



CITY OF RICHMOND, VA
Department of Planning and Development Review
Land Use Administration Division
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT
Applicant must complete ALL items

HOME/SITE ADDRESS: _____ APARTMENT NO/SUITE _____

APPLICANT'S NAME: _____ EMAIL ADDRESS: _____

BUSINESS NAME (IF APPLICABLE): _____

SUBJECT PROPERTY OR PROPERTIES: _____

APPLICATION REQUESTED

- Plan of Development (New or Amendment)
- Wireless Plan of Development (New or Amendment)
- Special Use Permit (New or Amendment)
- Rezoning or Conditional Rezoning
- Certificate of Appropriateness (Conceptual, Administrative Approval, Final)
- Community Unit Plan (Final, Preliminary, and/or Amendment)
- Subdivision (Preliminary or Final Plat Correction or Extension)

TO BE COMPLETED BY THE AUTHORIZED OWNER
Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: _____

PROPERTY OWNER ADDRESS: _____

PROPERTY OWNER EMAIL ADDRESS: _____

PROPERTY OWNER PHONE NUMBER: _____

Property Owner Signature: Manuch Amir

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.

3820 Hermitage Road
Richmond, VA 23227
Tax Parcel No. N017-0364/011

Special Use Permit (SUP) Application Report

09/19/2024

The owner of the property known as 3820 Hermitage Road, identified as Tax Parcel No. N017-0364/011 which is situated in a R-1 Single-Family Residential District, desires to use such property for the purpose of a dwelling unit within an accessory building to a single-family detached dwelling,

The special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air. The applicant has conducted a detail review of the site and is confident that conditions will be met.

The Special Use of the Property shall be as a dwelling unit within an accessory building to a single-family detached dwelling, substantially as shown on the Plans. The Special Use shall be located no closer than five feet from the side-yard property line, and all mechanical equipment serving the Property will be located or screened so as not to be visible from any public right-of-way.

Comments received from various City of Richmond Departments and resolved, no outstanding issues.

All required final grading and drainage plans, together with all easements made necessary by such plans, will be submitted to the Director of Public Utilities for approval prior to the issuance of the building permit.

Property Owner Signature

Manuch Amir

Manuch Amir
3820 Hermitage Road
Richmond, VA 23227



CITY OF RICHMOND
900 EAST BROAD STREET
RICHMOND VIRGINIA 23219
(804) 646-6335

Administrative Approval

Commission of Architectural Review

October 11, 2023

Mr. Manuch Amir
3820 Hermitage Road
Richmond, VA 23227

RE: Administrative Approval (COA-137360-2023) for 3820 Hermitage Road– New Garage material specifications

Dear Mr. Amir:

The staff for the Commission of Architectural Review (CAR) have reviewed the materials you submitted for the work at the above-referenced property. With the terms and conditions described below, you are granted administrative approval for this application in accordance with 30-930.6. (h) of the Richmond City Code.

The administrative approval covers the following work items: Construction of a new garage with a bronze metal or copper roof. The garage will have board and batten siding, and be painted to match the main dwelling. The garage will have ultimate clad, double hung, standard divided light windows.

The approval is conditioned on the following:

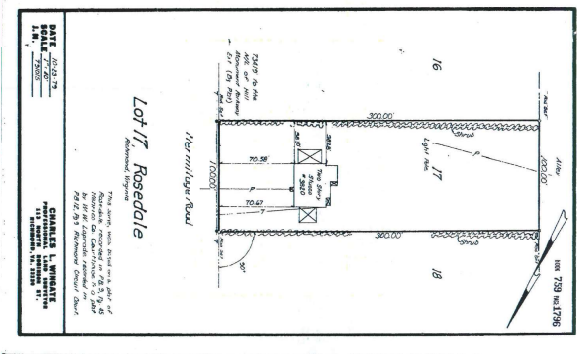
- The copper roof must be true copper, not a faux shiny copper that will not patina over time.

Therefore, all of the work listed in the application can proceed when any necessary permits are received from the Bureau of Permits and Inspections. Any additional work not included in the application will have to be submitted for additional review.

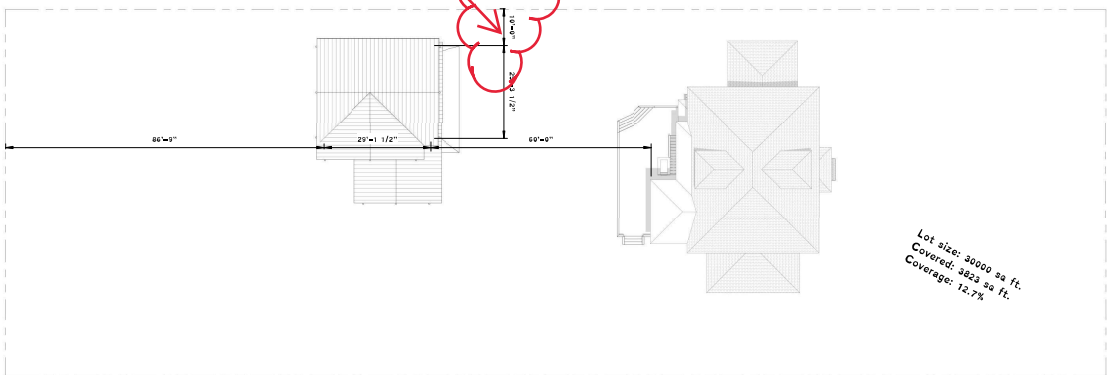
Please call me at 804.646.6569 or by e-mail at alex.dandridge@rva.gov if you have any questions.

Sincerely,

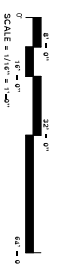
Alex Dandridge



Request 5' from
Property Line



Site Plan
1/16" = 1'-0"



Building Permit and Approved Construction Documents
 Review and approval of this plan is based on the information provided and does not constitute a warranty of any kind. The reviewer is not responsible for any errors or omissions on this plan. The reviewer is not responsible for any changes to this plan after the date of approval. The reviewer is not responsible for any changes to this plan after the date of approval. The reviewer is not responsible for any changes to this plan after the date of approval.



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Site Plan
 3820 Hermitage Road - Detached Garage Plans
 Manuchehr and Rebecca A Amirsoleimani
 City of Richmond, VA

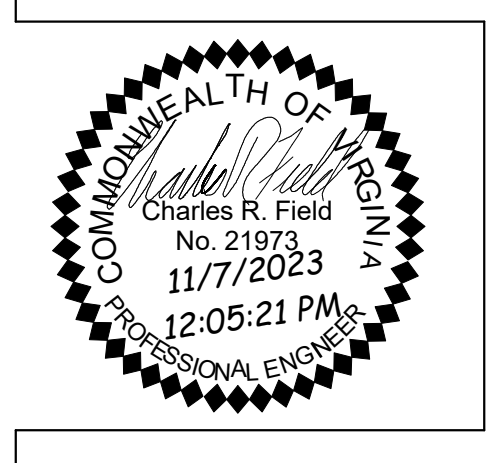
Rev.	Date	Description

V1.1

rev. 11/7/2023
 July 8, 2022

Table with 5 columns: Rev., Date, Description

3820 Hermitage Road - Detached Garage Plans
Manuchehr and Rebecca A Amirsoleimani
City of Richmond, VA



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General Notes

- 1. The general contractor and each trade contractor shall be required to check and be responsible for conformance of these plans with all requirements of the Virginia Uniform Statewide Building Code in force at the time of construction, local ordinances & construction requirements, and manufacturers recommendations prior to beginning work and during construction.
2. During construction the contractor may expose conditions that are unstable or unsafe...

Exterior

- 1. Exterior details (eg: columns, shutters, decorative items, etc.) Are shown for illustrative purposes only. Window and door grill patterns are illustrative only and will be determined by the manufacturer of the window specified or by the general contractor.
2. Exterior detail may vary as predicted in elevation drawings. Field conditions and material variabilities or selections may affect final feature considerations and design.

Framing

- 1. Sawn lumber shall be identified by a grade mark of an accredited lumber grading or inspection agency and have design values certified by an accreditation body that complies with DOC PS 20.
2. Glued-laminated timbers shall be manufactured and identified as required in ANSI/AITC A190.1 and ASTM D 3737.
3. All framing lumber unless otherwise noted shall be SP #2 or better and have a minimum Fb=1,200 psi, Fv=90 psi, and E=1,400,000 PSI...

Footing

- 1. Since the house is not located in a shrink swell area, in lieu of a complete geotechnical evaluation, the load-bearing values shall be assumed to be 1500psi as per Table R401.4.1.
2. Except where otherwise protected from frost, foundation walls, piers and other permanent supports of buildings and structures shall be protected from frost by one or more of the following methods:
a. Extended below the frost line specified in Table R301.2.1(1), 18".
b. Constructed in accordance with Section R403.3.
c. Constructed in accordance with ASCE 32.
d. Erected on solid rock.

Foundation

- 1. Grout collar joint solid in composite masonry foundation wall construction under all bearing points where not shown on plan.
2. In areas where columns or posts are shown on foundation plan the CMU cells shall be filled solid.
3. Brick columns supporting raised decks and porches shall be filled solid from footing to cap.
4. Foundation walls that retain earth and enclose interior spaces and floors below grade shall be dampproofed from the higher of (a) the top of the footing or (b) 6 inches below the top of the basement floor...

Drainage

- 1. Foundation walls that retain earth and enclose interior spaces and floors below grade shall be dampproofed from the higher of (a) the top of the footing or (b) 6 inches below the top of the basement floor, to the finished grade. Masonry walls shall have not less than 3/8-inch Portland cement parging applied to the exterior of the wall.
2. Drains shall be provided around concrete or masonry foundations that retain earth and enclose habitable or usable spaces located below grade. Drainage tiles, gravel or crushed stone drains, perforated pipe or other approved systems or materials shall be installed at or below the top of the footing or below the bottom of the slab and shall discharge by gravity or mechanical means into an approved drainage system.
3. Window wells and bulkhead enclosures shall be designed for proper drainage by connecting to the buildings' foundation drainage system.

Ventilation

- Crawlspace
1. The under-floor space between the bottom of the floor joists and the earth under the building shall have ventilation openings through foundation walls or exterior walls. The minimum net area of ventilation openings shall be not less than 1 square foot for each 150 square feet of under-floor space area.
2. Ventilation openings shall be covered for their height and width with any of the following materials provided that the least dimension of the covering shall not exceed 1/4 inch (6.4 mm):
a. Perforated sheet metal plates not less than 0.070 inch thick.
b. Expanded sheet metal plates not less than 0.047 inch thick.

Roof

- 1. Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow.
2. Ventilation openings shall have a least dimension of 1/16 inch minimum and 1/4 inch maximum.
3. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth or similar material with openings having a least dimension of 1/16 inch minimum and 1/4 inch maximum.
4. Required ventilation openings shall open directly to the outside air.

Roofing

- 1. The home shall have a controlled method of water disposal from roofs that will collect and discharge roof drainage to the ground surface not less than 5 feet (1524 mm) from foundation walls or to an approved drainage system.
2. Ice and water shield shall be applied at the eaves to 24" inside the exterior wall line. All valleys to be lined with ice and water shield or equivalent.
3. Drip edge shall be installed on all roof edges. Install drip edge on eaves first with underlayment installed over the drip edge.
4. Underlayment. Joints in drip edge shall be lapped minimum 2 in with the upslope piece lapped over the down slope piece.
5. Rafters shall be framed not more than 11 1/2-inches offset from each other to ridge.

Concrete Slab

- 1. Concrete to be minimum compressive strength of 3000psi unless otherwise noted, as per IRC §R402.2
2. All reinforcing bar placed in concrete shall have a minimum 3" cover to all edges.
3. Welded wire mesh shall conform to ASTM A-185, lap edges of wire at least 6" in each direction.

Egress / Windows / Doors

- 1. All egress openings from bedrooms shall have a minimum net clear opening of 5.7 square feet, be not more than 44" from finished floor to sill height, and have a minimum net clear opening height of 24" and width of 20".
2. Contractor to verify height of window sill above grade and determine need for guard rail or other remedy if over 6' from finished grade at exterior.
3. All exterior openings shall be protected from water intrusion by generally accepted building practices and as required by the Virginia USBC.

Flashing

- 1. Approved corrosion-resistant flashing shall be applied single-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components.
A. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish.
B. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
C. Under and at the ends of masonry, wood or metal copings and sills.
D. Continuously above all projecting wood trim.
E. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
F. At wall and roof intersections.
G. At built-in gutters.

GLAZING

- 1. Each pane of glazing installed in hazardous locations shall be provided with a manufacturer's designation specifying who applied the designation, the type of glass and the safety glazing standard with which it complies, and that is visible in the final installation.
2. Regular, float, wired or patterned glass in jalousies and louvered windows shall be not less than nominal 3/16 inch thick and not more than 48 inches in length. Exposed glass edges shall be smooth.
3. Glazing in fixed and operable panels of swinging, sliding and bifold doors shall be considered to be a hazardous location.
4. Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches above the floor or walking surface and it meets either of the following conditions:
A. Where the glazing is within 24 inches of either side of the door in the plane of the door in a closed position.
B. Where the glazing is on a wall less than 180 degrees from the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.

Smoke Alarms

- 1. Smoke alarms shall comply with NFPA 72
2. Smoke alarms shall be listed in accordance with UL 217. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034.
3. Smoke alarms shall be installed in the following locations:
a. In each sleeping room.
b. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
c. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics.

Carbon Monoxide Alarms

- 1. Carbon monoxide alarms shall be listed in accordance with UL 2034. Combination carbon monoxide and smoke alarms shall be listed in accordance with UL 2034 and UL 217.
2. Carbon monoxide alarms shall be provided in accordance with Sections R315.2.1 and R315.2.2
3. Carbon monoxide alarms shall be provided in dwelling units where either or both of the following conditions exist:
a. The dwelling unit contains a fuel-fired appliance.
b. The dwelling unit has an attached garage with an opening that communicates with the dwelling unit.

Stairways

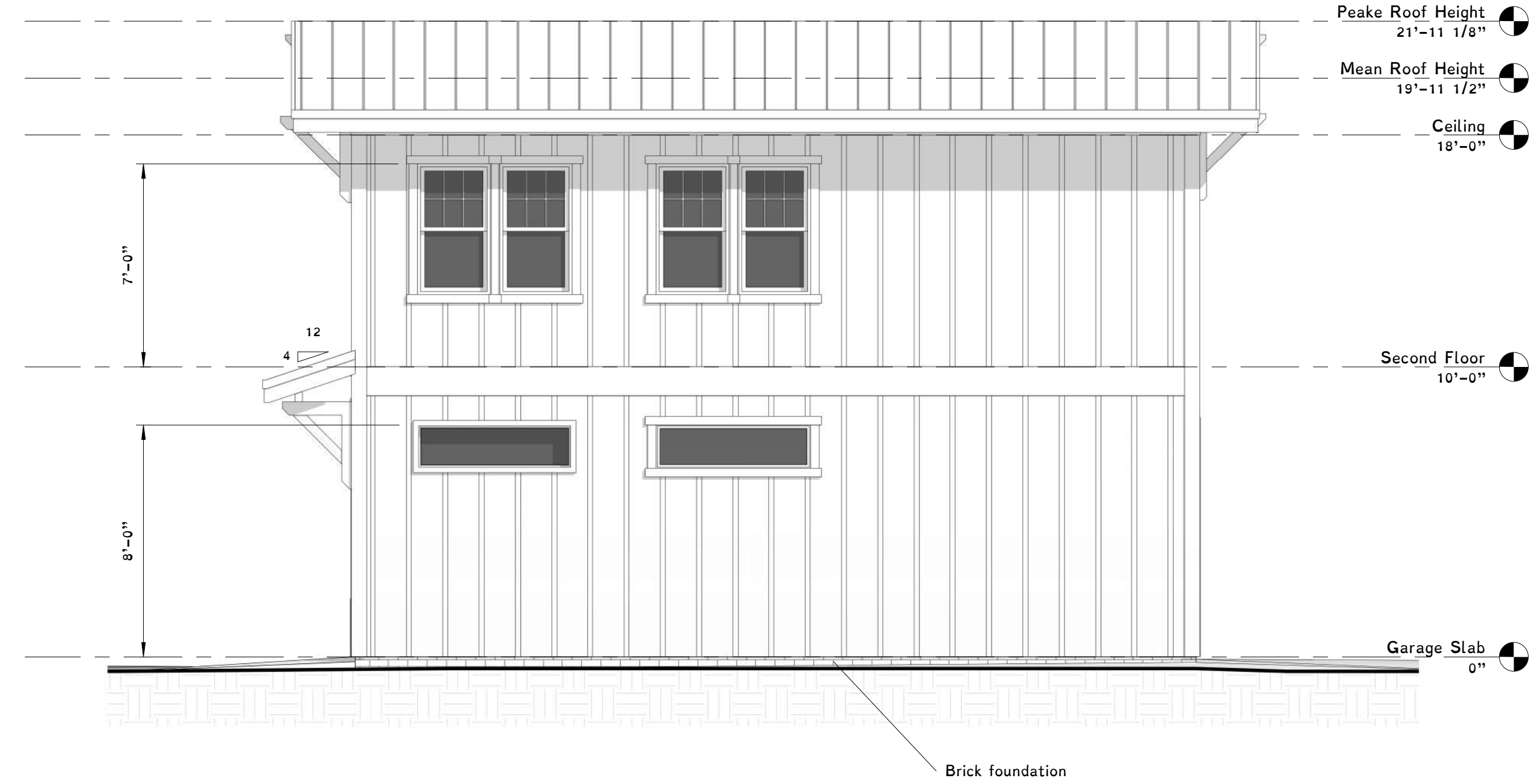
- 1. Width. Stairways shall be not less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height.
2. Headroom. The headroom in stairways shall be not less than 6 feet 8 inches measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.
3. Vertical rise. A flight of stairs shall not have a vertical rise larger than 151 inches between floor levels or landings.
4. Risers. The riser height shall be not more than 8 1/4" inches. The riser shall be measured vertically between leading edges of the adjacent treads.
5. Treads. The tread depth shall be not less than 9 inches. The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge.



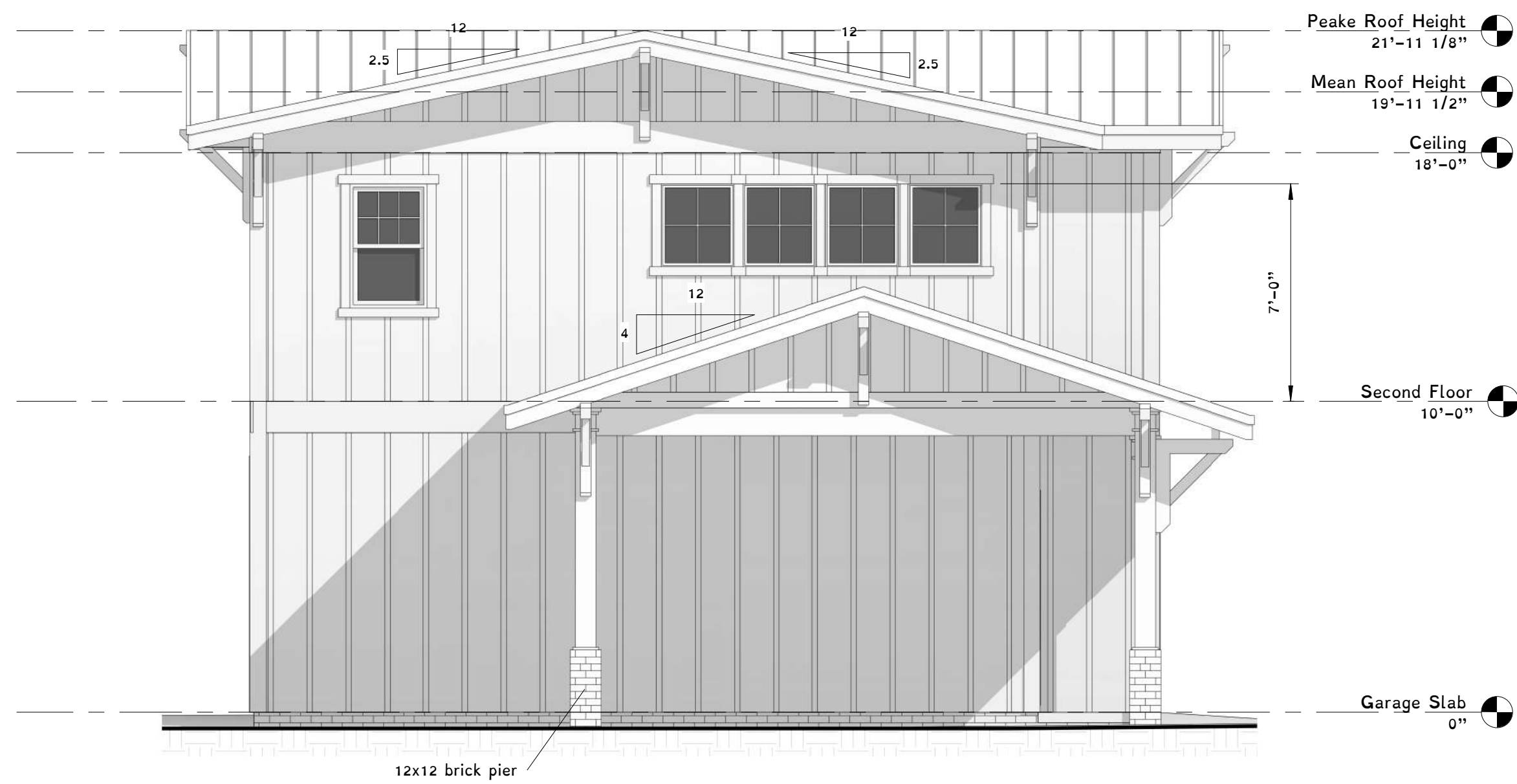
Reviewed per the 2018 Virginia Residential Code.
The code can be read at the link below.
https://codes.iccsafe.org/content/VRC2018P1



1 Proposed East
1/4" = 1'-0"



2 Proposed North
1/4" = 1'-0"



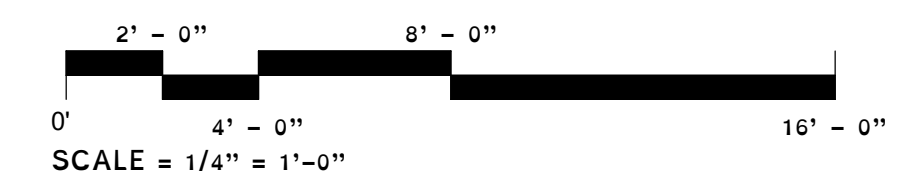
3 Propose South
1/4" = 1'-0"



4 Proposed West
1/4" = 1'-0"

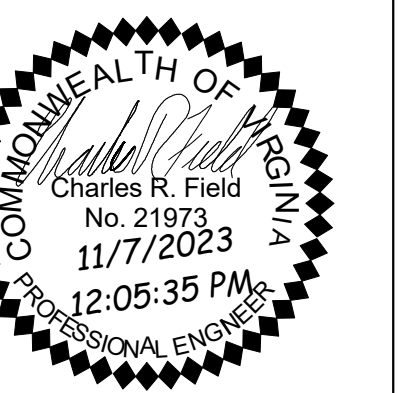
Building Permit - Approved Construction Documents
Under general authority of the Building Code, this approved set of construction documents shall be kept on the job site at all times and shall not be altered without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from complying with manufacturer instructions, Virginia Uniform Statewide Building Code and City of Richmond regulations whether noted, implied or omitted. Approved Plans: 20231117_3320 Hermitage Rd. BLDR-126560-2023 12/13/2023 11:20:35 AM

Reviewed per the 2018 Virginia Residential Code.
The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2018P1>



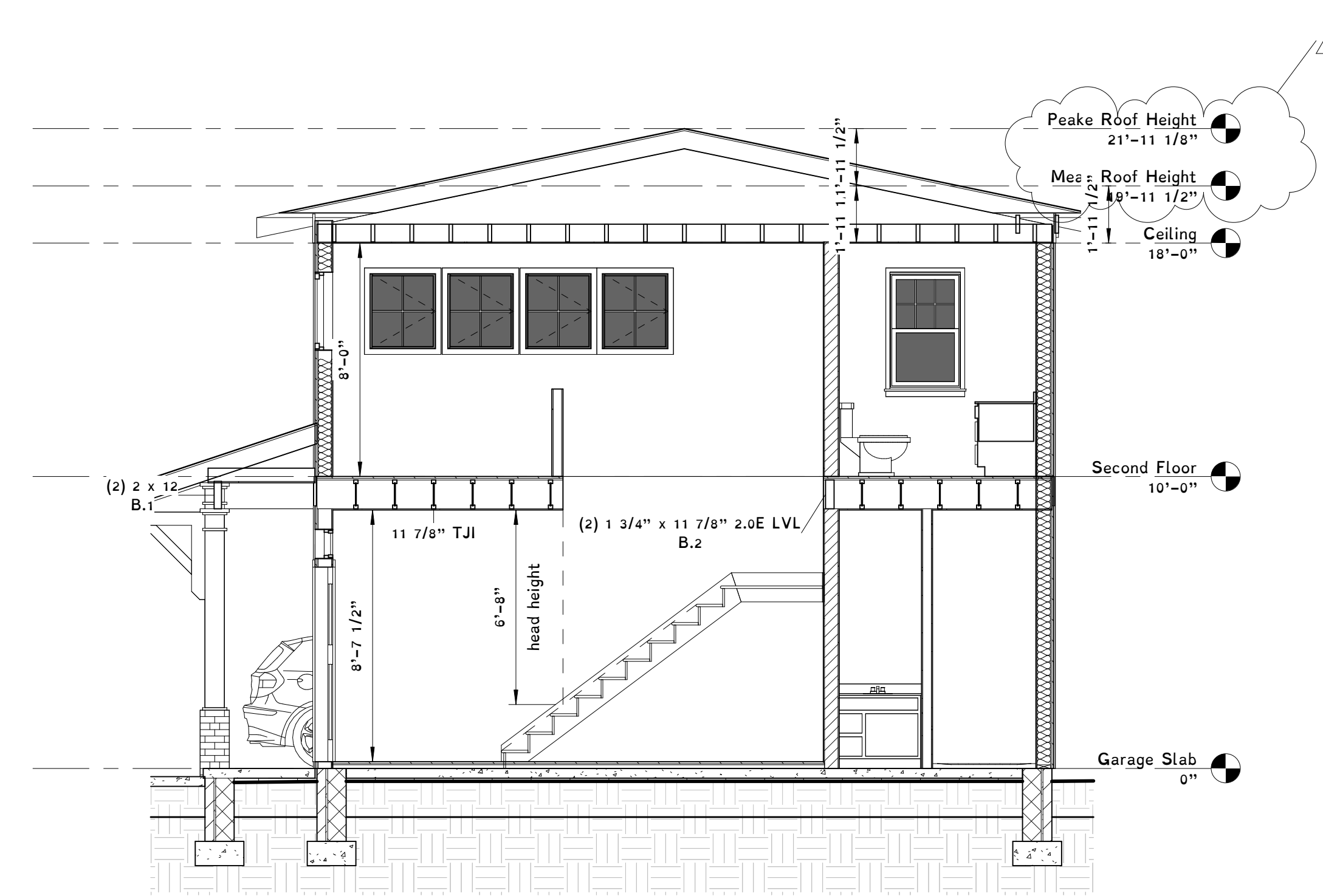
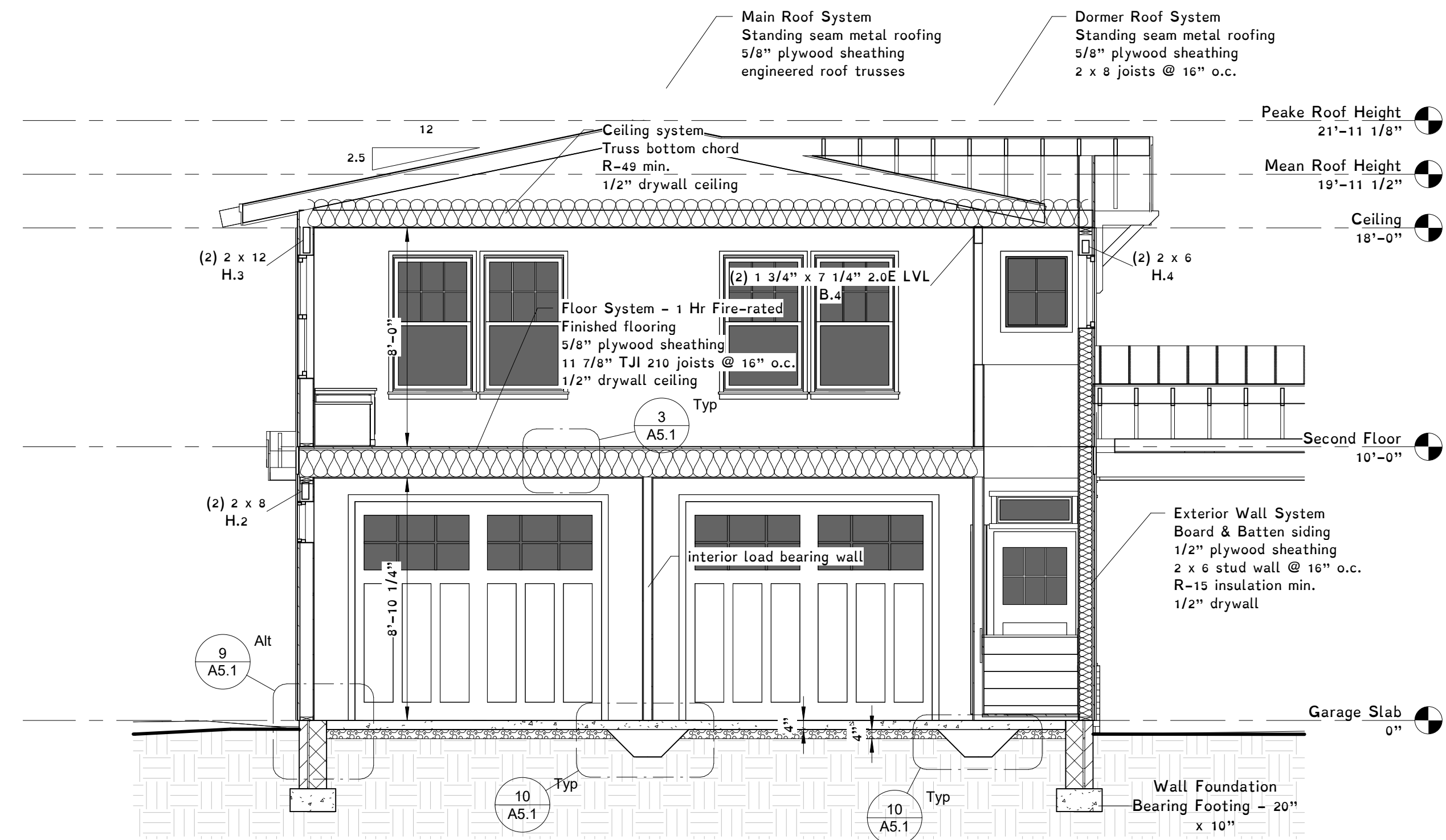
Rev.	Date	Description

Elevations
3820 Hermitage Road - Detached Garage Plans
Manuchehr and Rebecca A Amirsoleimani
rev. 11/17/2023
July 8, 2022
City of Richmond, VA



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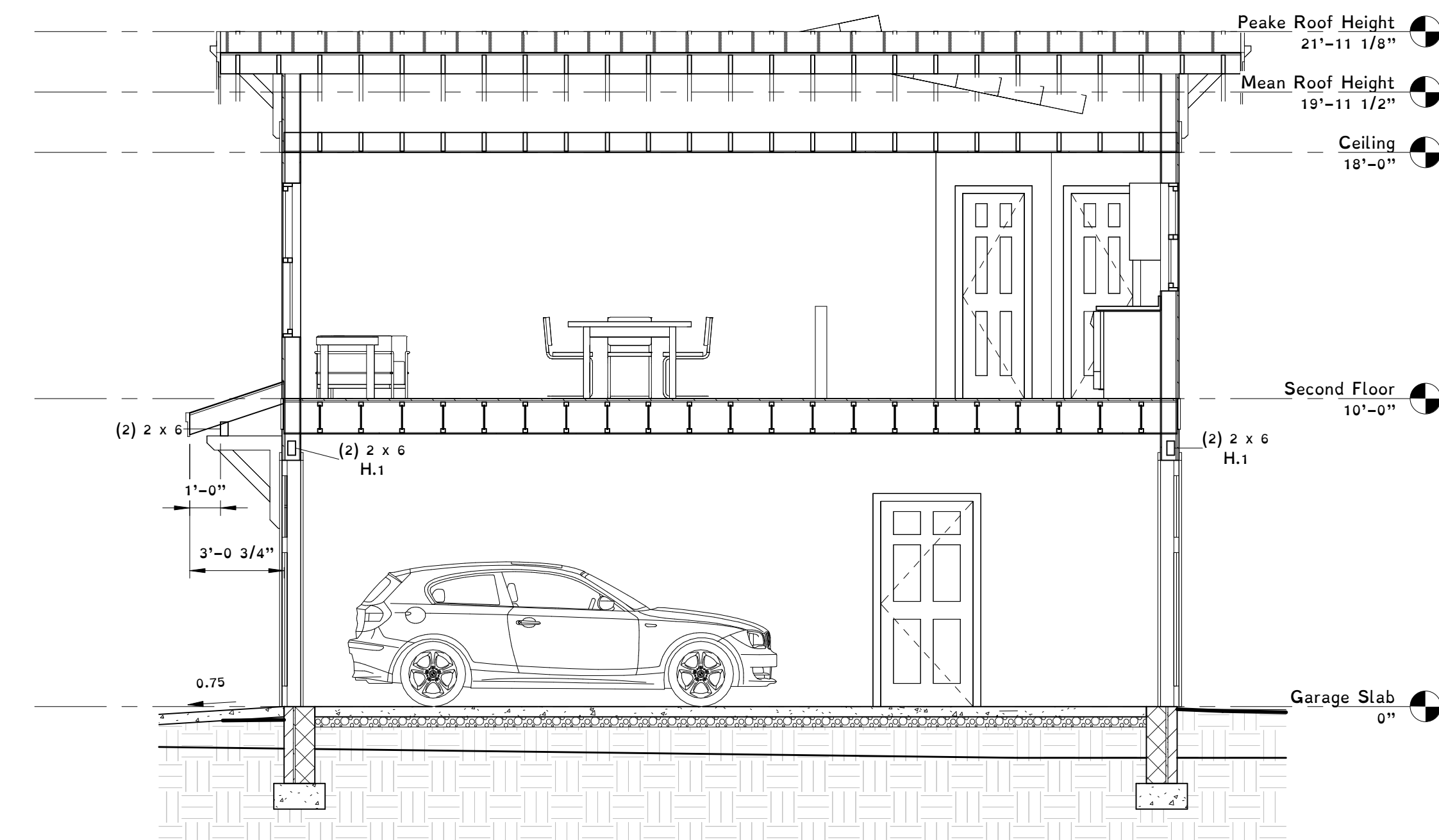
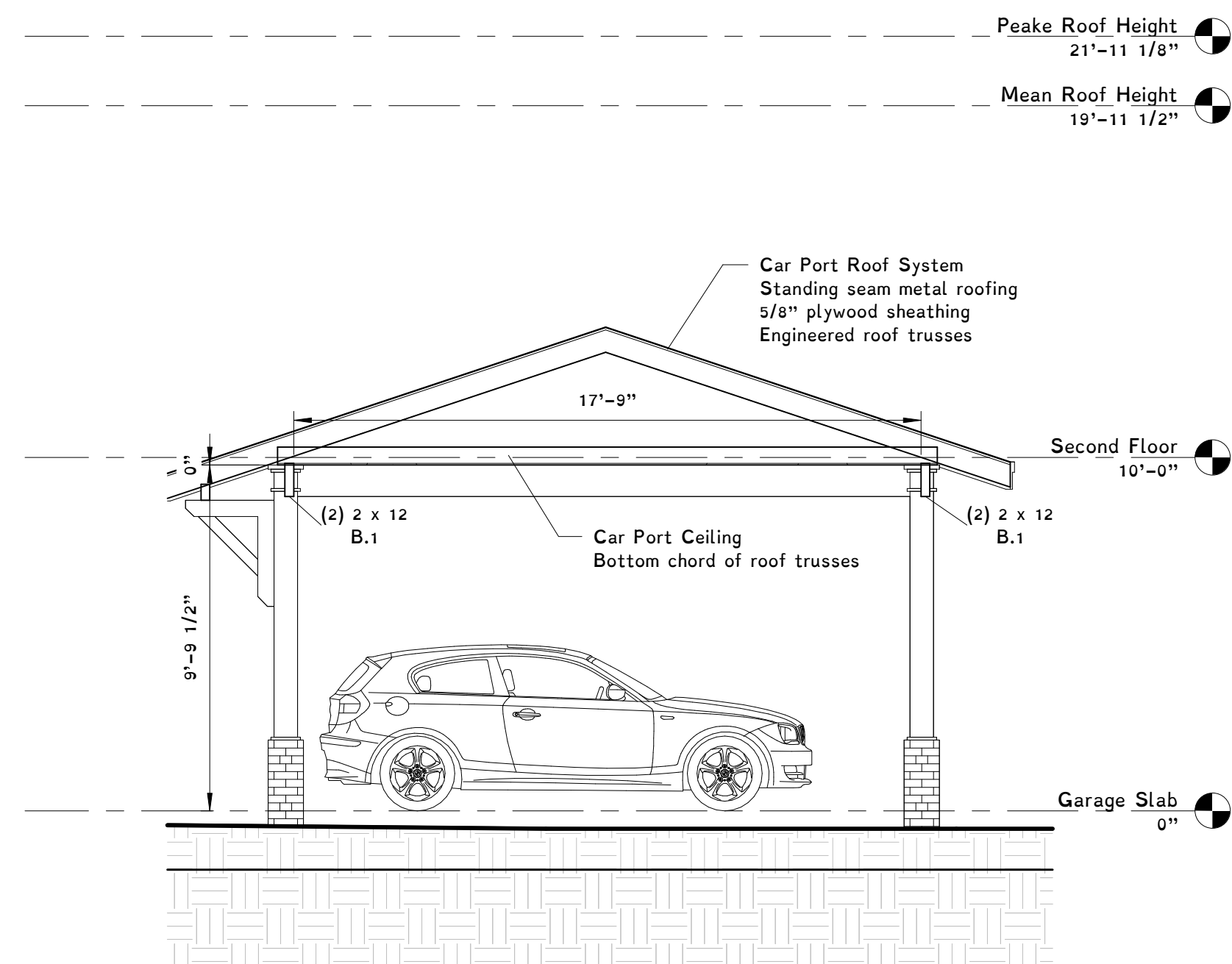
Per Section and Table R302.6 in the 2018 Virginia Residential Code the garage must be separated from habitable rooms above with not less than 5/8" Type X gypsum board or equivalent.



1 Section 3
1/4" = 1'-0"

2 Section 4
1/4" = 1'-0"

Per Section R403.1.4.1 in the 2018 Virginia Residential Code, except where otherwise protected from frost, foundation walls, piers, and other permanent supports of buildings and structures shall be protected from frost. This can be accomplished by extending the footing below the frost line (18" in the City of Richmond).



4 Section 6
1/4" = 1'-0"

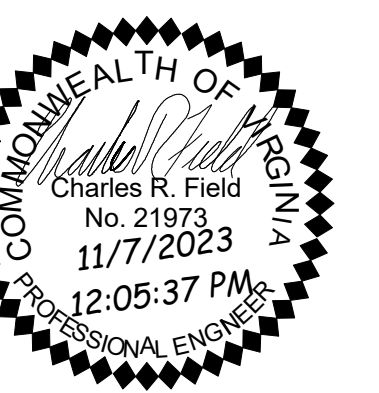
5 Section 7
1/4" = 1'-0"

Reviewed per the 2018 Virginia Residential Code. The code can be read at the link below. <https://codes.iccsafe.org/content/VRC2018P1>

Building Permit - Approved Construction Documents
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Approved Plans: 20231117_3050_Heritage Rd_BLDG-126660-2023
12/13/2023 11:20:35 AM

Sections

3820 Heritage Road - Detached Garage Plans
Manuchehr and Rebecca A Amirsoleimani
rev. 11/17/2023
July 8, 2022



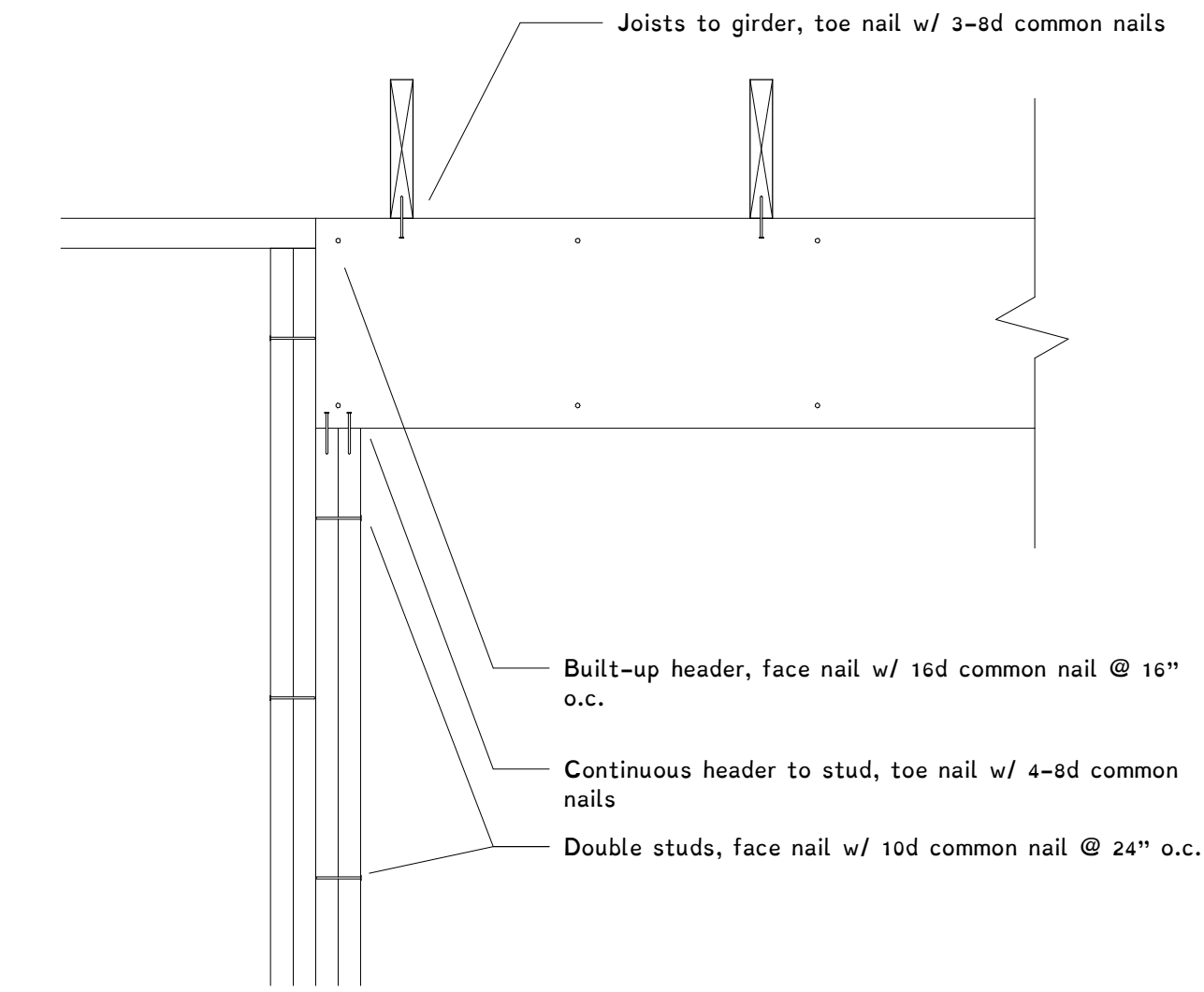
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Rev.	Date	Description
1	10/19/2022	Labeled Mean Roof Height
3		

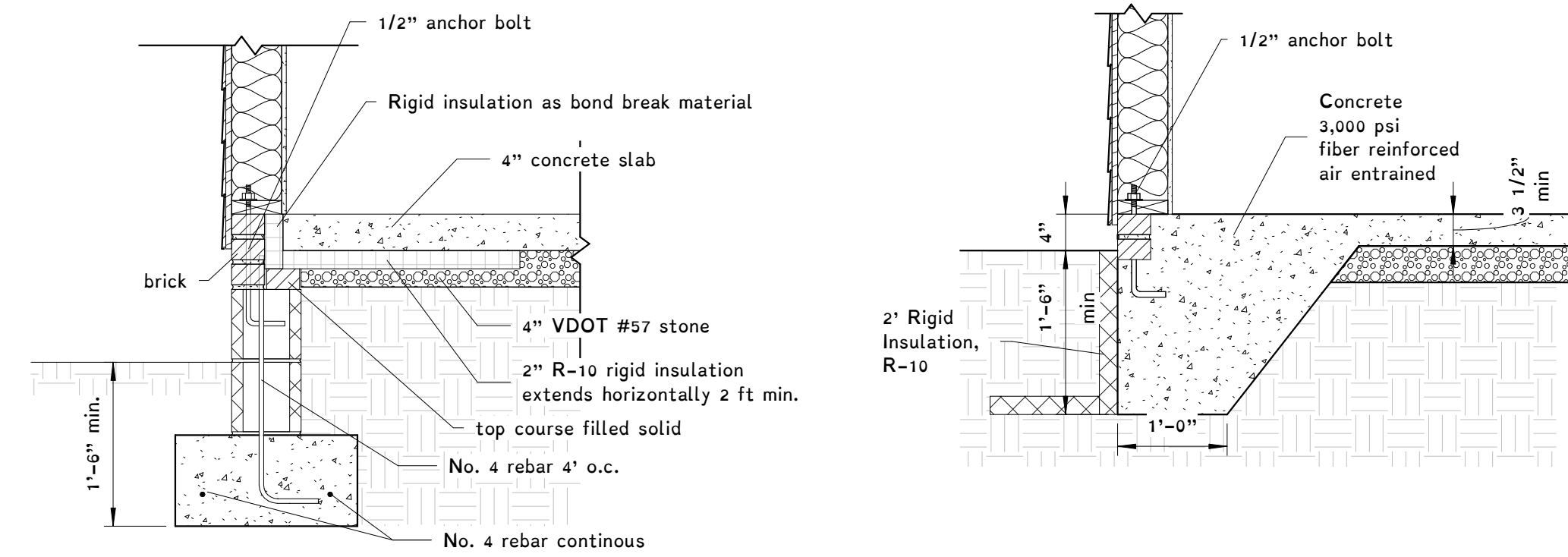
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Approved Plans: 20231117_3620_Hermitage Rd_BLD-126660-2023
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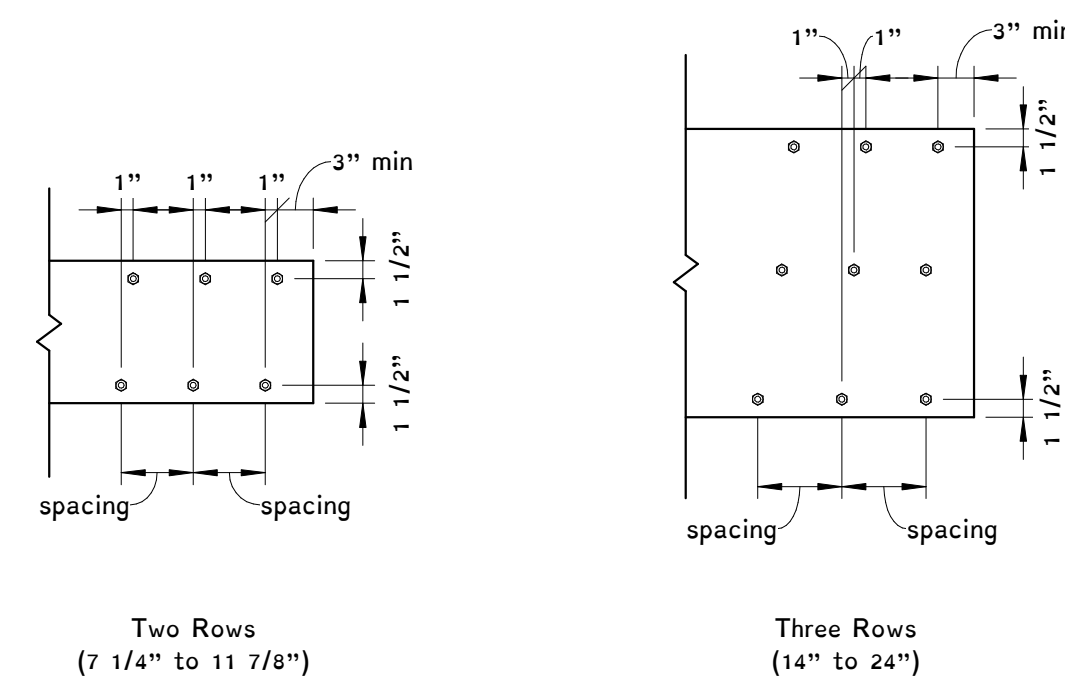
A5.1



1 Header Attachment - Wood
1" = 1'-0"



9 Slab - CMU or Turned-Down Foundation Detail
3/4" = 1'-0"

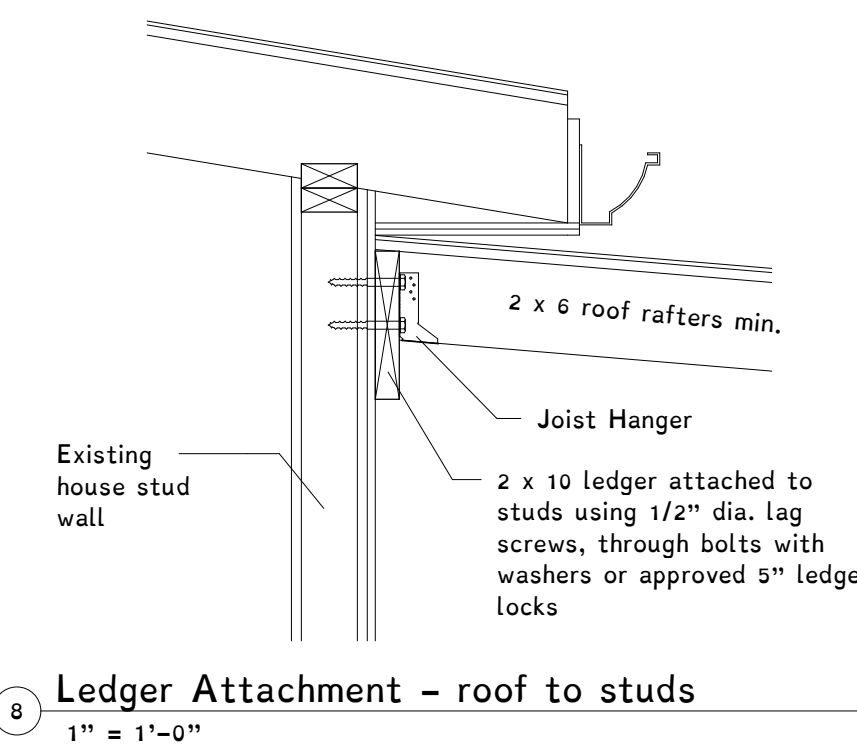


TrussLok Screw Size	Rows	2		3		4		2		3		4		2		3		4	
		Spacing	load side	point side	load side	point side	load side	point side	load side	point side	load side	point side	load side	point side	load side	point side	load side	point side	load side
EWS338-F3.3	2 - PLY	516	586	774	879	1032	1172	774	879	1161	1319	1548	1756	1032	1172	1548	1756	2064	2344
EWS005-F8.0	3 - PLY	387	440	581	659	774	879	581	659	871	989	1161	1319	774	879	1161	1319	1548	1758
EWS670-F6.7	4 - PLY	344	391	516	586	688	781	516	586	774	879	1032	1172	688	781	1032	1172	1376	1563

Notes:

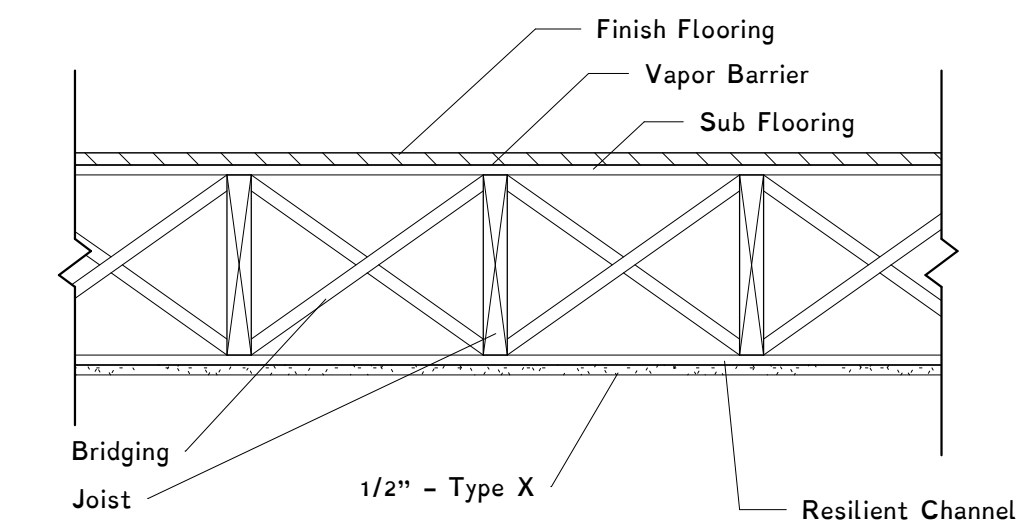
- Table is for LVL, ply-to-ply attachment to act as a single unit with side-applied uniformly distributed loads. For top-loaded conditions, or when loaded equally on both sides, it is permitted to use minimum two rows of fasteners at maximum 24 inches o.c. spacing (see also note 7).
- Table values indicate maximum capacity in pounds per linear foot (plf) for floor loading ($C_p = 1.0$). For roof loading, multiply table value by 1.15.
- Observe the following fastener location requirements (also illustrated below):
 $a = 1/2"$ edge distance: load at outer row
 $d = 4"$ minimum end distance (along the grain)
 $b = 2"$ minimum vertical spacing (across the grain)
 $s =$ horizontal spacing of rows indicated in the table (inches)
- TrussLok screws, manufactured by Fastenmaster: 0.228" nominal diameter, 0.215" root diameter, $F_u = 202,200$ psi. (reference: ICC-ES ESR-1078, reissued February 1, 2007)
- Side framing must be properly fastened to LVL, per hanger manufacturer's requirements.
- Verify adequacy of beam prior to using this table.
- Use minimum two rows of fasteners for 7 1/4" to 11 7/8" LVL beam depths and minimum three rows of fasteners for 14" to 24" depths. For less than 7 1/4" LVL beam depth, contact International Beams.

2 LVL Fastening
3/4" = 1'-0"



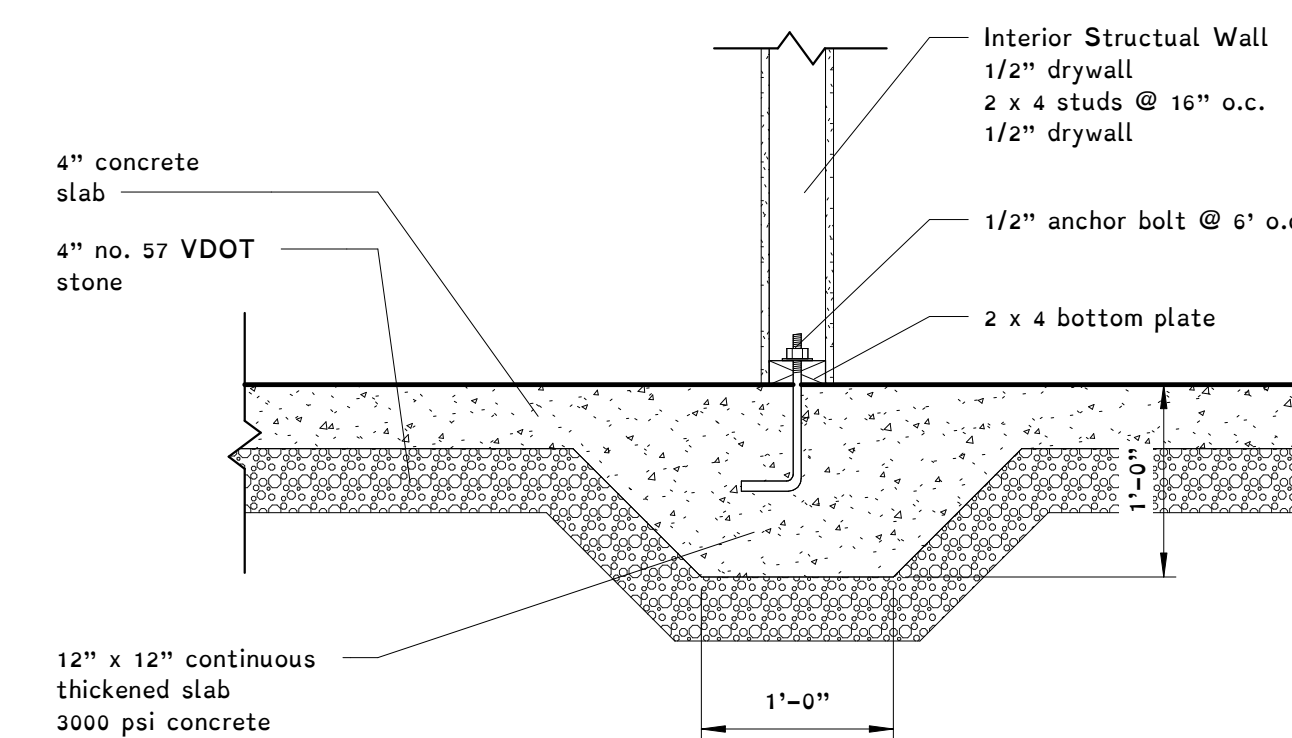
8 Ledger Attachment - roof to studs
1" = 1'-0"

UL Assembly Design No. L502
Fire Rating - 1 Hr.



- Finish Flooring - 1 by 4 in. T&G, laid perpendicular to joists; or 19/32 in. thick wood structural panels, min grade "underlayment" or "single floor". Face grain of plywood or strength axis of panel to be perpendicular to joists with joints staggered.
- Vapor Barrier - Commercial rosin-sized, 0.010 in. thick.
- Subflooring - 1 by 6 in. T&G, fastened diagonally to joists; or 15/32 in. thick plywood or 7/16 in. thick oriented strand board (OSB) wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panel to be perpendicular to joists with joints staggered.
- Bridging - 1 by 3 in.
- Wood Joists - 2 by 10 in. spaced 16 in. OC, firestopped.
- Resilient Channel - formed of 25 MSG (0.021 in. thick) galv steel as shown, spaced 24 in. OC perpendicular to joists.
- Gypsum Board - Type X, 1/2 in. thick.
- Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads. Nom 2 in. wide paper tape embedded in first layer of compound over all joints. As an alternate, nom 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board.

3 1 Hr Floor - Wood Joist, L502
1" = 1'-0"



10 Slab - Thickened Slab Detail
1" = 1'-0"

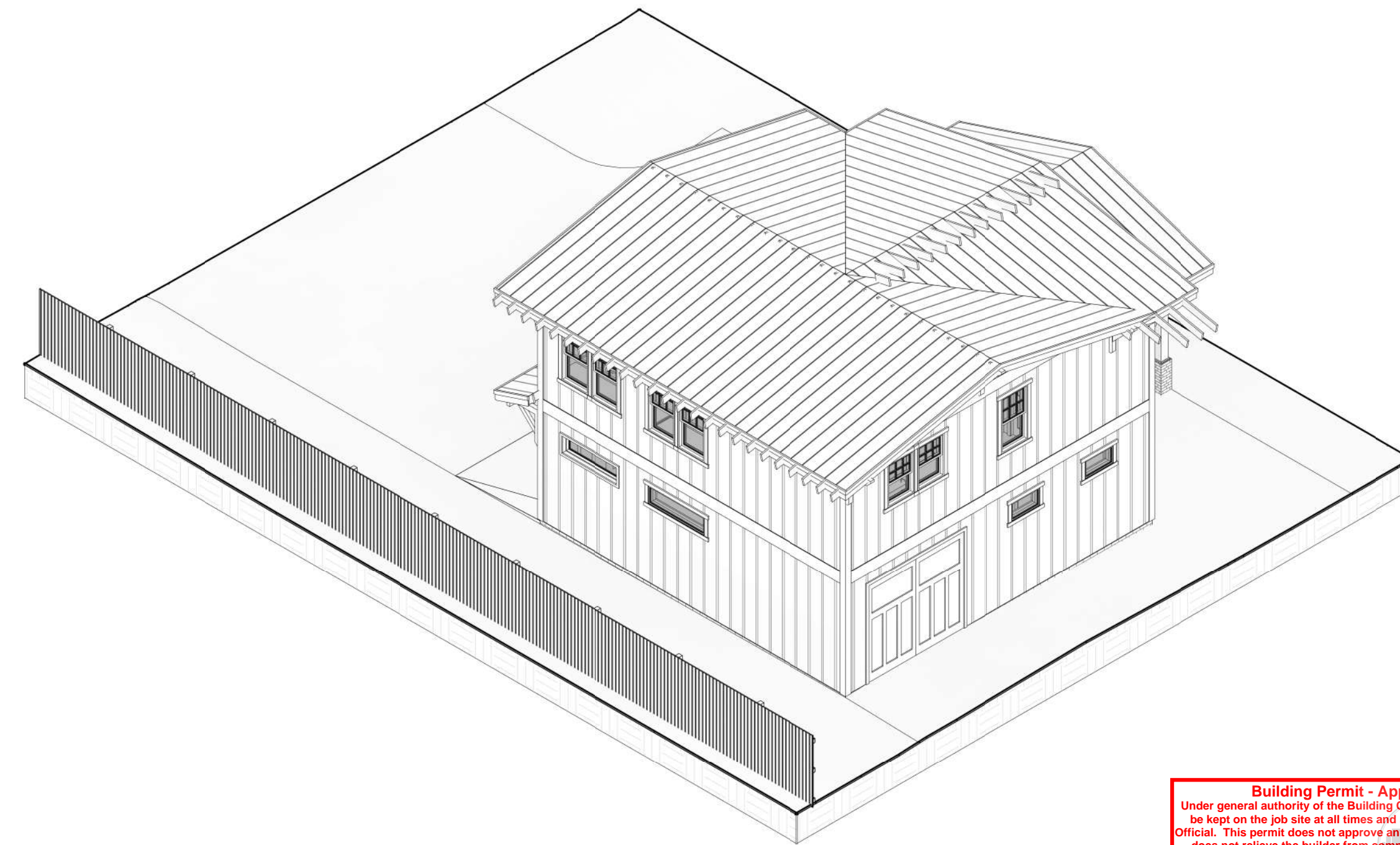
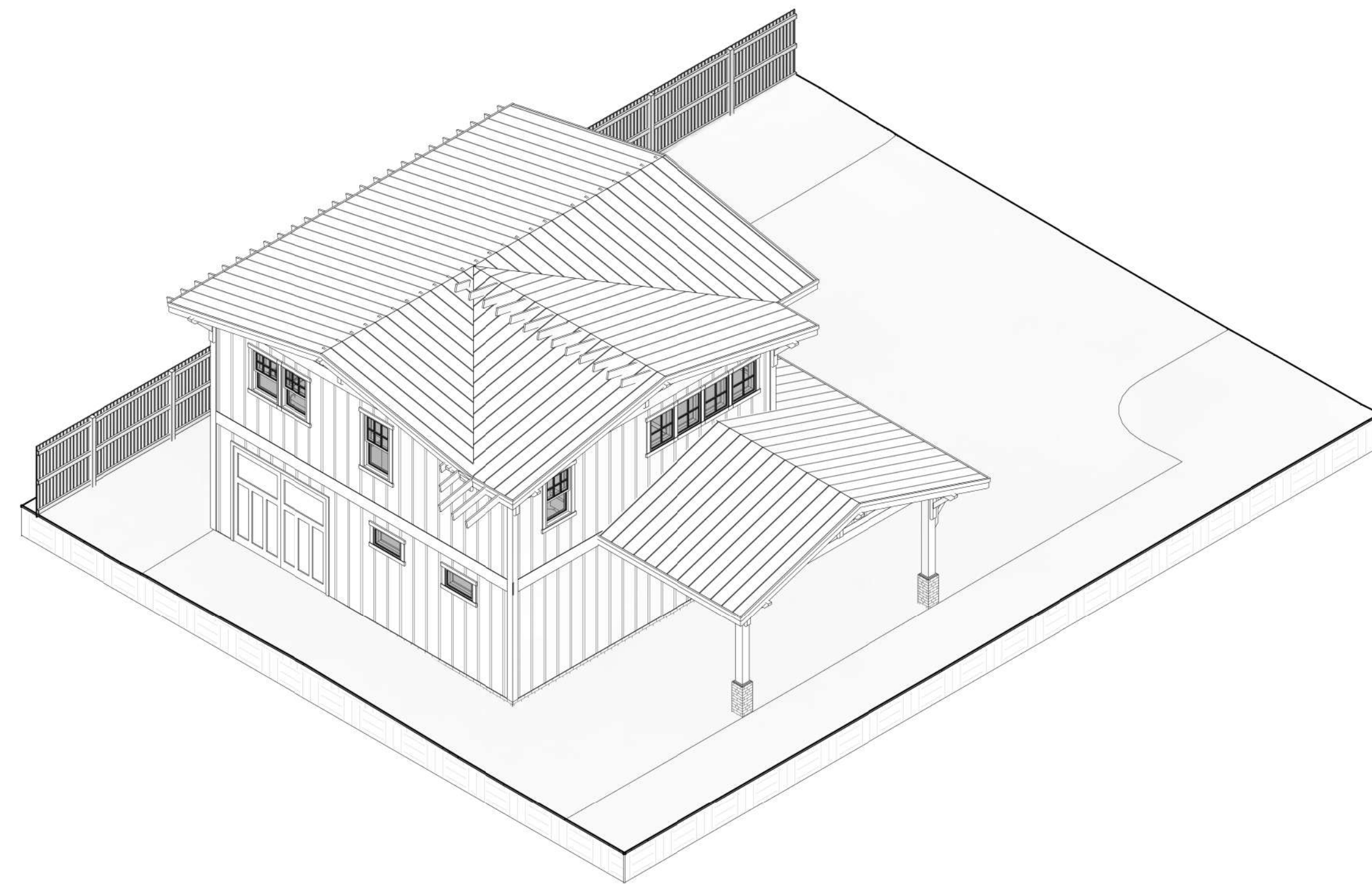
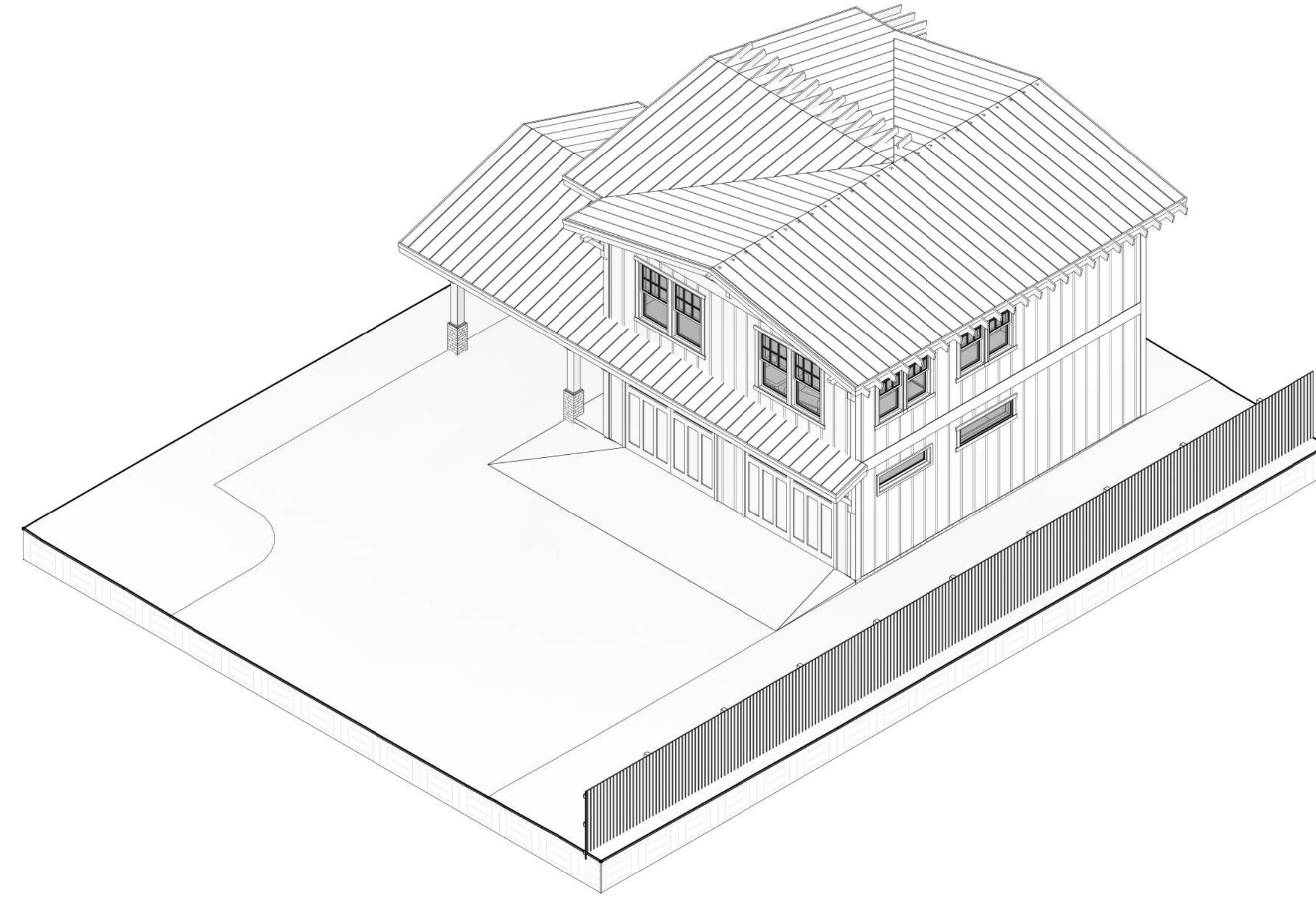
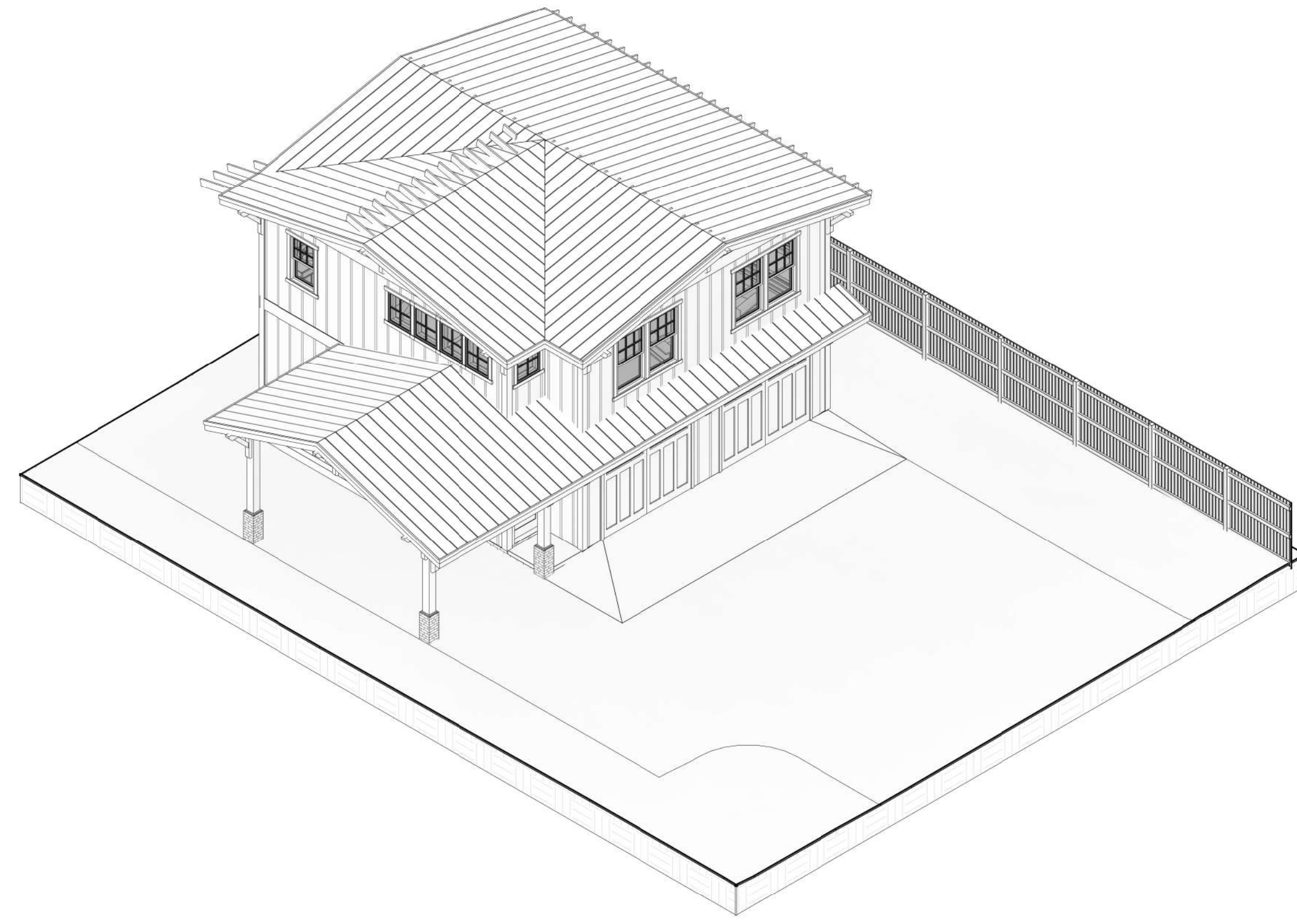
Details

3820 Hermitage Road - Detached Garage Plans
Manuchehr and Rebecca A Amirsoleimani
rev. 11/17/2023
July 8, 2023

City of Richmond, VA



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Rev.	Date	Description

Isometric Views
3820 Hermitage Road - Detached Garage Plans
Manucheir and Rebecca A Amirsoleimani
 rev. 11/7/2023
 July 8, 2022
 City of Richmond, VA

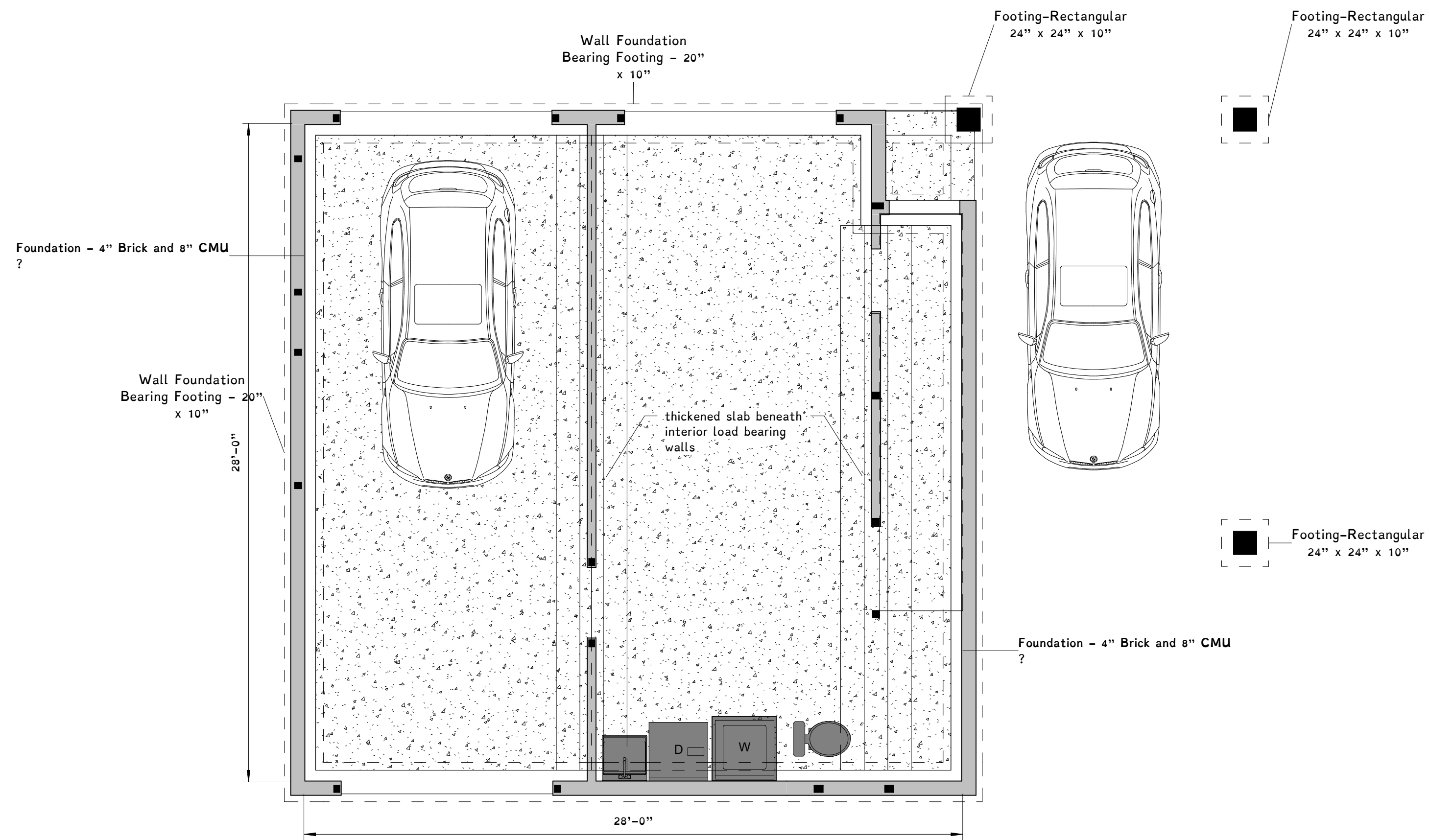


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 Richmond, VA 23223
 804.647.1589

Building Permit - Approved Construction Documents
 Under general authority of the Building Code, this approved set of construction documents shall be kept on the job site at all times and shall not be altered without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from complying with manufacturer instructions, Virginia Uniform Statewide Building Code and City of Richmond regulations whether noted, implied or omitted.
 Approved Plans: 20231117_3820 Hermitage Rd_BLDR-126660-2023
 12/13/2023 11:20:35 AM

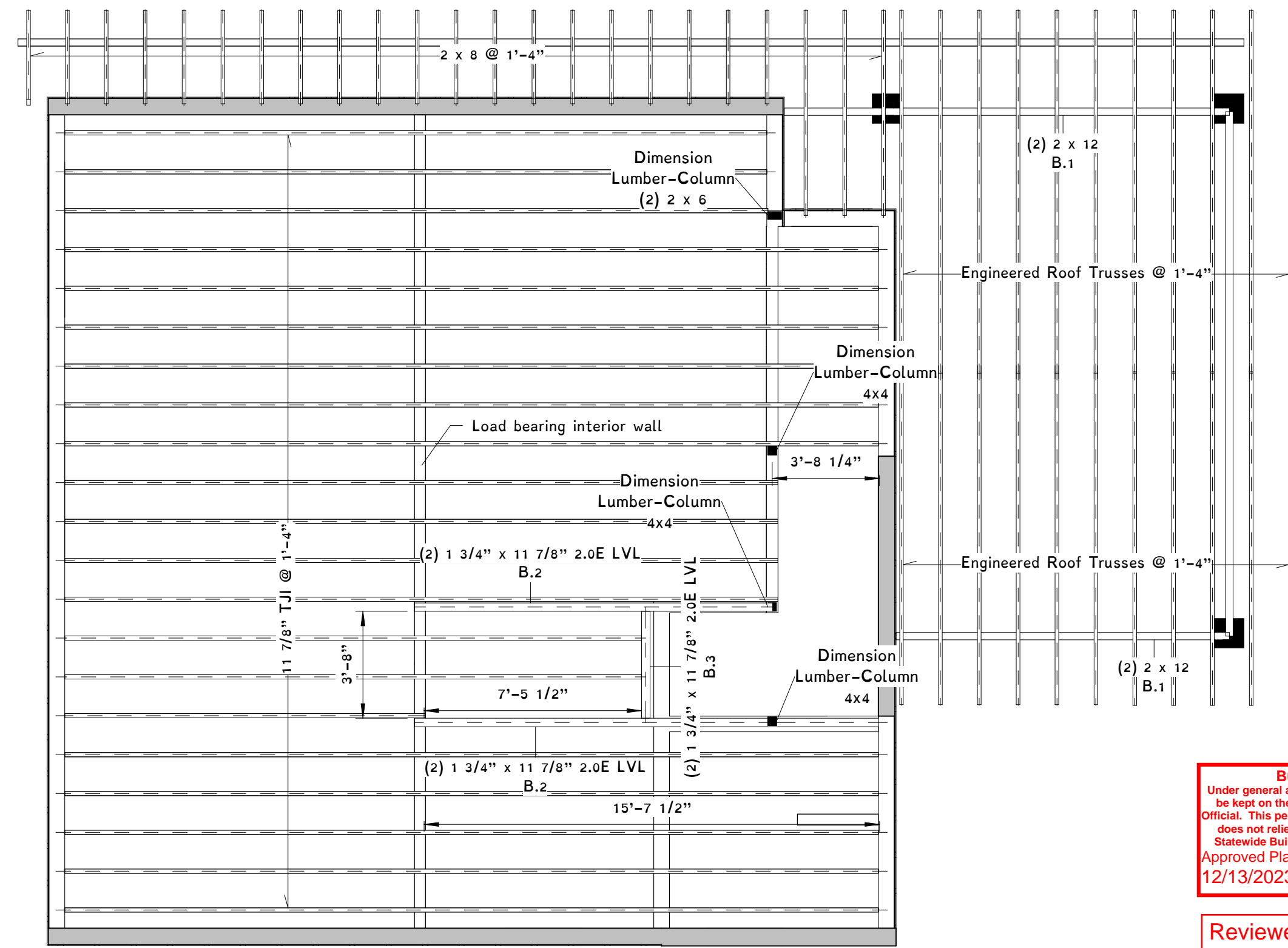
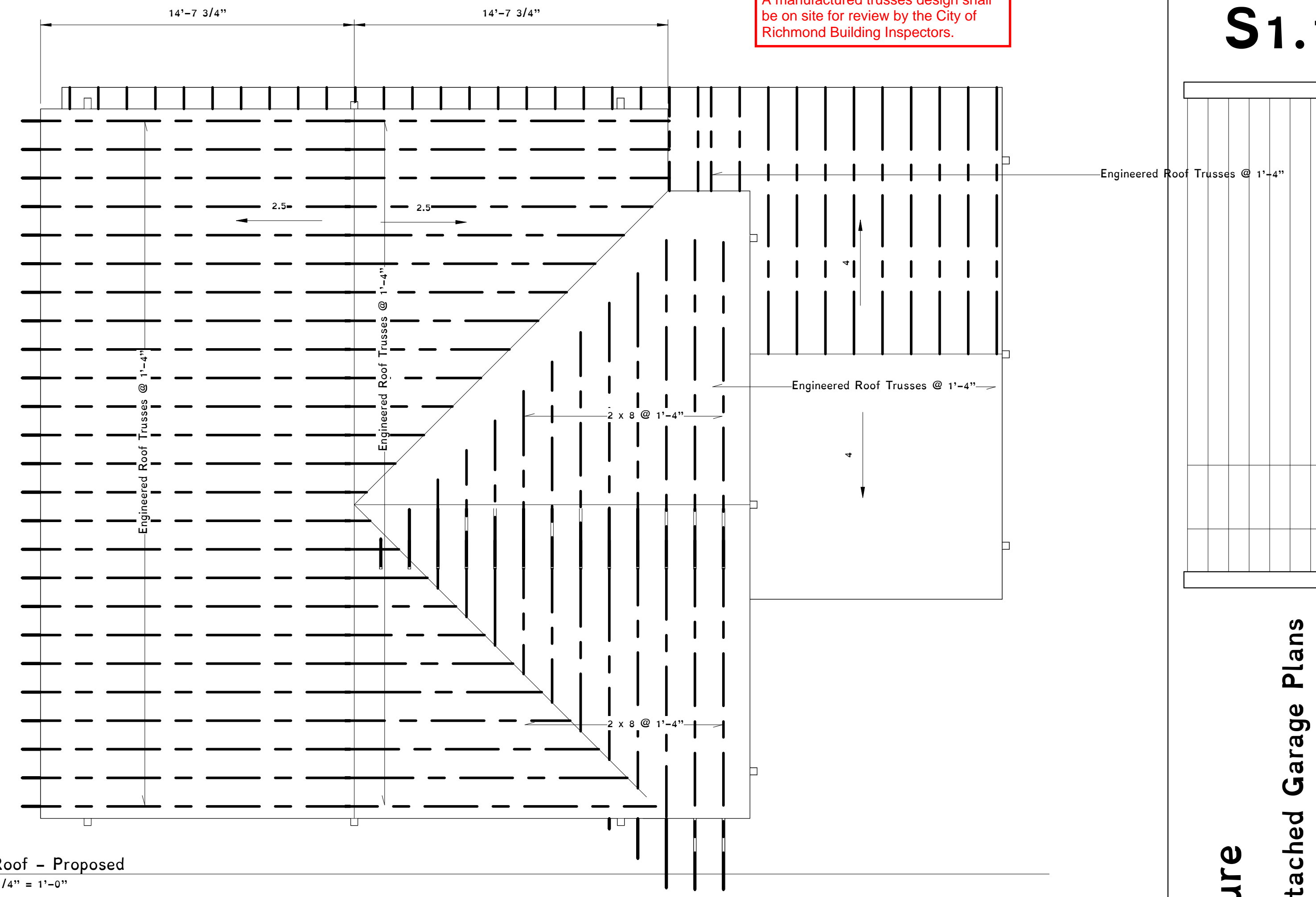
Reviewed per the 2018 Virginia Residential Code.
 The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2018P1>

A manufactured trusses design shall be on site for review by the City of Richmond Building Inspectors.

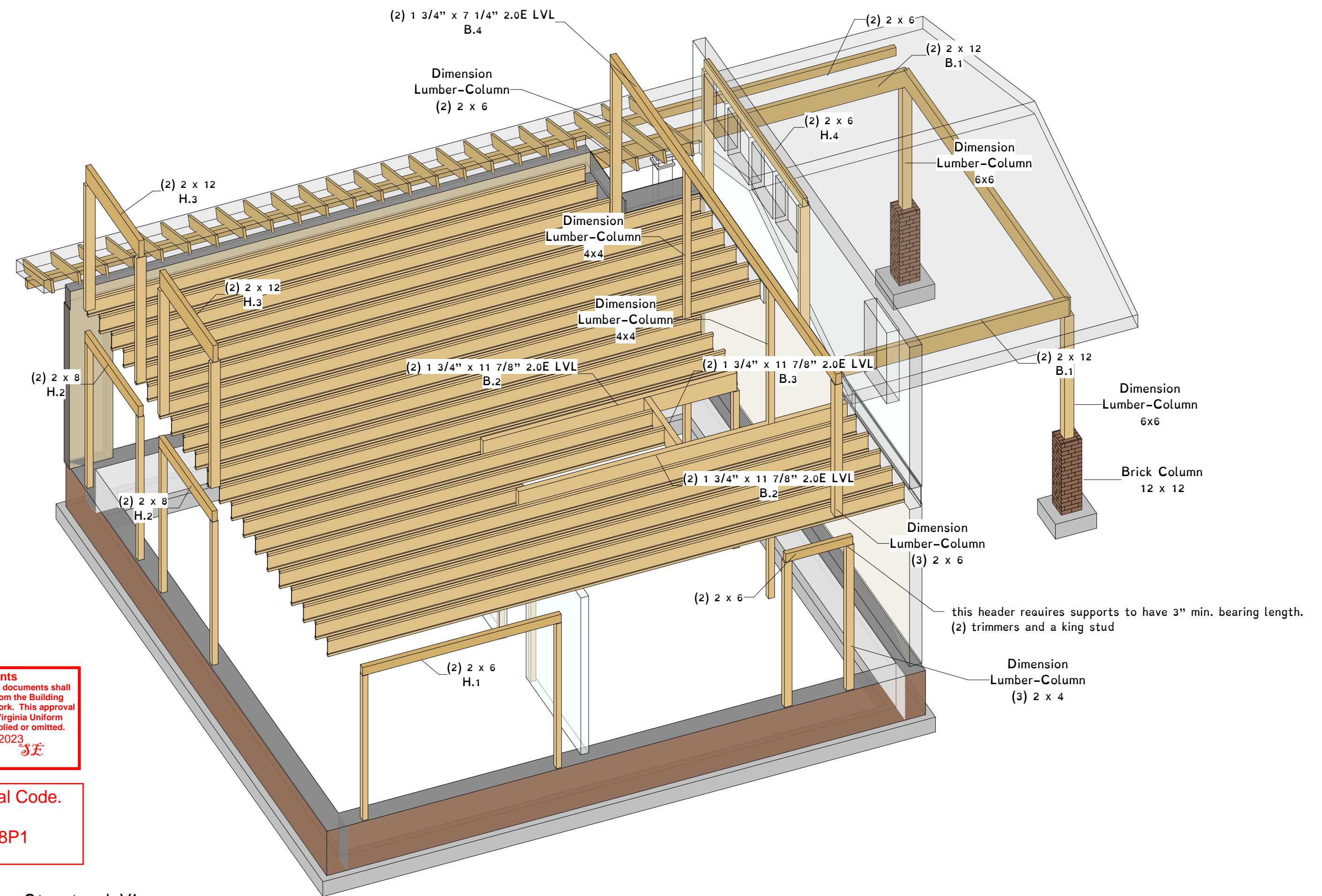


3 1st Floor - Proposed
1/4" = 1'-0"

1 Roof - Proposed
1/4" = 1'-0"



4 2nd Floor - Proposed
1/4" = 1'-0"



2 Structural View

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12/13/2023 11:20:35 AM

Reviewed per the 2018 Virginia Residential Code.
The code can be read at the link below.
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Structure

3820 Hermitage Road - Detached Garage Plans
Manuchehr and Rebecca A Amirsoleimani
rev. 11/17/2023
July 8, 2022
City of Richmond, VA



Obsidian
A Professional Engineering Practice
417 North 22nd Street
Richmond, VA 23223
804.647.1589

Rev.	Date	Description

2018 Virginia Residential Code

Smoke Alarms

R314.3 Location.

Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional *story* of the *dwelling*, including *basements* and *habitable attics* and not including crawl spaces and uninhabitable *attics*. In *dwellings* or *dwelling units* with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full *story* below the upper level.
4. Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by this section.

R314.3.1 Installation near cooking appliances.

Smoke alarms shall not be installed in the following locations unless this would prevent placement of a smoke alarm in a location required by Section R314.3.

1. Ionization smoke alarms shall not be installed less than 20 feet (6096 mm) horizontally from a permanently installed cooking *appliance*.
2. Ionization smoke alarms with an alarm-silencing switch shall not be installed less than 10 feet (3048 mm) horizontally from a permanently installed cooking *appliance*.
3. Photoelectric smoke alarms shall not be installed less than 6 feet (1828 mm) horizontally from a permanently installed cooking *appliance*.

SECTION R315 CARBON MONOXIDE ALARMS

R315.1 General.

Carbon monoxide alarms shall comply with Section R315.

R315.1.1 Listings.

Carbon monoxide alarms shall be hard wired, plug-in or battery type; listed as complying with UL 2034; and installed in accordance with this code and the manufacturer's installation instructions. Combination carbon monoxide and smoke alarms shall be *listed* in accordance with UL 2034 and UL 217.

R315.2 Where required.

Carbon monoxide alarms shall be provided in accordance with this section.

R315.2.1 New construction.

For new construction, carbon monoxide alarms shall be provided in dwelling units where either or both of the following conditions exist.

1. The *dwelling unit* contains a fuel-fired *appliance*.
2. The *dwelling unit* has an attached garage with an opening that communicates with the dwelling unit.

R315.2.2 Alterations, repairs and additions.

(Section deleted.)

R315.3 Location.

Carbon monoxide alarms in *dwelling units* shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning *appliance* is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

R315.4 Combination alarms.

Combination carbon monoxide and smoke alarms shall be permitted to be used in lieu of carbon monoxide alarms.

R315.5 Interconnectivity.

Where more than one carbon monoxide alarm is required to be installed within an individual *dwelling unit* in accordance with Section R315.3, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the *dwelling*. Alarm devices within a *two-family dwelling* constructed without fire separations in accordance with Exception 3 of Section R302.3 shall be interconnected in such a manner that the actuation of one alarm within either unit will activate all alarms within both *dwelling units*. Physical interconnection of carbon monoxide alarms shall not be required where *listed* wireless alarms are installed and all alarms sound upon activation of one alarm.