



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

**12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION**

LOCATION OF WORK: 1903 East Marshall Street DATE: 1/8/2015

OWNER'S NAME: GTR CEDAR LLC TEL NO.: 804-873-0048

AND ADDRESS: 7818 SHRADER ROAD EMAIL: \_\_\_\_\_

CITY, STATE AND ZIPCODE: RICHMOND VA 23294

ARCHITECT/CONTRACTOR'S NAME: Marcellus Wright Cox Architects, P.C. TEL. NO.: \_\_\_\_\_

AND ADDRESS: 7818 Shrader Road EMAIL: bcox@mwcarchitects.com

CITY, STATE AND ZIPCODE: RICHMOND VA 23294

Would you like to receive your staff report via email? Yes  No

## REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

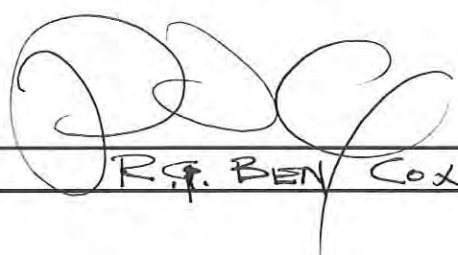
I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

## DETAILED DESCRIPTION OF PROPOSED WORK (Required):

### STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

**PROPOSED.** (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See *instruction sheet for requirements.*)

Revision to C.A.R. approved 180 Unit Apartment building for Zoning Setback.

Signature of Owner or Authorized Agent: **X** 

Name of Owner or Authorized Agent (please print legibly): J.R.G. BEN COX

**(Space below for staff use only)**

Received by Commission Secretary

APPLICATION NO. \_\_\_\_\_

DATE \_\_\_\_\_

SCHEDULED FOR \_\_\_\_\_

**Note: CAR reviews all applications on a case-by-case basis.**

January 8, 2016

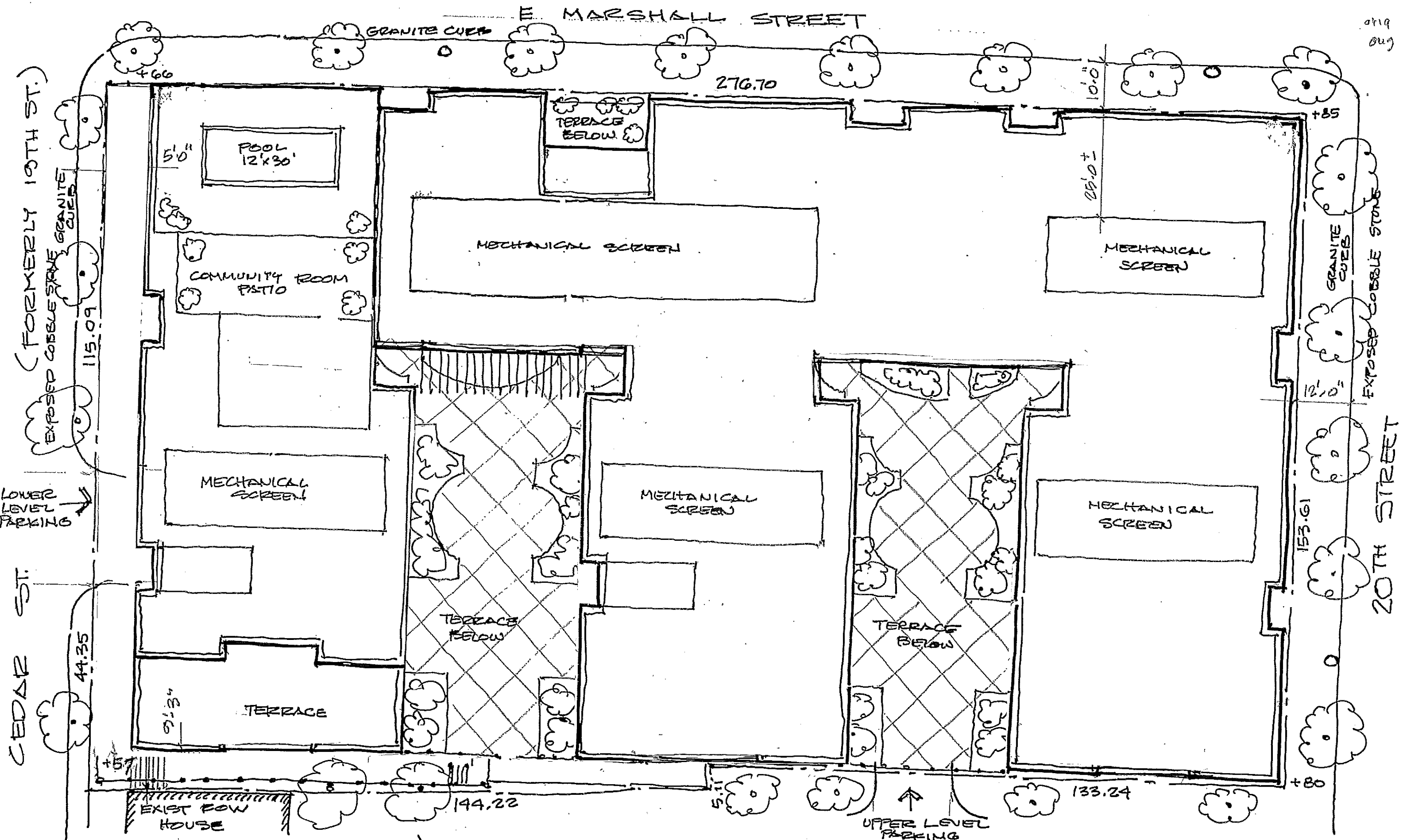
RE: 1903 E. Marshall CAR submission – Full Description

Dear Marianne and CAR Board Members,

The attached CAR application and proposed building revision is being submitted as a result of the City of Richmond Zoning department rejecting our proposed building location along Cedar St which was previously approved by CAR. In order to comply with the City of Richmond's zoning ordinance and meet setback requirements, we were required by the Zoning Department to compress the building (looking at it from Marshall St so that now the Cedar street side is setback to match the setback location and line of site of the main structure of the adjoining property to the right of our proposed structure. The only elevations that changed as a result of this issue were the Marshall St (North) and Alley (South) elevations. Within this package we have provided drawings of the previously approved CAR elevations as well as the new proposed elevations. Additionally we have included the site plan which reflects the change in setback change on Cedar St required to comply with the City of Richmond's zoning ordinance. As you can see in comparing the two versions we were careful with the modifications so that there are immaterial changes between the previously approved and current version of the building design.

We are asking the CAR to approve this required change so that we are compliant with the City of Richmond's zoning ordinance.

Thank You



(FORMERLY 19TH ST.)  
EXPOSED COBBLE STONE GRANITE CURB

LOWER LEVEL PARKING

CEDAR ST.

E. MARSHALL STREET

0119  
0119

20TH STREET

EXPOSED COBBLE STONE GRANITE CURB

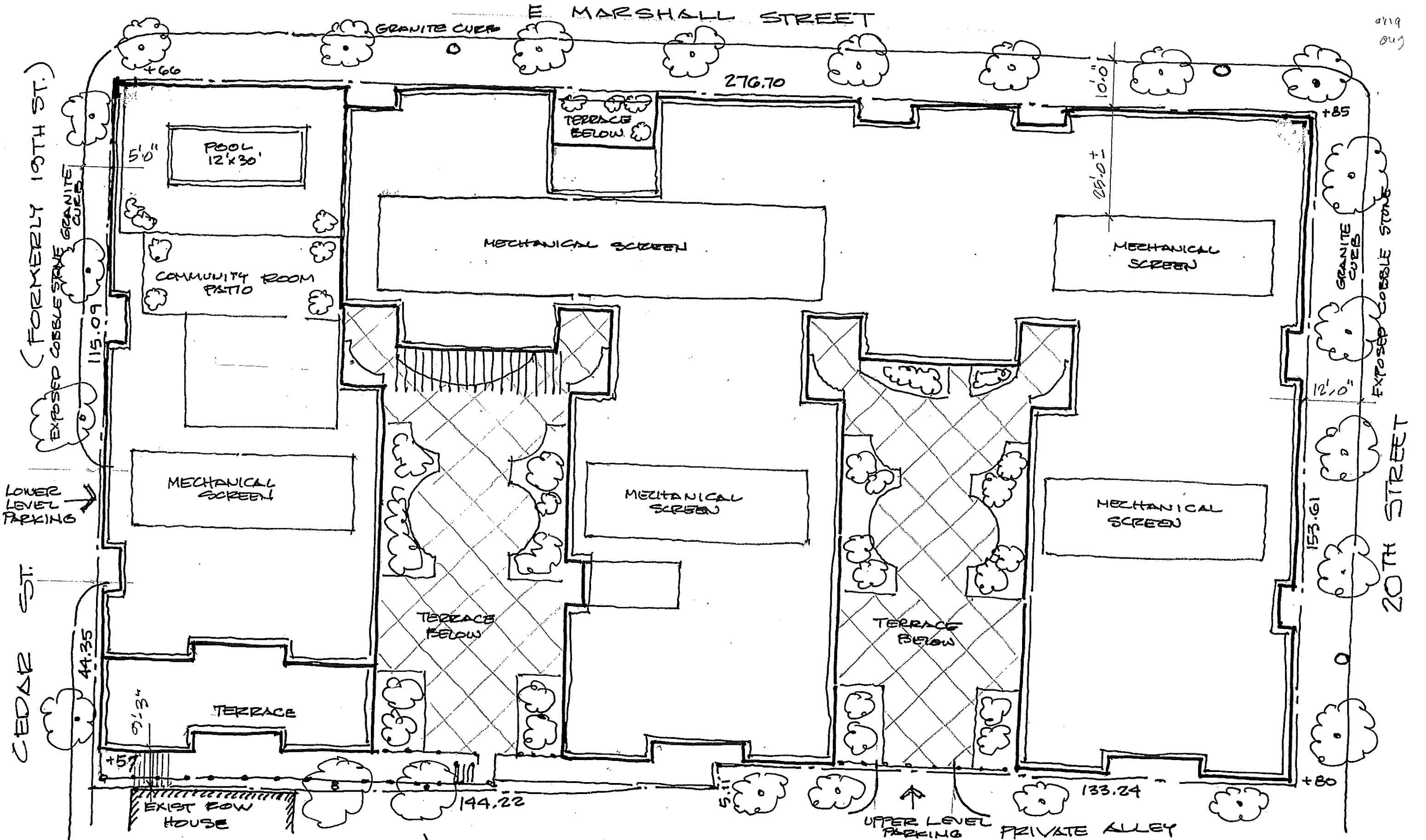
SITE PLAN

1" = 20'-0"

0 5 10 20

PRIVATE ALLEY

12.15.15



0119  
0119

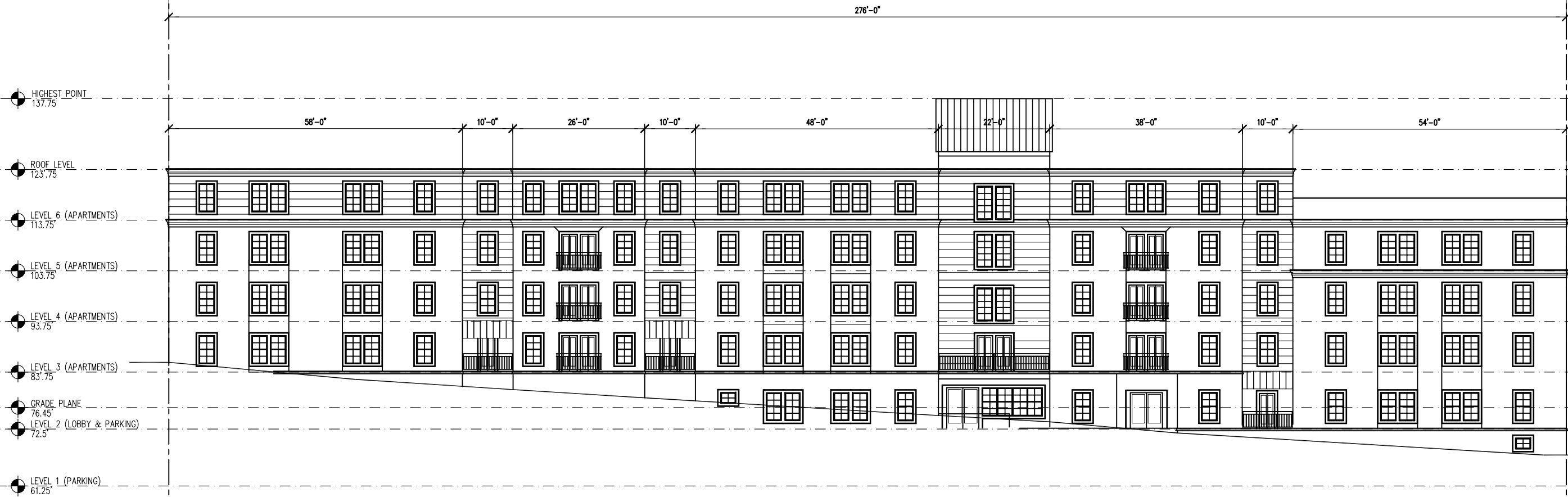
SITE PLAN

1" = 20'-0"

0 5 10 30

6.2.14

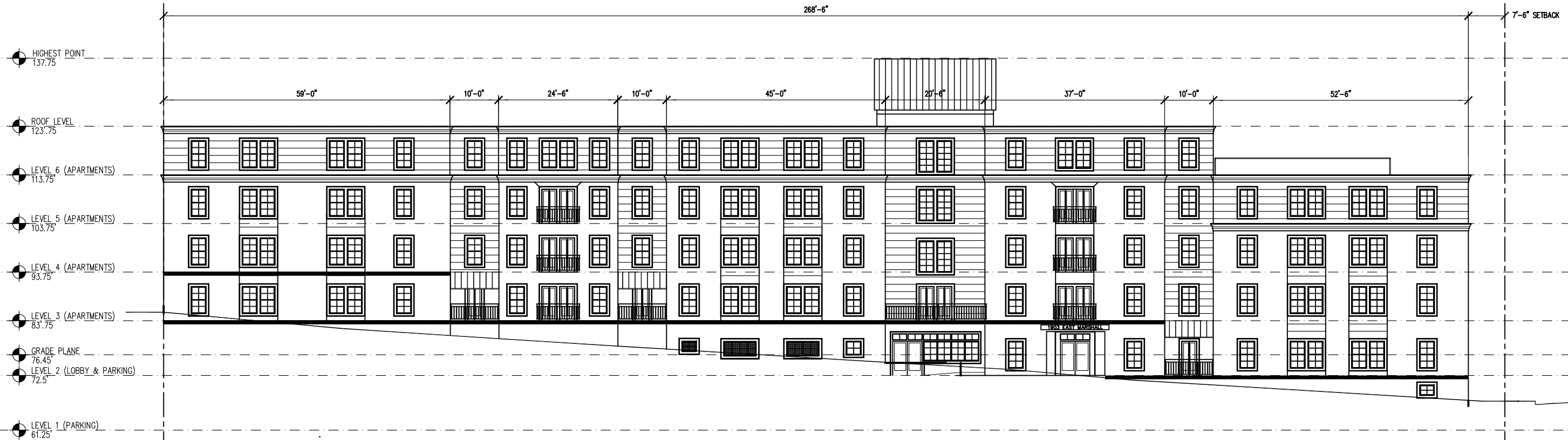
CAR: 6-2-2014



NORTH ELEVATION – MARSHALL STREET

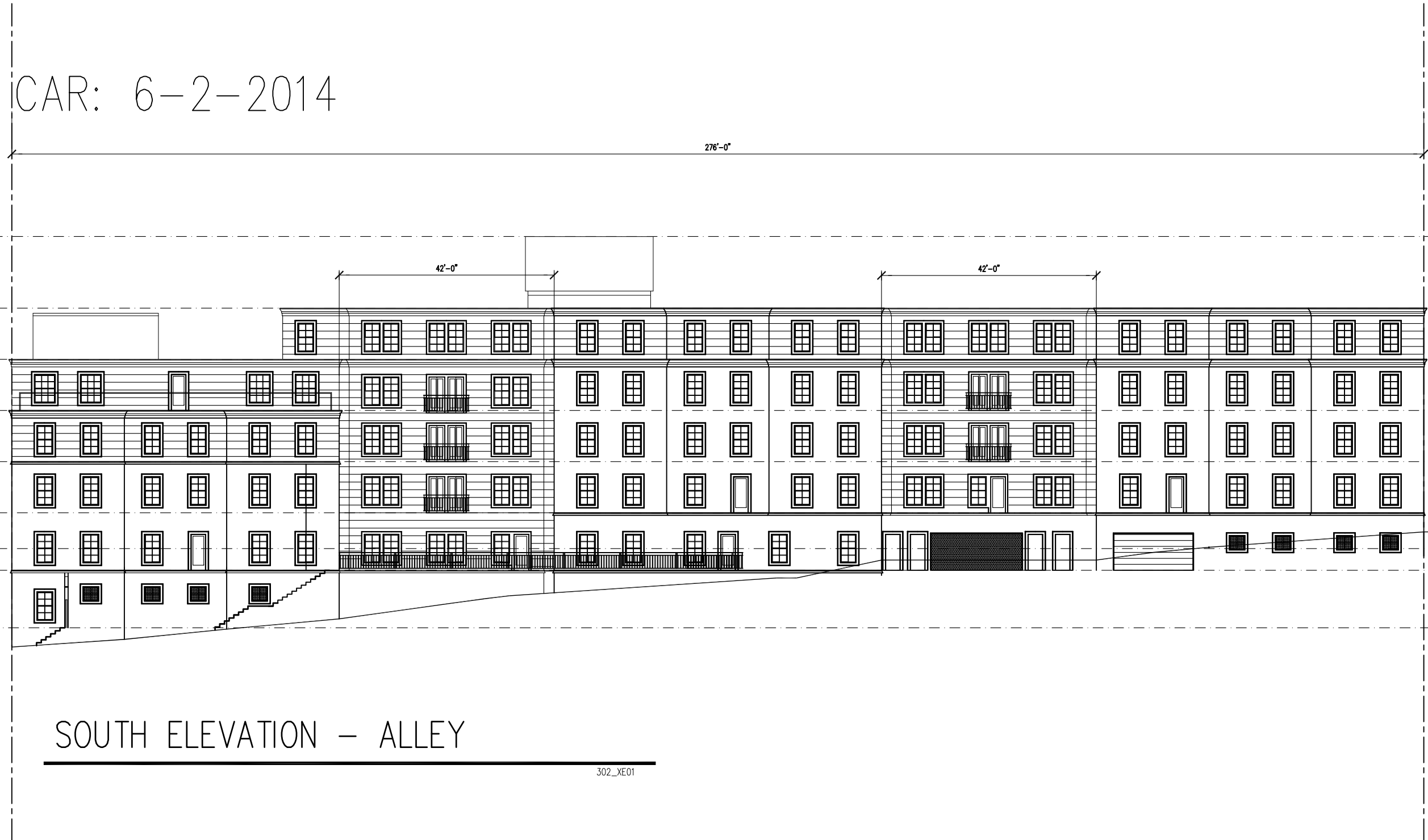
302\_XE01

CAR: 1-26-2016



NORTH ELEVATION - MARSHALL STREET

CAR: 6-2-2014



SOUTH ELEVATION - ALLEY

CAR: 1-26-2016

7'-6" SETBACK

268'-6"

- HIGHEST POINT  
137.75'
- ROOF LEVEL  
123.75'
- LEVEL 6 (APARTMENTS)  
113.75'
- LEVEL 5 (APARTMENTS)  
103.75'
- LEVEL 4 (APARTMENTS)  
93.75'
- LEVEL 3 (APARTMENTS)  
83.75'
- GRADE PLANE  
76.45'
- LEVEL 2 (LOBBY & PARKING)  
72.5'
- LEVEL 1 (PARKING)  
61.25'



SOUTH ELEVATION – ALLEY