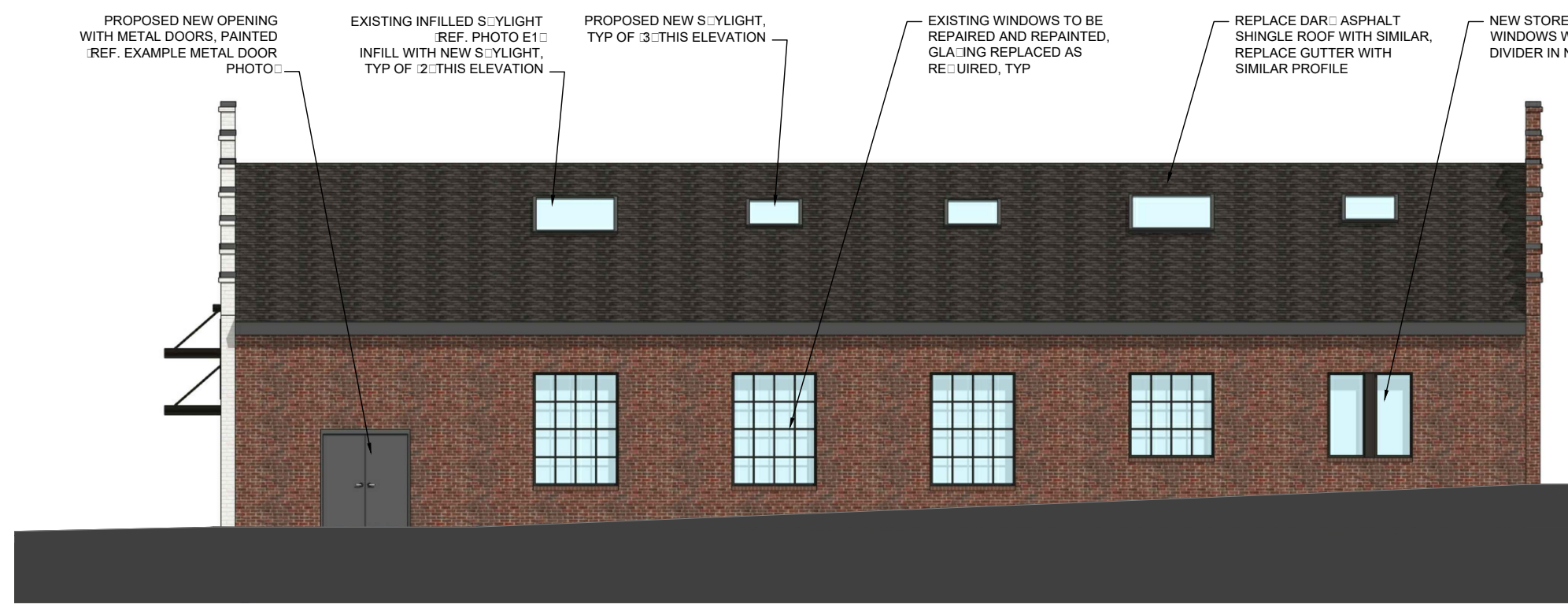
- NEW ALUM:GLASS BAY DOOR AT EXISTING BAY DOOR OPENING
- METAL AWNING (REF. PRECEDENT PHOTO)
- REPAIR / REPLACE METAL COPING (ADD AS REQUIRED TO MAINTAIN BRICK PARAPET, TYP)
- REPAINT WHITE BRICK
- EXISTING INFILLED OPENING (REF. PHOTO S2) INFILL WITH STOREFRONT (REF. EXAMPLE STOREFRONT PHOTO)
- EXISTING DOOR OPENING (REF. PHOTO S1) INFILL WITH WINDOW AND MATCHING BRICK BELOW



PROPOSED SOUTH ELEVATION | FACING E BROAD ST 1s



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION 1e



EXAMPLE METAL DOOR TO BE PAINTED TRICORN BLACK

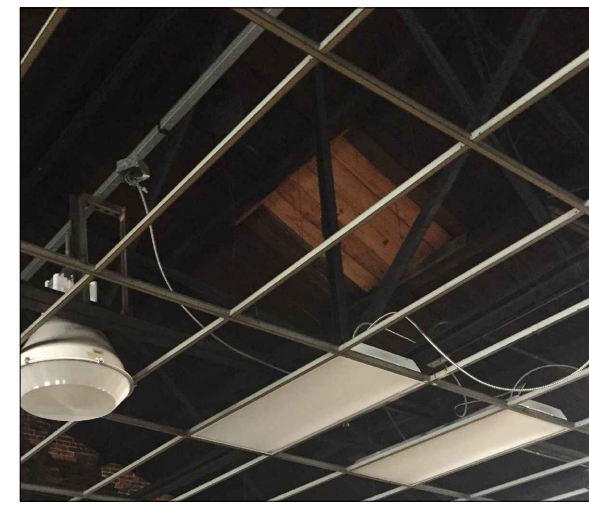
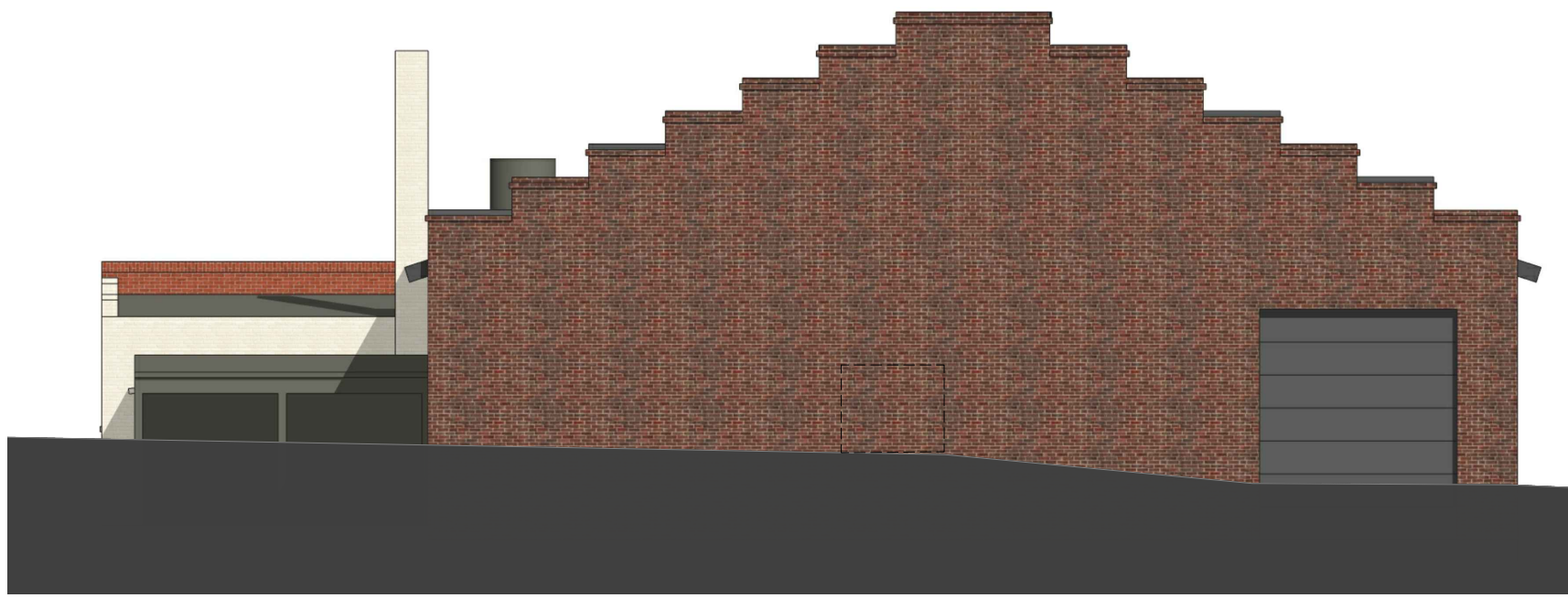


PHOTO E1



EXISTING NORTH ELEVATION (FACING PUBLIC ALLEY)



PHOTO N1



- REPAIR / REPLACE METAL COPING
ADD AS REQUIRED TO MAINTAIN
BRICK PARAPET, TYPE
- EXISTING INFILLED OPENING (REF. PHOTO N1)
INFILL WITH STOREFRONT EGRESS DOOR
WITH SIDELITE (RAISE HEAD TO COORDINATE
WITH ALLEY GRADE)
- NEW STOREFRONT
WINDOW AT EXISTING
BAY DOOR OPENING

PROPOSED NORTH ELEVATION (FACING PUBLIC ALLEY) 1n



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION **1w**

EXISTING GARAGE [] / [] / [] / [] | WEST ELEVATIONS

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3/32" = 1'-0"

N 21ST & E BROAD | CRESCENT DEVELOPMENT



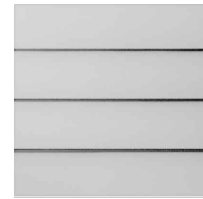
EXTERIOR FINISH LEGEND



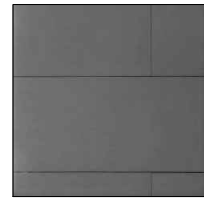
BRICK-1
RED BRICK
SIMILAR TO EXISTING BUILDING TO REMAIN ON PROPERTY, SIDE & REAR FACADES



BRICK-2
PAINTED BRICK (WHITE)
MATCH EXISTING BUILDING TO REMAIN ON PROPERTY, FRONT FACADE



FIBER-CEMENT LAP SIDING
±4" EXPOSURE, SMOOTH FINISH IN LIGHT, NEUTRAL COLOR - SELECTION TBD
HARDIE PLAN OR SIMILAR



FIBER-CEMENT PANEL
SMOOTH FINISH IN MEDIUM, NEUTRAL COLOR - SELECTION TBD
HARDIE PANEL OR SIMILAR



METAL GUARD
HORIZONTAL INFILL, DARK BRONZE OR BLACK FINISH

GENERAL NOTE: HEIGHT VARIES WITH SIDEWALK. HEIGHTS PROVIDED ARE RELATIVE HEIGHT OF FIRST FLOOR LEVEL TO TOP OF PARAPET. PROPOSED FIRST FLOOR LEVEL IS PROPOSED TO BE APPROXIMATELY 4" ABOVE SIDEWALK, MAXIMUM, AT LOCATION OF ENTRY DOOR



GROUPING 02 | SOUTH ELEVATION (FACING E BROAD ST) 2s



GROUPING 02 | WEST ELEVATION 2w



GROUPING 02 | NORTH ELEVATION 2n

GROUPING 02 | EAST ELEVATION (FACING N 21ST ST) 2e



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N 21ST & E BROAD | CRESCENT DEVELOPMENT

E BROAD ST | RO | P | I | ELEVATIONS

3/32" = 1'-0"

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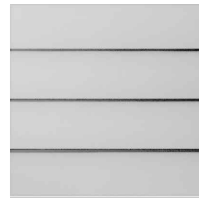
EXTERIOR FINISH LEGEND



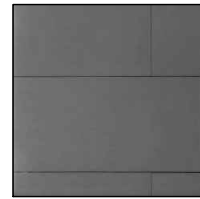
BRICK-1
RED BRICK
SIMILAR TO EXISTING BUILDING TO REMAIN ON PROPERTY, SIDE & REAR FACADES



BRICK-2
PAINTED BRICK WHITE
MATCH EXISTING BUILDING TO REMAIN ON PROPERTY, FRONT FACADE



FIBER-CEMENT LAP SIDING
±8" EXPOSURE, SMOOTH FINISH IN LIGHT, NEUTRAL COLOR - SELECTION TBD HARDIE PLAN OR SIMILAR



FIBER-CEMENT PANEL
SMOOTH FINISH IN DARK, NEUTRAL COLOR - SELECTION TBD HARDIE PANEL OR SIMILAR



METAL GUARD
HORIZONTAL INFILL, DARK BRONZE OR BLACK FINISH

GENERAL NOTE: HEIGHT VARIES WITH SIDEWALK. HEIGHTS PROVIDED ARE RELATIVE HEIGHT OF FIRST FLOOR LEVEL TO TOP OF PARAPET. PROPOSED FIRST FLOOR LEVEL IS PROPOSED TO BE APPROXIMATELY 4" ABOVE SIDEWALK, MAXIMUM, AT LOCATION OF ENTRY DOOR



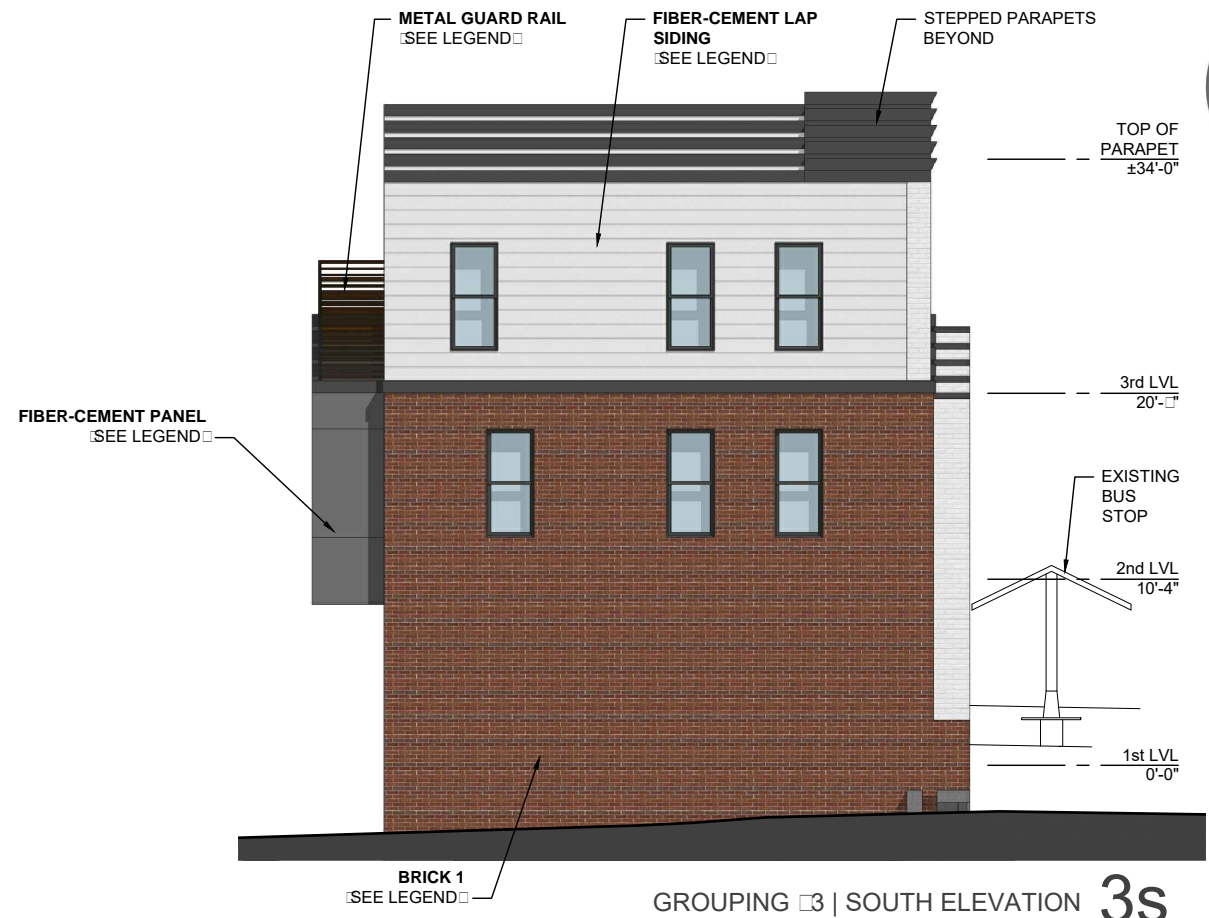
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N 21ST & E BROAD | CRESCENT DEVELOPMENT

N 21ST ST | ROPI | EAST & SOUTH ELEVATIONS

3/32" = 1'-0"

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EE ROPI | EAST ELEVATION

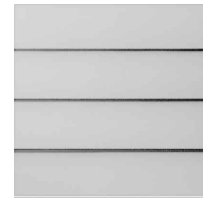
EXTERIOR FINISH LEGEND



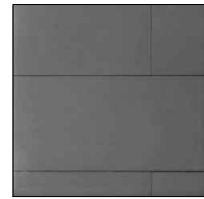
BRICK-1
RED BRICK
SIMILAR TO EXISTING BUILDING TO REMAIN ON PROPERTY, SIDE & REAR FACADES



BRICK-2
PAINTED BRICK WHITE
MATCH EXISTING BUILDING TO REMAIN ON PROPERTY, FRONT FACADE



FIBER-CEMENT LAP SIDING
±8" EXPOSURE, SMOOTH FINISH IN LIGHT, NEUTRAL COLOR - SELECTION TBD
HARDIE PLAN OR SIMILAR

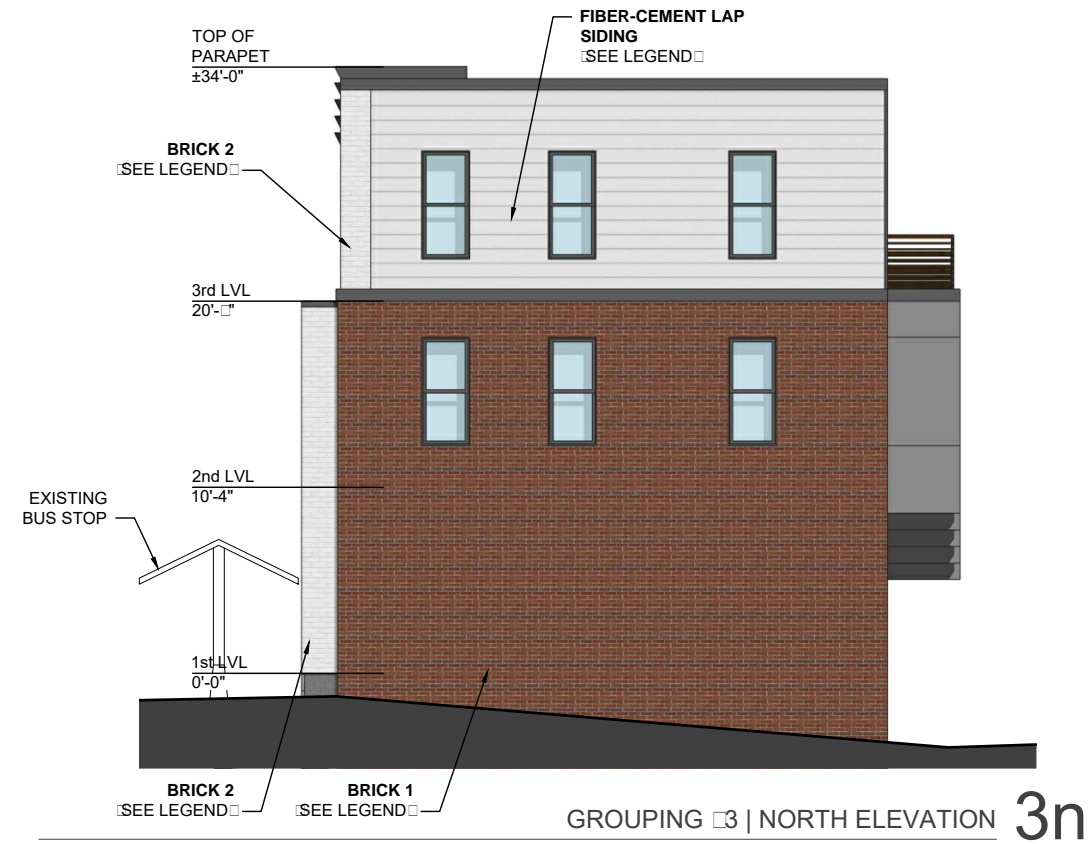


FIBER-CEMENT PANEL
SMOOTH FINISH IN DARK, NEUTRAL COLOR - SELECTION TBD
HARDIE PANEL OR SIMILAR



METAL GUARD
HORIZONTAL INFILL, DARK BRONZE OR BLACK FINISH

GENERAL NOTE: HEIGHT VARIES WITH SIDEWALK. HEIGHTS PROVIDED ARE RELATIVE HEIGHT OF FIRST FLOOR LEVEL TO TOP OF PARAPET. PROPOSED FIRST FLOOR LEVEL IS PROPOSED TO BE APPROXIMATELY 4" ABOVE SIDEWALK, MAXIMUM, AT LOCATION OF ENTRY DOOR



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N 21ST & E BROAD | CRESCENT DEVELOPMENT

N 21ST ST | ROPI | WEST & NORTH ELEVATIONS

3/32" = 1'-0"

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AERIAL VIEW

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N 21ST & E BROAD | CRESCENT DEVELOPMENT





CORNER VIEW
FROM THE E BROAD ST & N 21st STREET INTERSECTION
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N 21ST & E BROAD | CRESCENT DEVELOPMENT



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NORTH VIEW BETWEEN PROPOSED
& EXISTING BUILDINGS FROM ALLEY OFF N 21st STREET

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SOUTHEAST VIEW FROM N 21st STREET

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N 21ST & E BROAD | CRESCENT DEVELOPMENT



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SOUTHWEST OVERALL VIEW FROM E BROAD STREET

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SOUTHEAST PERSPECTIVE VIEW FROM N 21st STREET

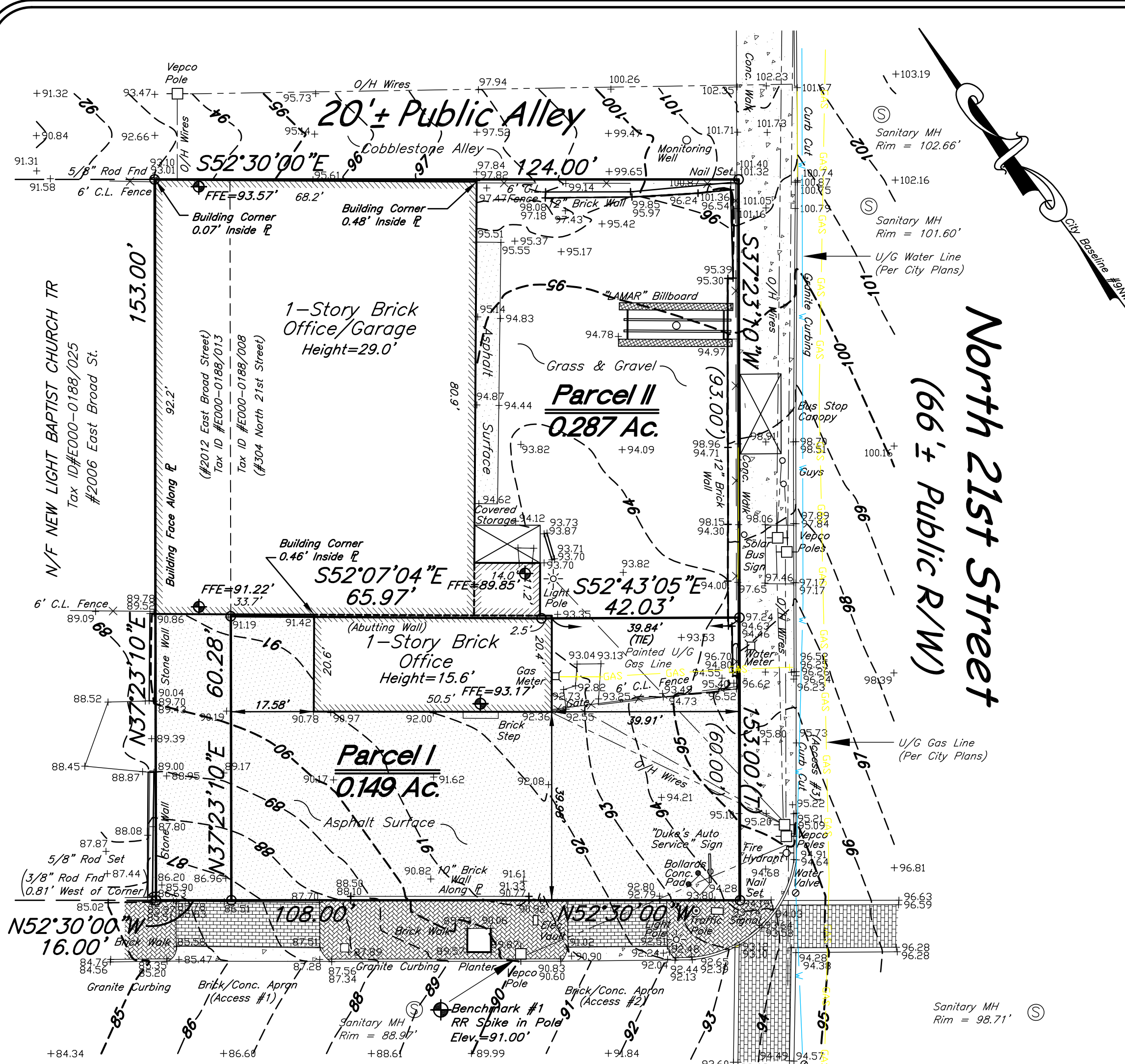
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N 21ST & E BROAD | CRESCENT DEVELOPMENT



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Zoning

Current Zoning: M-1 (Light Industrial)

Setbacks:

Minimum Lot Size: None Required

Maximum Height: 45 Feet

Yard Setbacks:

Front/Street: None Required
 Side: None Required, 25 Feet if abutting or across an alley from a R or RO District
 Rear: None Required, 25 Feet if abutting or across an alley from a R or RO District

Legal Description

PARCEL I:
 THAT certain lot or Land in the City of Richmond, Virginia, situated at the northwestern corner of 21st and Broad Streets, fronting one hundred and eight feet (108') on the northern line of Broad Street, and sixty feet (60') on the western line of 21st Street, the western line of said property being parallel to 21st Street, and running back sixty and twenty-eight hundredths feet (60.28') and the northern lines of said property beginning at a point on the western line of 21st Street sixty feet (60') north of the northern line of Broad Street; thence running in a westerly direction forty-two and three one-hundredths feet (42.03') to a point which point is fifty-nine and eighty-four one hundredths feet (59.84) north of the northern line of Broad Street, thence continuing in a westerly direction sixty five and ninety-seven one hundredths feet (65.97') to a point which point is sixty and twenty-eight one-hundredths feet (60.28') north of the northern line of Broad Street, and one hundred and eight feet (108') west of the western line of 21st Street.

PARCEL II:
 ALL that certain lot, piece or parcel of land situated in the City of Richmond, Virginia, more particularly bounded and described as follows:

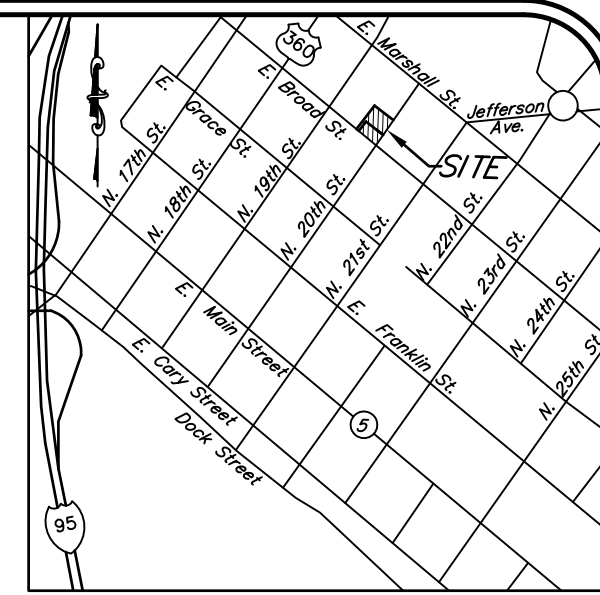
BEGINNING at a point on the Northern line of Broad Street, a distance of one hundred eight and no one hundredths (108.00) feet West of the Western line of Twenty-first Street; thence in a Northerly direction along a line parallel with the Western line of Twenty-first Street, sixty and twenty-eight one hundredths (60.28) feet; thence eastwardly sixty-five and ninety-seven one hundredths (65.97) feet to a point which is fifty-nine and eighty-four one hundredths (59.84) feet North of the Northern line of Broad Street; thence in an eastwardly direction forty-two and three one hundredths (42.03) feet to the Western line of Twenty-first Street, which point is sixty and no one hundredths (60.00) feet North of the Northwest corner of Twenty-first and Broad Streets; thence Northwardly along the Western line of Twenty-first Street ninety-three and no one hundredths (93.00) feet to the southern line of a twenty and no one hundredths (20.00) foot alley; thence in a westerly direction along said southern line of said 20 foot alley one hundred twenty-four and no one hundredths (124.00) feet; thence in a southerly direction and parallel to the western line of Twenty-first Street one hundred fifty-three and no one hundredths (153.00) feet to the Northern line of Broad Street; thence along the Northern line of Broad Street in an easterly direction sixteen and no one hundredths (16.00) feet to the point of beginning.

BEING the same real estate conveyed unto Douglas G. Harris, by Deed from Edward E. Eck, dated October 11, 2002, recorded October 21, 2002, as Instrument Number 02-033036, in the Clerk's Office, Circuit Court, City of Richmond, Virginia.

ALSO BEING the same property described in Title Commitment issued by Safe Harbor Title Company, Commitment No. SHTC16-1357.

Legend

⊕ Fire Hydrant	⊠ Vepco Pole
♿ Handicap Parking Spaces	⊞ Vepco Transformer
# Painted Parking Space Number	⊡ Misc Frame Sign
⊙ Water Meter	⊕ Handi-cap Parking Sign
⊙ Water Valve	⊙ Irrigation Valve
⊙ Lamp Post (Metal Post w/light)	⊙ Yard Inlet (Drainage)
⊙ Drainage Manhole	⊙ Sanitary Cleanout
⊙ Sanitary Manhole	⊙ Concrete Surface
⊙ Cable T.V. Pedestal	⊙ RCP Reinforced Concrete Pipe
⊙ C&P Telephone Pedestal	⊙ CMP Corrugated Metal Pipe
⊙ Gas Test	⊙ D.I. Drainage Inlet
⊙ Gas Valve	⊙ F.F.E. Finish Floor Elevation
	⊙ P.O.B. Point of Beginning



Scale 1" = 1000'

General Notes

- This survey plat represents a current and accurate field transit survey of the premises shown hereon.
Date of last physical survey: February 9, 2018.
- This survey was made with the benefit of a Title Report issued by Safe Harbor Title Company, dated effective as of December 28, 2016 (Commitment No. SHTC16-1357)
- All streets shown hereon are public.
- The legal description does form a mathematically closed figure with no gaps, gores or overlaps.
- Observed utilities and U/G Utilities per City Plans are plotted and shown hereon. Miss Utility will not mark utilities on private property for survey purposes.
- Property has direct access from E. Broad Street & N. 21st Street at curb cuts shown hereon.
- Vertical Datum based upon City of Richmond Benchmark #224 (Converted NAVD '88).

Flood Certification

I have examined the Flood Insurance Rate Map for the City of Richmond, Virginia, Community Panel No. 510129-0041-E, (Panel 41 of 100), effective date July 16, 2014, and hereby certify to the best of my professional knowledge and belief that the property is not located in a Special Flood Hazard Area, but is located in Zone (X) as determined by National Flood Insurance Program, Federal Emergency Management Agency, Department of Housing and Urban Development.

LEGAL REFERENCES:

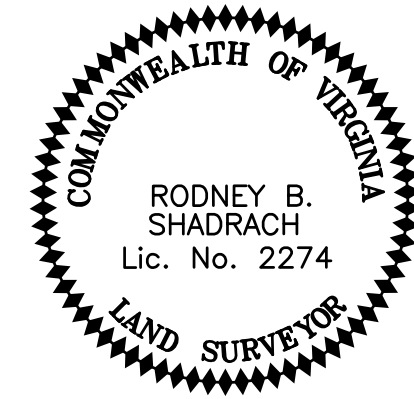
PARCEL I:
 2018 East Broad, LLC
 Instrument #2017-7693
 Tax ID #E000-0188/011
 #2018 East Broad Street

PARCEL II:
 2018 East Broad, LLC
 Instrument #2017-7693
 Tax ID #E000-0188/008
 #304 N. 21st Street

2018 East Broad, LLC
 Instrument #2017-7693
 Tax ID #E000-0188/013
 #2012 East Broad Street

This topographic survey was completed under the direct and responsible charge of, Rodney B. Shadrach, from an actual Ground or Airborne survey made under my supervision; that the imagery and/or original data was obtained on February 9, 2018; and that this plat, map, or digital geospatial data including metadata meets minimum accuracy standards unless otherwise noted.

I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors, and Certified Landscape Architects.



TOPOGRAPHIC SURVEY
 SHOWING EXISTING IMPROVEMENTS
 TO #2012 & #2018 EAST BROAD STREET
 AND #304 N. 21ST STREET
 CITY OF RICHMOND, VIRGINIA
 DATE: FEBRUARY 15, 2018

20 0 20 40 60
 Scale: 1" = 20'

Shadrach & Associates LLC
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 Phone: (804)379-9300 • rod@shadrachsurveys.com