



**Property** (location of work)

Property Address: 2201 Venable Street & 817 N 22nd Street Current Zoning: R-63

Historic District: Union Hill

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

New construction of one single-family detached and two single-family attached dwellings.

**Applicant/Contact Person:** Will Gillette

Company: Baker Development Resources

Mailing Address: 530 East Main Street, Suite 730

City: Richmond State: VA Zip Code: 23219

Telephone: (864) 377-9140

Email: will@bakerdevelopmentresources.com

Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

**Property Owner:** WBB Homes

If Business Entity, name and title of authorized signee: \_\_\_\_\_

Mailing Address: 2120 STAPLES MILL RD #200

City: HENRICO State: VA Zip Code: 23230

Telephone: ( )

Email: \_\_\_\_\_

Billing Contact? No

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.



Property Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_



August 30<sup>th</sup>, 2024

City of Richmond Department of Planning and Development Review  
Commission of Architectural Review  
Mr. Alex Dandridge, Secretary  
City Hall, 900 East Broad Street  
Richmond, VA 23219

**RE: Certificate of Appropriateness at 2201 Venable Street & 817 N 22<sup>nd</sup> Street**

Members of the Commission,

This memorandum shall serve as the applicant's statement for an application to be reviewed by the Commission of Architectural Review (the "CAR") for the proposed construction of three new single-family dwellings configured as one single-family detached dwelling on the property known as 2201 Venable Street and two single-family attached dwellings on the property known as 817 N 22<sup>nd</sup> Street (the "Property"). This project was conceptually reviewed at the July 23<sup>rd</sup>, 2024 meeting of the CAR.

The Property is located at the corner of Venable and N 22<sup>nd</sup> Streets and lies in Richmond's Union Hill City Old and Historic District. Existing structures in the district are noted as being known for a variety of architectural styles and materials as well as a range of land uses. The Property is currently undeveloped and is adjacent to a single-family detached dwelling to the west along Venable Street and a two-family detached ("duplex") dwelling to the rear fronting N 22<sup>nd</sup> Street.

The Property owner is proposing to construct a total of three, single-family dwellings on the Property. A single-family detached dwelling, addressing the corner of Venable and N 22<sup>nd</sup> Street would be located on the parcel at 2201 Venable while two, single-family attached dwellings would front onto N 22<sup>nd</sup> Street at 817 N 22<sup>nd</sup>. These would each be three stories in height with small third-floor terrace addressing the corner of Venable and N 22<sup>nd</sup> on the detached dwelling.

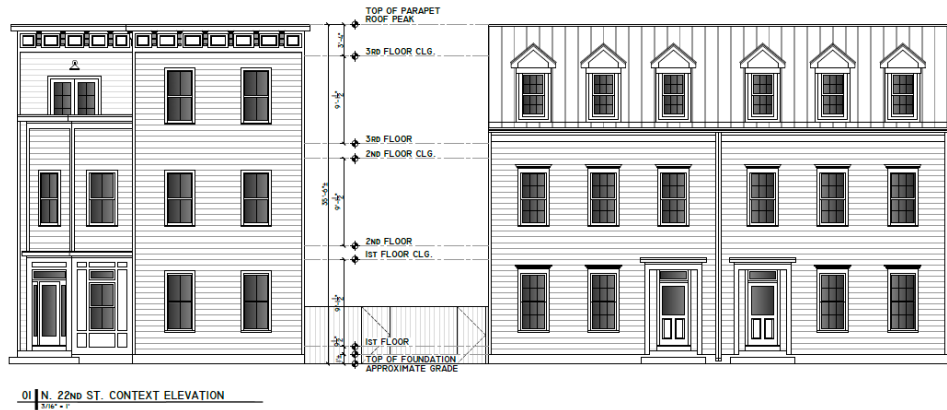


Figure 1: Revised elevations fronting N 22nd St.



Figure 2: Initial elevations along N 22nd Street

### Conceptual Review and Changes:

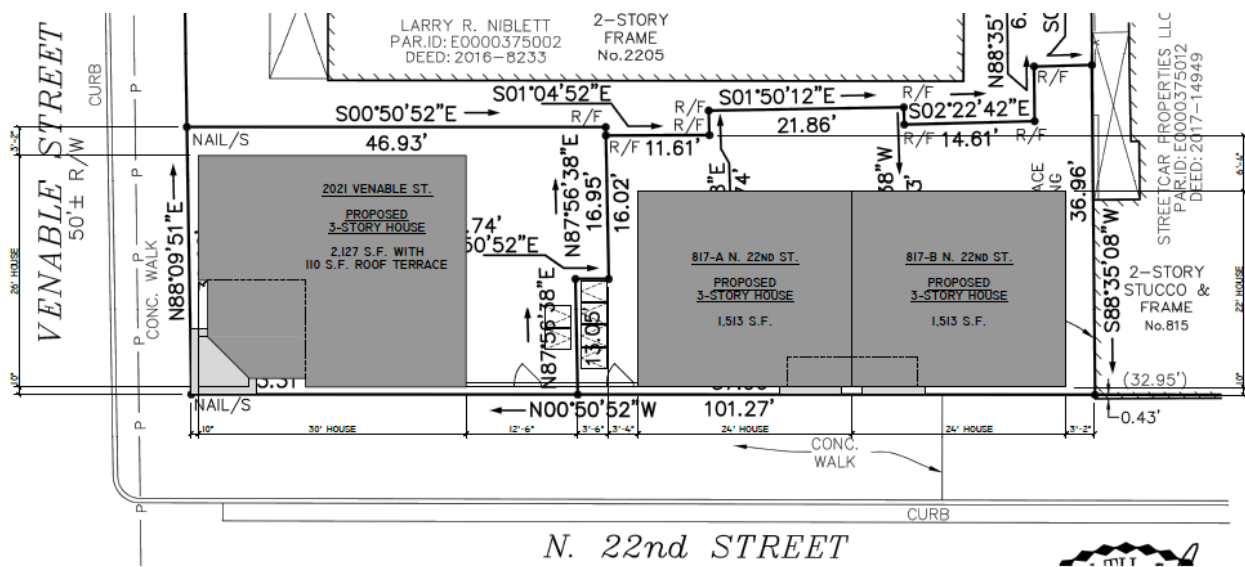
This project was conceptually reviewed at the July 2024 CAR meeting. Based on the comments from Staff and Commissioners, the applicant has revised the design to address the comments. The proposed changes include:

The dwelling at 2201 has been revised to meet the comments which generally suggest a design which is compatible with the commercial building located at the southwest corner of Venable and 21<sup>st</sup> Streets, currently occupied by Fat Rabbit Bakery. Like Fat Rabbit, the proposed dwelling includes an entrance which faces the corner of the intersection at an angle. The design itself was revised to reflect the historic retail storefront and would include sidelites on both sides of the entrance door and the originally proposed transom window was expanded to cover the proposed sidelites. Painted wood framing and infill panels as well as transom windows were also added to the windows adjacent the door again, similar to Fat Rabbit.

The two single-family attached dwellings fronting N 22<sup>nd</sup> Street have been revised from an Italianate design to now utilize a false mansard roof and dormer windows at the third floor. Lentils are now also proposed above the windows on both dwellings to provide additional variation on the façade. Gates are now depicted on the fence located along the N 22<sup>nd</sup> frontage as requested by the Commission.

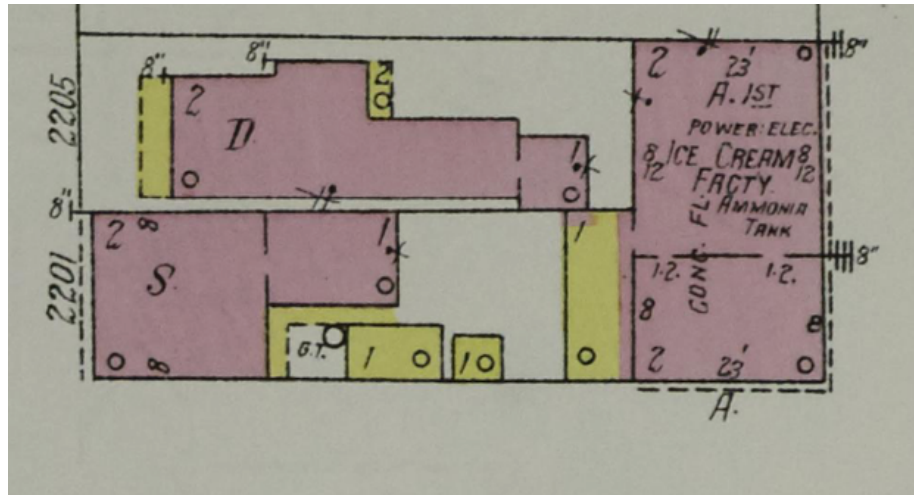
In these revisions, the applicant has attempted to address as many of the comments from the conceptual review as possible while operating within the constraints of the site. Historical precedent throughout the neighborhood suggests that the proposed site design, which fronts both the Venable and N 22<sup>nd</sup> Street frontages is appropriate (see for example, the intersection of N 21<sup>st</sup> and Venable) and the applicant has attempted to reflect this historic condition as much as possible while meeting current building and zoning codes as well as addressing the needs of today's home buyer.

Each of these dwellings would each contain 3 bedrooms and 2 ½ bathrooms with roughly 2,127 square feet of finished floor area at 2201 Venable and 1,513 square feet (reduced from 1,560 square feet on the initial proposal) of finished floor area for the dwellings fronting N 22<sup>nd</sup> Street. The dwellings have been designed with a floorplan which offers a living area and kitchen on the first floor and have been designed to meet the needs of the market with primary bedrooms with walk-in closets and en suite bathrooms.

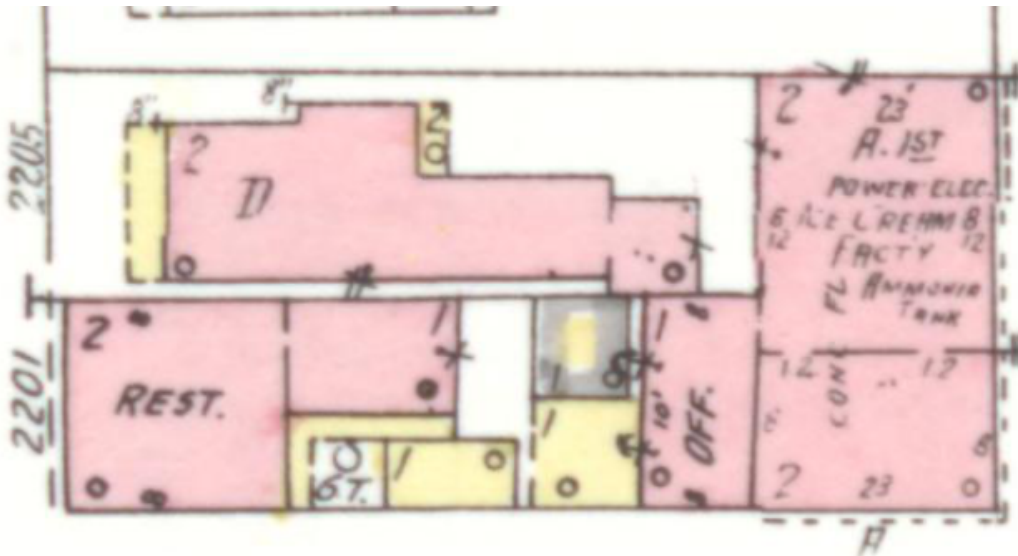


**Siting:**

According to the 1925 Sanborn Map, the Property was historically a single lot occupied with a two-story building located at the Venable and N 22<sup>nd</sup> property lines.



The 1952 Sanborn map shows the parcel being further improved with a series of frame and brick buildings along the N 22<sup>nd</sup> Street Frontage.



The siting of the proposed dwellings is consistent with the historic use of the Property and the development pattern in the area. The dwelling located at the corner of Venable and N 22<sup>nd</sup> with

the front entrance facing the corner and dwellings located to the rear fronting N 22<sup>nd</sup> is consistent with the historical use of the Property.

**Form:**

The proposed dwellings have been designed to reflect the historic lot configuration of the Property and to be consistent with traditional row house forms found in the area. The proposed Italianate design was created to meet the CAR Guidelines and have been approved elsewhere in the Union Hill and other City Old and Historic Districts.

Attached dwellings can be found along Venable Street and throughout the Union Hill district. The proposed dwellings feature a design which appeals to the current homebuyer along with details which reflect the historic nature of the neighborhood. Each dwelling would include versions of traditional details which can be found in the neighborhood such as transom windows above the front door and front stoops with flat roofs.

**Scale:**

The proposed construction of the new dwelling is consistent with the scale and character of the proposed site layout and existing neighborhood and will appear appropriate from street level. Dwellings in the area are of a range of heights with three story dwellings located nearby along Cedar Street.

The proposed density is also consistent with the historic use of corner parcels within Union Hill. For example, the 1952 Sanborn map shows the property across N 22<sup>nd</sup> Street (2121 Venable/816 N 22<sup>nd</sup>) as being occupied with a dwelling fronting Venable Street, a “duplex” fronting N 22<sup>nd</sup> Street, and accessory outbuildings.

**Height, Width, Proportion, & Massing**

At three stories, the proposed dwellings are comparable in height with other structures on the block. The massing provides an appropriate transition from the single family attached and detached dwellings fronting Venable to the duplex located to the rear of the subject parcel at 815 N 22<sup>nd</sup>.

## **Exterior Cladding/Doors and Windows/Materials**

Exterior cladding, doors and windows, foundation, and roofing are as noted on the attached plans. The items were selected to be consistent with CAR requirements and other dwellings within the Union Hill Old and Historic District. A finish schedule including doors and windows is provided for the proposed dwellings.

The proposed design is compatible with the historical fabric of the block as it recognizes the siting, scale, form, and massing of the contributing structures on the block. As noted by the *CAR's Handbook and Design Review Guidelines*, the Union Hill City Old and Historic District is characterized by a wide variety of architectural styles. The proposed dwellings provide modern architectural style offering new and desirable housing opportunities within the area while remaining consistent with the fabric of the historic district. Furthermore, many of the design elements of the proposed dwellings can be found on historically significant dwellings throughout the Union Hill district. The proposed single-family dwellings address the unique considerations of the lot size, shape, and underlying zoning while also acknowledging the historical characteristics of the Union Hill Neighborhood.

We thank you for the care and assistance in reviewing our application. Should you have any questions after reviewing this request, please feel free to contact me at [will@bakerdevelopmentresources.com](mailto:will@bakerdevelopmentresources.com) or (864) 377-9140.

Sincerely,

A handwritten signature in black ink, appearing to read "William Gillette". The signature is written in a cursive, flowing style.

William Gillette, AICP

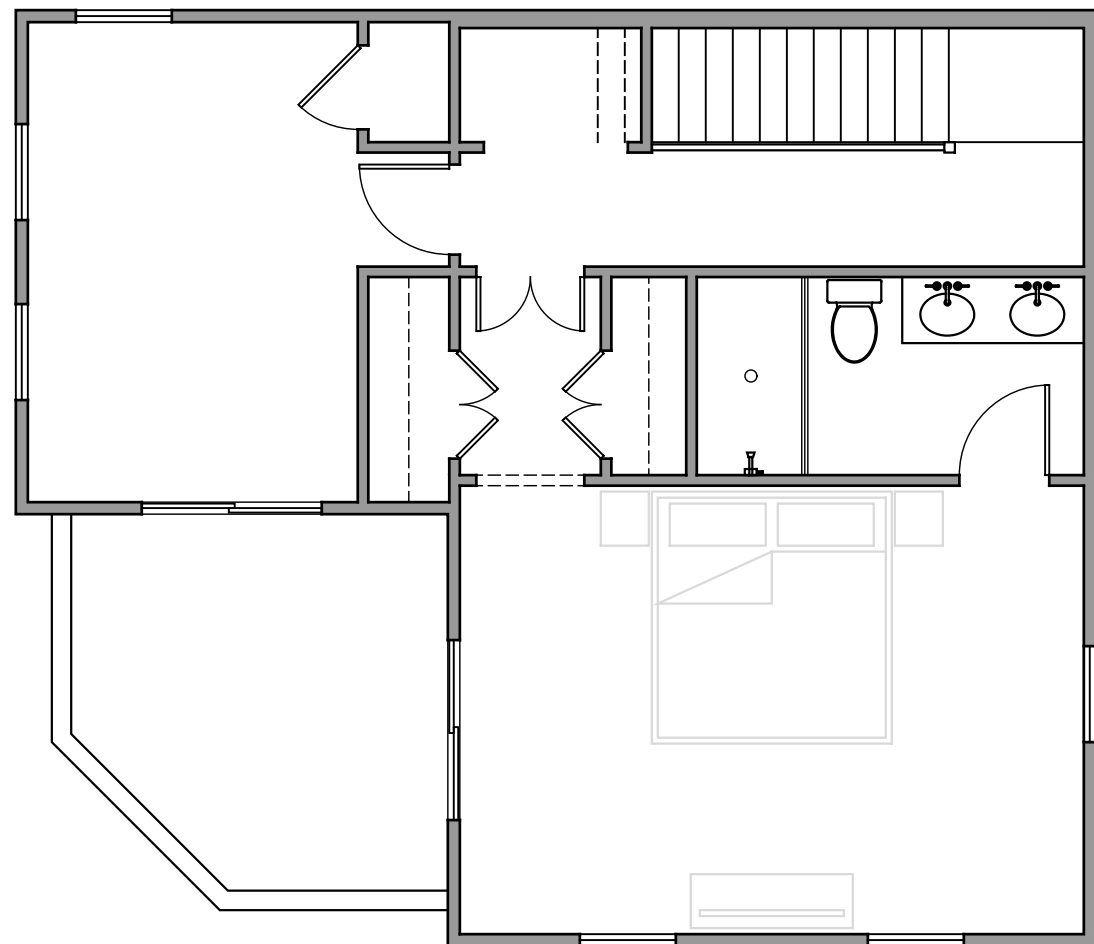
Baker Development Resources, LLC



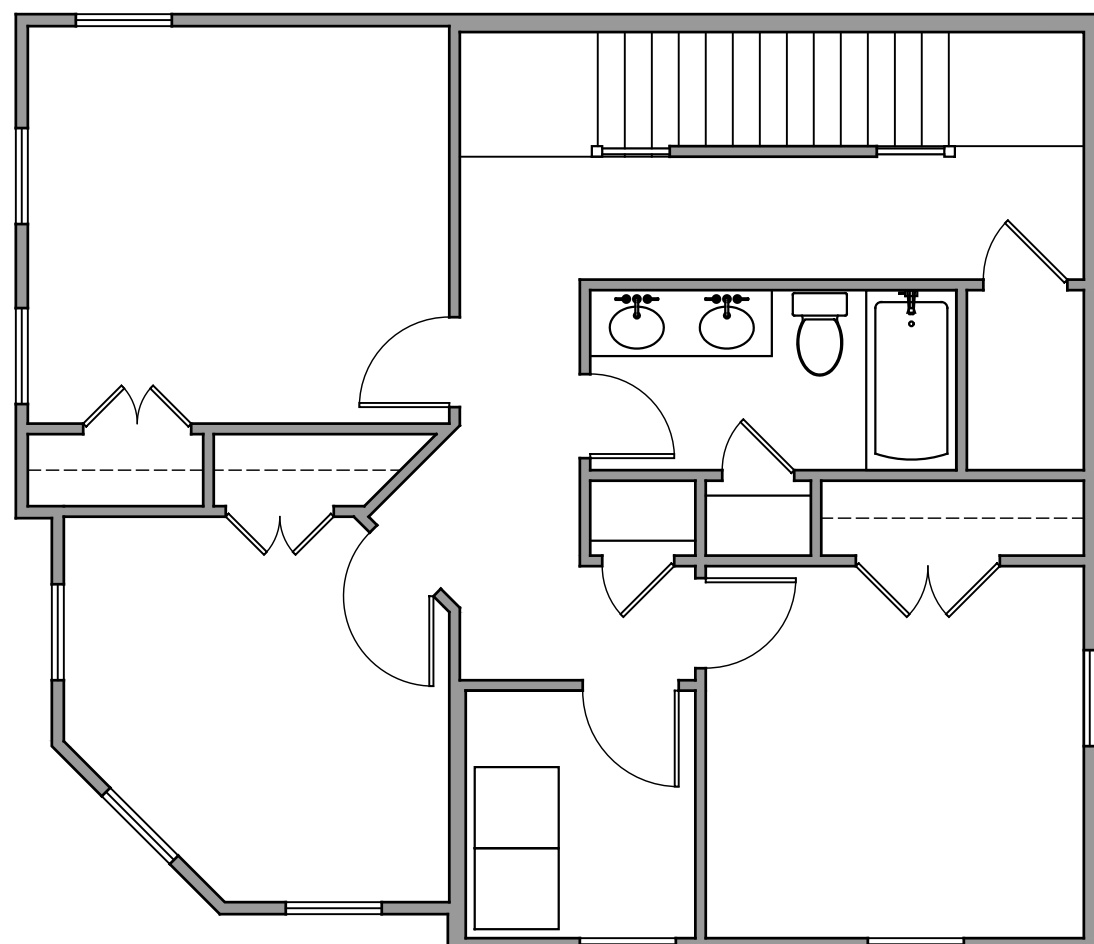




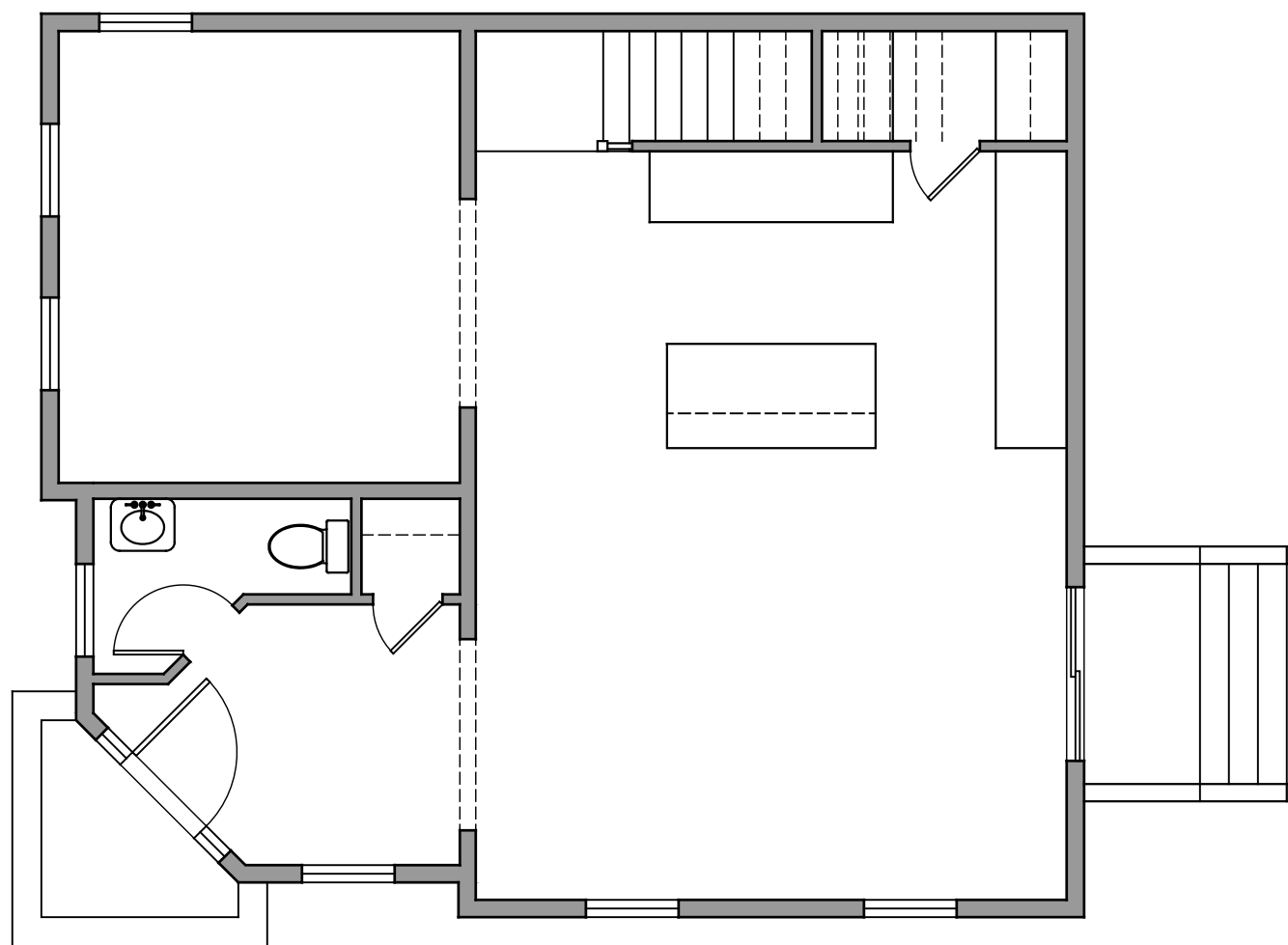




3RD FLOOR PLAN

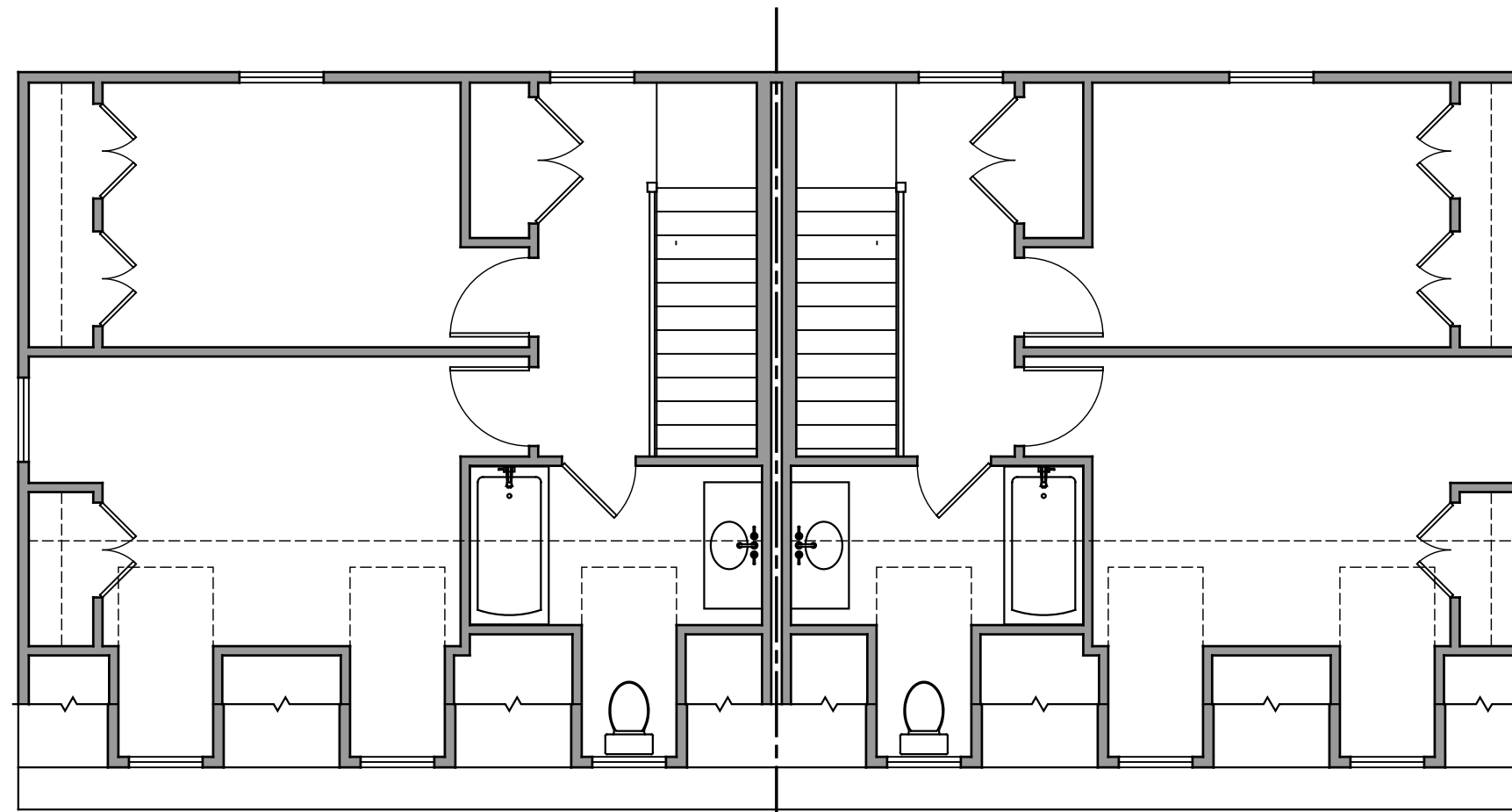


2ND FLOOR PLAN

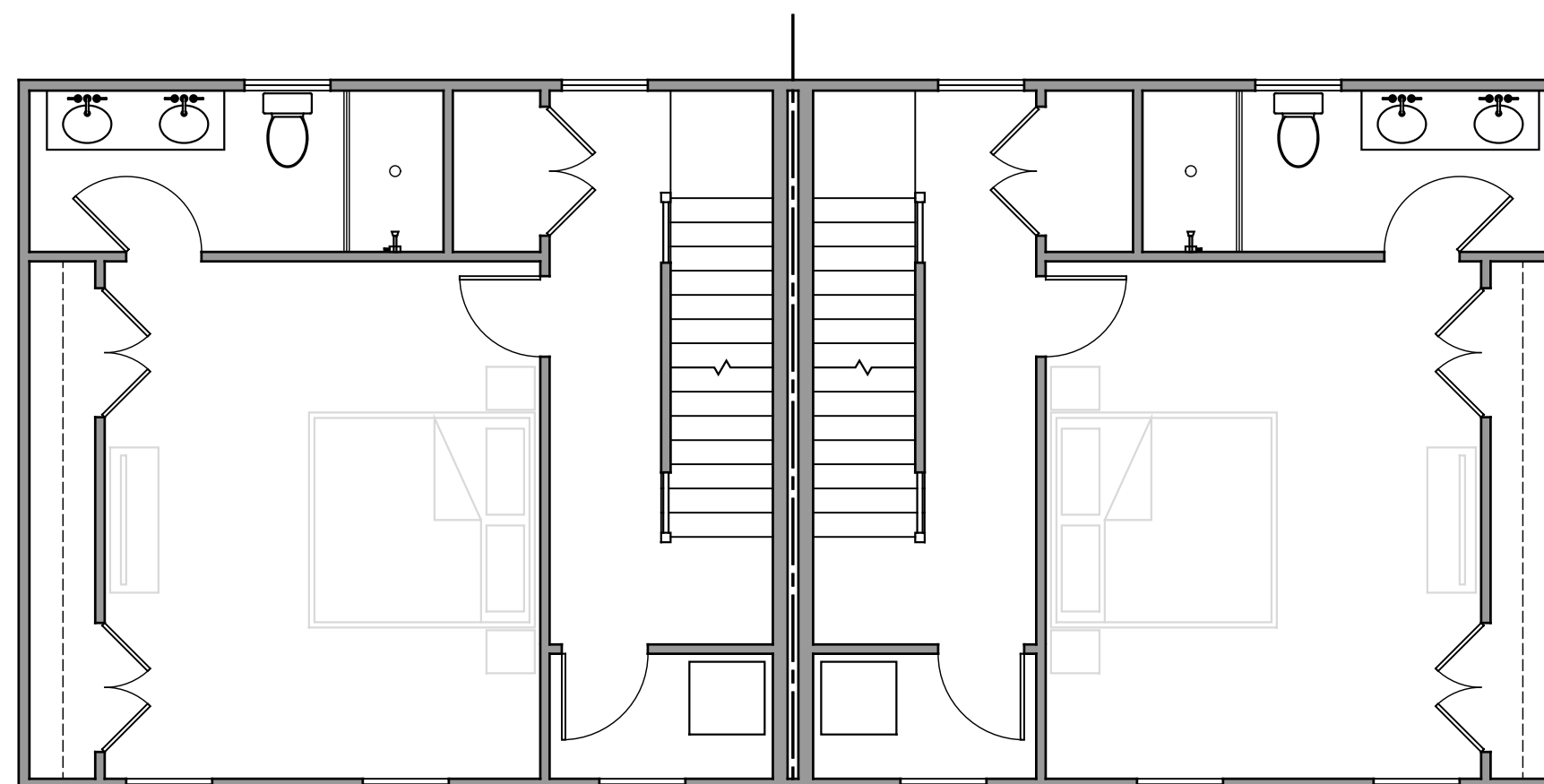


1ST FLOOR PLAN

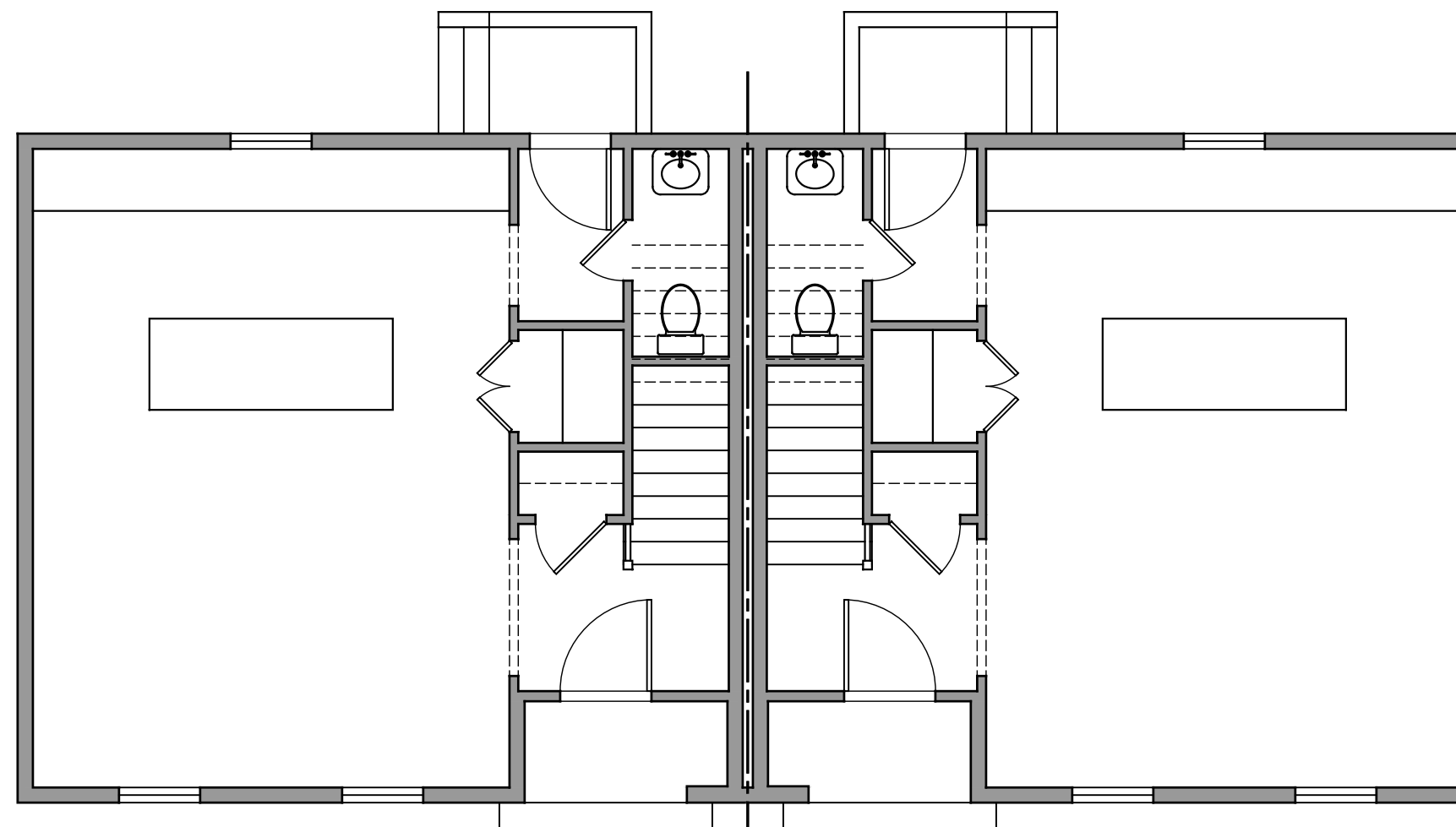
01 | 2201 VENABLE ST. FLOOR PLANS  
3/16" = 1'



3RD FLOOR PLAN



2ND FLOOR PLAN



1ST FLOOR PLAN

02 | 817 N. 22ND ST. FLOOR PLANS  
3/16" = 1'

PROJECT CONTACTS:

DEVELOPER:  
KEEL CUSTOM HOMES  
CONTACT: CASEY WHITE  
804-869-8600

ARCHITECT:  
CHRISTOPHER WOLF  
CHRIS WOLF ARCHITECTURE, PLLC  
804-514-7644

THREE NEW 3-STORY SINGLE-FAMILY HOUSES  
IN RICHMOND'S UNION HILL NEIGHBORHOOD  
**NEW HOUSES AT 2201 VENABLE ST.  
AND 817 N. 22ND ST.**

2201 VENABLE ST. & 817 N. 22ND ST.  
RICHMOND, VIRGINIA 23223

NOT FOR  
CONSTRUCTION

SET/REVISION:  
C.A.R. 2ND SUBMITTAL-  
SIDE/REAR ELEVS. ADDED

DATE/MARK:  
09.05.2024

FLOOR PLANS

**AI.I**



02 | VENABLE ST. ELEVATION

3/16" = 1'

2201 VENABLE ST. - EXTERIOR FINISH SCHEDULE

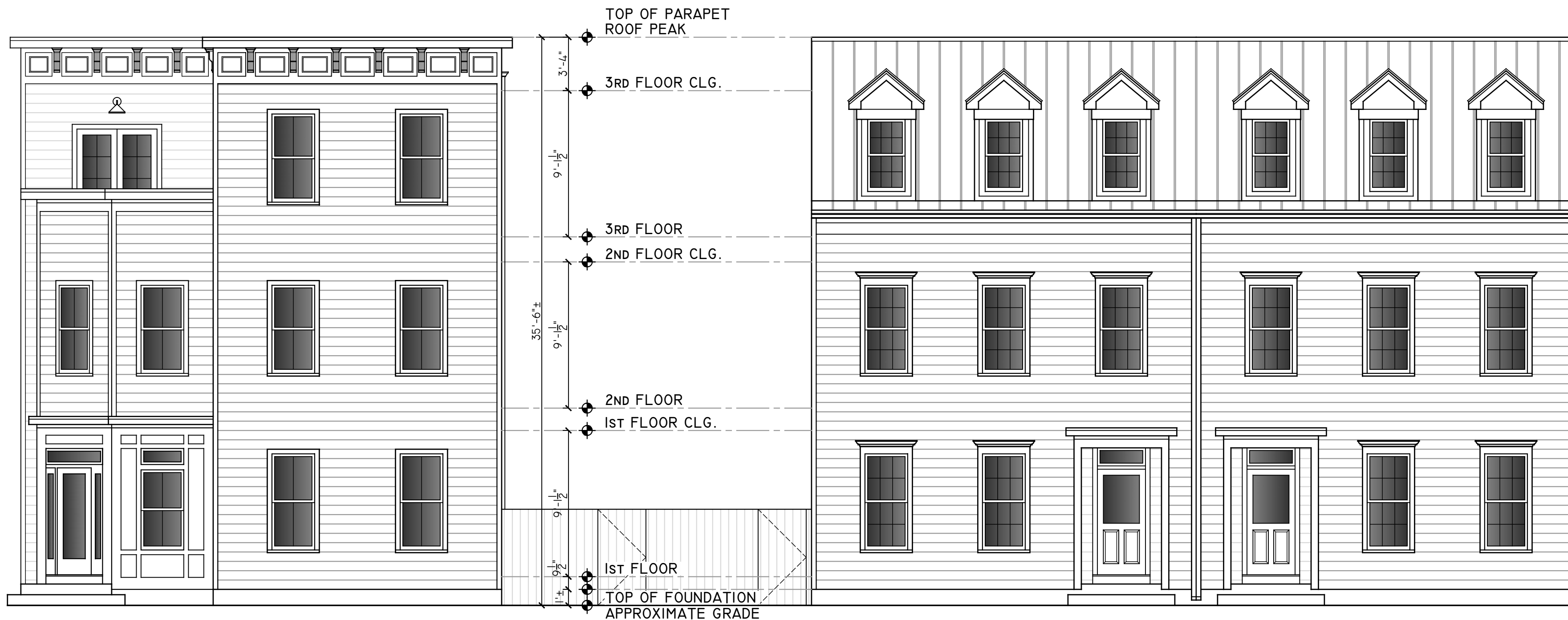
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PARGED FOUNDATION	GRAY/TAN
02	CONCRETE FRONT PORCH STAIRS/LANDINGS	NATURAL CONCRETE
03	HARDIE 7" EXPOSURE LAP SIDING	COLOR T.B.D.
04	FRONT DOOR FEATURE AREA - HARDIE FLAT PANEL/TRIM	COLOR T.B.D.
05	COMPOSITE/HARDIE TRIM	PAINTED ARCTIC WHITE
06	COMPOSITE/HARDIE SOFFITS	PAINTED ARCTIC WHITE
07	WOOD DOORS	PAINTED   COLOR T.B.D.
08	C.A.R.-COMPLIANT WINDOWS (S.D.L. ALUM-CLAD WOOD)	PREFINISHED
09	ITALIANATE CORNICE & BRACKETS	PAINTED ARCTIC WHITE
10	UPPER ROOF - TPO	FACTORY WHITE
11	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
12	REAR DECK/RAILINGS TO MATCH FRONT PORCH	-
13	WALL-MOUNTED LANTERNS AT DOORS	PREFINISHED BLACK

1. ALL MATERIALS & COLORS MUST MEET GENERAL C.A.R. REQUIREMENTS.
2. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS UNLESS NOTED OTHERWISE.
3. GRADES SHOWN APPROXIMATE. V.I.F.

817 N. 22ND ST. - EXTERIOR FINISH SCHEDULE

NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PARGED FOUNDATION	GRAY/TAN
02		
03	HARDIE 7" EXPOSURE LAP SIDING	COLOR T.B.D.
04	COMPOSITE/HARDIE TRIM	PAINTED ARCTIC WHITE
05	COMPOSITE/HARDIE SOFFITS	PAINTED ARCTIC WHITE
06	WOOD DOORS	PAINTED   COLOR T.B.D.
07	C.A.R.-COMPLIANT WINDOWS (S.D.L. ALUM-CLAD WOOD)	PREFINISHED
08	FRONT MANSARD ROOF - 16" STANDING SEAM METAL	PREFINISHED   COLOR T.B.D.
09	UPPER ROOF - TPO	FACTORY WHITE
10	FRONT PORCH ROOF - EPDM	FACTORY BLACK
11	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
12	FRONT PORCH RAILINGS - WOOD 'RICHMOND RAIL'	PAINTED ARCTIC WHITE
13	TREATED WOOD REAR DECK/RAILINGS	NATURAL TREATED WOOD
14	WALL-MOUNTED LANTERNS AT DOORS	PREFINISHED BLACK

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3. GRADES SHOWN APPROXIMATE. V.I.F.



01 | N. 22ND ST. CONTEXT ELEVATION

3/16" = 1'

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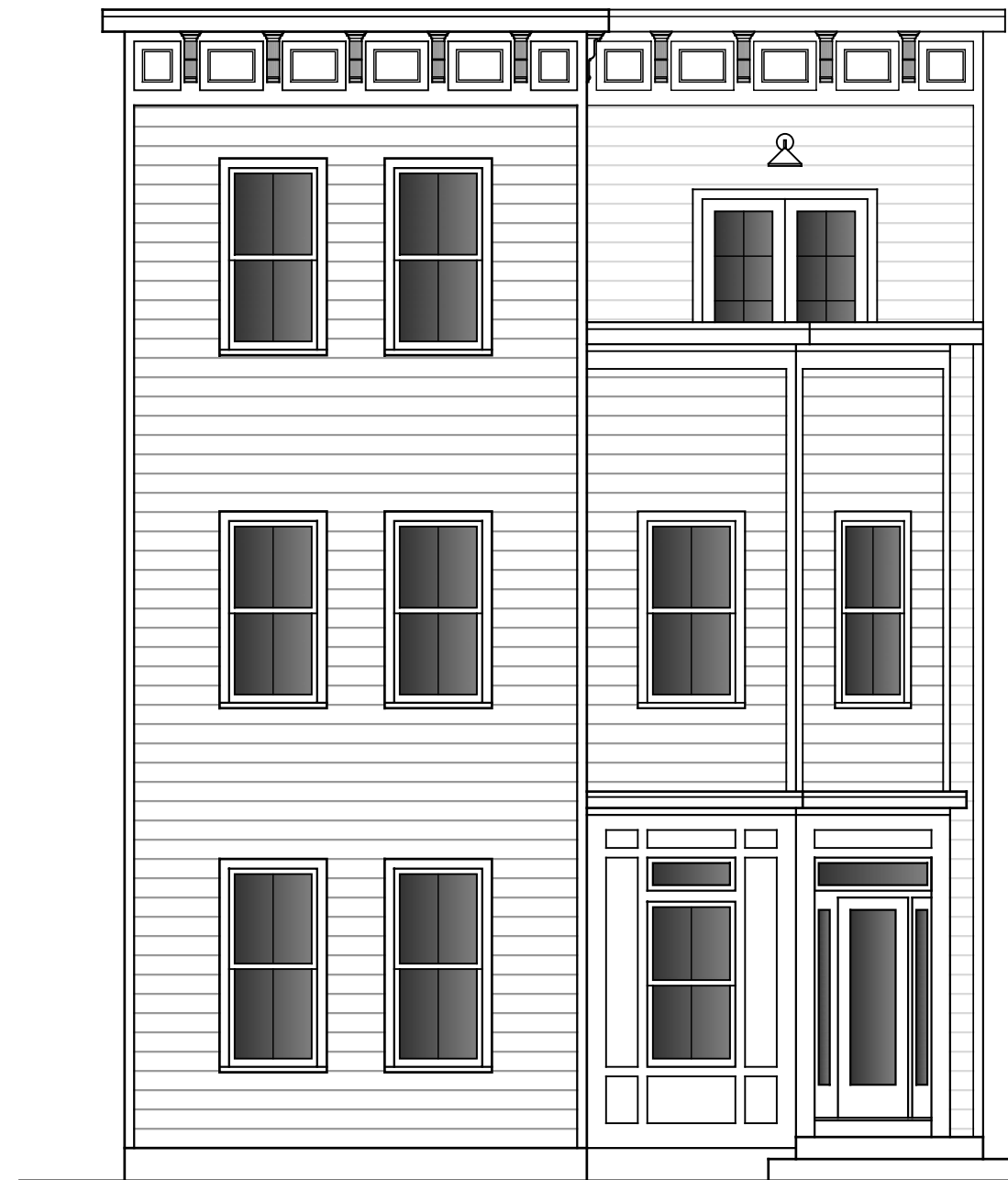


SET/REVISION:  
C.A.R. 2ND SUBMITTAL-  
SIDE/REAR ELEV. ADDED

DATE/MARK:  
09.05.2024

STREET ELEVATIONS

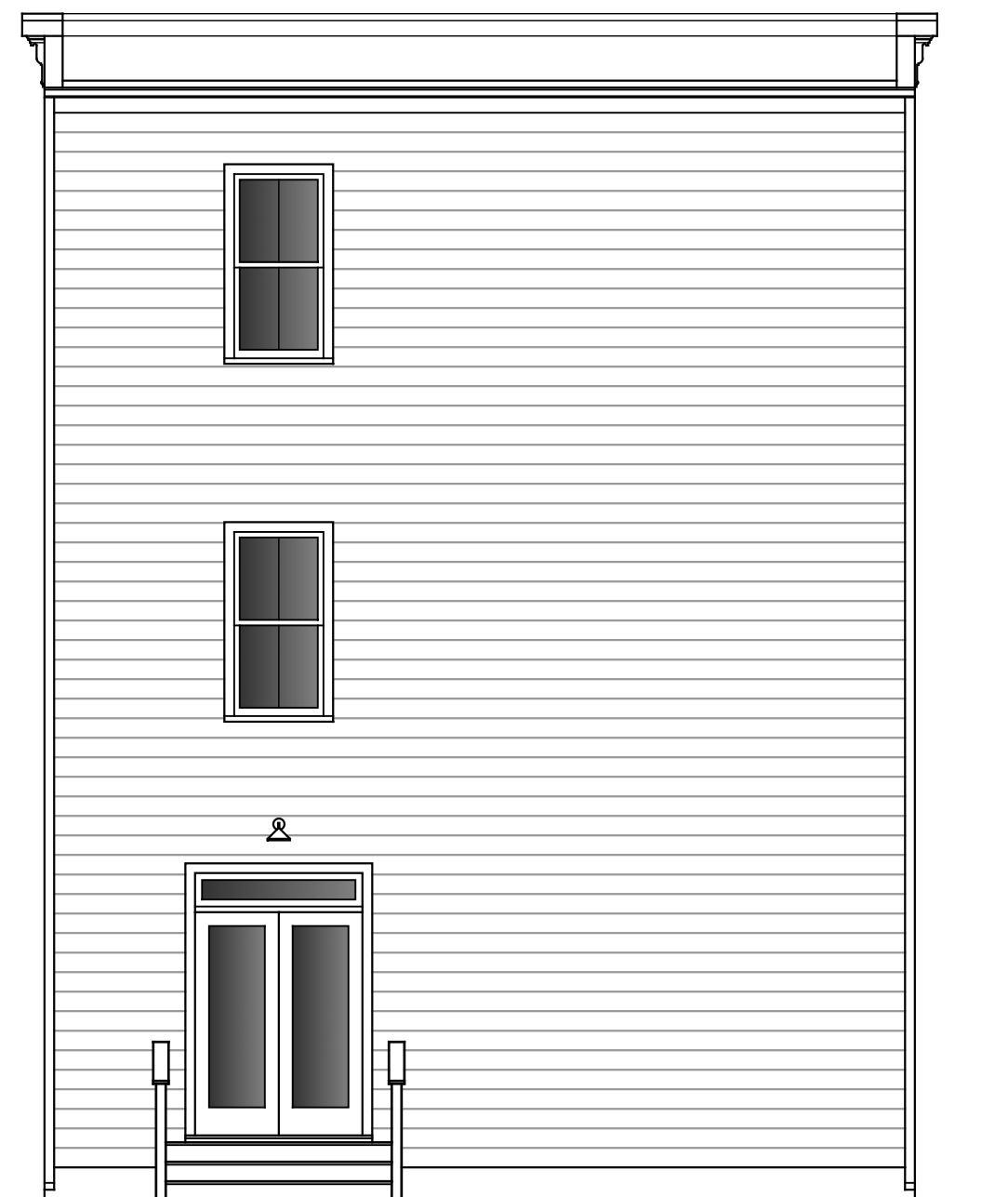
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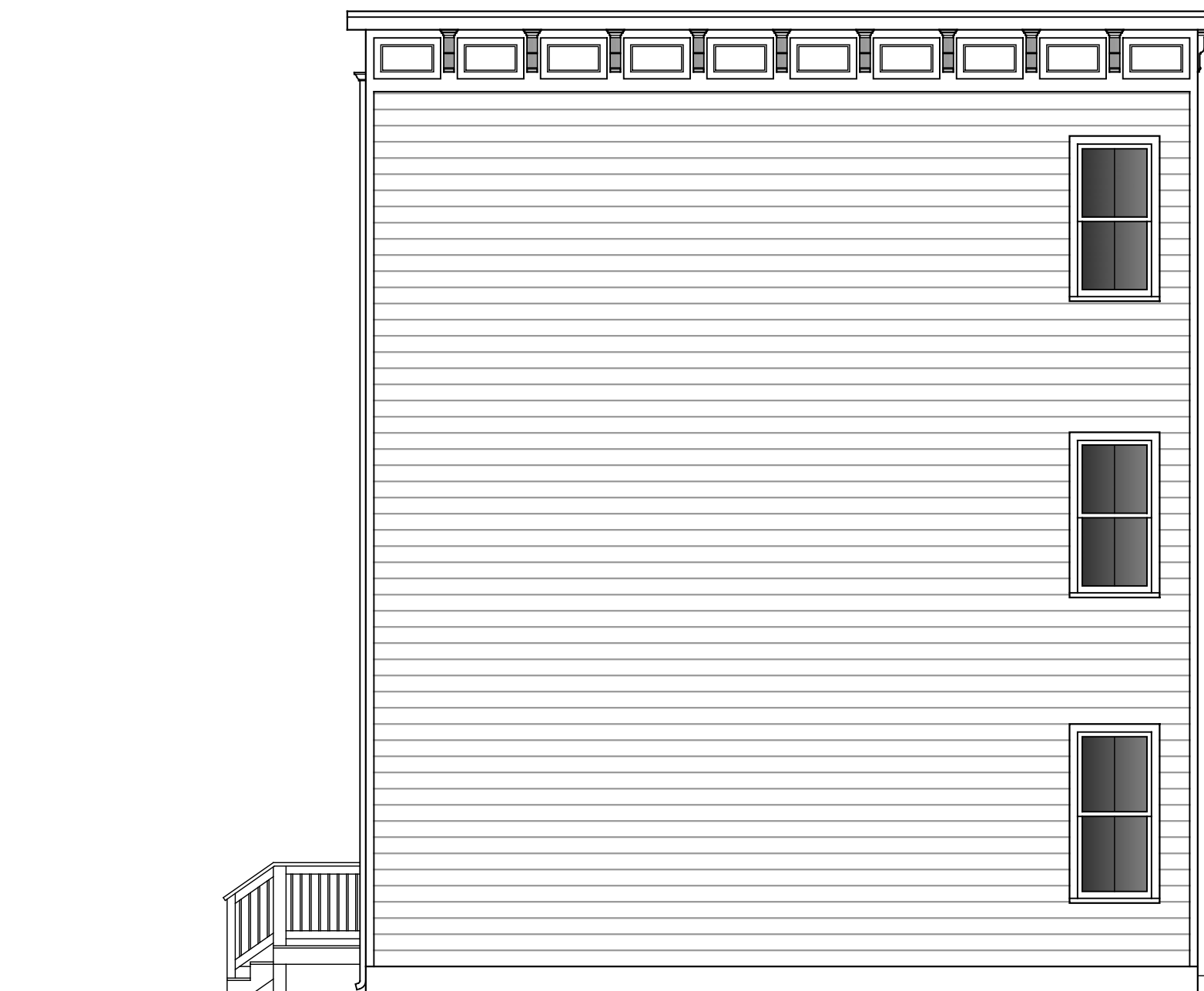
02 | VENABLE ST. ELEVATION  
3/16" = 1'



01 | N. 22ND ST. ELEVATION  
3/16" = 1'



04 | REAR ELEVATION  
3/16" = 1'



03 | LEFT SIDE ELEVATION  
3/16" = 1'

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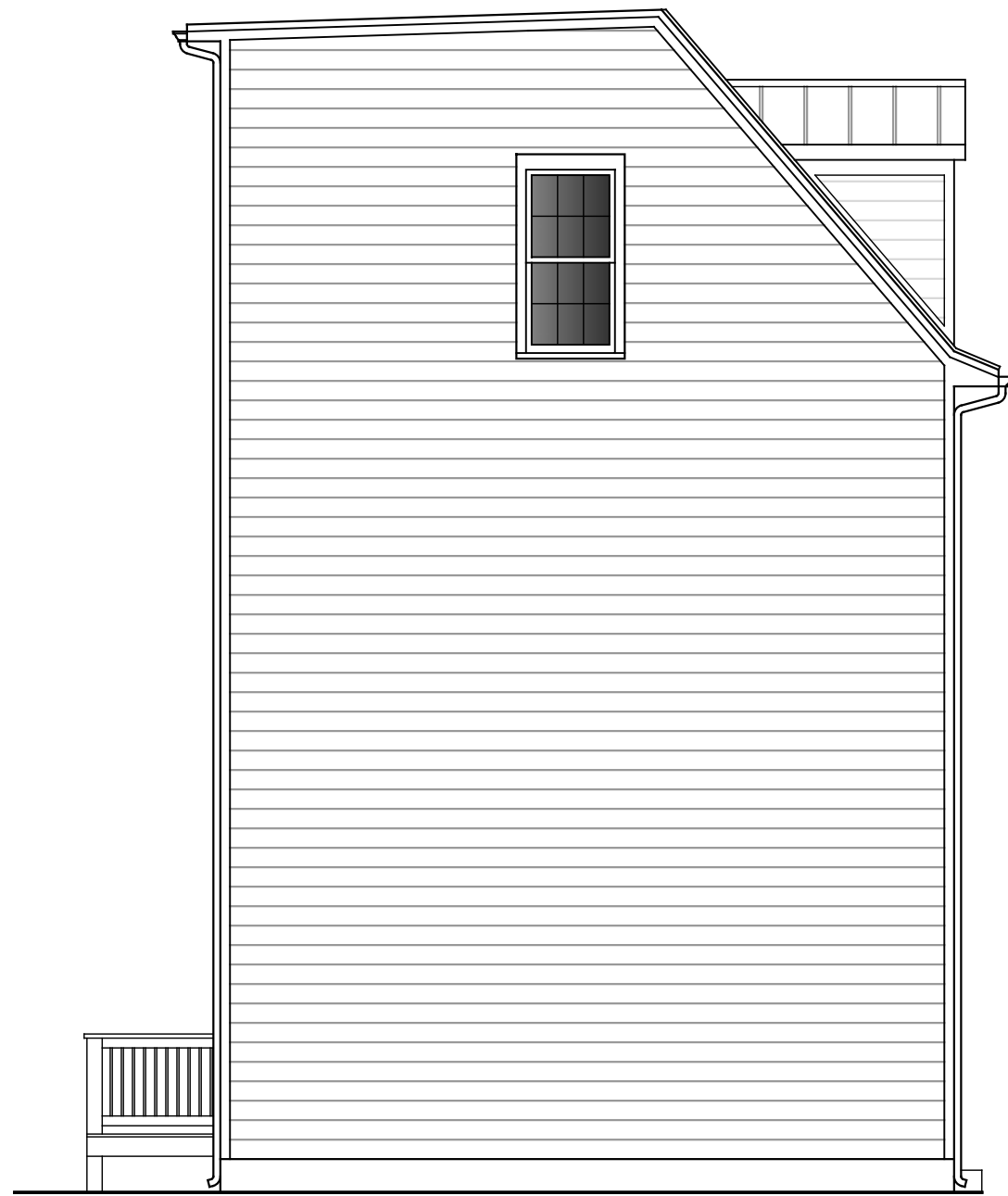
NOT FOR  
CONSTRUCTION

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SIDE/REAR ELEV. ADDED

DATE/MARK:  
09.05.2024

2201 VENABLE ST.  
EXTERIOR ELEVATIONS

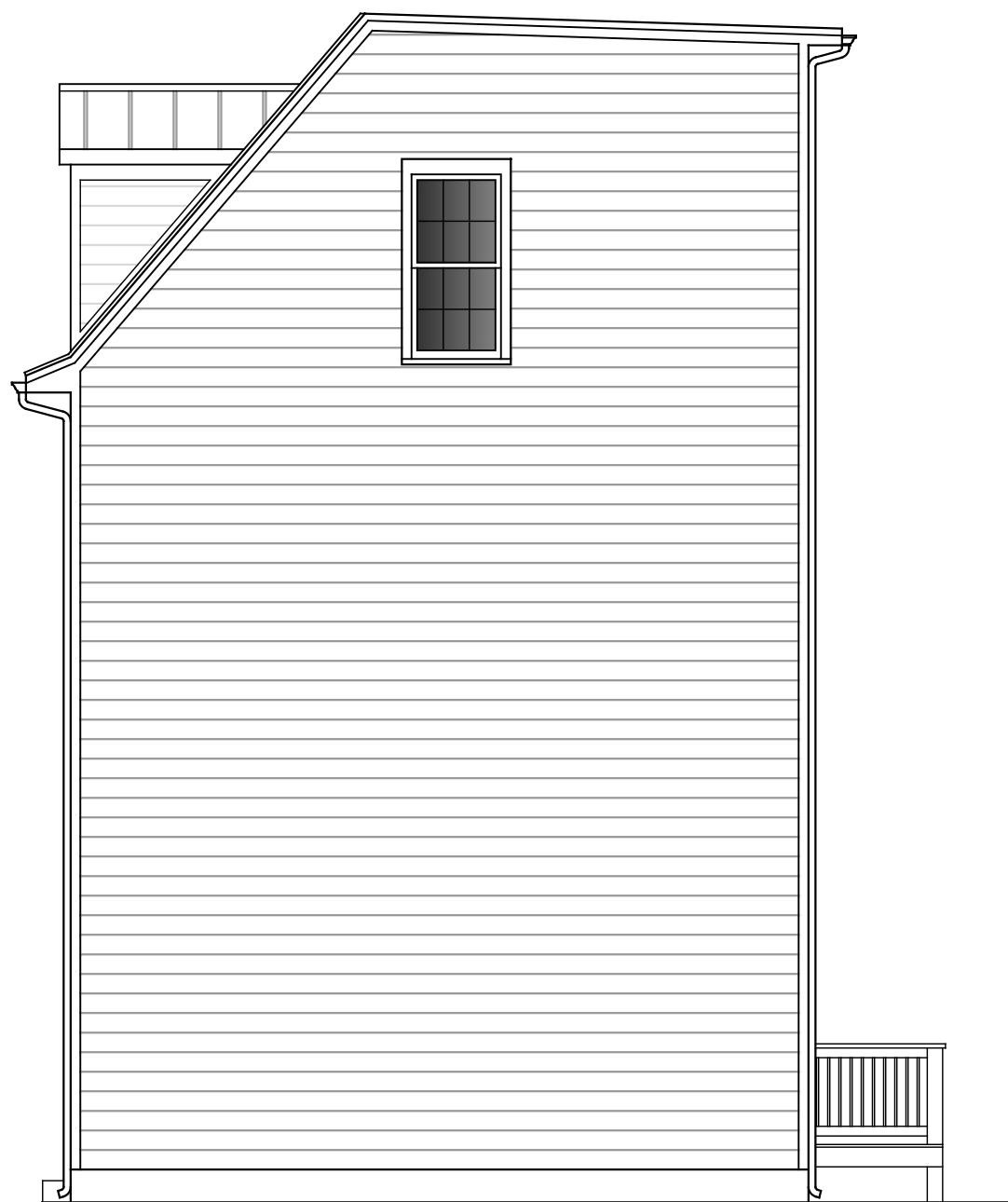
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02 | LEFT SIDE ELEVATION  
3/16" = 1'



01 | FRONT (N. 22ND ST.) ELEVATION  
3/16" = 1'



04 | RIGHT SIDE ELEVATION  
3/16" = 1'



03 | REAR ELEVATION  
3/16" = 1'

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817 N. 22ND ST.  
EXTERIOR ELEVATIONS

**A2.2**