

# Construction Notes:

**Sheet Index:**

- A0.0 – Cover Sheet
- A1.0 – Survey
- A1.1 – Site, Lighting, & Landscape Plan
- A2.0 – North & East Elevation Plan
- A3.2 – Floor Plans – First Floor & Second Floor

Note: No signage is proposed.

**Floor To Ceiling Dimensions:**

Front Building - 2nd Floor  
Floor to Joist = 9' 0"  
Floor to Decking = 10' 0"

Front Building - 1st Floor  
Floor to Joist = 9' 0"  
Floor to Decking = 10' 0"

Rear Building - 2nd Floor  
Floor to Joist = 8' 1"  
Floor to Decking = 9' 3"

Rear Building - 1st Floor  
Floor to Joist = 8' 7"  
Floor to Decking = 9' 9"

Front Building - Basement  
Floor to Joist = 8' 0"  
Floor to Decking = 9' 0"

Front Building - Attic  
Floor to Rafters = 8' 0" +  
Floor to Decking = 8' 6" +

Square Footage Dimensions:
Front Building - Attic = 500 Sq Ft - Use = Office
Front Building - 2nd Floor = 1,900 Sq Ft - Use = Office
Front Building - 1st Floor = 1,600 Sq ft - Use = Office
Front Building - Basement = 300 Sq ft - Use = Storage
Rear Building Front - 2nd Floor = 1,500 Sq Ft - Use = Office
Rear Building Front - 1st Floor = 1,500 Sq Ft - Use = Office
Rear Building Rear - 2nd Floor = 1,130 Sq Ft - Use = Office
Rear Building Rear - 1st Floor = 1,130 Sq Ft - Use = Storage
Uses:
Front Building - Office = 4,000 Sq Ft
Front Building - Storage = 300 Sq Ft
Rear Building - Office = 4,130 Sq Ft
Rear Building - Storage = 1,130 Sq Ft
Total Office = 8,130 Sq Ft
Total Storage = 1,430 Sq Ft
Total Square Footage = 9,560 Sq Ft
Floor To Ceiling Dimensions:
Front Building - 2nd Floor Floor to Joist = 9' 0" Floor to Decking = 10' 0"
Front Building - 1st Floor Floor to Joist = 9' 0" Floor to Decking = 10' 0"
Rear Building - 2nd Floor Floor to Joist = 8' 1" Floor to Decking = 9' 3"
Rear Building - 1st Floor Floor to Joist = 8' 7" Floor to Decking = 9' 9"
Front Building - Basement Floor to Joist = 8' 0" Floor to Decking = 9' 0"
Front Building - Attic Floor to Rafters = 8' 0" + Floor to Decking = 8' 6" +

Project Name: Collier Office Suites

Developer: Arthur Riggs Real Estate Group LLC

Plan Preparer: Collier LLC – Owner

3210 Chamberlayne Avenue  
Richmond, VA 23227

Parcel N0001233005

0.507 Acres

Existing Buildings = 9,000+- SQ FT Office Use

No new construction proposed.

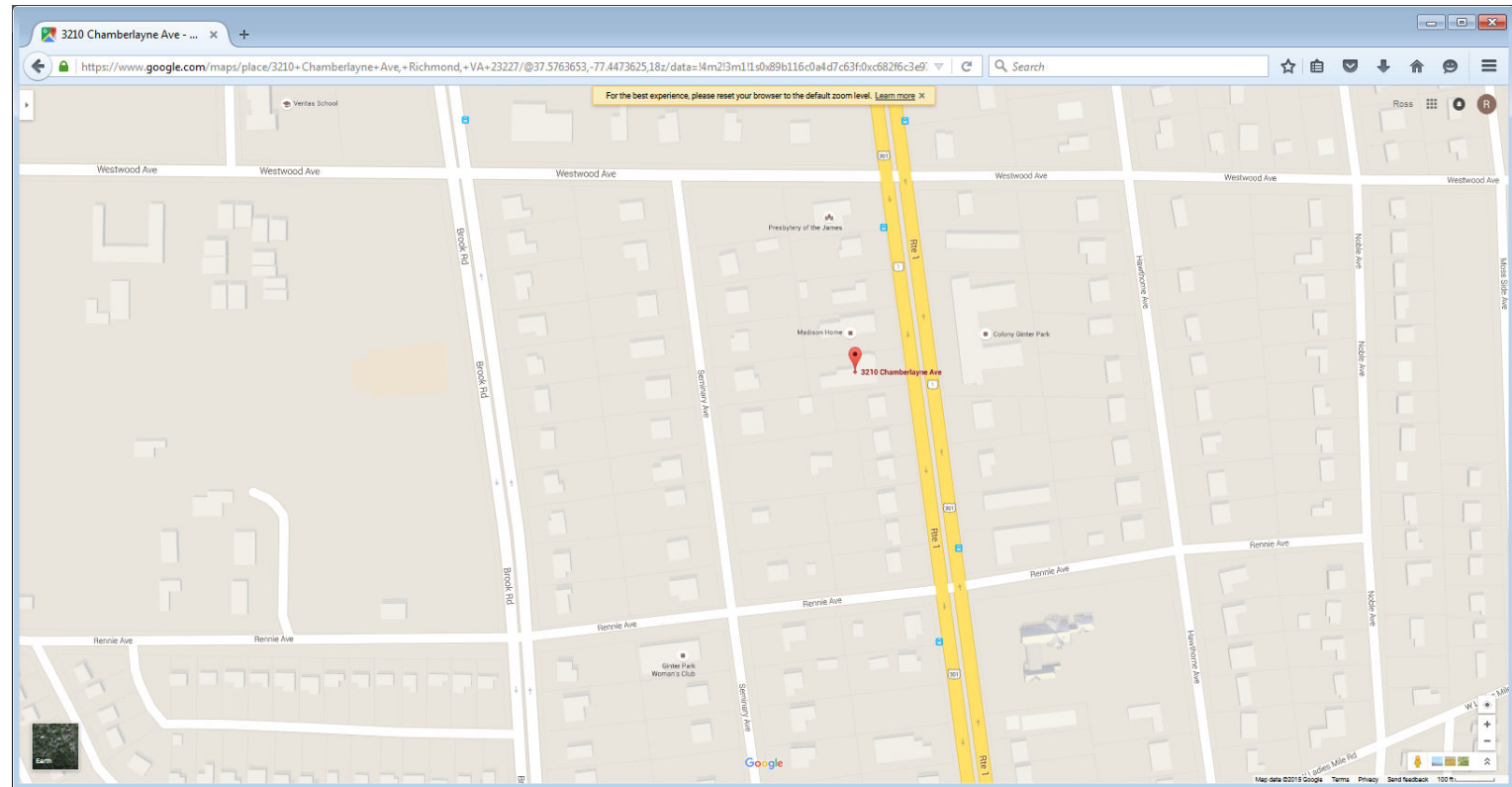
Zoning: R-48 (Current) Special Use Permit Pending For Use Consistent with R0-1 Zoning

Building Code: 2012 IBC and 2012 VUSBC and  
VUSBC Part II (VA Rehabilitation Code)

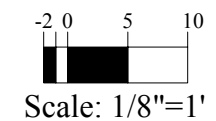
Use Code: B – Business Group

Construction Type: III

Sprinkler System: None



## Index & Cover Page



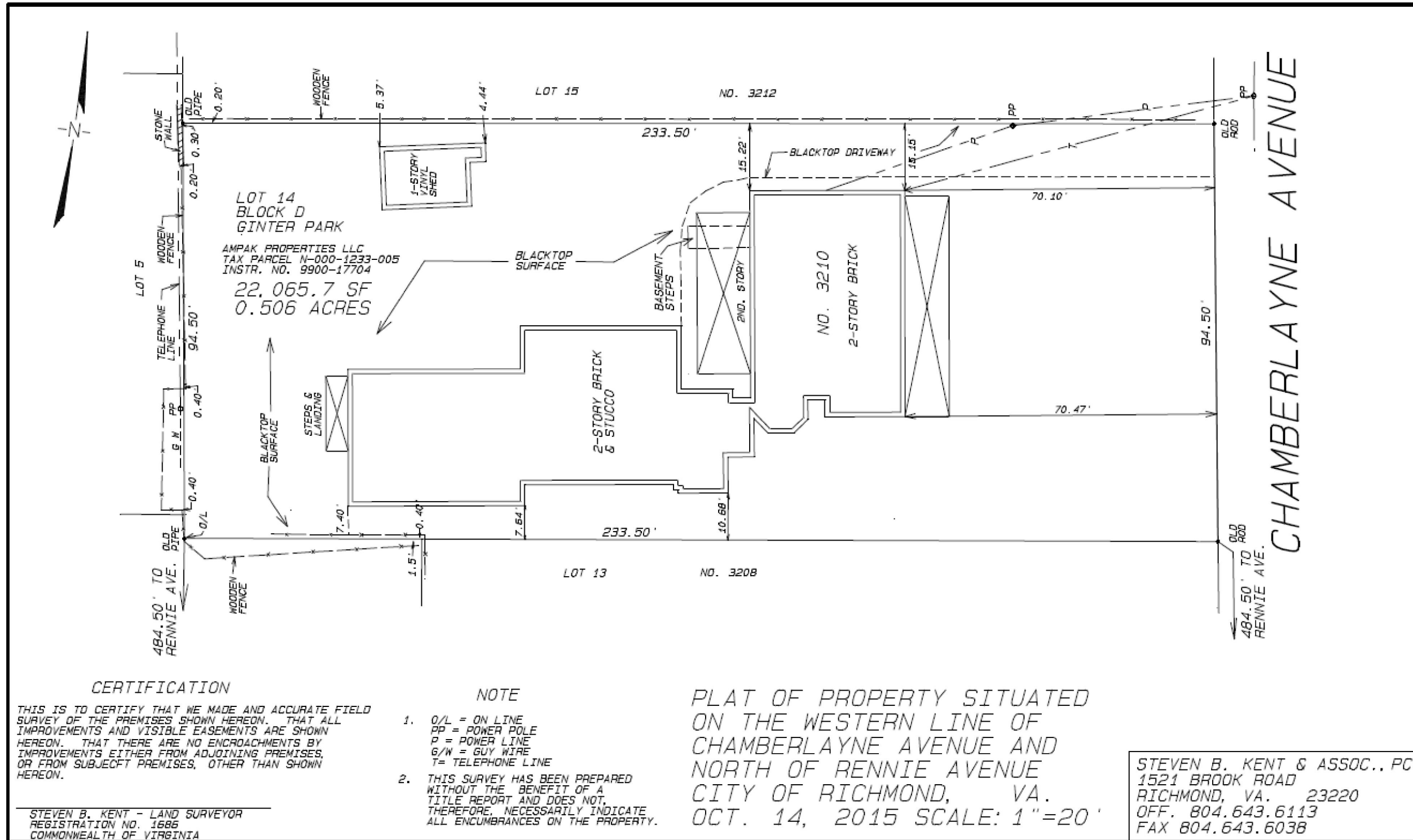
3210 Chamberlayne Ave  
Richmond, VA 23227

Approval:

Revision:  
12.28.15

**A0.0**

3210 Chamberlayne Ave  
 Richmond, VA 23227



**CERTIFICATION**

THIS IS TO CERTIFY THAT WE MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON. THAT ALL IMPROVEMENTS AND VISIBLE EASEMENTS ARE SHOWN HEREON. THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES, OR FROM SUBJECT PREMISES, OTHER THAN SHOWN HEREON.

STEVEN B. KENT - LAND SURVEYOR  
 REGISTRATION NO. 1686  
 COMMONWEALTH OF VIRGINIA

**NOTE**

- O/L = ON LINE  
 PP = POWER POLE  
 P = POWER LINE  
 G/W = GUY WIRE  
 T = TELEPHONE LINE
- THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT, THEREFORE, NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.

PLAT OF PROPERTY SITUATED ON THE WESTERN LINE OF CHAMBERLAYNE AVENUE AND NORTH OF RENNIE AVENUE CITY OF RICHMOND, VA.  
 OCT. 14, 2015 SCALE: 1"=20'

STEVEN B. KENT & ASSOC., PC  
 1521 BROOK ROAD  
 RICHMOND, VA. 23220  
 OFF. 804.643.6113  
 FAX 804.643.6038

**Metes & Bounds: Dimensions & Bearings**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF , STATE OF VIRGINIA, AND IS DESCRIBED AS FOLLOWS:

All that certain lot of land situate in the City of Richmond, Virginia, in that portion thereof known as Ginter Park, together with all improvements thereon, known as No. 3210 Chamberlayne Avenue, and described as follows:

Commencing at a point on the western line of Chamberlayne Avenue 484.5 feet North of its intersection with the northern line of Rennie Avenue, thence running northwardly along the western line of Chamberlayne Avenue, and fronting thereon 94.5 feet, thence westwardly 233.5 feet, thence southwardly 94.5 feet, thence eastwardly 233.5 feet to the point of beginning; being Lot No. 14 in Block D, in the Plan of Ginter Park, made by T. Crawford Redd and Brother, and recorded in Plat Book 8, Page 105, Henrico Circuit Court, and Plat Book 9, Page 39, Henrico Circuit Court.

BEING a portion of the same property conveyed to Ampak Properties, LLC, a Virginia Limited Liability Company by Deed from Saifullah K. Niazi dated June 10, 1999, recorded June 24, 1999 in the Clerk's Office of the Circuit Court of the City of Richmond, Virginia, as Instrument No. 990017704.

**Adjacent Properties:**

- 3211 Seminary Avenue = Zoned R-1 - Single Family
- 3212 Chamberlayne Avenue = Zoned R-48 - Assisted Living
- 3208 Chamberlayne Avenue = Zoned R-48 - Multi-Family

Limits Of 100-Year Flood Plain = NA

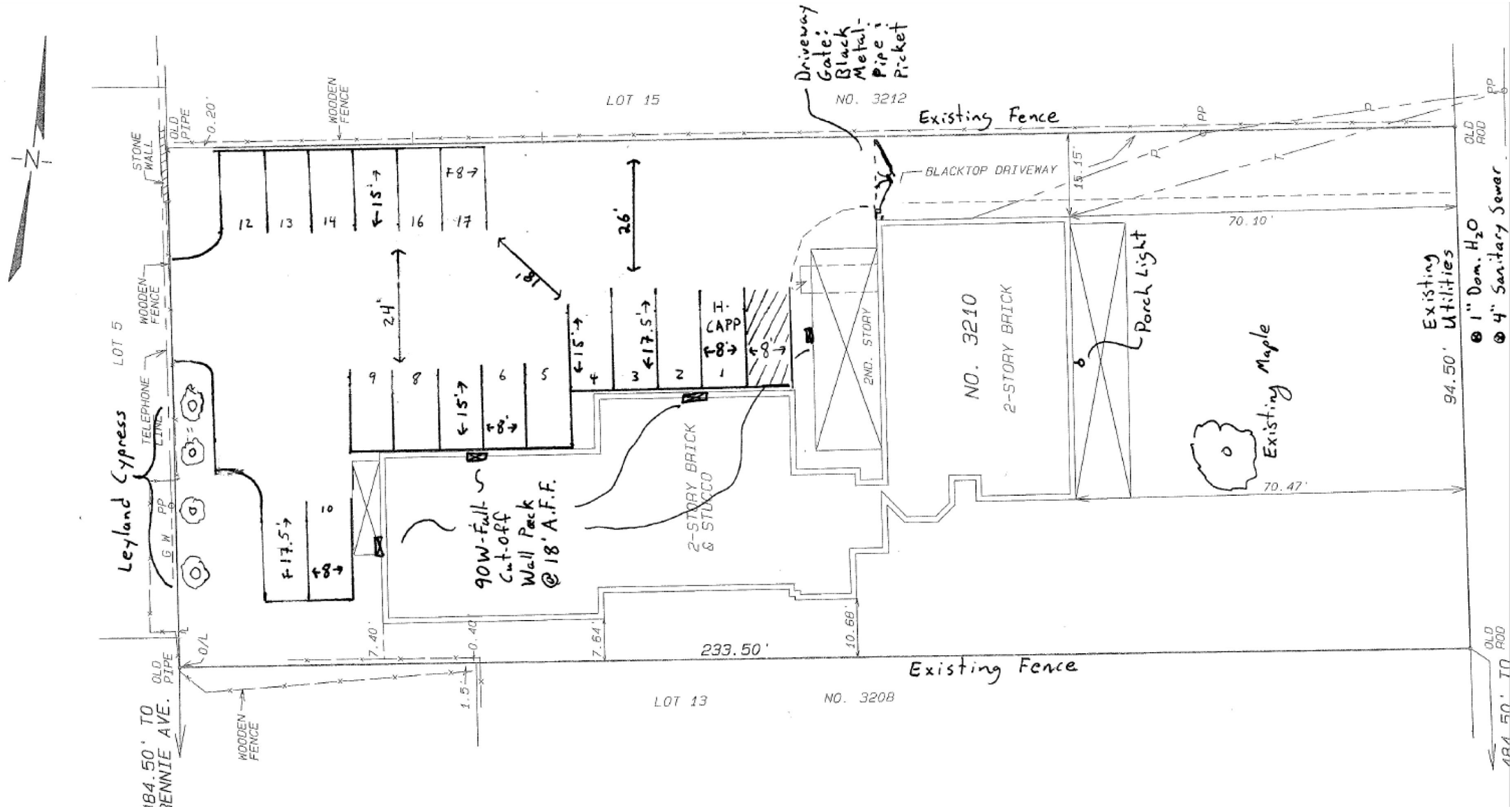
Limits Of Chesapeake Bay Preservation Area = NA

Survey

Approval:

Revision:  
 11.09.15

A1.0



3210 Chamberlayne Ave  
 Richmond, VA 23227

Leyland Cypress

Approval:

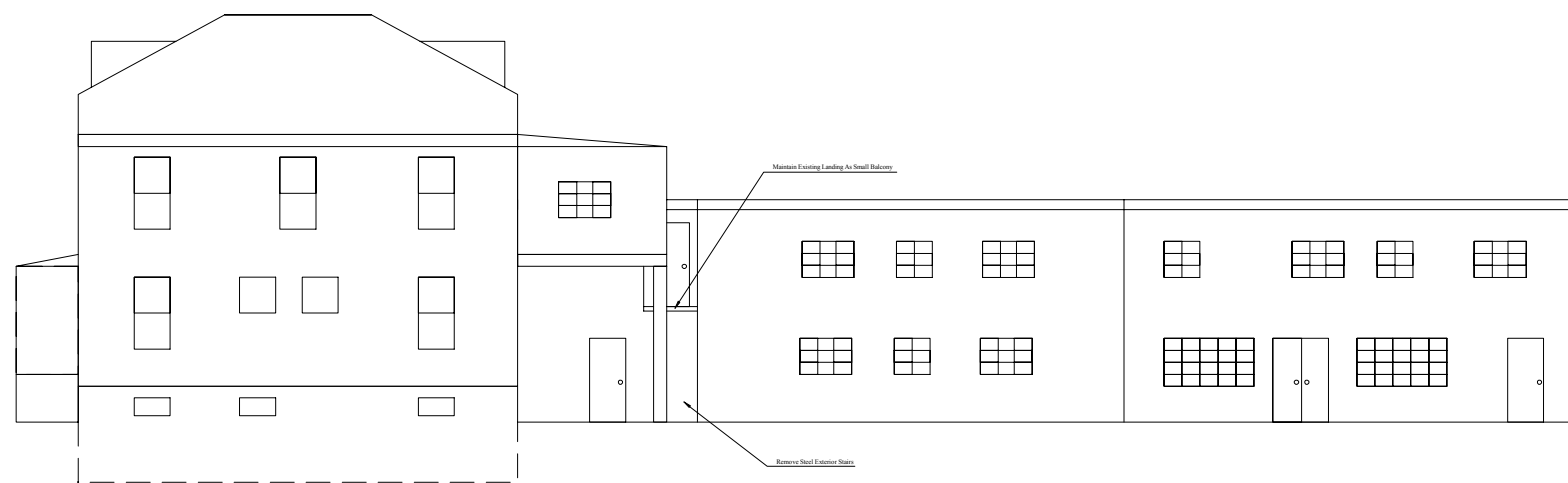
Revision:  
 12.28.15

A1.1

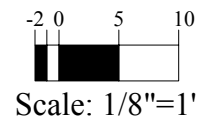
Site, Lighting, & Landscape Plan



East Elevation



North Elevation



<p>Square Footage Dimensions:</p> <p>Front Building - Attic = 500 Sq Ft - Use = Office          Front Building - 2nd Floor = 1,900 Sq Ft - Use = Office          Front Building - 1st Floor = 1,600 Sq ft - Use = Office          Front Building - Basement = 300 Sq ft - Use = Storage</p> <p>Rear Building Front - 2nd Floor = 1,500 Sq Ft - Use = Office          Rear Building Front - 1st Floor = 1,500 Sq Ft - Use = Office          Rear Building Rear - 2nd Floor = 1,130 Sq Ft - Use = Office          Rear Building Rear - 1st Floor = 1,130 Sq Ft - Use = Storage</p> <p>Uses:</p> <p>Front Building - Office = 4,000 Sq Ft          Front Building - Storage = 300 Sq Ft</p> <p>Rear Building - Office = 4,130 Sq Ft          Rear Building - Storage = 1,130 Sq Ft</p> <p>Total Office = 8,130 Sq Ft          Total Storage = 1,430 Sq Ft          Total Square Footage = 9,560 Sq Ft</p>
<p>Floor To Ceiling Dimensions:</p> <p>Front Building - 2nd Floor          Floor to Joist = 9' 0"          Floor to Decking = 10' 0"</p> <p>Front Building - 1st Floor          Floor to Joist = 9' 0"          Floor to Decking = 10' 0"</p> <p>Rear Building - 2nd Floor          Floor to Joist = 8' 1"          Floor to Decking = 9' 3"</p> <p>Rear Building - 1st Floor          Floor to Joist = 8' 7"          Floor to Decking = 9' 9"</p> <p>Front Building - Basement          Floor to Joist = 8' 0"          Floor to Decking = 9' 0"</p> <p>Front Building - Attic          Floor to Rafters = 8' 0" +          Floor to Decking = 8' 6" +</p>

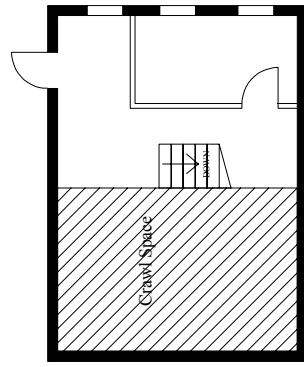
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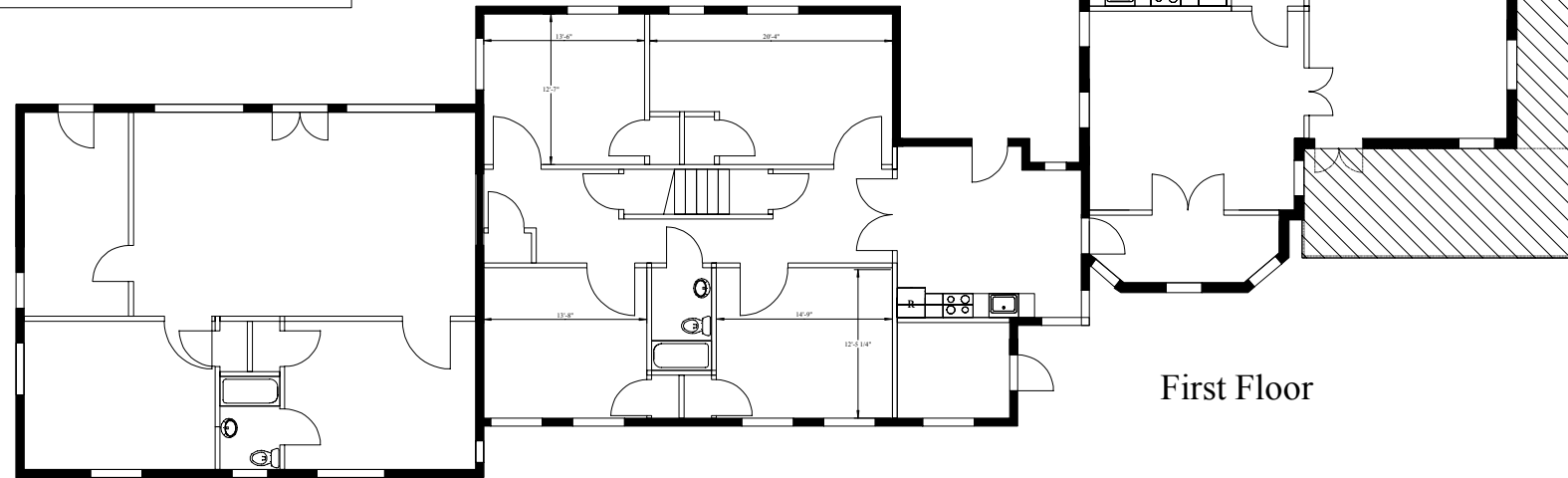
Revision:  
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**A2.0**

**Elevations - North & East**

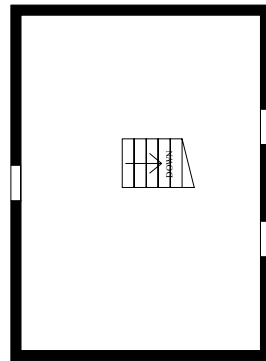


Basement - Front Building

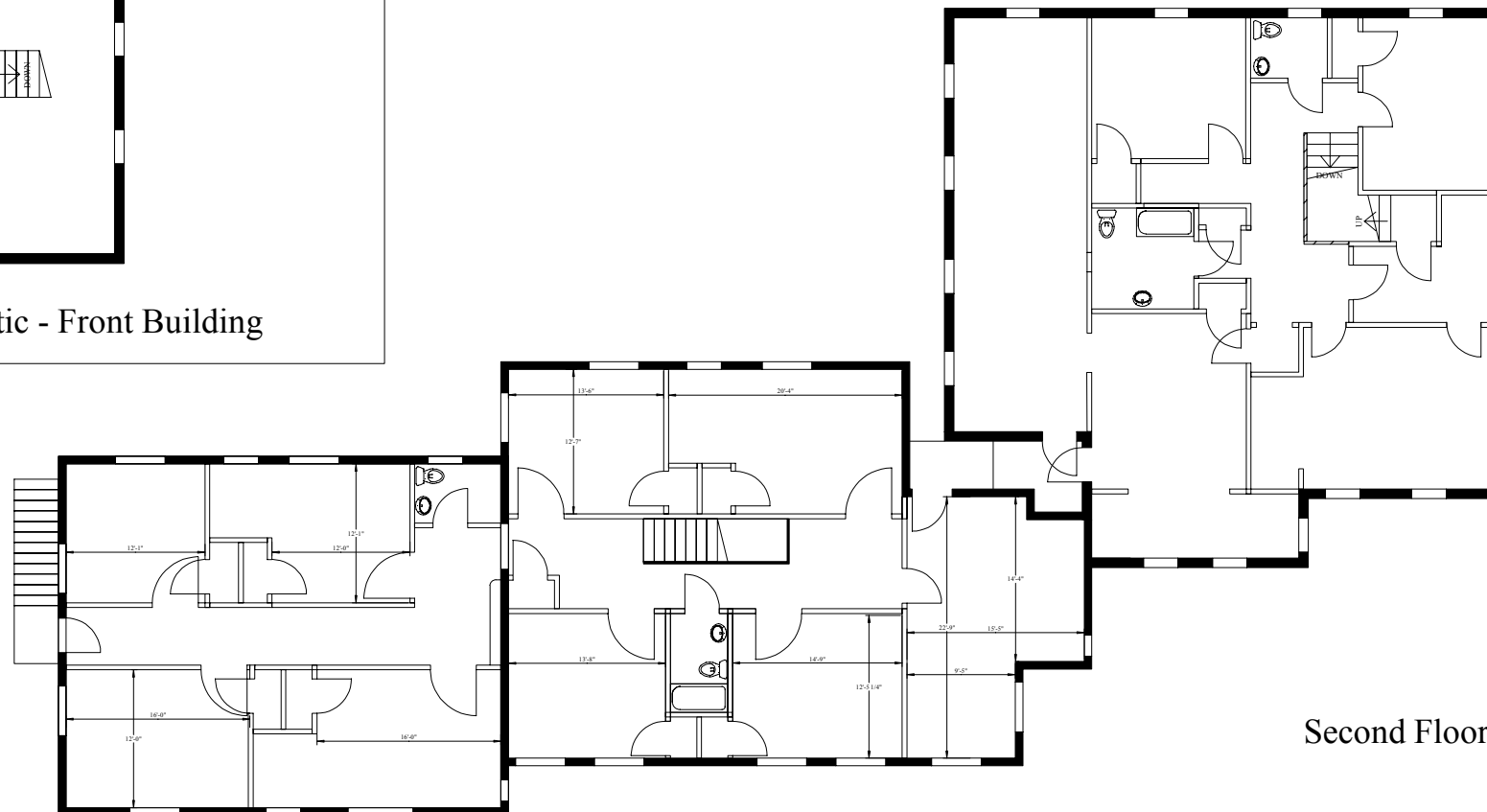


First Floor

## First Floor Floor Plans



Attic - Front Building



Second Floor

## Second Floor Floor Plans

**Square Footage Dimensions:**

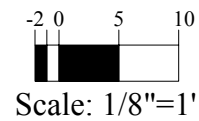
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Scale: 1/8"=1'

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**A3.2**