

INTRODUCED: December 8, 2014

AN ORDINANCE No. 2014-263-2015-13

To authorize the special use of the properties known as 1734 North 28th Street, 1736 North 28th Street and a portion of 1738 North 28th Street for the purpose of authorizing up to six single-family detached dwelling units, upon certain terms and conditions.

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JAN 12 2015 AT 6 P.M.

WHEREAS, the owner of the properties known as 1734 North 28th Street, 1736 North 28th Street and a portion of 1738 North 28th Street, which are situated in a R-5 Single-Family Residential District, desires to use such properties for the purpose of up to six single-family detached dwelling units, which use, among other things, does not meet the lot area and width requirements of section 114-410.4 of the Code of the City of Richmond (2004), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: JAN 12 2015 REJECTED: _____ STRICKEN: _____

tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 114-1050.1 of the Code of the City of Richmond (2004), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 1734 North 28th Street, 1736 North 28th Street and a portion of 1738 North 28th Street and identified as Tax Parcel Nos. E000-1086/003, E000-1086/002 and E000-1086/010, respectively, in the 2014 records of the City Assessor, being more particularly shown on a survey entitled “Topographic Survey of 4 Parcels of Land Located on the West Line of North 28th Street and the South Line of Y Street, City of Richmond, Virginia,” as shown on sheet C3 of the plans entitled “Grace Place, New Single Family Detached Homes, 1734-1738 N. 28th St., Richmond, VA 23223,” prepared by Snead Associates, P.C., and dated June 13, 2014, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to six single-family detached dwelling units, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Grace Place, New Single Family Detached Homes, 1734-1738 N. 28th St., Richmond, VA 23223,” prepared by Snead Associates, P.C., and dated December 5, 2014, and the plans entitled “The Zoe,” prepared by Trinity Homes, and dated June 19, 2014, all hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Properties as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The use of the Property shall consist of up to six single-family detached dwelling units, substantially as shown on the Plans. Deviations from the lot layout shown on the Plans shall be permitted, if such deviations are the result of realignment of the proposed alley and are approved by the Director of Planning and Development Review.

(b) Each dwelling unit shall be served by two on-site parking spaces, substantially as shown on the Plans.

(c) Access to the dwelling units shall be provided by means of a new alley that is to be established through the subdivision process and meets the guidelines of the Department of Public Works.

(d) The establishment of the single-family detached dwelling lots, substantially as shown on the Plans, by recording the appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond, shall be completed prior to the submission of building permit applications.

(e) Prior to the issuance of a certificate of occupancy for the dwelling units, landscaping on the lots shall be provided, substantially as depicted on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of building permits.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities

for the drainage of storm or surface water from the Property so as not to adversely affect or damage adjacent property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2004), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 114-1220 of the Code of the City of Richmond (2004), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto;

consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 114-1050.7 through 114-1050.11 of the Code of the City of Richmond (2004), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 114-1080 of the Code of the City of Richmond (2004), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void or when the Special Use of the Property as authorized by this ordinance is abandoned for a period of 730 consecutive calendar days, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia

Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.



City of Richmond

900 East Broad Street
Richmond, VA 23219
www.Richmondgov.com

Item Request File Number: TMP-737

RECEIVED
NOV 24 2014

O & R REQUEST

NOV 13 2014

OFFICE OF CITY ATTORNEY O & R Request

Chief Administration Office
City of Richmond

RECEIVED
NOV 18 2014
Mayor's Office City of Richmond

DATE: November 12, 2014

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: Dwight C. Jones, Mayor *[Signature]*
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Christopher L. Beschler, Interim Chief Administrative Officer *[Signature]*

THROUGH: Peter L. Downey, Jr., Interim Deputy Chief Administrative Officer *[Signature]*

FROM: Mark A. Olinger, Director of Planning and Development Review *[Signature]*

To authorize the special use of the property known as 1734 North 28th Street, 1736 North 28th Street, and a portion of 1738 North 28th Street for the purposes of authorizing up to six (6) single-family detached dwelling units, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 1734 North 28th Street, 1736 North 28th Street, and a portion of 1738 North 28th Street for the purposes of authorizing up to six (6) single-family detached dwelling units, upon certain terms and conditions.

REASON: The proposed single-family dwelling lots would be 3,780 to 3,990 square feet in area and 27 to 28.5 feet in width. The proposed front yard setback is 23 feet; the proposed side yard setback is 3.5 to 5 feet. Per the Zoning Ordinance, R-5 Single-Family Residential lots are to be a minimum of 6,000 square feet in area with a lot width of not less than 50 feet. Front yard setbacks are to be a minimum of 25 feet; side yard setbacks are to be a minimum of 5 feet. The applicant has therefore requested a special use permit.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission once it has been introduced to City Council. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property to be dedicated to residential lots consists of two unimproved parcels of land and a portion of an unimproved parcel of land, totaling 0.53 acres (23,030 sq ft). The property is located at the southwest corner of the intersection of Y Street and North 28th Street, in the City's Woodville neighborhood and the Master Plan's East planning district.

The Land Use Plan of the City of Richmond's Master Plan designates the subject property for Single-Family (Low Density) land use. Primary uses in this category are single-family detached dwellings at densities up to seven units per acre (p. 133). The proposed development would have a residential density of approximately 11 units per acre.

More specifically for the East planning district, the Master Plan states, "The predominant land uses in the District are residential in nature, and these uses should be preserved," and "infill development of like density and use is appropriate (p. 166)."

The subject property and adjacent properties are part of the larger R-5 district that encompasses much of the area. Single-family residential use predominates the area, with some institutional, multi-family residential, and commercial land uses present as well. The lots that front the proposed lots across North 28th Street are just under 4,000 square feet in area and 30 feet in width (with the exception of a double lot that is approximately 7,800 square feet in area and 60 feet in width), at a density of 9 to 10 units per acre.

FISCAL IMPACT: The Department Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

COST TO CITY: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$1,800.00

DESIRED EFFECTIVE DATE: Upon Adoption.

REQUESTED INTRODUCTION DATE: December 8, 2014

CITY COUNCIL PUBLIC HEARING DATE: January 12, 2015

REQUESTED AGENDA: Consent.

RECOMMENDED COUNCIL COMMITTEE: None.

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission, January 5, 2015

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notices)

RELATIONSHIP TO EXISTING ORD. OR RES.: None.

REQUIRED CHANGES TO WORK PROGRAM(S): None.

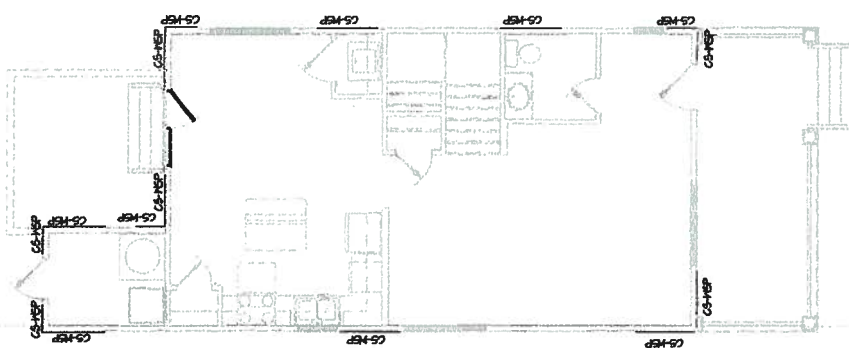
ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans & Survey

STAFF: Matthew J. Ebinger, Senior Planner
Land Use Administration (Room 511)
804-646-6308

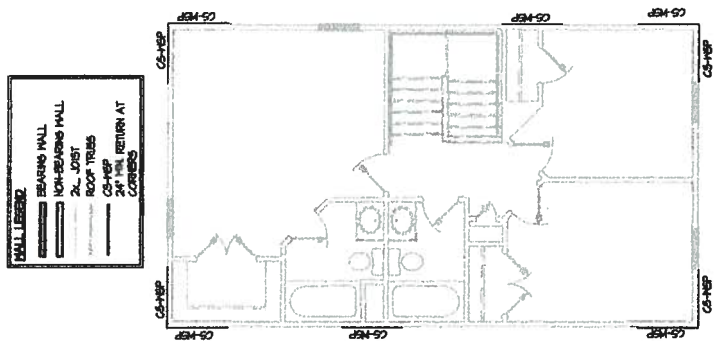
DCD O&R No. 14-48

HALL LAYOUT

- BEARING HALL
- NON-BEARING HALL
- 2x JOIST
- ROOF TRUSS
- CS-HFP
- 2x HALL RETURN AT CORNERS



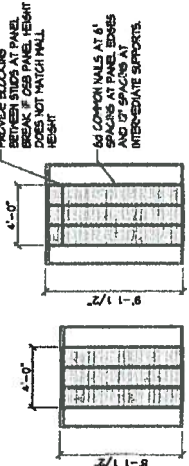
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

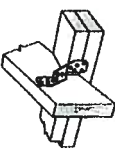
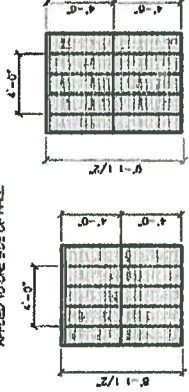
WSP - WOOD STRUCTURAL PANEL

BRACED HALL PANEL PER IRC TABLE 6B2.2(2) 3/4" OSB SHEATHING ON ONE SIDE OF HALL PARTIAL PANEL LENGTH 4'-0"



6B - GYPSUM BOARD

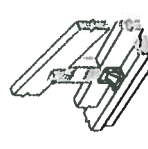
BRACED HALL PANEL PER IRC TABLE 6B2.2(2) 1/2" GYPSUM BOARD NAIL TO STUDS AT 7" O.C. HALLWAY PANEL NAIL TO STUDS AT 16" O.C. BOTH SIDES OF HALL AND 48" MEN APPLIED TO ONE SIDE OF HALL



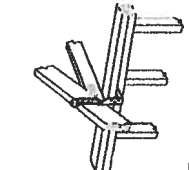
(A) SIMPSON HMA ANCHOR CAPACITY OF 550 POUNDS PER ANCHOR



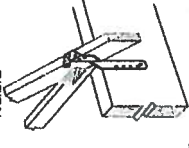
(A2) SIMPSON HMA ANCHOR CAPACITY OF 1070 POUNDS WITH TWO ANCHORS



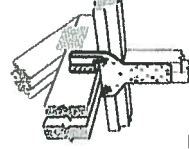
(B) SIMPSON HMA HOLD DOWN CAPACITY OF 500 POUNDS PER ANCHOR



(C) SIMPSON HMA HOLD DOWN CAPACITY OF 860 POUNDS PER ANCHOR



(D) SIMPSON HMA HOLD DOWN CAPACITY OF 1045 POUNDS PER ANCHOR

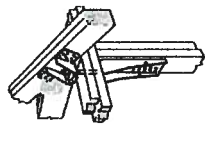


(E1) SIMPSON HMA HOLD DOWN CAPACITY OF 1850 (250) POUNDS PER ANCHOR

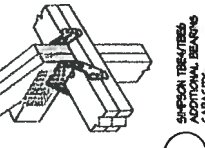
(E2) LOTS OF PLY TRUSS HOLD DOWN CAPACITY OF 2865 (2385) POUNDS PER ANCHOR

(E3) LOTS OF PLY TRUSS HOLD DOWN CAPACITY OF 2865 (2385) POUNDS PER ANCHOR

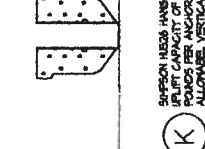
IF PLY TRUSS HOLD DOWN CAPACITY IS IN SPT OR LVL, CAPACITY IS IN SPT OR LVL



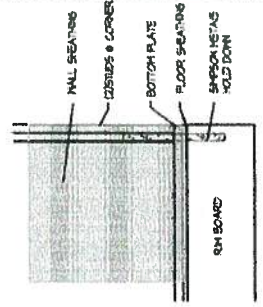
(H) SIMPSON HMA HOLD DOWN CAPACITY OF 5555 (4440) POUNDS PER ANCHOR



(I) SIMPSON HMA ANCHOR CAPACITY OF 1070 POUNDS WITH TWO ANCHORS



(K) SIMPSON HMA ANCHOR - UPLIFT CAPACITY OF 1500 POUNDS PER ANCHOR ALLOWABLE VERTICAL LOAD 700L



SIMPSON HMA HOLD DOWN CAPACITY OF 500 POUNDS PER ANCHOR WITH 100 LB WALLS. STRAP TO BE LOCATED AT EDGE OF BRACED HALL PANEL.

Trinity HOMES
in association with 3DI

Issue Date: 06-May-14
Plot Date: 02-Jul-14

The Zoe
SECTIONS / DETAILS

SHEET NUMBER
S2.3

NOTES: ALL HOLD DOWN VALUES ARE BASED ON SPT LUMBER AND ARE FROM SIMPSON C-201 CATALOG



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondva.gov/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Project Name: Grace Place Single Family Homes Date: June 13, 2014

Property Address: 1734-1738 N. 28th St. 23223 Tax Map #: _____

Fee: \$1,800.00 Total area of affected site in acres: 0.70 Acres
(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning
Current Zoning: R-5

Proposed Use
(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: Vacant
Is this property subject to any previous land use cases?
 Yes No
If Yes, please list the Ordinance Number:

Single Family Detached Homes

Applicant/Contact Person: MR Leroy Chiles

Company: Quality Life of Virginia

Mailing Address: 3416 Garland Ave

City: Richmond State: Va Zip Code: 23222

Telephone: (804) 562-4803 Fax: ()

Email: leroy@qualitylifeofvirginia.com

Property Owner: Quality Life of Virginia

If Business Entity, name and title of authorized signer: MR. Leroy Chiles

Mailing Address: 3416 Garland Ave

City: Richmond State: Va Zip Code: 23222

Telephone: (804) 562-4803 Fax: ()

Email: leroy@qualitylifeofvirginia.com

Property Owner Signature: _____

(The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.)

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 648-6304
<http://www.richmond.gov>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Project Name: GRACE PLACE Date: _____

Property Address: 1738 North 28th Street Tax Map #: E0001086010

Fee: \$1,800 Total area of affected site in acres: _____
2701 Y Street E0001086011

(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-5

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: vacant lot

Is this property subject to any previous land use cases?

Yes No

If Yes, please list the Ordinance Number: _____

To divide the lot
in to non-conforming
lots. Single Family
Detached Homes

Applicant/Contact Person: Omega Wilson

Company: Word For Living Ministries ~~Word For Living Ministries~~ Fresh Anointing

Mailing Address: 3301 2nd Ave ~~Cathedral~~

City: Richmond State: VA Zip Code: 23222

Telephone: (804) 218-1410 Fax: (804) 228-3730

Email: owwilson@henrico.k12.va.us

Property Owner: Word For Living Ministries Trs.

If Business Entity, name and title of authorized signer: Larry C. Miles, Pres.

Mailing Address: 3301 2nd Ave

City: Richmond State: VA Zip Code: 23222

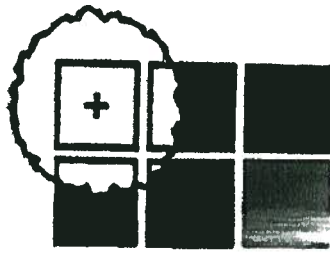
Telephone: (804) Fax: (804) 228-3730

Email: yesazariah@yahoo.com

Property Owner Signature: Larry C. Miles, Sr.

(The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.)

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



SNEAD ASSOCIATES, PC.

Applicants Report: Grace Place (Single Family Detached Homes)

Applicant Information:

June 13, 2014

Mr. Leroy Chiles
Quality Life of Virginia
3416 Garland Ave.
Richmond Va 23222
804-562-4803
Leroy@qualitylifeofvirginia.com

The property is located at 1734-1738 N. 28th St. , Richmond Va. and encompasses 0.70 acres of undeveloped land.

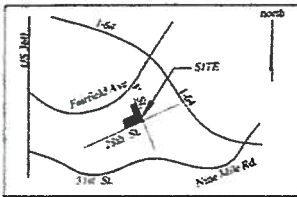
The applicant proposes to build six (6) single family detached homes on lots ranging in the 27' wide by 140' long size. The property is currently zoned R-5, hence the need for a special use permit.

The houses are as described in the drawings with concrete sidewalks in front and slate paver sidewalks set in gravel in rear. Each home will have (2) 10'x20' gravel parking spaces in the rear accessed by a new gravel alley accessed from "Y" Street..

Landscaping for each front yard is as described on the drawings.

The applicant requests the City grant this Special Use Permit because similar styled and sized residential properties currently exist within the immediate neighborhood.

Thank you.

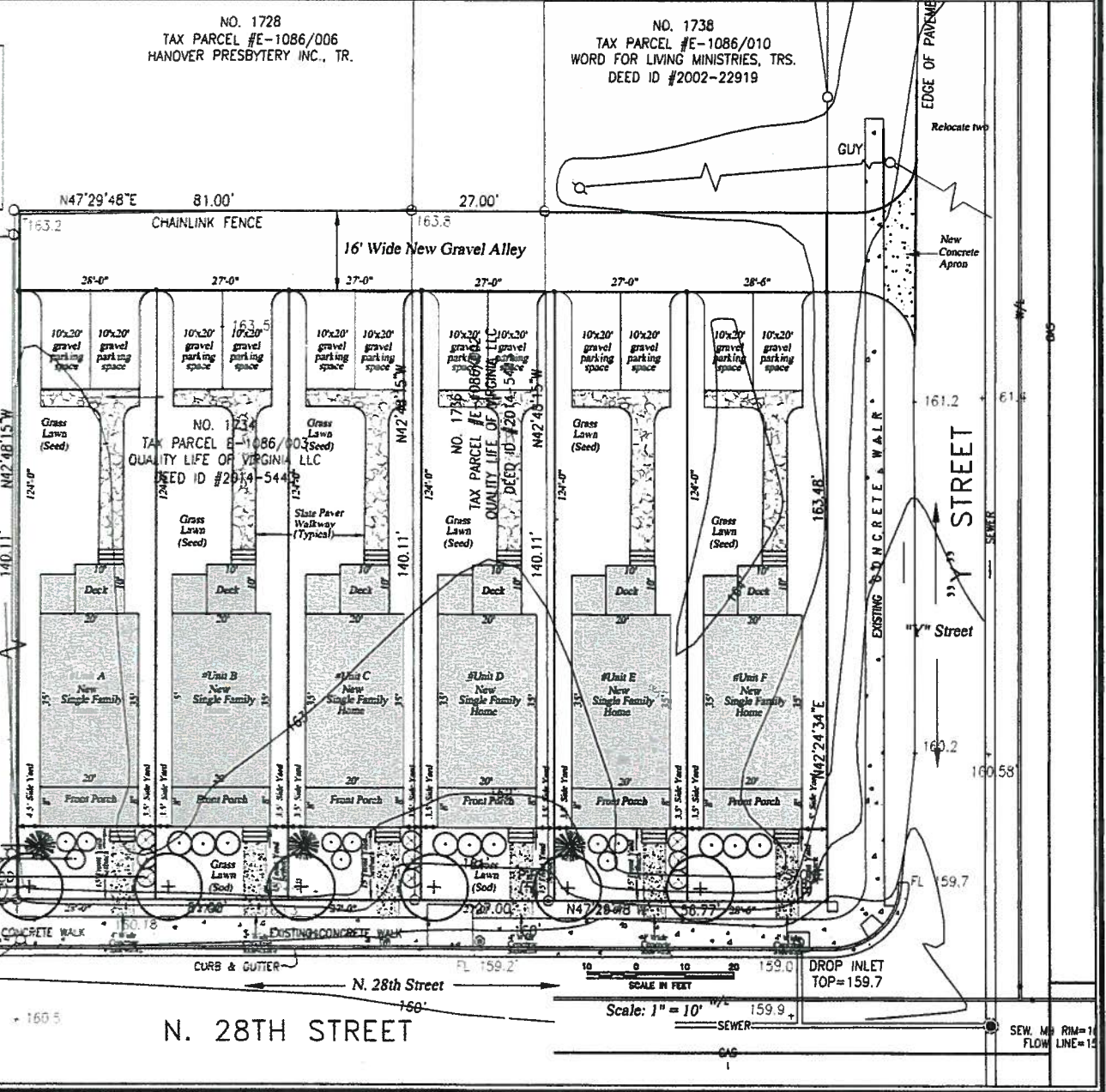


NO. 1728
TAX PARCEL #E-1086/006
HANOVER PRESBYTERY INC., TR.

NO. 1738
TAX PARCEL #E-1086/010
WORD FOR LIVING MINISTRIES, TRS.
DEED ID #2002-22919

PROJECT INFORMATION:

- * Owner/Developer:
Mr. Leroy Chiles
Quality Life of Virginia
3416 Garland Ave.
Richmond, VA 23222
leroy@qualitylifeofvirginia.com
- * Zoning: R-5
- * Total Project Land Area: 30,359 sf
- * Total Number of Units: 6
- * SF each Lot: 3410 sf
- * SF each House Footprint: 916 sf
- * Total SF each Unit: 1,616 sf
- * Impermeable Area Each Lot: 970 sf
- * % Impermeable Area Each Lot: 28%
- * Parking Spaces Each Unit = 2



Snead Associates, P.C.
• Landscape Architecture •
• Land Use Planning •
1805 Creighton Parkway #703
Mechanicsville, VA 23111
Tel: (804) 449-8390 Cvtl: (804) 240-7623

Site Layout Plan For

GRACE PLACE
New Single Family
Detached Homes

1734-1738 N. 28th St.
RICHMOND, VA 23223

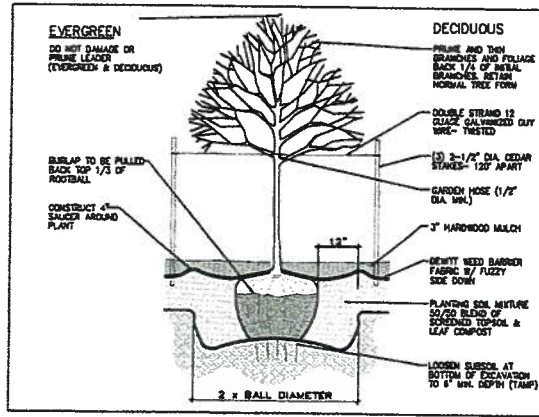
Revisions:

No.	Description	Date

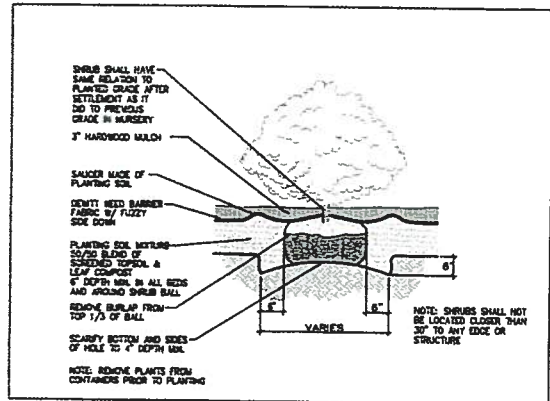
Site Layout Plan

Date: 12-5-14
Scale: 1"=10'
Designed By: C.G. Snead
Drawn By: S.P.
Checked By: C.G. Snead
Project Number: _____

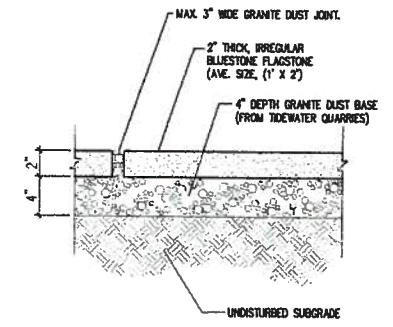
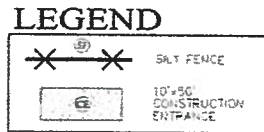
Sheet Number:
C1 of 1



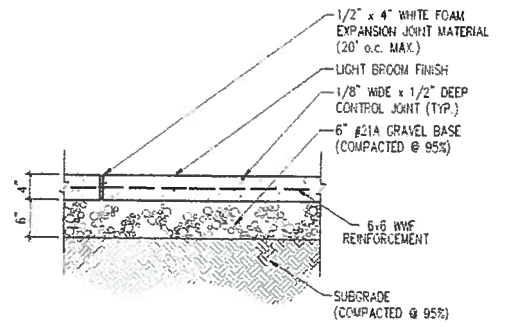
1 TREE PLANTING DETAIL NOT TO SCALE



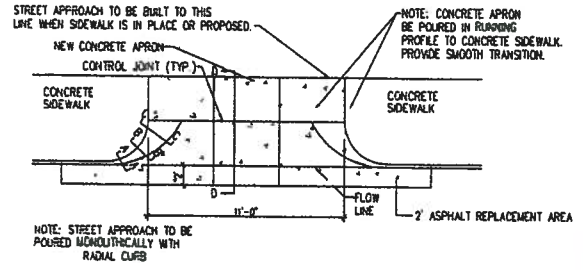
2 SHRUB PLANTING DETAIL NOT TO SCALE



3 IRREGULAR BLUESTONE FLAGSTONE SECTION ELEVATION DETAIL DRY SET IN GRANITE DUST



4 CONCRETE SIDEWALK DETAIL



5 CONCRETE APRON DETAIL NOT TO SCALE

- EROSION AND SEDIMENT CONTROL GUIDELINES**
1. NO DISTURBED AREA SHALL REMAIN DENUDE FOR MORE THAN (7) DAYS.
 2. EXCESS EXCAVATION DISPOSED OF OFF THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
 3. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND SHALL BE PLACED PRIOR TO OR AS THE FIRST OF LAND DISTURBING ACTIVITY.
 4. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED SO THAT SEDIMENT CARRYING RUNOFF FROM THE SITE WILL NOT ENTER STORM DRAINAGE FACILITIES.
 5. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL THE DISTURBED AREA IS STABILIZED.
 6. PROPERTIES ADJOINING THE SITE SHALL BE KEPT CLEAN OF MUD OR SILT CARRIED FROM THE SITE BY VEHICULAR TRAFFIC OR RUNOFF.
 7. THE DISPOSAL OF WASTE MATERIALS REMOVED FROM EROSION AND SEDIMENT CONTROL FACILITIES AND THE DISPOSAL OF THESE FACILITIES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
 8. THIS SITE IS NOT IN THE 100 YEAR FLOOD PLAIN



Snead Associates, P.C.
 • Landscape Architecture •
 • Land Use Planning •
 Richmond, Virginia 23220
 101 West Broad St., Suite 100A
 Tel: (804) 646-8700 Fax: (804) 646-5503

Site Details
 For
GRACE PLACE
 New Single Family
 Detached Homes
 1734-1738 N. 28th St.
 RICHMOND, VA 23223

Revisions:

No.	Description	Date

Site Plan Construction Details

Date: 06-13-14
 Scale: 1" = 10'
 Designed By: C.G. Snead
 Drawn By: S.P.
 Checked By: C.G. Snead
 Project Number: _____

Sheet Number:
 C2 of 3

LOCATION OF UIC UTILITIES BASED ON FIELD OBSERVATION. ADDITIONAL UIC UTILITIES NOT SHOWN ON THIS SURVEY UNLESS INDICATED OTHERWISE.

BLINDING STRUCTURES OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

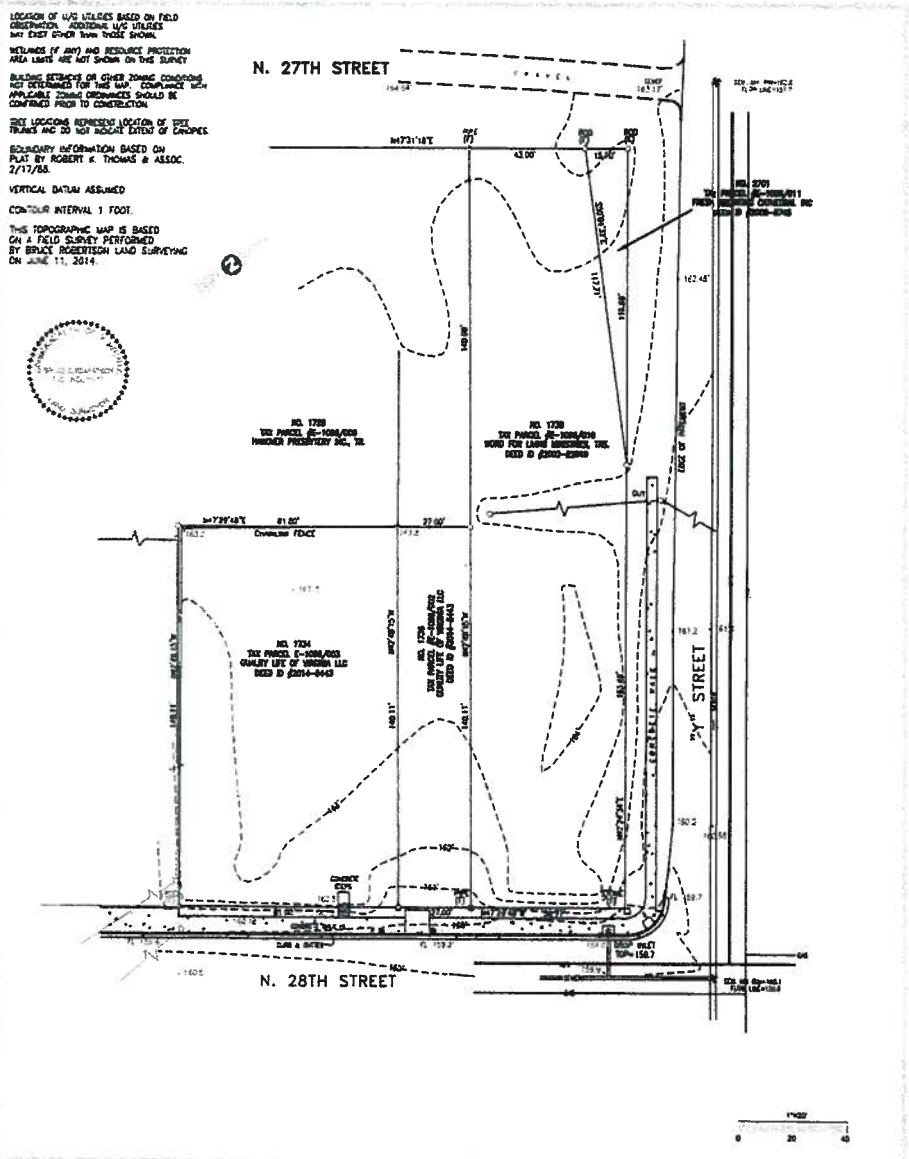
THE LOCATIONS REPRESENTED LOCATION OF TREE TRUNKS AND DO NOT INDICATE EXTENT OF CANOPIES.

SECURITY INFORMATION BASED ON PLAN BY ROBERT K. THOMAS & ASSOC. 2/17/88.

VERTICAL DATUM ASSUMED

CONTOUR INTERVAL 1 FOOT

THIS TOPOGRAPHIC MAP IS BASED ON A FIELD SURVEY PERFORMED BY BRUCE ROBERTSON LAND SURVEYING ON JUNE 11, 2014.



TOPOGRAPHIC SURVEY OF
4 PARCELS OF LAND LOCATED ON THE
WEST LINE OF NORTH 28TH STREET AND
THE SOUTH LINE OF Y STREET
CITY OF RICHMOND, VIRGINIA

Sheets: 1/14
Scale: 1"=40'

Snead Associates, P.C.
• Landscape Architecture •
• Land Use Planning •
Richmond, Virginia 23220
101 West Broad St., Suite 100A
Tel: (804) 649-4200 Fax: (804) 649-4202

**Survey Sheet
For**

GRACE PLACE
New Single Family
Detached Homes

1734-1738 N. 28th St.
RICHMOND, VA 23223

Revisions:

No.	Description	Date

Survey Sheet

Date: 06-13-14
Scale: Not To Scale
Designed By: C.G. Snead
Drawn By: S.P.
Checked By: C.G. Snead
Project Number: _____

Sheet Number:
C3 of 3

GENERAL NOTES:

1. USE GROUP R5
2. CONTRACTOR SHALL CONFORM TO THE 2009 VIRGINIA UNIFORM STATEWIDE BUILDING CODE / 2009 I.R.C. AND ALL LOCAL ORDINANCES.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
4. ALL DIMENSIONS SHOWN ARE ACTUAL, AND ARE TO THE FACE OF STUDS OR MASONRY OR EXTERIOR SHEATHING, CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN FIELD. EXTERIOR FRAMING DIMENSIONS ARE TO THE EXTERIOR FACE OF 1/2" SHEATHING (4" WALL); INTERIOR FRAMING DIMENSIONS ARE TO THE FACE OF STUD (3 1/2" WALL). FACE OF EXTERIOR SHEATHING TO ALIGN WITH FACE OF MASONRY BELOW.
5. CONTRACTOR SHALL CAULK, FLASH, OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT. CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
6. ALL WOOD JOISTS WITHIN 18" OR WOOD GIRDERS WITHIN 12" OF EXPOSED EARTH SHALL BE PRESSURE PRESERVATIVE TREATED.
7. 32" HANDRAILS AND 36" GUARDRAILS ARE REQUIRED ON ALL PORCHES, DECKS, STAIRS, ETC. WITH 30" OR MORE ELEVATION DIFFERENCE. GUARDRAILS TO HAVE PICKETS AT 6' O.C. AND POSTS AT 60' O.C. MAX.
8. ALL HOSE BIBBS SHALL BE FREEZEPROOF AND HAVE A VACUUM BREAKER.
9. EXTERIOR STAIRS ARE SHOWN FOR LOCATION ONLY. CONTRACTOR SHALL VERIFY ALL GRADE ELEVATIONS AND ACTUAL NUMBER OF STAIRS REQUIRED.
10. (3) 2X4'S WITH MID-HEIGHT BLOCKING ARE REQUIRED WHERE NOTED AS "TRIPLE STUD SUPPORT" ON DRAWINGS.
11. RUN ALL TOILET FANS AND EXHAUST VENTS TO AN OWNER APPROVED EXTERIOR DISCHARGE.
12. PROVIDE 75 % SOLD CMU OR GROUT FILLED TOP COURSE AT ALL HOLLOW CUM PIERS.
13. 6" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING AT CONC. SLABS AND 16" AT CRAWL SPACE
14. SILL PLATE ANCHORAGE - 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS AND 12" MAX. FROM CORNERS. (8" LONG INTO CONCRETE, 18" LONG INTO MASONRY.) CODE APPROVED STRAP ANCHORS MAY BE USED AT THE CONTRACTOR'S OPTION.
15. ALL GLAZING WITHIN 18" OF FLOOR OR 48" OF DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED.
16. ENGINEER SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD FLOOR AND ROOF TRUSSES.
17. PROVIDE FIRESTOPPING AND DRAFTSTOPPING AS REQUIRED
18. ALL UNEXPOSED CONCRETE SHALL BE 3,000 PSI MIN. STRENGTH, ALL EXPOSED CONCRETE SHALL BE 3,500 PSI STRENGTH WITH 5 AIR ENTRAINMENT.
19. ALL STRUCTURAL LUMBER (I.E. JOISTS, RAFTERS, HEADERS, ETC.) SHALL HAVE A MODULUS OF ELASTICITY OF 1,400,000 MIN. AND EXTREME FIBER BENDING STRESS OF 1,000 PSI MIN. FOR REPETITIVE MEMBERS.
20. ALL WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS (STUD GRADE S-P-F SD S4S MIN.) AT 16" O.C. (U.N.O.)
21. SHELVING AND SHELF RODS TO BE BRACED AT 4'-0" O.C. MAXIMUM.
22. VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS. TUB, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT..
23. INSULATE ALL PIPING IN EXTERIOR WALLS AND CRAWL SPACE.
24. PROVIDE RECESSED BOX WITH VALVE TO AREA OF REFRIGERATOR FOR ICEMAKER.
25. ALL ELECTRICAL AND MECHANICAL LAYOUTS ARE CONCEPT ONLY. CONTRACTOR AND OR SUBCONTRACTOR SHALL VERIFY AND ABIDE BY LOCAL CODES AND GUIDELINES BEFORE STARTING.
26. ALL SHOWERS AND TUBS TO HAVE A WATER RESISTANT RECESSED LIGHT ABOVE
27. ICE AND SNOW SHIELD WILL BE USED ON THE FIRST 3'-0" OF ROOF
28. GUTTER AND DOWNSPOUTS ON STRUCTURE AND PORCH (PRE-FINISHED ALUMINUM)
29. VINYL SOFFITS @ ALL PORCH CEILINGS

DRAWING INDEX	
A1.0	FLOOR PLANS
A1.1	ENLARGE FLOOR PLAN
A2.0	ELEVATIONS
S1.0	STRUCTURAL PLAN
S2.0	TYPICAL WALL SECTIONS AND DETAILS
S2.1	SECTIONS AND DETAILS

SQUARE FOOTAGE	
(FINISHED) FIRST FLOOR SF.	700 SF.
(FINISHED) SECOND FLOOR SF.	700 SF.
TOTAL FINISHED SF.	1,400 SF.

Trinity
HOMES
in association with 3DI

Issue Date: 06-May-14 Plot Date: 19-Jun-14

The Zoe

SHEET NUMBER
T-1

LOADS:	
WIND LOAD	15 LBS/SQFT.
LIVE FLOOR	40 LBS/SQFT.
DEAD FLOOR (ALL)	10 LBS/SQFT.
LIVE ROOF (SNOW)	20 LBS/SQFT.
DEAD ROOF (EACH CORE)	10 LBS/SQFT.
ATTIC FLOOR STORAGE	20 LBS/SQFT.
LIVE DECK	40 LBS/SQFT.

SOLID BEARING (FIELD VERIFY) 2,000 LBS/SQFT.
SEISMIC ONE ZONE

Plan Details

Foundation	<input checked="" type="checkbox"/> Crawl Space	<input type="checkbox"/> Slab	<input type="checkbox"/> Basement	<input type="checkbox"/> Walk out	
Basement Options	<input type="checkbox"/> Poured walls	<input type="checkbox"/> CMU	<input type="checkbox"/> Unfinished	<input type="checkbox"/> Finished	
Basement Baths	<input type="checkbox"/> Half Bath	<input type="checkbox"/> Full	Details:		
	1,400 SF				
Renderings	<input type="checkbox"/> Interior	<input type="checkbox"/> Plans	<input checked="" type="checkbox"/> Elevation(s)		
Number of Stories	<input type="checkbox"/> One Story	<input checked="" type="checkbox"/> 2 Story	<input type="checkbox"/> 3 Story	<input type="checkbox"/> 4 Story	
Number of Bedrooms	3				
Number of Baths	2.5				
Master Bedroom	<input type="checkbox"/> 1st Floor	<input checked="" type="checkbox"/> 2nd Floor			
Master Bath	<input checked="" type="checkbox"/> Tub & Shr	<input type="checkbox"/> Shr only	<input type="checkbox"/> Double Van	<input type="checkbox"/> Other	
Kitchen	<input type="checkbox"/> Morning Rm.	<input type="checkbox"/> Island	<input checked="" type="checkbox"/> Breakfast Area	<input type="checkbox"/> Other	
In-law Suite	<input type="checkbox"/> 1st Floor	<input type="checkbox"/> 2nd Floor	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> None	
In-law Bath	<input type="checkbox"/> Tub & Shr	<input type="checkbox"/> Shr only	<input type="checkbox"/> Double Van	<input checked="" type="checkbox"/> None	
Half Bath	<input type="checkbox"/> Tub & Shr	<input type="checkbox"/> Shr only	<input type="checkbox"/> Double Van	<input type="checkbox"/> Other	
Garage Attached	<input type="checkbox"/> 1 Car	<input type="checkbox"/> 2 Car	<input type="checkbox"/> 3 Car	<input type="checkbox"/> 4 Car	<input checked="" type="checkbox"/> None
Garage Detached	<input type="checkbox"/> 1 Car	<input type="checkbox"/> 2 Car	<input type="checkbox"/> 3 Car	<input type="checkbox"/> 4 Car	<input checked="" type="checkbox"/> None
Ceiling Height 1st FL	<input type="checkbox"/> 8' Tall	<input checked="" type="checkbox"/> 9' Tall	<input type="checkbox"/> 10' Tall	<input type="checkbox"/> Other	
Ceiling Height 2nd FL	<input checked="" type="checkbox"/> 8' Tall	<input type="checkbox"/> 9' Tall	<input type="checkbox"/> 10' Tall	<input type="checkbox"/> Other	
Laundry Room	<input checked="" type="checkbox"/> 1st Floor	<input type="checkbox"/> 2nd	<input type="checkbox"/> Basement	<input type="checkbox"/> Mudroom	<input type="checkbox"/> Garage
Fire Place	<input type="checkbox"/> Wood Burn	<input type="checkbox"/> Gas	<input checked="" type="checkbox"/> None		
Fire Place Location	<input type="checkbox"/> Family Room	<input type="checkbox"/> Dine	<input type="checkbox"/> Living Room	<input type="checkbox"/> Other	
Front Exterior Mat.	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input type="checkbox"/> Dry vit	<input type="checkbox"/> Other
Right Side Ext. Mat	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input type="checkbox"/> Dry vit	<input type="checkbox"/> Other
Left Side Ext. Mat	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input type="checkbox"/> Dry vit	<input type="checkbox"/> Other
Rear Exterior Mat	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input type="checkbox"/> Dry vit	<input type="checkbox"/> Other
Door Heights 1st FL	<input checked="" type="checkbox"/> 6'-8"	<input type="checkbox"/> 7'-0"	<input type="checkbox"/> 8'-0"	<input type="checkbox"/> Other	
Door Heights 2nd FL	<input checked="" type="checkbox"/> 6'-8"	<input type="checkbox"/> 7'-0"	<input type="checkbox"/> 8'-0"	<input type="checkbox"/> Other	
Hot Water Heater	<input checked="" type="checkbox"/> Boiler Tank	<input type="checkbox"/> Tankless			
Outside Living Space	<input type="checkbox"/> Deck	<input type="checkbox"/> Patio	<input type="checkbox"/> Screened Porch	<input type="checkbox"/> Stoop	

Floor Finishes

Plan Type:

Room	Floor	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Kitchen		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pantry		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Great Room		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dining Room		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Foyer		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hall Bath		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stairs		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Junior Suite		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Junior Suite Closet		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Master Bedroom		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Master Bath		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Master Closet		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Laundry Room		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bedroom #2		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hall Bath #2		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bedroom #3		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hall		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Trinity HOMES
in association with 3DI

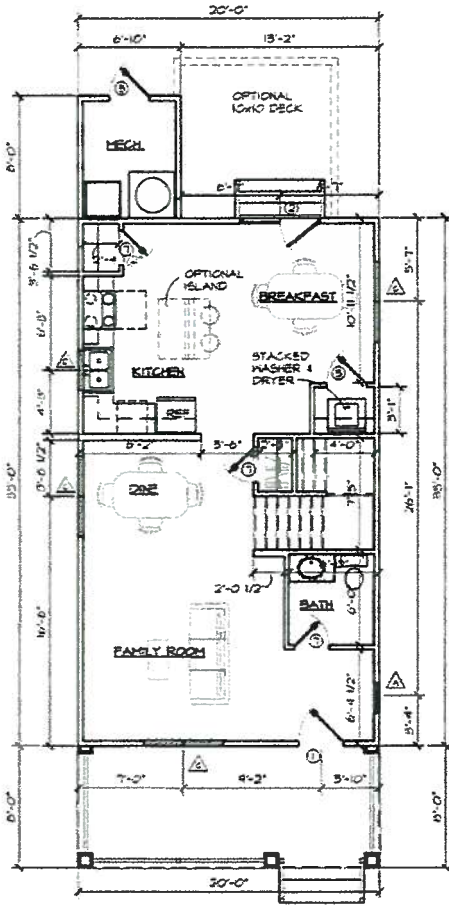
Issue Date: 06-May-14
Plot Date: 19-Jun-14

The Zoe

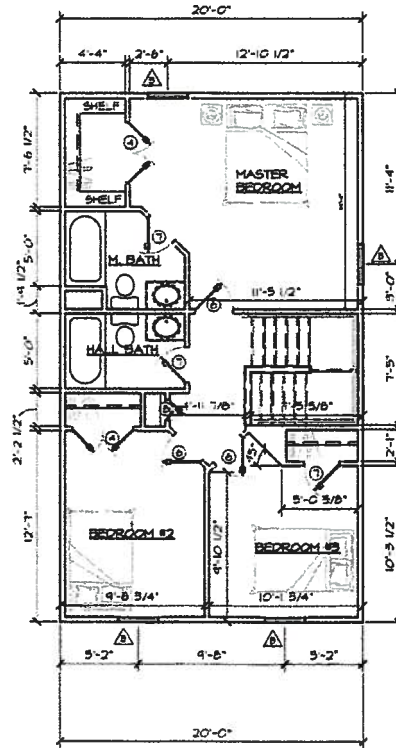
SHEET NUMBER
INFO

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C:\1 - Trinity Homes\Projects\3D Models\3D Model\3D Model.dwg Date: 19-Jun-14 11:30am



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"




SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

WINDOW TYPE LEGEND		
A	2/0x...	OVAL FIXED (optional)
B	2/8x5/2	D/H TILT
C	2/8x5/2	D/H TILT TWIN
D	2/8x5/2	D/H TILT

DOOR TYPE LEGEND		
1	5/0x6/8	EXTERIOR W/ SIDE LITES
2	5/0x6/8	FRENCH DOOR
3	2/8x6/8	EXTERIOR
4	2/0x6/8	DOUBLE DOOR INTERIOR
5	2/8x6/8	DOUBLE DOOR INTERIOR
6	2/8x6/8	INTERIOR
7	2/4x6/8	INTERIOR
8	1/4x6/8	INTERIOR

- NOTE:
- ALL CONTRACTORS, SUBS, AND VENDERS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
 - FRAMER SHALL PROVIDE BLOCKING AND FRAMING FOR ALL CABINETS, HANDRAILS, MEDICINE CABINETS, TISSUE HOLDERS AND ACCESS TROUBLE DOORS
 - INTERIOR WALLS SHOWN AT 5 1/2" EXTERIOR WALLS SHOWN AT 4"


Trinity HOMES
 in association with 3DI

Issue Date: 06-May-14	Plot Date: 19-Jun-14
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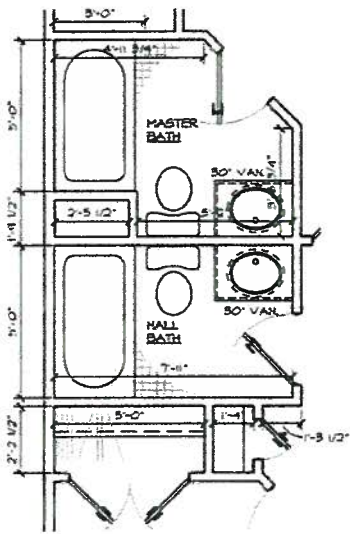
The Zoe

FIRST & SECOND FLOOR

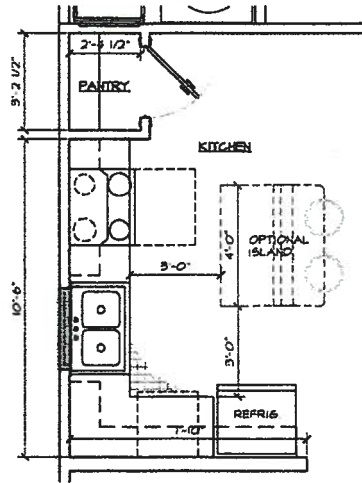
SHEET NUMBER

A1.0

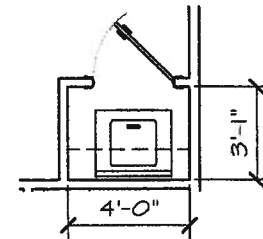
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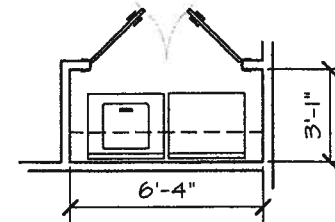
1 BATH FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 KITCHEN FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 STANDARD LAUNDRY ROOM
SCALE: 1/4" = 1'-0"



4 OPT. LAUNDRY ROOM
SCALE: 1/4" = 1'-0"

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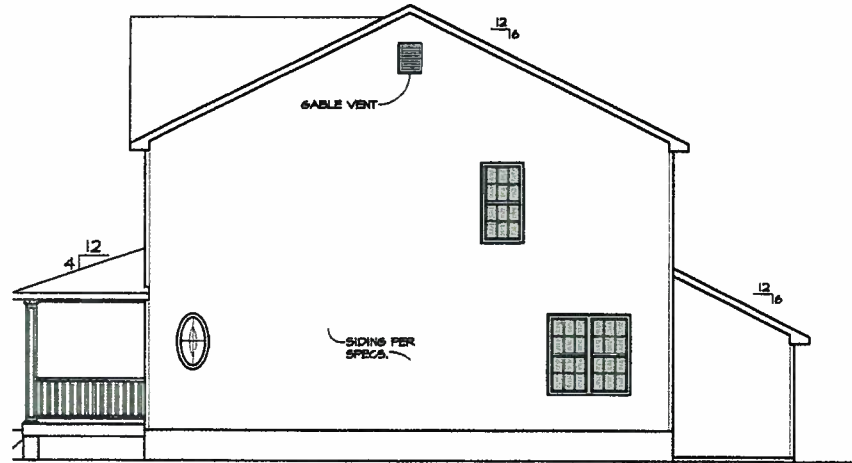
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Trinity HOMES in association with 3DI	
Issue Date: 06-May-14	Plot Date: 19-Jun-14
The Zoe	
ENLARGED FLOOR PLAN	
SHEET NUMBER A1.1	



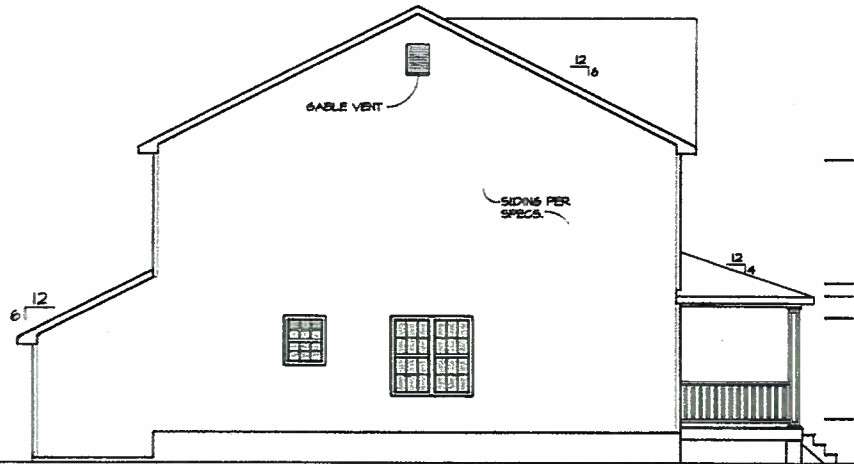
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



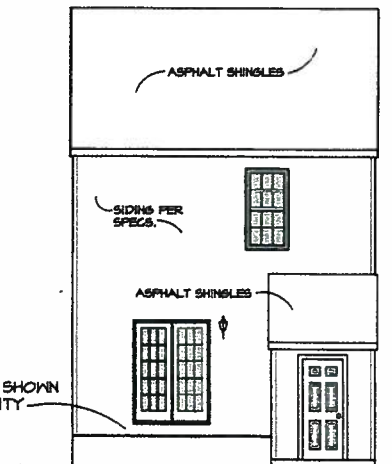
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

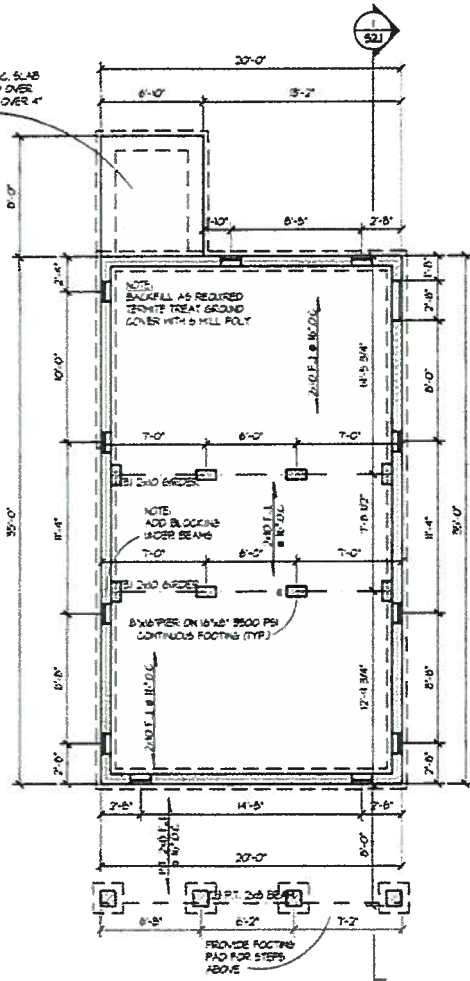
SCALE: 1/8" = 1'-0"

ALL TRINITY HOMES VENDOR CATALOGS 13 - 2013/05/06 PAPER/3D/ARCHITECTURE/IMG JOB NO. 0114 1130pm 2013

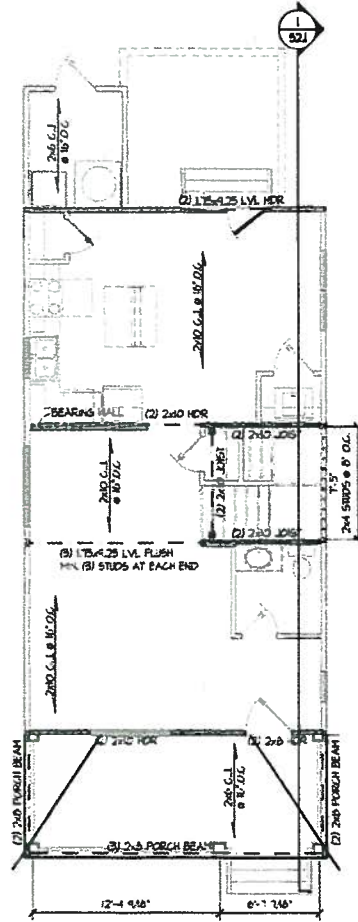
 Trinity HOMES in association with 3DI	
Issue Date: 06-May-14	Plot Date: 19-Jun-14
The Zoe ELEVATIONS	
SHEET NUMBER A2.0	

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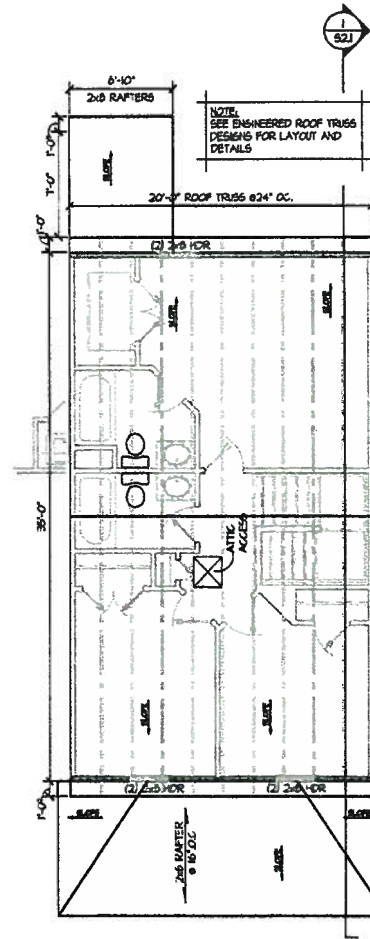
NOTE:
 #4 2000 PSI CONC. SLAB
 #4 @ 12" O.C. OVER
 VAPOR BARRIER OVER #4
 GRANULAR FILL



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"



FIRST FLOOR STRUCTURAL PLAN
 SCALE: 1/8" = 1'-0"



SECOND FLOOR STRUCTURAL PLAN
 SCALE: 1/8" = 1'-0"

WALL LEGEND	
	BEARING WALL
	NON-BEARING WALL
	2x4 JOIST
	ROOF TRUSS
	BEAM / HEADER

- FRAMING NOTES:**
- ALL HEADERS UNDER 5'-0" TO BE (2) 2x4 W/ DOUBLE JACKS U.N.O.
 - ALL HEADERS OVER 5'-0" TO BE (2) 2x10 W/ DOUBLE JACKS U.N.O.
 - MIN. 3 STUDS UNDER ALL BEAM ENDS
 - LU-MER USED WITH STEEL PLATE CONTINUOUS FOR ENTIRE SPAN
 - FRAMER SHALL PROVIDE BLOCKING AND BRACING FOR ALL CABINETS, HANDRAILS, MEDICINE CABINETS AND ACCESS TROUBLE DOORS
 - TRUSS LAYOUT BY TRUSS MANUFACTURE TO SUPERCEDE THESE DRAWINGS.

- FOUNDATION NOTES:**
- BAND TO BE PRESURE TREATED AT STUOP DECKS AND PORCHES
 - GRAN. SPACE DOOR MUST BE 36" WIDE AND A MIN. OF 30" HIGH WITH P.T. ROUGH OPENING HINGED & BOLTED
 - COORDINATE FLOOR JOIST LAYOUT WITH PLUMBING FIXTURE LOCATION
 - BACKFILL AS REQUIRED PERMITS TREAT GROUND COVER WITH 6 MILL POLY

in association with 3DI

Issue Date: 06-May-14	Plot Date: 19-Jun-14
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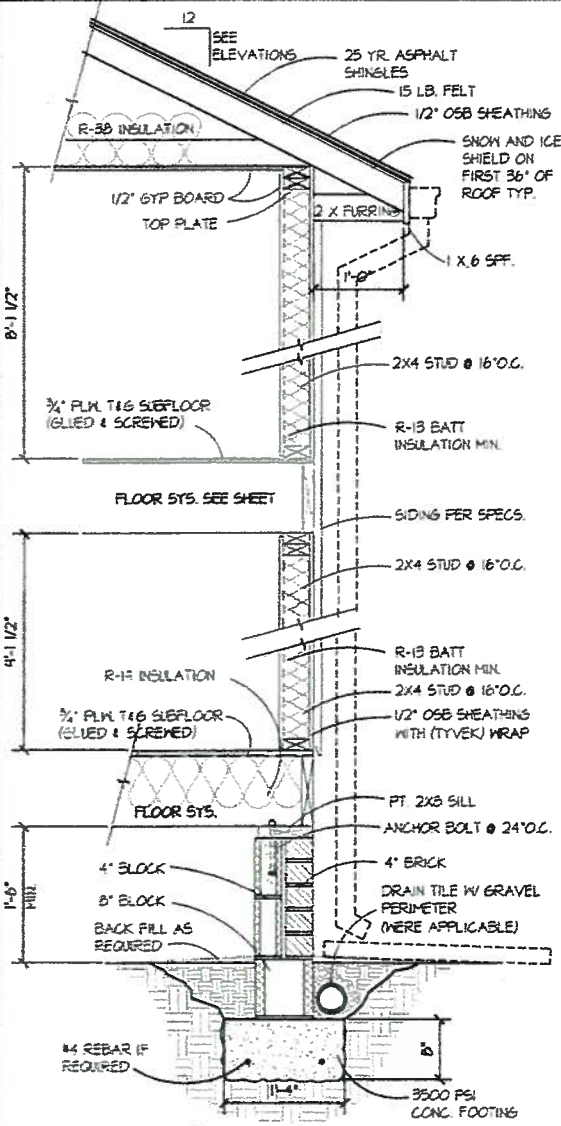
The Zoe

STRUCTURAL PLAN

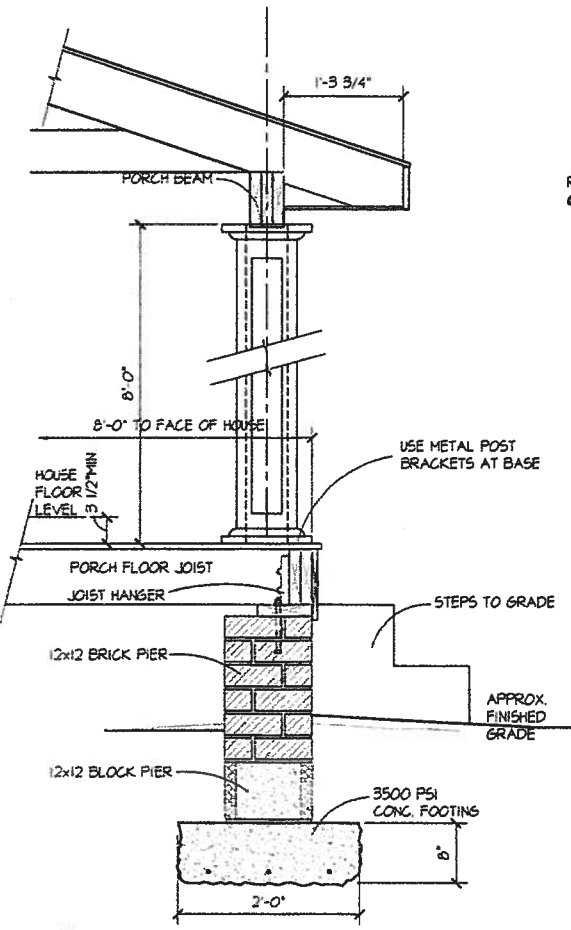
SHEET NUMBER
S1.0

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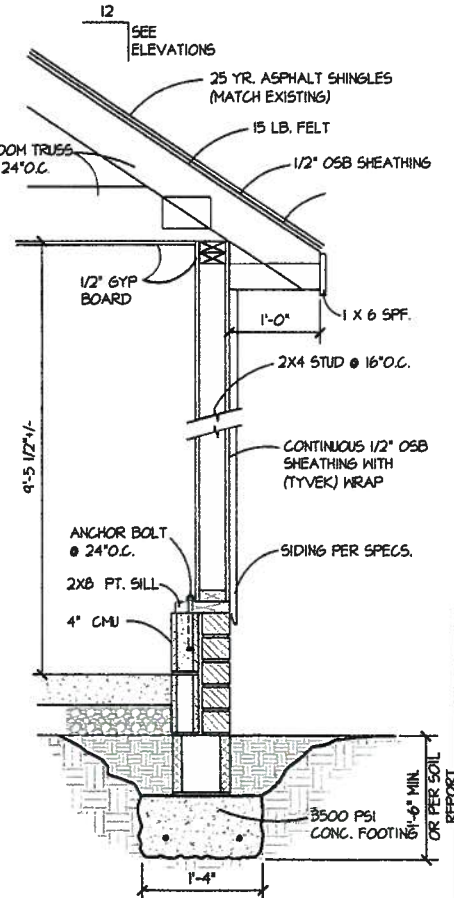
1.1 Trinity Homes (Unbranded) - 3000Voice Page 3 - 11/15/14.dwg Job No. 2014 - 110pm Andra



TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"



FRONT PORCH SECTION
SCALE: 3/4" = 1'-0"

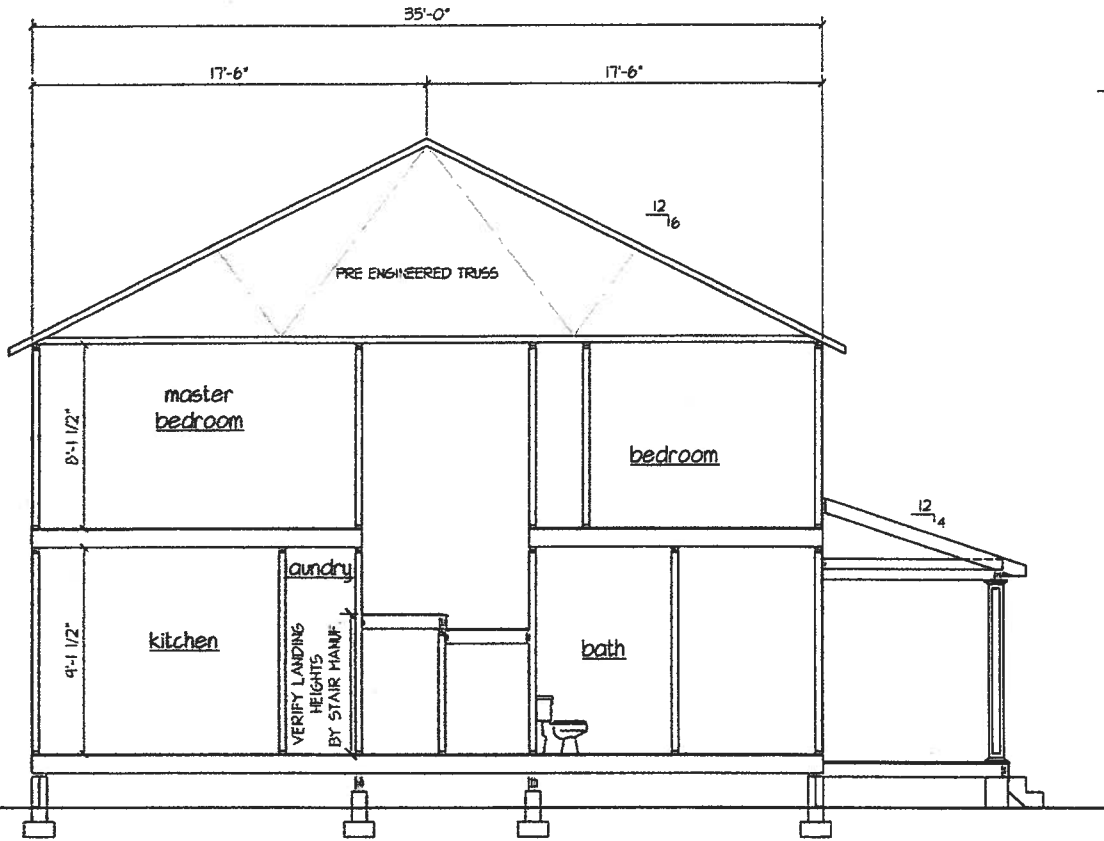


TYPICAL SECTION @ GARAGE
SCALE: 3/4" = 1'-0"

 in association with 3DI	
Issue Date: 06-May-14	Plot Date: 19-Jun-14
The Zoe	
SECTIONS / DETAILS	
SHEET NUMBER S2.0	

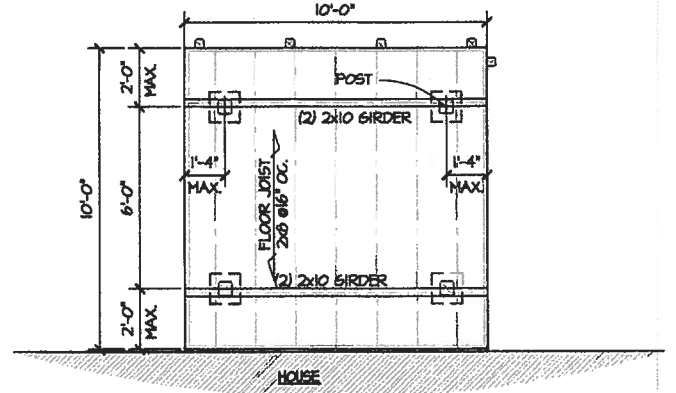
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P:\1 Trinity Homes\Woodstock\Drawings\1.0 - 30K\00000000-STRUCTURAL.dwg, Jun 16, 2014 - 1:10pm, dms



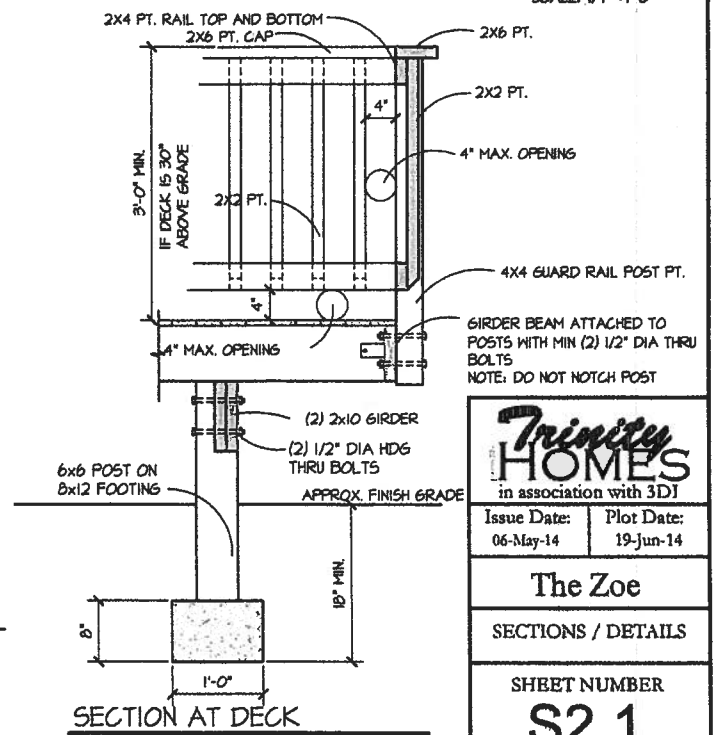
1 HOUSE SECTION

SCALE: 3/16" = 1'-0"



FREE STANDING DECK FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



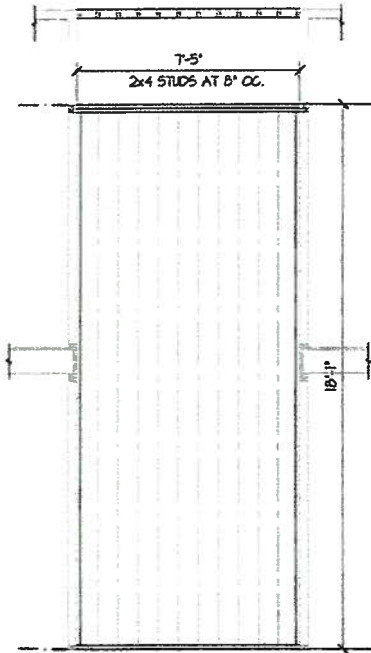
SECTION AT DECK

SCALE: 3/4" = 1'-0"

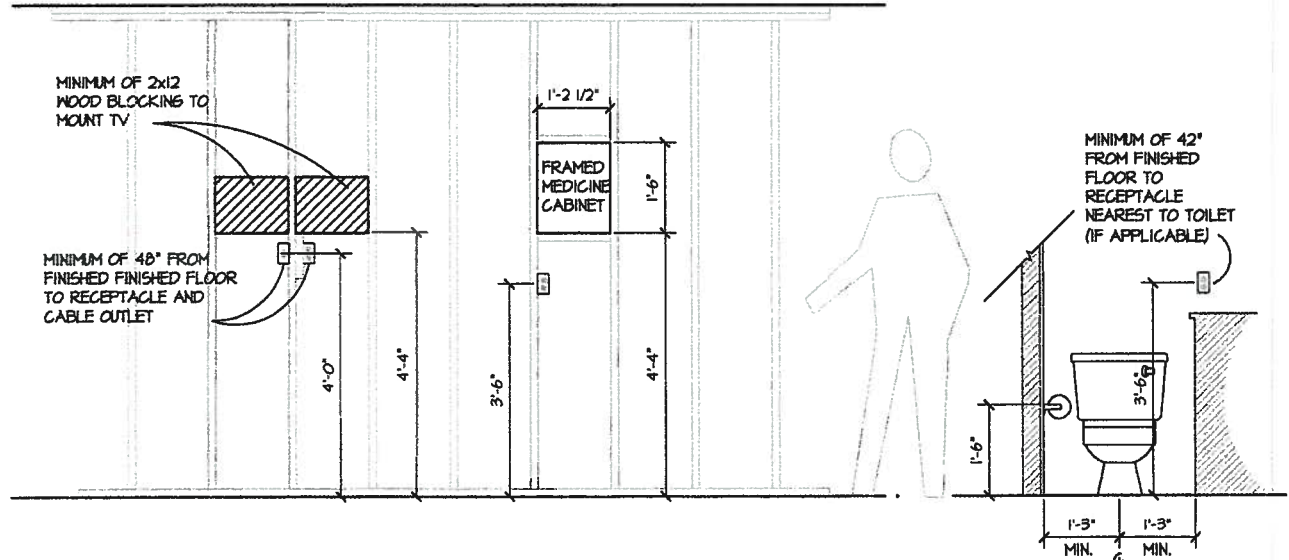
in association with 3DJ	
Issue Date: 06-May-14	Plot Date: 19-Jun-14
The Zoe	
SECTIONS / DETAILS	
SHEET NUMBER	
<h1>S2.1</h1>	

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Trinity Homes\Projects\Projects\3-51016\144-1100.dwg Jun 16, 2014 1:11pm Auto



1 ELEVATION @ TWO STORY WALL
SCALE: 1/4" = 1'-0"



2 TV BLOCKING & WALL MOUNTING DETAILS
1/2" = 1'-0"

3 DETAIL @ TOILET
SCALE: 1/2" = 1'-0"

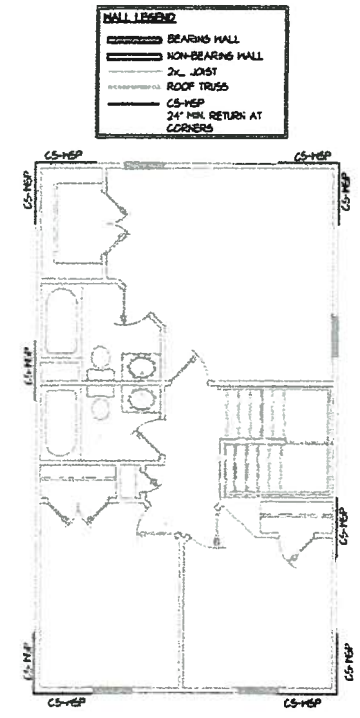
Trinity HOMES in association with 3DI	
Issue Date: 06-May-14	Plot Date: 19-Jun-14
The Zoe	
SECTIONS / DETAILS	
SHEET NUMBER S2.2	

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S.I. Trinity Homes' Individual Prints 13 - 3RD Floor Plans - 3/10/2016 4:02:21 PM - 6:30pm Andy



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



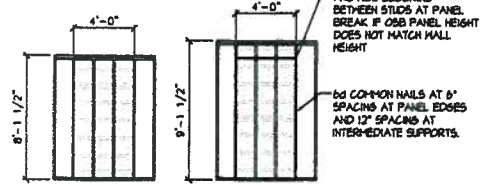
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

MALL LEGEND

- BEARING MALL
- NON-BEARING MALL
- 2x6 JOIST
- ROOF TRUSS
- CS-WSP
- 24" MIN. RETURN AT CORNERS

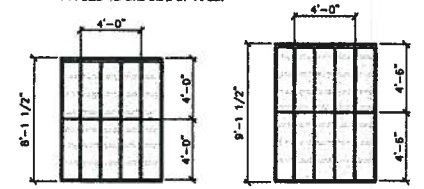
WSP - WOOD STRUCTURAL PANEL

BRACED MALL PANEL PER IRC TABLE R602.10.2.1
3/8" MIN. OSB SHEATHING ON ONE SIDE OF MALL.
MINIMUM PANEL LENGTH 48"

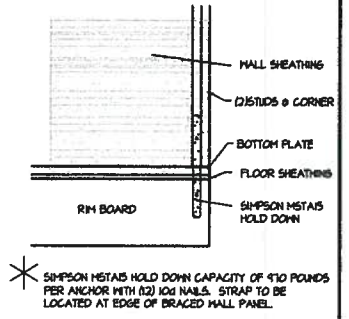


GB - GYPSUM BOARD

BRACED MALL PANEL PER IRC TABLE R602.10.2.1
1/2" GYPSUM BOARD NAILED TO STUDS AT 7" O.C. MINIMUM PANEL LENGTH 48" WHEN APPLIED TO BOTH SIDES OF MALL AND 96" WHEN APPLIED TO ONE SIDE OF MALL.



- A** SIMPSON HQ25A HOLD DOWN CAPACITY OF 535 POUNDS PER ANCHOR
- A2** SIMPSON HQ25A HOLD DOWN CAPACITY OF 1070 POUNDS WITH TWO ANCHORS
- B** SIMPSON H5A10 HOLD DOWN CAPACITY OF 500 POUNDS PER ANCHOR.
- C** SIMPSON HT51Q HOLD DOWN CAPACITY OF 860 POUNDS PER ANCHOR.
- D** SIMPSON HT52Q HOLD DOWN CAPACITY OF 1245 (1450) POUNDS PER ANCHOR.
- E1** SIMPSON L6T2 (2-PLY TRUSS) HOLD DOWN CAPACITY OF 1850 (2150) POUNDS PER ANCHOR.
- E2** L6T3 (3-PLY TRUSS) HOLD DOWN CAPACITY OF 2365 (3265) POUNDS PER ANCHOR.
- E3** L6T4 (4-PLY TRUSS) HOLD DOWN CAPACITY OF 2365 (3265) POUNDS PER ANCHOR. CAPACITY IS IN SFF LINER, CAPACITY IN 0 IS IN SYP OR LVL.
- F** SIMPSON H5A10 HOLD DOWN CAPACITY OF 500 POUNDS PER ANCHOR.
- G** SIMPSON MST 1 HOU-5022.5 HOLD DOWN CAPACITY OF 3500 (3425) POUNDS PER COMBINATION.
- H** SIMPSON MST 1 HOU-5022.5 HOLD DOWN CAPACITY OF 3555 (4440) POUNDS PER COMBINATION OF ONE OF EACH.
- I** SIMPSON TBE4/TBE6 ADDITIONAL BEARING CAPACITY: SINGLE PLY TRUSS - 1560 LB 2 OR MORE PLY TRUSS - 1120 LB UPLIFT CAPACITY - 850 LB.
- J** SIMPSON H526 HANGER - UPLIFT CAPACITY OF 550 POUNDS PER ANCHOR. ALL CHAIRS VERTICAL LOAD 2700.



NOTES
ALL HOLD DOWN VALUES ARE BASED ON SFF LINERS AND ARE FROM SIMPSON CATALOG

Trinity HOMES
in association with 3DI

Issue Date: 06-May-14 Plot Date: 02-Jul-14

The Zoe

SECTIONS / DETAILS

SHEET NUMBER
S2.3

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