



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

COA-055424-2019

PROPERTY (location of work)

Address 2306 E Leigh St

Historic district Union Hill & Old Historic District

Date/time rec'd: _____

Rec'd by: _____

Application #: _____

Hearing date: _____

APPLICANT INFORMATION

Name Jason Hopkins

Phone (804) 598-9216

Company Design Physics

Email jason@designphysics.net

Mailing Address 4940 Old Main St.

Applicant Type: Owner Agent

Henrico, VA 23231

Lessee Architect Contractor

Other (please specify): _____

OWNER INFORMATION (if different from above)

Name Elizabeth Nall

Company Seven Hills Studio

Mailing Address 501 N 25th St

Phone (804) 306-3709

Richmond, VA 23223

Email elizabeth.nall@gmail.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

new roof, window replacement, partial restoration

ACKNOWLEDGEMENT OF RESPONSIBILITY

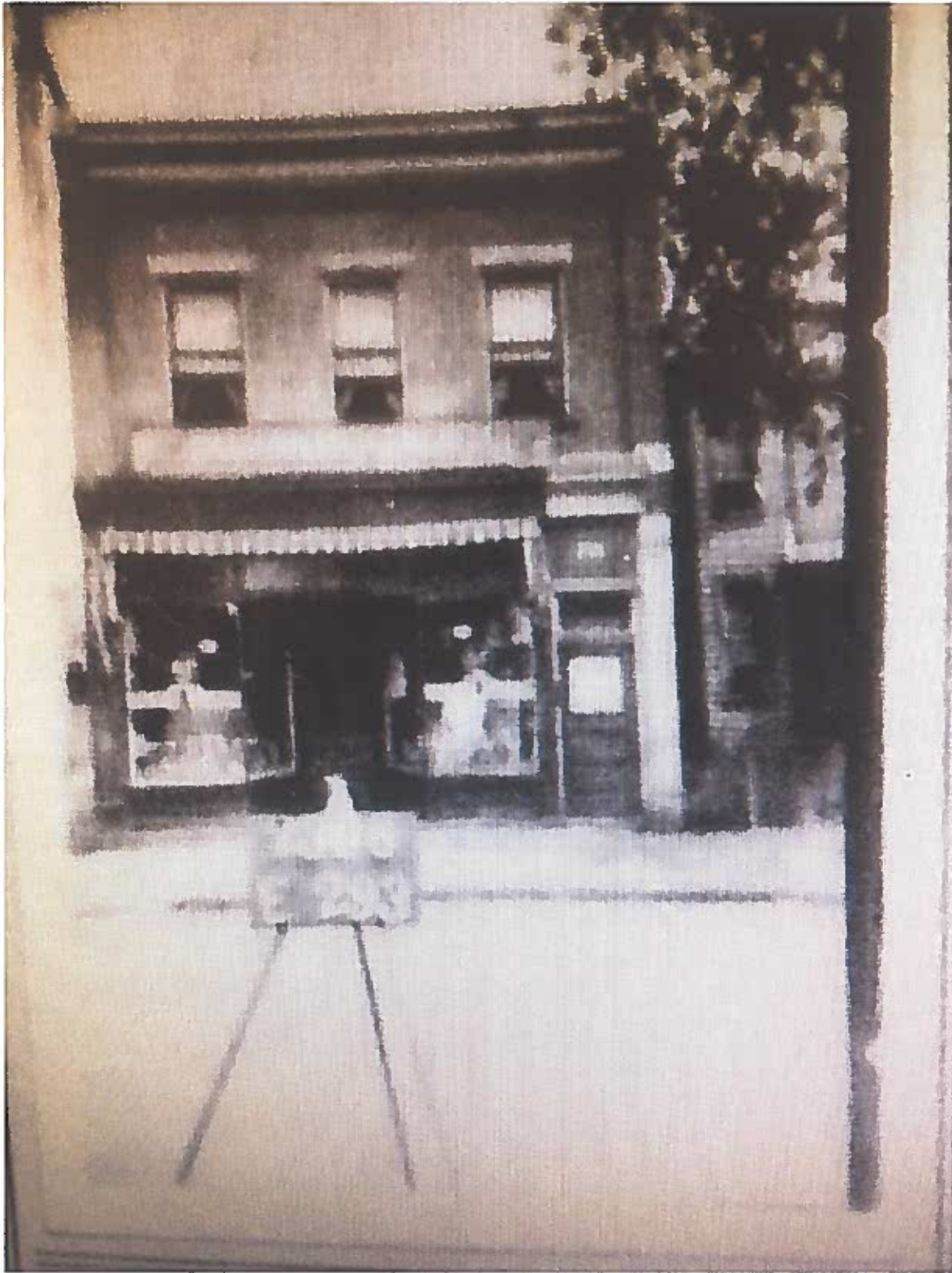
Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner [Signature]

Date 5/31/19



1920's Historical Photo



CORNICE TO BE
REFURBISHED

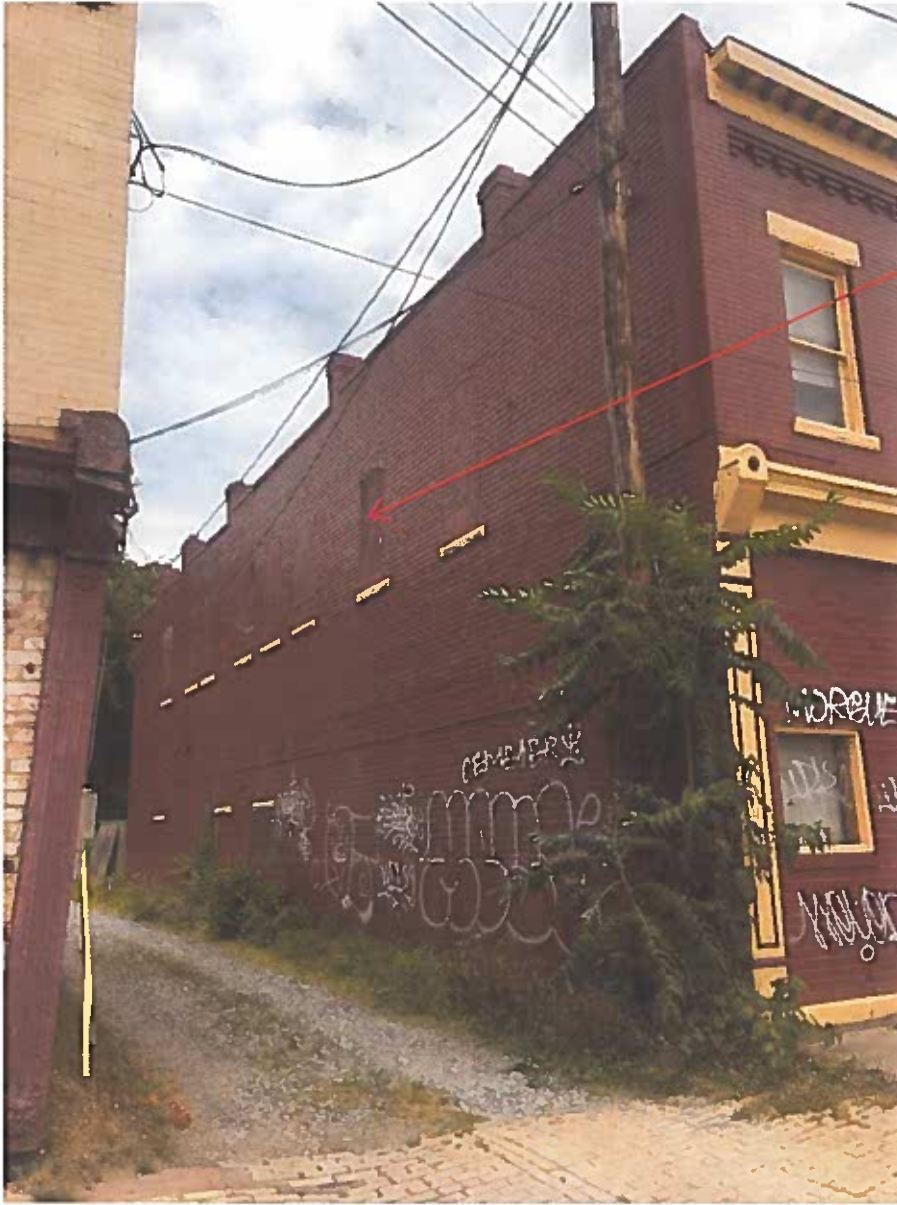
FRONT WINDOWS TO BE
REFURBISHED

CORNICE TO BE
REFURBISHED

BRICK INFILL TO BE
REMOVED

FRONT ELEVATION

On the front elevation, the lower brick infill will be removed and replaced with aluminum storefront to mimic the original patterns. FDC will be moved closer to the sidewall. The front windows will be refurbished and repainted. Upper and lower cornices will be repaired and replaced in-kind, as necessary. Typical of all elevations, the brick will be cleaned, repointed and painted.



WOOD OVER WINDOW
OPENINGS TO BE REMOVED
AND NEW WINDOWS TO BE
INSTALLED

ALLEY SIDE ELEVATION

Along the alley side, there are seven window openings on the second floor that have been covered with wood. The wood coverings will be removed and new wood windows will be installed. The windows will match the profiles of the front wood windows.



REAR ELEVATION

The rear of the building will remain largely the same. The stairs will remain, be repaired and painted. The two steel egress doors will be replaced. The small shed will be removed and the rear yard cleared up. New gutter and downspouts will be added.



REMOVE VEGETATION

REFURNISH WINDOWS

REMOVE EXHAUST HOOD

EMPTY LOT SIDE ELEVATION

This lot side elevation will just be cleaned, repointed and painted. The hood vent and all vegetation will be removed. Windows will be refurbished and painted.

SW 0052
Pearl Gray

SW 2832
Colonial Revival Gray

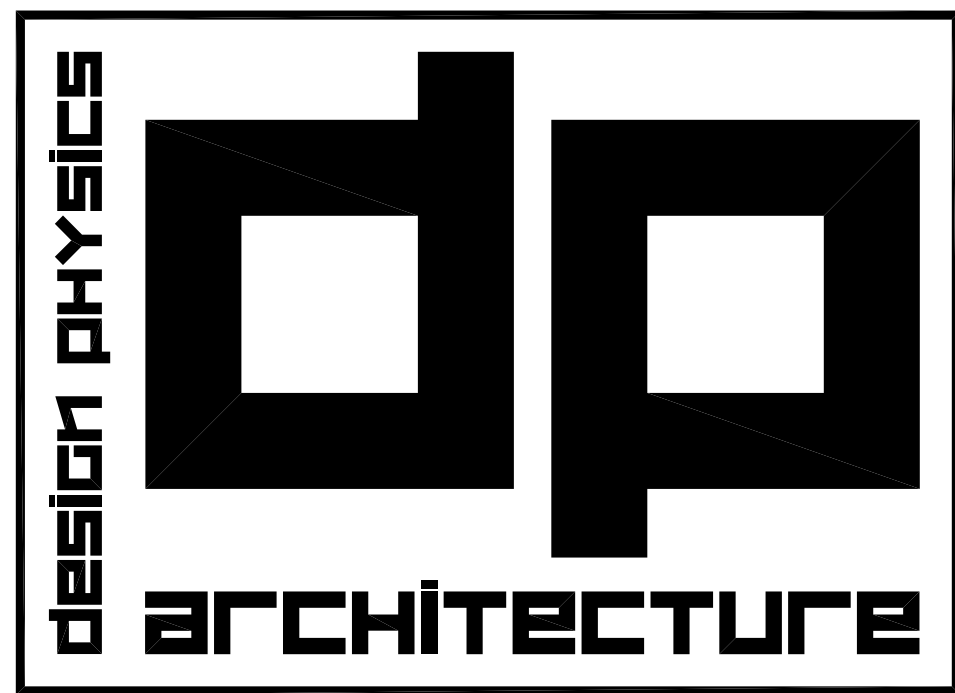
SW 7623
Cascades

279-C1

building renovation

2306 LEIGH STREET

RICHMOND, VIRGINIA



4940 OLD MAIN STREET
HENRICO, VIRGINIA 23231
PH: 804-598-9216
FX: 703-935-1432

OWNER
ELIZABETH NALL
-
RICHMOND VA 23219

DRAWING INDEX

- CS COVER SHEET
- D-1 DEMO PLANS
- D-2 DEMO - ELEVATIONS
- A1.1 NEW WORK PLANS
- A2.1 DOOR & WINDOW SCHEDULES
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A5.1 EXTERIOR DETAILS
- A5.2 EXTERIOR DETAILS

PROJECT:

ADDRESS: 2306 LEIGH STREET
RICHMOND VIRGINIA

DESCRIPTION: RENOVATE EXISTING TWO STORY BUILDING. THE FIRST FLOOR WILL BE A HAIR SALON AND THE SECOND FLOOR WILL BE A WARM SHELL WITH NO FIXTURES OR FINISHES. TWO NEW BATHROOMS WILL BE ADDED TO THE FIRST FLOOR. THE EXTERIOR WOOD EGRESS STAIR FROM THE SECOND FLOOR WILL REMAIN IN PLACE. THE INTERIOR EGRESS STAIR FROM THE SECOND FLOOR WILL BE REBUILT TO ITS ORIGINAL FORM AS AN HISTORICAL STAIR. THE STOREFRONT WILL BE OPENED BACK UP WITH ENTRY DOORS REBUILT TO RESEMBLE HISTORICAL DESIGN. RE-OPEN A NUMBER OF PREVIOUSLY CLOSED OFF WINDOWS AND INSTALL NEW WOOD WINDOWS TO MATCH EXISTING HISTORICAL DESIGN. A COMPLETE NEW ROOF WILL BE INSTALLED. A ROOF HATCH W/PERMANENT LADDER WILL ALSO BE INSTALLED.

CODE DATA

CODES: BUILDING: 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) REFERENCING THE 2012 INTERNATIONAL BUILDING CODE
2012 VIRGINIA REHABILITATION CODE

ACCESSIBILITY: 2009 ANSI A117.1

FIRE PREVENTION: 2012 INTERNATIONAL FIRE CODE

MECHANICAL: 2012 INTERNATIONAL MECHANICAL CODE

PLUMBING: 2012 INTERNATIONAL PLUMBING CODE

ELECTRICAL: 2011 NATIONAL ELECTRIC CODE

USE GROUP: MIXED USE (NON-SEPARATED)

FIRST FLOOR: B (EXISTING A-2)

SECOND FLOOR: A-2 (EXISTING A-2 NO CHANGE)

CONSTRUCTION TYPE: IIBB

SPRINKLERED: Yes

HEIGHT: 2 STORIES

AREA: FIRST FLOOR 1,460 SF
SECOND FLOOR 1,460 SF
TOTAL 2,920 SF

FIRE PROTECTION

FIRE RESISTANCE-RATED CONSTRUCTION (TABLE 601)

IIB	CONSTRUCTION CLASSIFICATION
BUILDING ELEMENTS (TABLE 601)	
0	PRIMARY STRUCTURE EXISTING STEEL BEAM AND POSTS
2	EXTERIOR BEARING WALLS EXISTING MASONRY WALLS
0	INTERIOR NONBEARING WALLS METAL STUDS W/GYP. BOARD
0	FLOOR CONSTRUCTION (710) EXIST. WOOD JOISTS, WOOD FLOOR, GYP. BD. CEILING
0	ROOF CONSTRUCTION (710) EXISTING WOOD JOISTS, WOOD DECK

FIRE EGRESS DATA:

EGRESS

ALLOWABLE EXIT ACCESS TRAVEL DISTANCE 250'

EGRESS WIDTH CAPACITY = 0.2' PER OCCUPANT FOR STAIRS

EGRESS WIDTH CAPACITY = 0.15' PER OCCUPANT FOR OTHER EGRESS COMPONENTS

OCCUPANCY LOAD

NUMBER PER SECTION 1004.4 & TABLE 1004.1.2

FIRST FLOOR

BUSINESS (B) 1388 SF/100 GROSS = 14

TENANT EGRESS

FIRST FLOOR 2 - 36" EGRESS DOORS
68" TOTAL EGRESS

SECOND FLOOR

ASSEMBLY (A-2) EMPTY SHELL SPACE

TENANT EGRESS

SECOND FLOOR 2 - 36" EGRESS DOORS
68" TOTAL EGRESS

ACCESSIBILITY:

2015 - VIRGINIA EXISTING BUILDING CODE

402.2 PARTIAL CHANGE IN OCCUPANCY - ADDITIONAL ACCESSIBLE FEATURES ARE NOT REQUIRED

FIXTURE COUNT:

MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES TABLE 2902.1	
FIRST FLOOR	
BUSINESS (B) USE	
WATER CLOSETS REQUIRED:	1 PER 125 FOR MALE (1 REQUIRED) 1 PER 65 FOR FEMALE (1 REQUIRED)
WATER CLOSETS PROVIDED:	2
LAVATORIES REQUIRED:	1 PER 200 (2 REQUIRED)
LAVATORIES PROVIDED:	2
DRINKING FOUNTAINS REQUIRED:	1 1 PROVIDED
SERVICE SINKS REQUIRED:	1 1 PROVIDED

SECOND FLOOR

ASSEMBLY (A-2) - NO BUILD OUT, JUST SHELL SPACE

NOTES:

PER SECTION 110.3 OF THE 2012 VCC, AN ASBESTOS INSPECTION WILL BE REQUIRED FOR THIS PROJECT.

1. WORK SHALL INCLUDE ALL LABOR, ASSEMBLIES, AND FINISH WORK INCLUDING ALL PARTS AND MATERIALS NECESSARY TO MAKE A COMPLETE, IN-PLACE, PROPERLY WORKING AND FINISHED INSTALLATION.

2. ALL DIMENSIONS AND DESCRIPTIONS ON CONSTRUCTION DRAWINGS ARE COMPLEMENTARY. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH REQUIRED BY ALL RELATED DOCUMENTS. MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING.

3. THE WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. REFER ANY QUESTIONS TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING.

4. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ACCEPTED FIRST CLASS CONSTRUCTION PRACTICES.

5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER COMPLETION OF ALL WORK REQUIRED BY THESE DOCUMENTS.

6. ALL CONTRACTORS SHALL VISIT THE PROJECT TO FAMILIARIZE THEMSELVES WITH SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION. BY SUBMITTING A BID, THE CONTRACTOR AND HIS SUBCONTRACTORS ARE CONFIRMING THAT THEY HAVE VISITED THE SITE AND HAVE INCLUDED IN THEIR BID ANY ADDITIONAL ITEMS OF CONSTRUCTION THAT MY BE REQUIRED DUE TO EXISTING SITE CONDITIONS.

7. THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT DIFFERENCES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT FOR RESOLUTION PRIOR TO BID SUBMISSION.

8. THE CONTRACTOR SHALL FIELD MEASURE ALL DISTANCES AND CLEARANCES PRIOR TO COMMENCEMENT OF NEW WORK OR ORDERING MATERIAL. ANY DEVIATION TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THAT PORTION OF WORK. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS OR SIZES. VERIFY ALL DIMENSIONS IN THE FIELD.

9. PRIOR TO PROCEEDING WITH ANY WORK THAT MAY RESULT IN ADDITIONAL COST OR ADDITIONAL TIME TO THE PROJECT, THE CONTRACTOR SHALL DETERMINE THE ADDITIONAL COST OR TIME OR, IF THE EXACT COSTS FOR TIME CANNOT BE DETERMINED, THE CONTRACTOR SHALL MAKE HIS MOST REASONABLE ESTIMATE (AN ESTIMATE OF THE WORST CASE) AND SUBMIT THE ADDITIONS TO THE ARCHITECT FOR APPROVAL. SHOULD THE CONTRACTOR FAIL TO ADVISE THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK, ADDITIONAL COST OR TIME WILL NOT BE APPROVED.

10. IDENTIFY DELIVERY TIMES FOR ALL ITEMS AND PLACE THE ORDERS FOR THE LONG LEAD TIME ITEMS SO AS NOT TO DELAY THE PROJECT.

11. THE CONTRACTOR SHALL PROTECT THE EXISTING BUILDING AND EXISTING FINISHES SCHEDULED TO REMAIN IN A MANNER WHICH WILL NOT SOIL, DEFACE OR DAMAGE THE EXISTING FACILITIES, FINISHES OR FIXTURES IN ANY FASHION. PROVIDE PROTECTIVE MATERIALS AS NECESSARY. DAMAGE BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF AND AT NO COST TO THE OWNER. AFTER ANY WORK HAS BEEN COMPLETED WITHIN ANY OCCUPIED SPACES, THE CONTRACTOR SHALL CLEAN THE SPACE OF ALL CONSTRUCTION DUST, TOOLS, STAINS AND DEBRIS.

12. DO NOT ALTER, LOAD OR PENETRATE THE EXISTING STRUCTURE IN ANY MANNER UNLESS NOTED IN DRAWINGS.

GENERAL NOTES

13. REMOVE ALL CONSTRUCTION DEBRIS AS REQUIRED TO MAINTAIN A CLEAN ENVIRONMENT AND TO PREVENT THE POSSIBILITY OF ACCIDENT OR FIRE. COORDINATE REMOVAL WORK WITH BUILDING MANAGEMENT.

14. ANY AND ALL MATERIALS AND INSTALLATION METHODS USED IN THE MODIFICATION OF THE EXISTING ROOF SYSTEM SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE EXISTING ROOF WARRANTY.

15. HEIGHTS OF ELECTRICAL, DATA, AND COMMUNICATION OUTLETS WHEN SURROUNDED BY OR ABUTTING MILLWORK SHALL BE CONFIRMED WITH THE ARCHITECT.

16. IN THE EVENT LEAD PAINT IS PRESENT IN THE EXISTING BUILDING, FOLLOW OSHA 29CFR 1926.62 STANDARDS.

17. REPLACE ALL EXISTING ELECTRICAL DEVICES AND COVER PLATES TO MATCH THOSE SELECTED BY OWNER. CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH REPLACEMENTS.

18. PROVIDE FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS AS REQUIRED BY CODE.

19. PROVIDE A FINAL PROFESSIONAL CLEANING OF THE ENTIRE SPACE AFTER CONSTRUCTION AND PUNCH LIST ITEMS ARE COMPLETE AND PRIOR TO TENANT OCCUPANCY.

20. CONTRACTOR TO SALVAGE AND STORE UNUSED MATERIALS ORDERED FOR PROJECT. PROVIDE UNUSED MATERIALS AS ATTIC STOCK AS REQUIRED BY OWNER.

21. PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL ASSEMBLE ORIGINAL COPIES OF ALL NEW EQUIPMENT AND MATERIALS WARRANTIES AND OPERATIONS INFORMATION AND DELIVER TO THE TENANT OR BUILDING MANAGER (AS APPROPRIATE) IN A NEATLY INDEXED AND LABELED 3-RING BINDER.

22. UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN INSTALL ALL MATERIAL/PRODUCTS FOR THIS PROJECT IN STRICT ACCORDANCE WITH THE MANUFACTURERS LATEST PUBLISHED SPECIFICATIONS/ RECOMMENDATIONS.

23. OWNER WILL SUBMIT FOR AND CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT. SECURE AND PAY FOR ALL OTHER PERMITS, FEES AND LICENSES AND INSPECTIONS NECESSARY FOR A PROPER COMPLETION OF ALL WORK ASSOCIATED WITHIN THESE CONSTRUCTION DRAWINGS.

24. PERFORM ALL WORK IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES/ORDINANCES.

25. USE THE EXISTING BUILDING IN A MANNER WHICH WILL NOT DEFACE OR DAMAGE THE EXISTING FACILITIES IN ANY FASHION. ALL DAMAGE BY CONTRACTOR SHALL BE REPAIRED/ REPLACED BY THE CONTRACTOR AT NO COST TO THE BUILDING'S OWNER. PROVIDE PROTECTIVE MATERIAL AS WARRANTED.

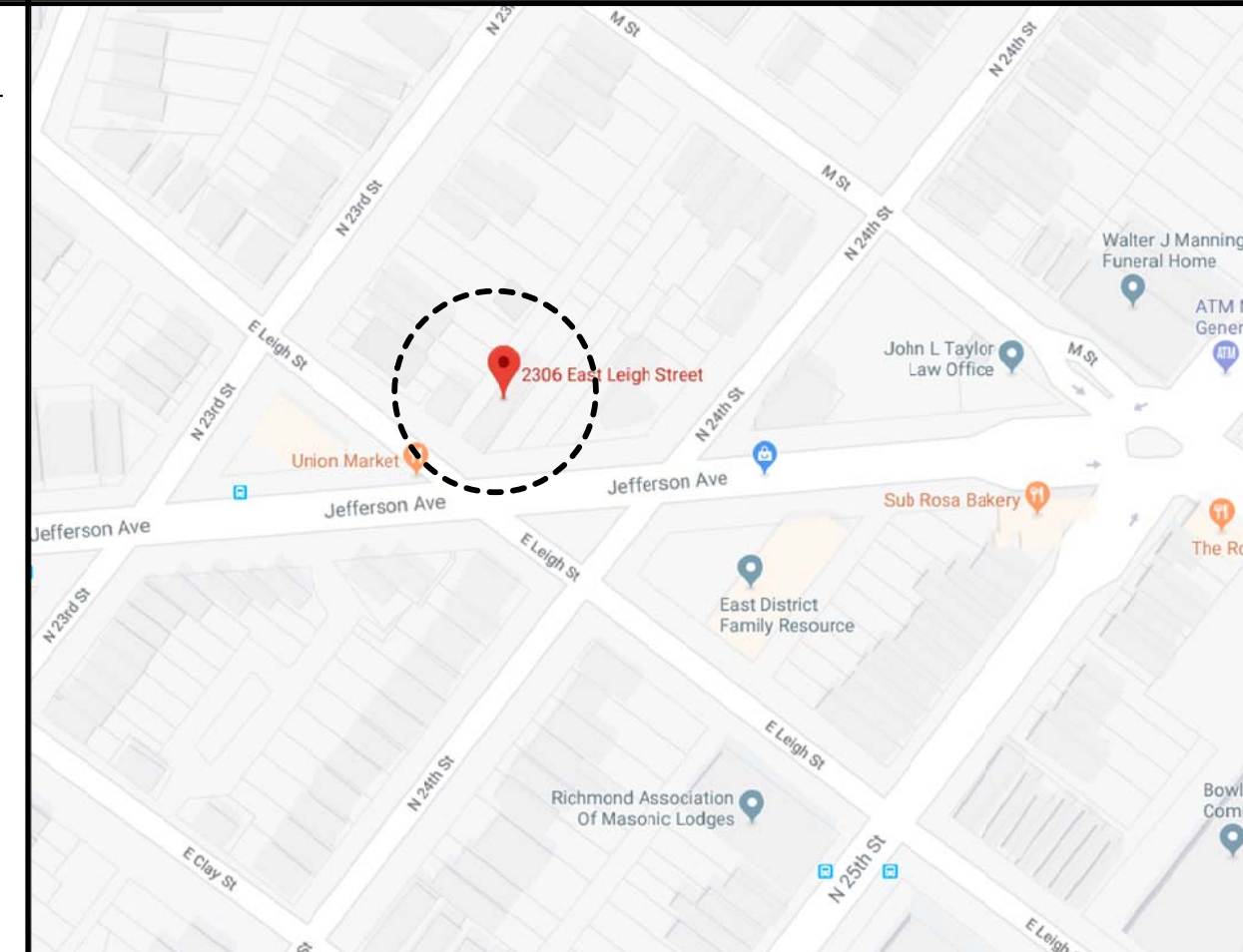
26. PATCH AND REPAIR PARTITIONS, FLOORS OR CEILINGS WHERE EXISTING FINISHES HAVE BEEN DISTURBED OR INTERRUPTED DUE TO REMOVAL OF EXISTING CONTIGUOUS PARTITIONS, DOORS, WINDOWS, CASEWORK OR MECHANICAL, ELECTRICAL OR PLUMBING FIXTURE OR DEVICE, TO PROVIDE A SMOOTH MONOLITHIC FINISH TO MATCH ADJACENT SURFACE. COORDINATE WITH ELECTRICAL, PLUMBING, AND MECHANICAL DRAWINGS.

27. REMOVE ANY MATERIAL CONTAINING ASBESTOS.

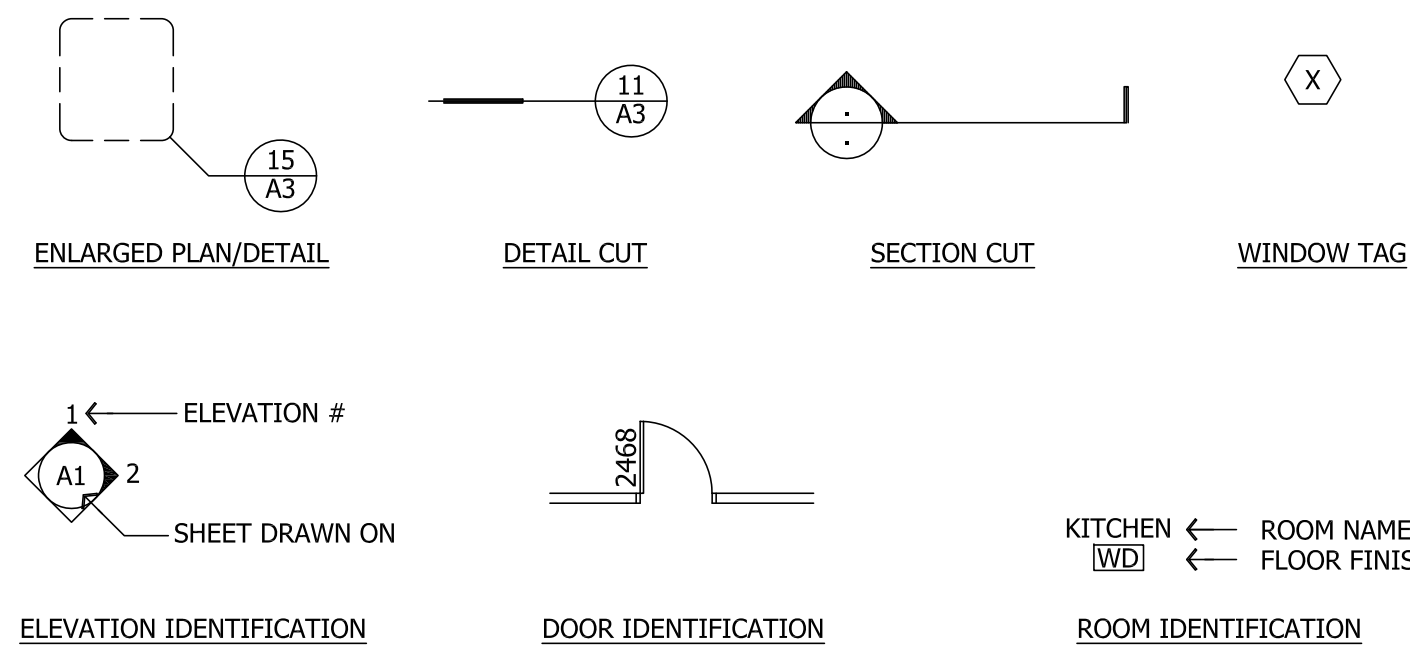
28. ALL EXISTING FLOORS TO BE LEVELED PRIOR TO INSTALLING NEW FLOORING.

ADJ. ABOVE FINISHED FLOOR	M.P.E. MECHANICAL, PLUMBING, ELECTRICAL
CL. CLOSURE	MTD. MOUNTED
CLG. CEILING	MTL. METAL
COL. COLUMN	MULL. MULLION
CONC. CONCRETE	N. I. C. NOT IN CONTRACT
CORR. CORRIDOR	N. T. S. NOT TO SCALE
C. M. U. CONCRETE MASONRY UNIT	O. C. ON CENTER
CONT. CONTINUOUS	PART. PARTITION
C. B. CHALK BOARD	P.T. PRESSURE-TREATED
C. C. T. CUBICLE CURTAIN TRACK	P. T. D. PAPER TOWEL DISPENSER
C. J. CONTROL JOINT	PLAS. LAM. PLASTIC LAMINATE
CLER. CLERESTORY	RECEPT. RECEPTACAL
C. T. CERAMIC TILE	REF. REFRIGERATOR
C. TR. CHALK TRAY	REQ'D. REQUIRED
DWGS. DRAWINGS	REV. REVERSE
E. W. C. ELECTRIC WATER COOLER	R. T. U. ROOF TOP UNIT
EL. ELEVATION	RM. ROOM
EQ. EQUAL	S. D. SOAP DISPENSER
E. J. EXPANSION JOINT	SIM. SIMILAR
FIN. FINISH	SP. GL. SPANDREL GLASS
F. E. C. FIRE EXTINGUISHER CABINET	STL. STEEL
F. R. T. FIRE RETARDANT TREATED	STRUCT. STRUCTURE
G.F.I. GROUND FAULT CIRCUIT INTERRUPTER	SUSP. SUSPENDED
GL. GLASS	T. B. TACK BOARD
G. B. GRAB BAR	T. & G. TONGUE & GROOVE
G.S. GRAVEL STOP	T. J. O. TOP OF
GYP. BD. GYPSUM BOARD	T. P. H. TOILET PAPER HOLDER
HT. HEIGHT	T. W. S. THRU WALL SCUPPER
H. C. HANDICAP	TYP. TYPICAL
INSUL. INSULATION	U.C.R. UNDER COUNTER REFRIGERATOR
M. B. MARKER BOARD	U. L. UNDERWRITERS LABORATORIES
MIN. MINIMUM	W. R. WASTE RECEPTACLE
	U.O.N. UNLESS OTHERWISE NOTED

ABBREVIATIONS



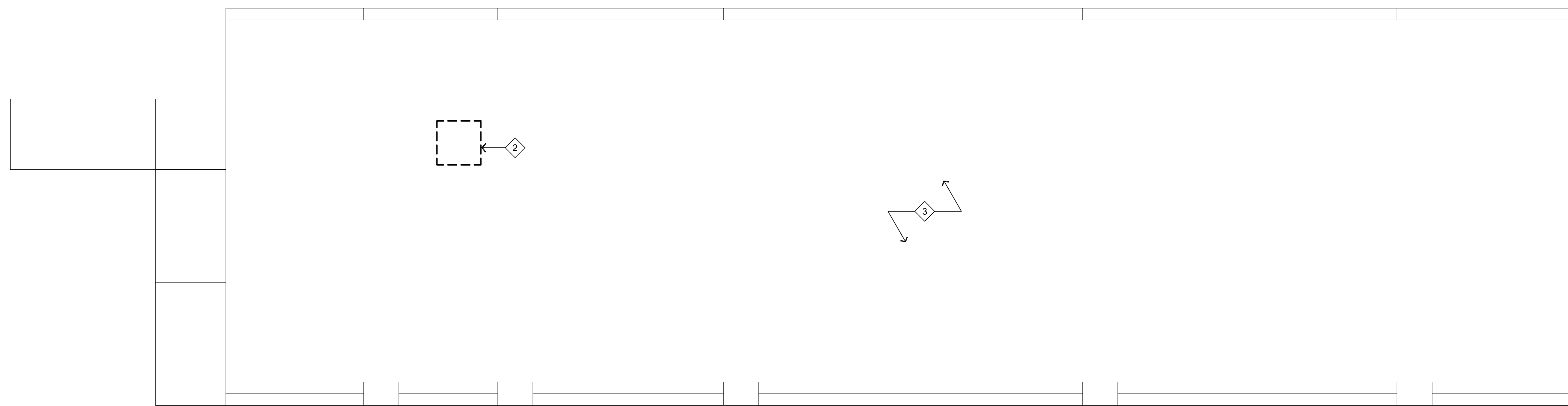
VICINITY PLAN



DRAWING SYMBOLS

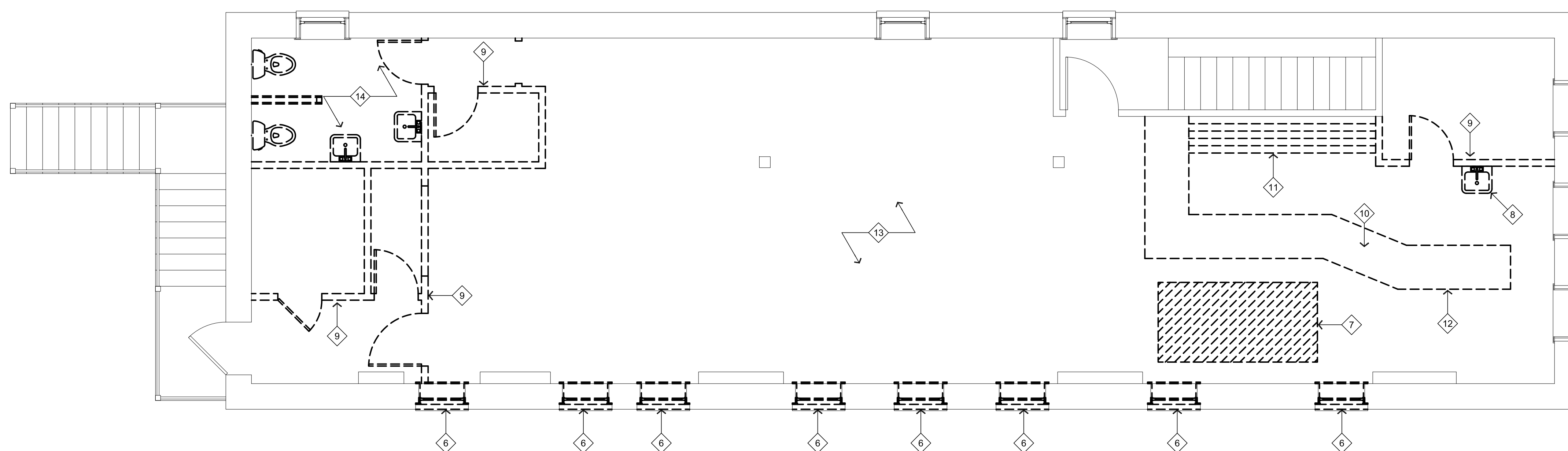
NO.	DESCRIPTION	DATE
1.	CAR SUBMISSION	5.30.2019

SCALE	1/4" = 1'-0"
DATE	5.15.2019
DRAWN BY	JMH
PROJECT NUMBER	2018-265



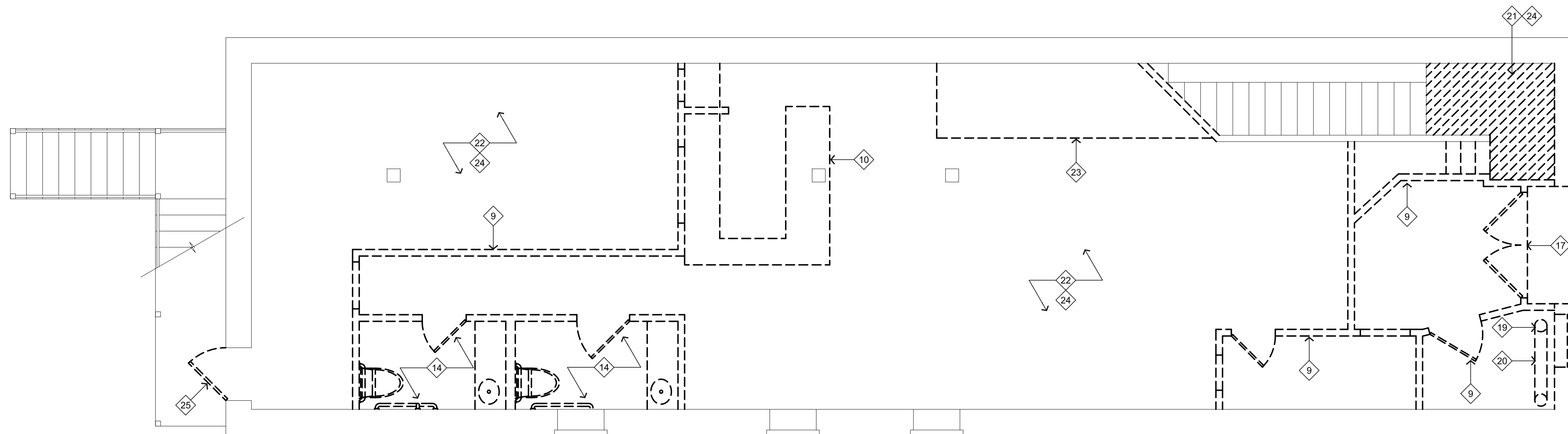
① ROOF EXISTING/DEMO PLAN

1/4" = 1'-0"



② SECOND FLOOR EXISTING/DEMO PLAN

1/4" = 1'-0"

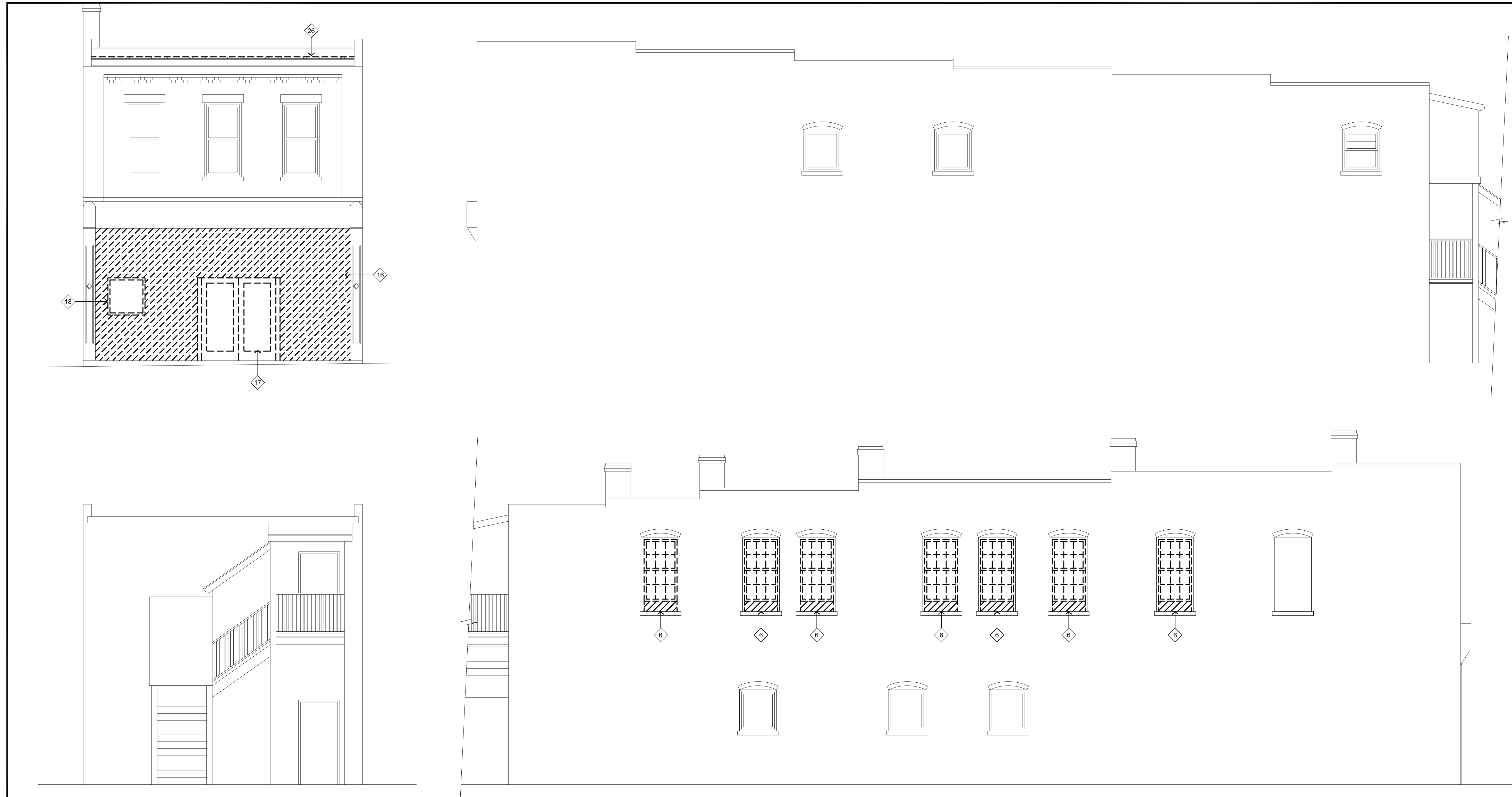


③ FIRST FLOOR EXISTING/DEMO PLAN

1/4" = 1'-0"

KEYED DEMO NOTES

- ① NOT USED
- ② REMOVE EXISTING ROOF STRUCTURE TO CREATE OPENING FOR ROOF HATCH. SEE STRUCTURAL FOR FRAMING OF NEW OPENING.
- ③ REMOVE EXISTING ROOF DOWN TO DECK AND PREP FOR NEW ROOF ASSEMBLY. INCLUDING ANY GUTTERS, DOWNSPOUTS, TERM BARS, ETC.
- ④ NOT USED
- ⑤ NOT USED
- ⑥ REMOVE EXTERIOR PLYWOOD AND INTERIOR 'PAINTINGS' FROM WINDOW OPENINGS. ALSO DEMO ALL BRICK OUT OF ORIGINAL OPENING AND PREP FOR INSTALLATION OF NEW WINDOW.
- ⑦ REMOVE DAMAGED PORTION OF FLOOR AND INSPECT FLOOR JOISTS FOR DAMAGE. NOTIFY ARCHITECT IF JOISTS ARE DAMAGED. PREP FOR INSTALLATION OF NEW SUBFLOOR AND FINISHED FLOOR.
- ⑧ REMOVE SINK AND ALL ASSOCIATED PLUMBING
- ⑨ REMOVE WALL, DOOR AND ALL ASSOCIATED ELECTRICAL IN DEMOED WALLS.
- ⑩ REMOVE SINK UNDER BAR AND ALL ASSOCIATED PLUMBING
- ⑪ REMOVE BACK BAR, PREP WALL TO RECEIVE NEW FINISH
- ⑫ REMOVE BAR IN ITS ENTIRETY
- ⑬ REMOVE ANY DAMAGED FLOORING AND PREP TO RECEIVE NEW FLOORING, TOOTH IN NEW FLOORING.
- ⑭ DEMO ENTIRE BATHROOM - TO INCLUDE ALL FIXTURES, PARTITIONS, PIPING, CEILING, TILE AND FLOORING.
- ⑮ NOT USED
- ⑯ REMOVE MASONRY INFILL FROM STOREFRONT LOCATIONS ACROSS ENTIRE FRONT OF BUILDING. SHORE SECOND FLOOR BRICK AS NECESSARY TO INSPECT STRUCTURAL MEMBERS AND LINTEL. PREP TO RECEIVE NEW STOREFRONT AND ENTRY DOORS.
- ⑰ SALVAGE ENTRY DOORS FOR DONATION
- ⑱ REMOVE EXISTING WINDOW
- ⑲ REMOVE SPRINKLER RISER
- ⑳ TRENCH SLAB FOR RELOCATION OF SPRINKLER RISER
- ㉑ REMOVE STAIR LANDING/STAIRS AND PREP AREA FOR NEW STAIRS
- ㉒ REMOVE FLOORING DOWN TO SLAB AND PREP FOR NEW FLOOR
- ㉓ REMOVE STAGE AND PREP AREA FOR INSTALLATION OF NEW FLOOR
- ㉔ REMOVE ACT CEILING, GRID AND ALL ASSOCIATED ITEMS
- ㉕ REMOVE METAL DOOR AND FRAME, PREP FOR NEW DOOR AND FRAME



① EXISTING EXTERIOR ELEVATIONS / DEMO PLANS

1/4" = 1'-0"

KEYED DEMO NOTES

- | | | |
|--|--|--|
| ① NOT USED | ⑫ REMOVE BAR IN ITS ENTIRETY | ⑳ REMOVE STAIR LANDING/STAIRS AND PREP AREA FOR NEW STAIRS |
| ② REMOVE EXISTING ROOF STRUCTURE TO CREATE OPENING FOR ROOF HATCH. SEE STRUCTURAL FOR FRAMING OF NEW OPENING. | ⑬ REMOVE ANY DAMAGED FLOORING AND PREP TO RECEIVE NEW FLOORING, TROUGH IN NEW FLOORING. | ㉑ REMOVE STAIR LANDING/STAIRS AND PREP AREA FOR NEW STAIRS |
| ③ REMOVE EXISTING ROOF DOWN TO DECK AND PREP FOR NEW ROOF ASSEMBLY, INCLUDING ANY GUTTERS, DOWNSPOUTS, TERM BARS, ETC. | ⑭ DEMO ENTIRE BATHROOM - TO INCLUDE ALL FIXTURES, PARTITIONS, PIPING CEILING, TILE AND FLOORING. | ㉒ REMOVE FLOORING DOWN TO SLAB AND PREP FOR NEW FLOOR |
| ④ NOT USED | ⑮ NOT USED | ㉓ REMOVE STAGE AND PREP AREA FOR INSTALLATION OF NEW FLOOR |
| ⑤ NOT USED | ⑯ REMOVE MASONRY INFILL FROM STOREFRONT LOCATIONS ACROSS ENTIRE FRONT OF BUILDING. SHORE SECOND FLOOR BRICK AS NECESSARY TO INSPECT STRUCTURAL MEMBERS AND LINTEL. PREP TO RECEIVE NEW STOREFRONT AND ENTRY DOORS. | ㉔ REMOVE ACT CEILING, GRID AND ALL ASSOCIATED ITEMS |
| ⑥ REMOVE EXTERIOR PLYWOOD AND INTERIOR 'PAINTINGS' FROM WINDOW OPENINGS. ALSO DEMO ALL BRICK OUT OF ORIGINAL OPENING AND PREP FOR INSTALLATION OF NEW WINDOW. | ⑰ SALVAGE ENTRY DOORS FOR DONATION | ㉕ REMOVE METAL DOOR AND FRAME, PREP FOR NEW DOOR AND FRAME |
| ⑦ REMOVE DAMAGED PORTION OF FLOOR AND INSPECT FLOOR JOISTS FOR DAMAGE. NOTIFY ARCHITECT IF JOISTS ARE DAMAGED. PREP FOR INSTALLATION OF NEW SUBFLOOR AND FINISHED FLOOR. | ⑱ REMOVE EXISTING WINDOW | ㉖ REMOVE PLYWOOD FASCIA AND PREP FOR NEW 1X FASCIA |
| ⑧ REMOVE SINK AND ALL ASSOCIATED PLUMBING | ㉚ REMOVE EXISTING WINDOW | |
| ⑨ REMOVE WALL, DOOR AND ALL ASSOCIATED ELECTRICAL IN DEMOED WALLS. | ㉛ REMOVE SPRINKLER RISER | |
| ⑩ REMOVE SINK UNDER BAR AND ALL ASSOCIATED PLUMBING | ㉜ TRENCH SLAB FOR RELOCATION OF SPRINKLER RISER | |
| ⑪ REMOVE BACK BAR, PREP WALL TO RECEIVE NEW FINISH | | |

② DEMO NOTES

1/4" = 1'-0"

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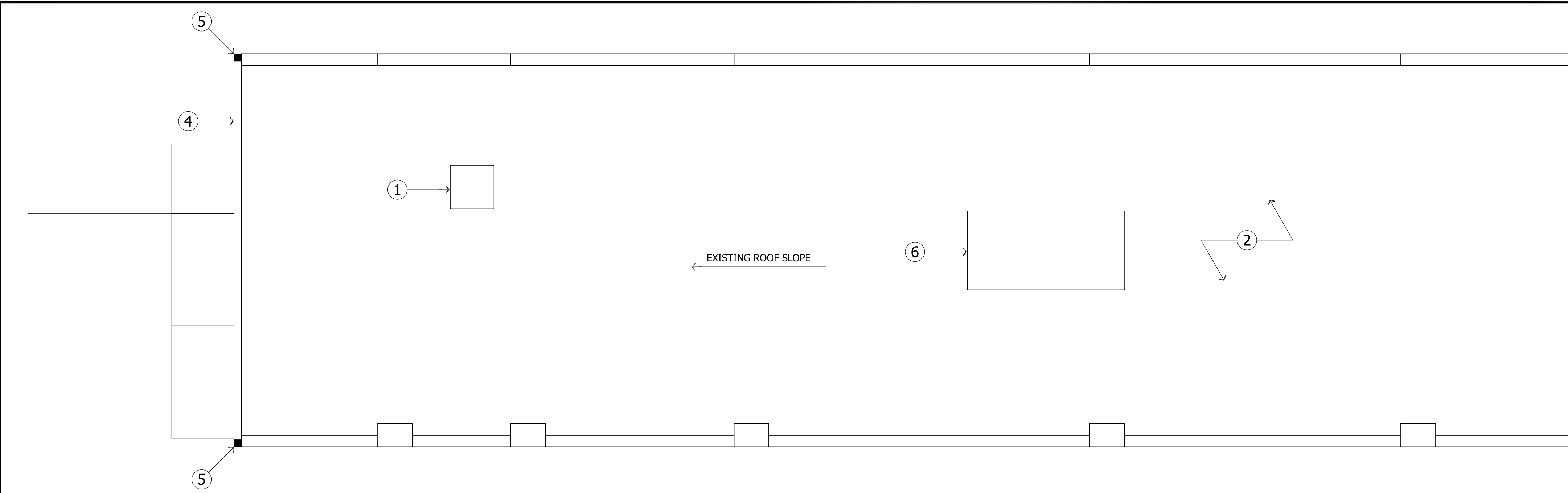
GENERAL PLAN NOTES

- INDICATES PARTITION TYPE; SEE SHEET A2
- INDICATES DIMENSION TO FACE OF FRAMING
- INDICATES DIMENSION TO GRID LINE
- INDICATES CLEAR DIMENSION OR CENTER OF FIXTURE
- INDICATES REQUIRED FIXTURE CLEARANCE.
- INDICATES SEPARATION WALL
- INDICATES CEILING HEIGHT A.F.F.
- ALL EXTERIOR PARTITION TYPES ARE TYPE 1 UNLESS NOTED OTHERWISE.
- SEE INTERIOR ELEVATION SHEETS FOR BATHROOM ACCESSORIES
- CHANGES OF FLOORING SHALL OCCUR AT LINE OF JAMB STOP UNDER DOOR
- SALVAGE FIRST FLOOR TIN CEILING AS DIRECTED BY HISTORIC CONSULTANT
- AUTOMATIC SPRINKLER SYSTEM COORDINATED AND INSTALLED UNDER GENERAL CONTRACTOR.
-
-

* ALL DIMENSIONS SHOWN REQUIRE FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

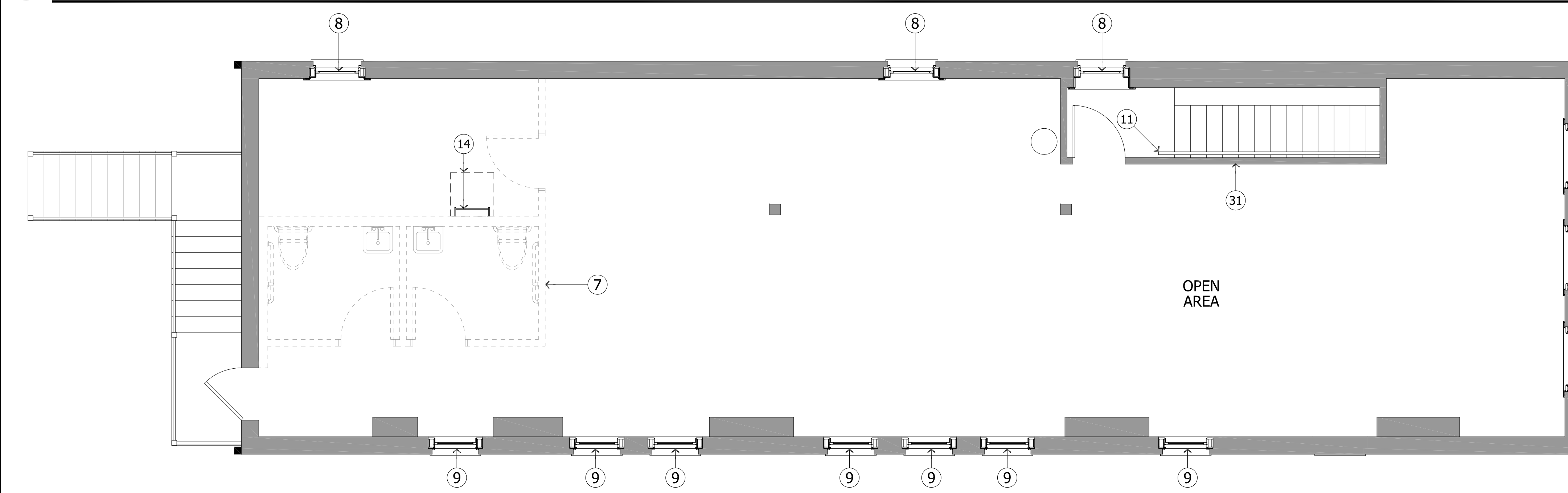
PLAN NOTES

- NEW 30" X 30" ROOF HATCH - PROVIDE FALL PROTECTION AS REQUIRED
- NEW FIRESTONE ULTRAPLY TPO MEMBRANE ROOF W/25 YEAR WARRANTY
- TPO WALKPAD AROUND ALL ROOFTOP EQUIPMENT
- 5" ALUMINUM GUTTER, COLOR TBD.
- DOWNSPOUT TO MATCH GUTTER
- DOAS UNIT
- FUTURE LAYOUT OF BATHROOMS, PLUMBING TO BE STUBBED UP
- REFURBISHED AS NECESSARY TO MAKE WEATHERTIGHT
- NEW WOOD WINDOW TO MATCH EXISTING HISTORIC WOOD WINDOWS
- NEW INSULATED G60 FLUSH METAL EGRESS DOOR & FRAME
- NEW STAIR HANDRAIL
- NOT USED
- NOT USED
- ROOF ACCESS HATCH AND LADDER, PROVIDE WALL BACKUP AS REQUIRED
- JANITOR'S SINK W/FRP WALL SURROUND
- NEW GALVANIZED STEEL STAIR W/STANDING SEAM METAL ROOF
- HI-LOW EWC, TBD
- STACKED WASHER/DRYER UNIT TBD
- REFRIGERATOR BY OWNER
- 48" BASE CABINET W/SINK & GRANITE TOP
- 7' STORAGE UNIT (CASEWORK)
- HAIR WASH STATION BY OWNER, TYP.
- GYP. BOARD BULKHEAD, TIGHT TO BEAM.
- STYLIST CHAIR BY OWNER, TYP.
- FULL HEIGHT DIVIDER MIRROR, DESIGN TBD
- STYLIST STORAGE BY OWNER
- SLOPED CEILING FROM STAIR ABOVE
- RECEPTION DESK, DESIGN TBD
- NEW STOREFRONT
- RELOCATED FDC
- PROVIDE 1 HOUR ENCLOSURE AT STAIR
- LOW WALL - CONFIRM FINAL LOCATION WITH OWNER



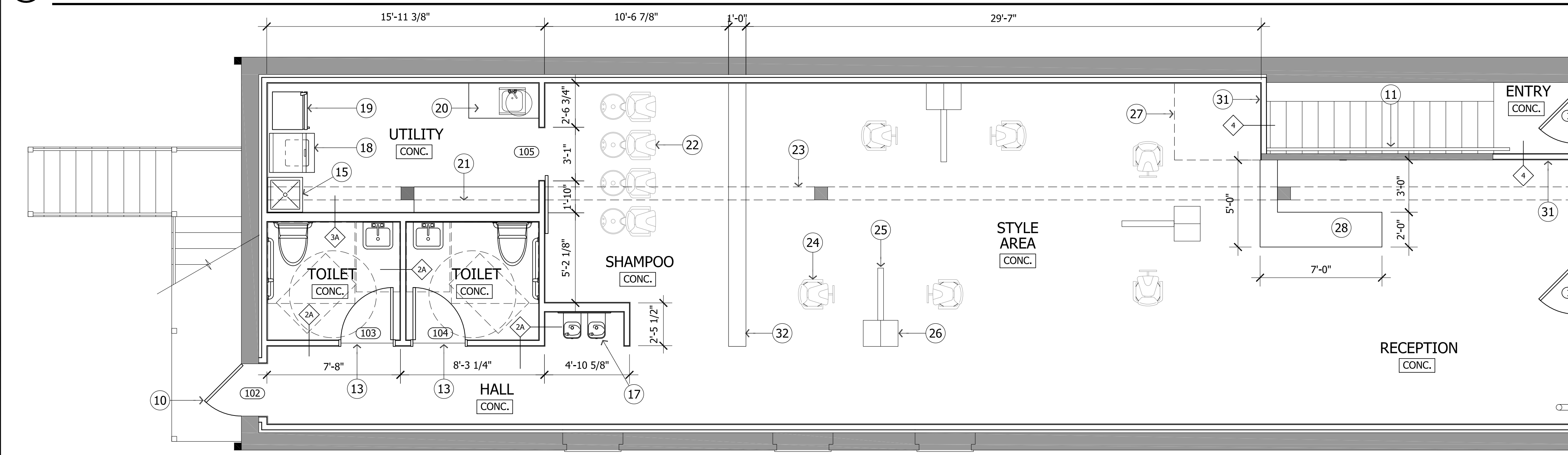
1 ROOF NEW WORK PLAN

1/4" = 1'-0"



2 SECOND FLOOR NEW WORK PLAN

1/4" = 1'-0"



3 FIRST FLOOR NEW WORK PLAN

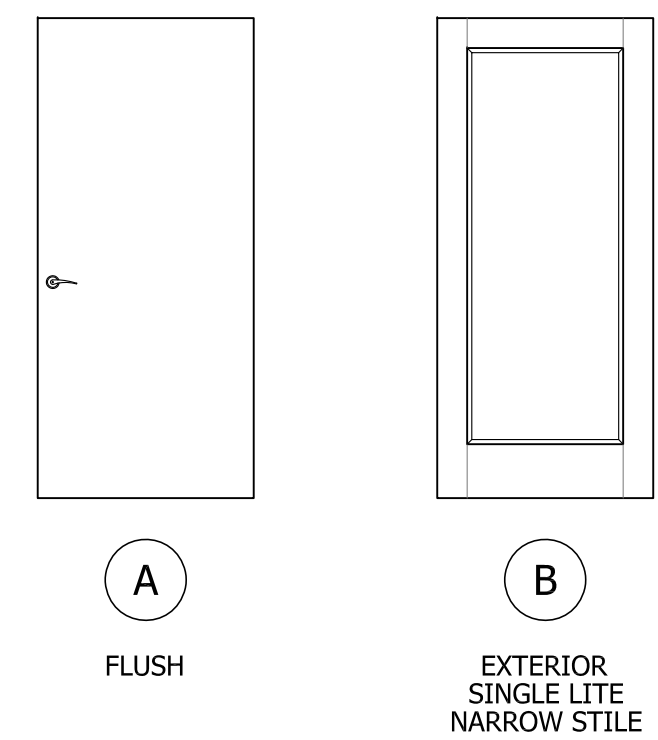
1/4" = 1'-0"

DOOR				FRAME				MISCELLANEOUS				
DESCRIPTION		SIZE		MAT'L.	TYPE	MAT'L.	JB.	HD.	U. L.	HARDWARE	REMARKS	
NO.	NAME	QTY.	W									H
FIRST FLOOR DOORS												
100	ENTRY	1	3'-0"	6'-8"	1 3/4"	ALUM.	B	ALUM.	-	-	4	
101	ENTRY	1	3'-0"	8'-0"	1 3/4"	ALUM.	B	ALUM.			4	
102	EXTERIOR	1	3'-0"	6'-8"	1 3/4"	MTL	A	MTL			1	INSULATED DOOR, G60 STEEL, STAINLESS HARDWARE
103	TOILET	1	3'-0"	6'-8"	1 3/8"	WD	A	WD			2	
104	TOILET	1	3'-0"	6'-8"	1 3/8"	WD	A	WD			2	
105	UTILITY	1	3'-0"	6'-8"	1 3/4"	WD	A	WD			-	SLIDING BARN DOOR HARDWARE, STAINLESS
SECOND FLOOR DOORS												

- HARDWARE SET #1**
EGRESS DOORS
- 1 PUSH BAR EGRESS SET
 - 1 CLOSER
 - 3 HINGES
 - 1 KICK PLATE
 - 1 ADHESIVE SEAL
 - 1 ADA THRESHHOLD
 - 1 DOOR SWEEP
 - 1 FLOOR STOP

- HARDWARE SET #4**
ENTRY DOORS
- 1 SET PUSH/PULL
 - 1 DEADBOLT W/THUMB LATCH ON INSIDE
 - 1 CLOSER
 - 3 HINGES
 - 1 SET WEATHERSTRIPPING
 - 1 ADA THRESHHOLD
 - 1 DOOR SWEEP
 - 1 FLOOR STOP

- HARDWARE SET #2**
BATHROOM DOOR
- 1 PRIVACY LEVER SET
 - 3 HINGES
 - 1 HINGE STOP

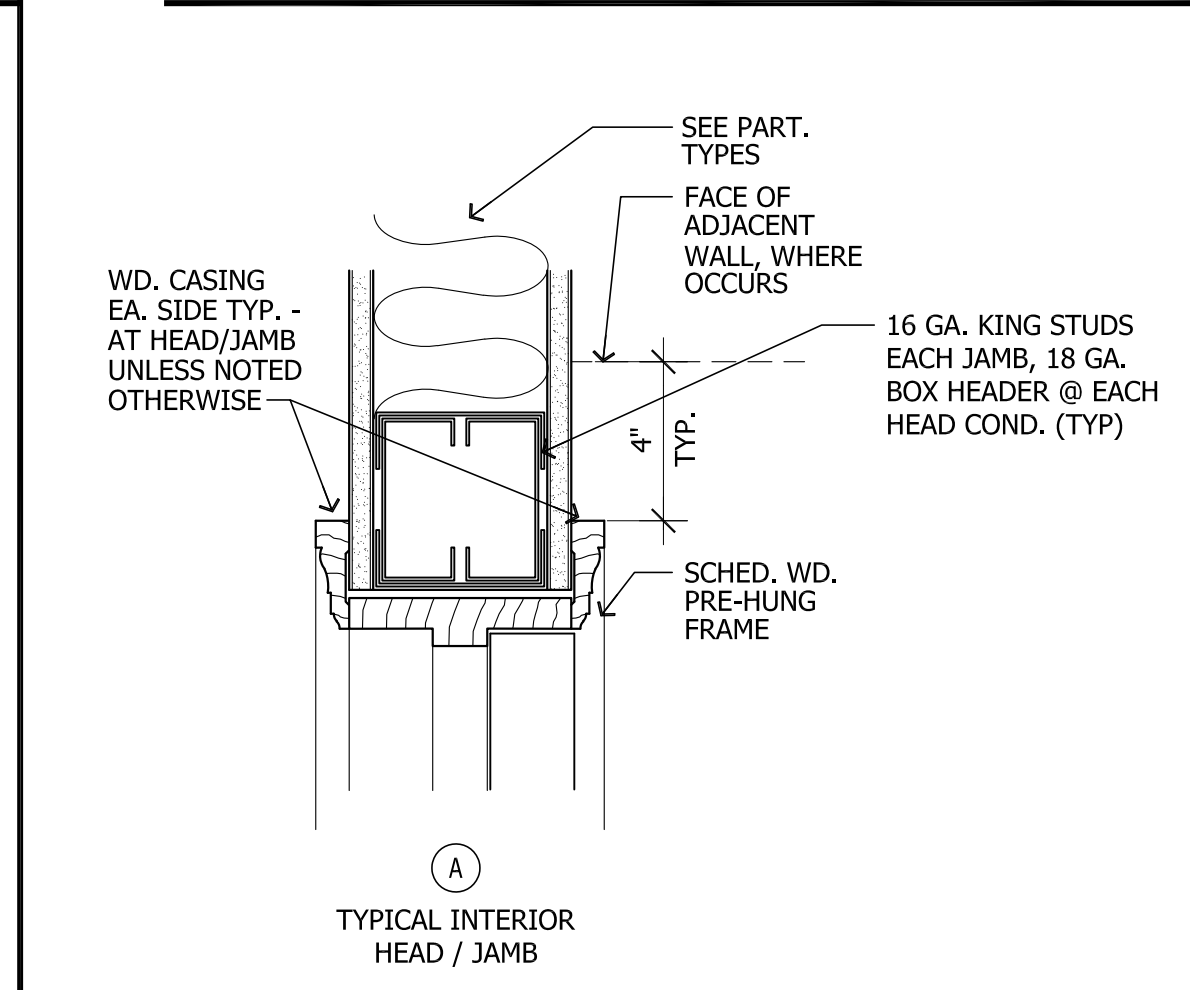
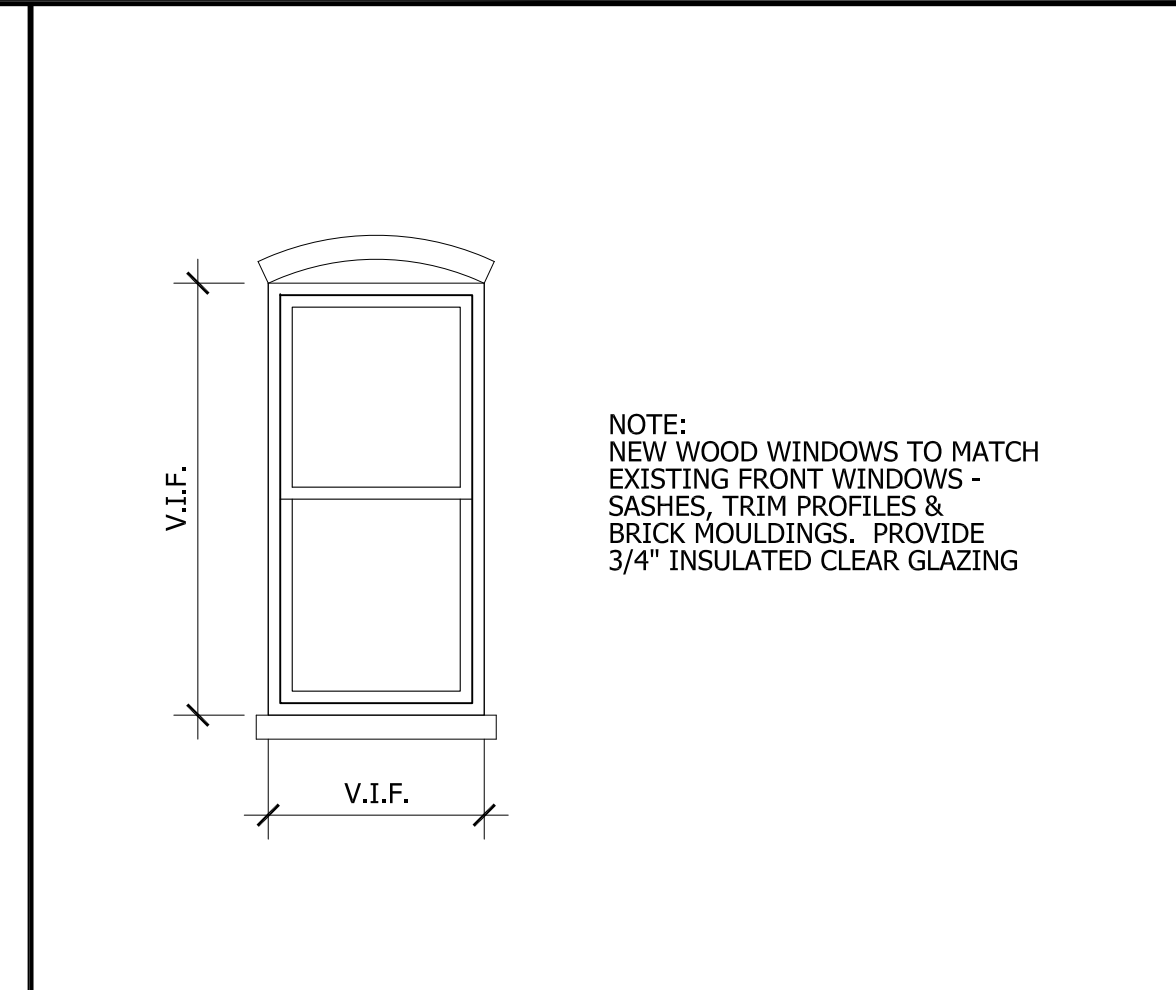


1 DOOR & HARDWARE SCHEDULE

N.T.S.

5 DOOR ELEVATIONS

3/8" = 1'-0"



6 NOT USED

1/4" = 1'-0"

7 NOT USED

1/4" = 1'-0"

8 NOT USED

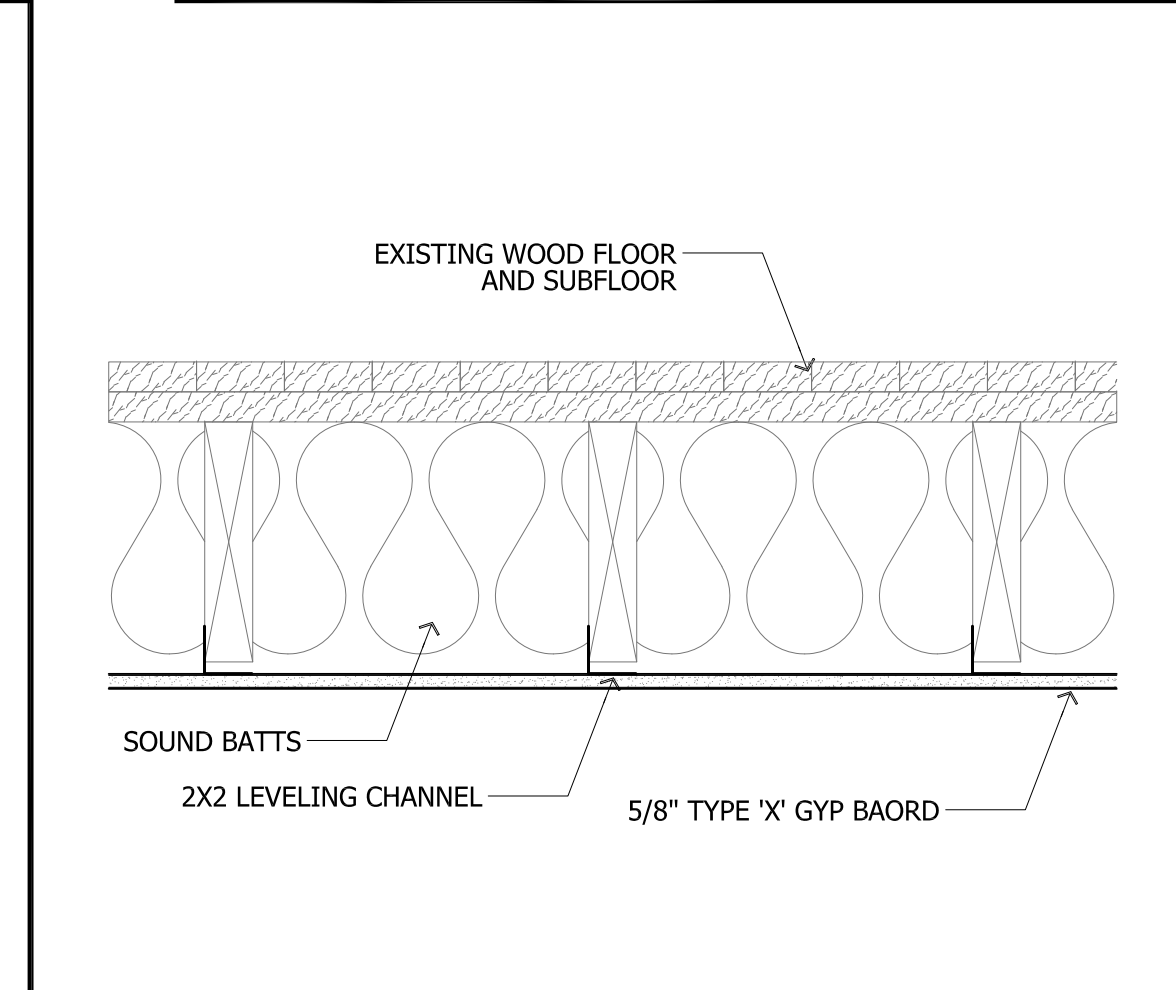
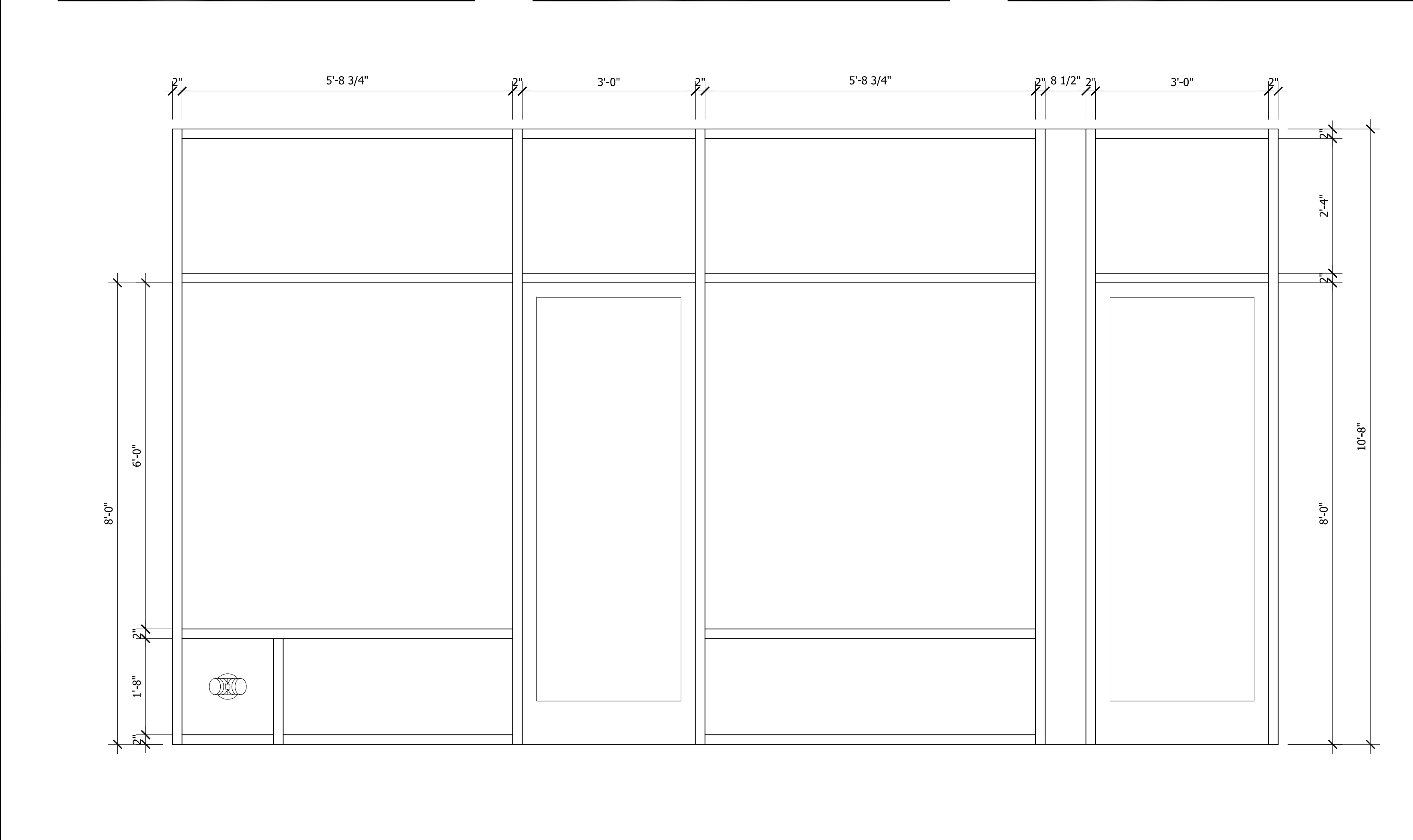
1/4" = 1'-0"

9 WINDOW ELEVATION

3/8" = 1'-0"

10 DOOR DETAIL

3" = 1'-0"



INSULATION SCHEDULE

LOCATION	DESCRIPTION
EXISTING MASONRY WALLS	2" CLOSED CELL SPRAY FOAM FLASH COAT
INTERIOR FLOOR/CEILING	R-15 CELLULOSE
ROOF	R-25 CONTINUOUS ENTIRELY ABOVE DECK

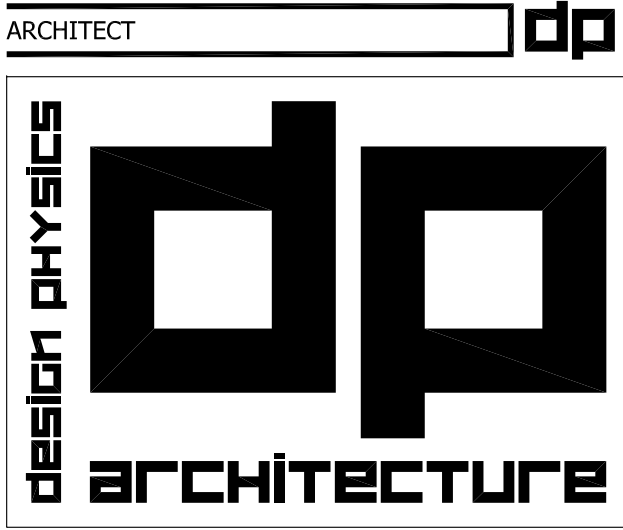
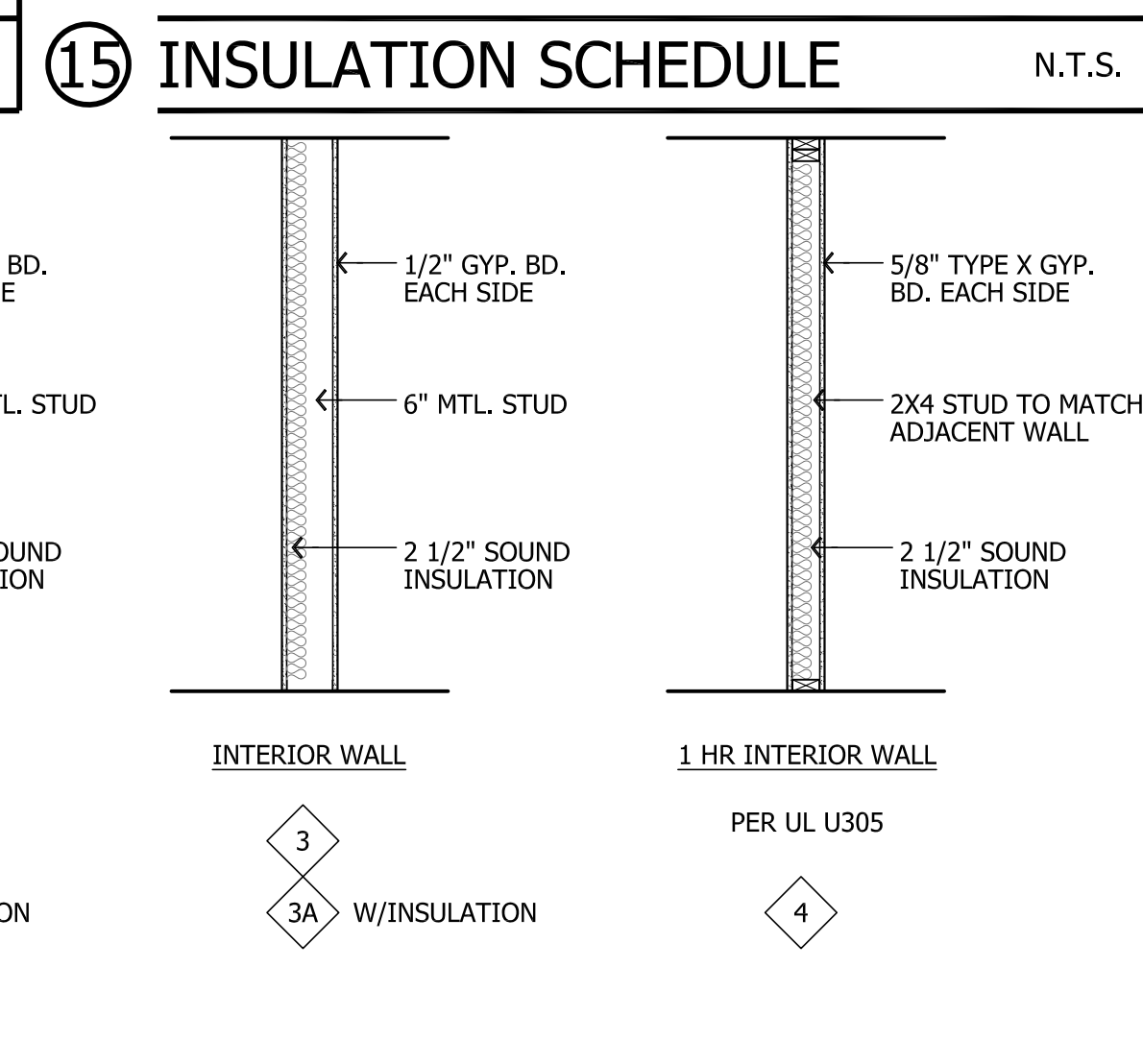
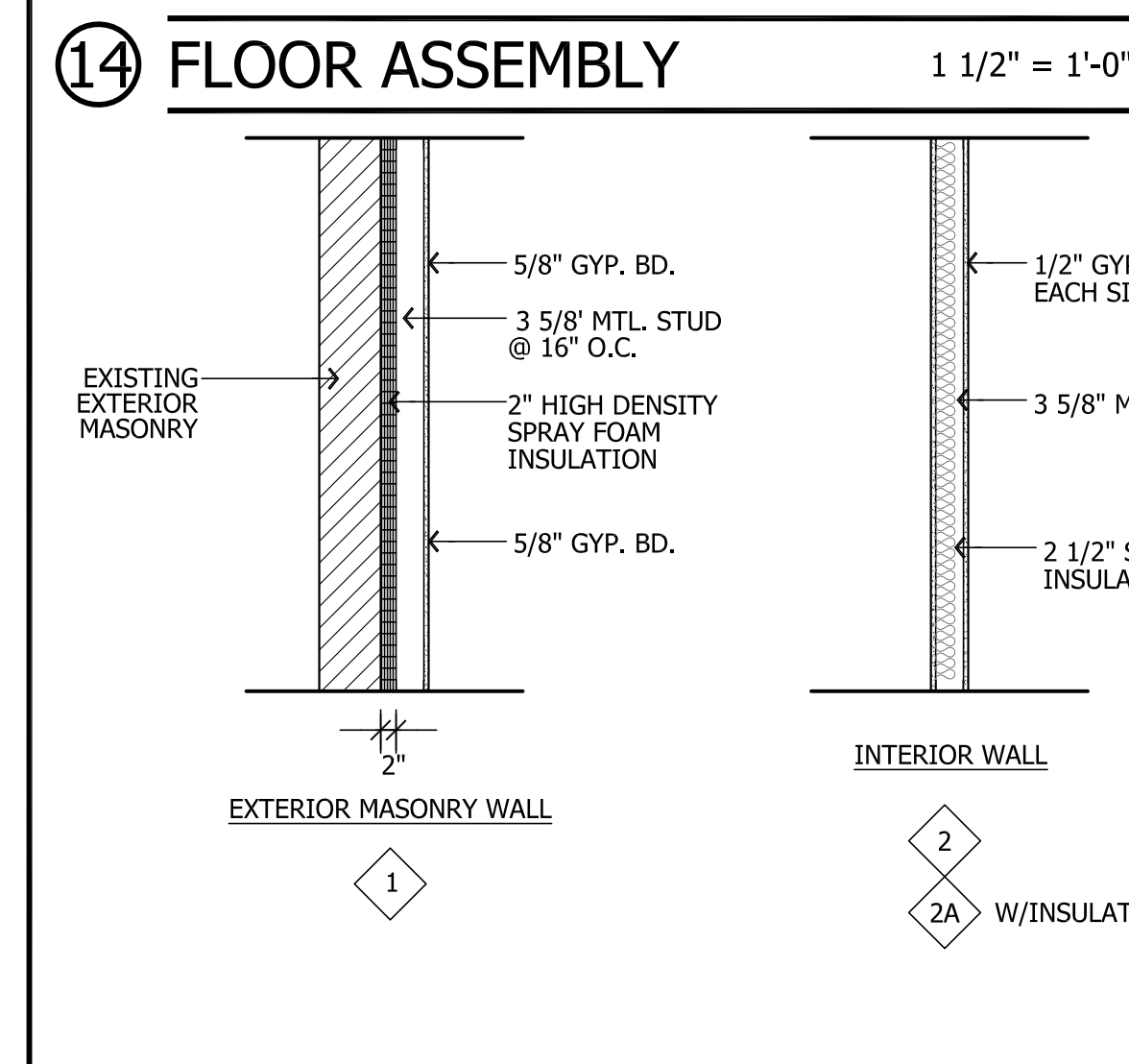
NOTES: SPRAY FOAM TO RUN UP TO UNDERSIDE OF DECK IN ATTICS TO CREATE CONTINUOUS INSULATION ON EXTERIOR SURFACES.

16 STOREFRONT ELEVATION - KAWNEER TRIFAB 451T

3/4" = 1'-0"

19 WALL TYPES

1/4" = 1'-0"



4940 OLD MAIN STREET
HENRICO, VIRGINIA 23231
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2306 LEIGH STREET RENOVATION

REVISIONS

NO.	DESCRIPTION	DATE
	CAR SUBMISSION	5.30.2019

DOOR & INSULATION SCHEDULES, WALL TYPES

DRAWING INFORMATION

SCALE	AS NOTED
DATE	5.15.2019
DRAWN BY	JMH
PROJECT NUMBER	2018-265

A2.1

DRAWING NUMBER

2306 LEIGH STREET RENOVATION

REVISIONS **dpi**

NO.	DESCRIPTION	DATE
1	CAR SUBMISSION	5.30.2019

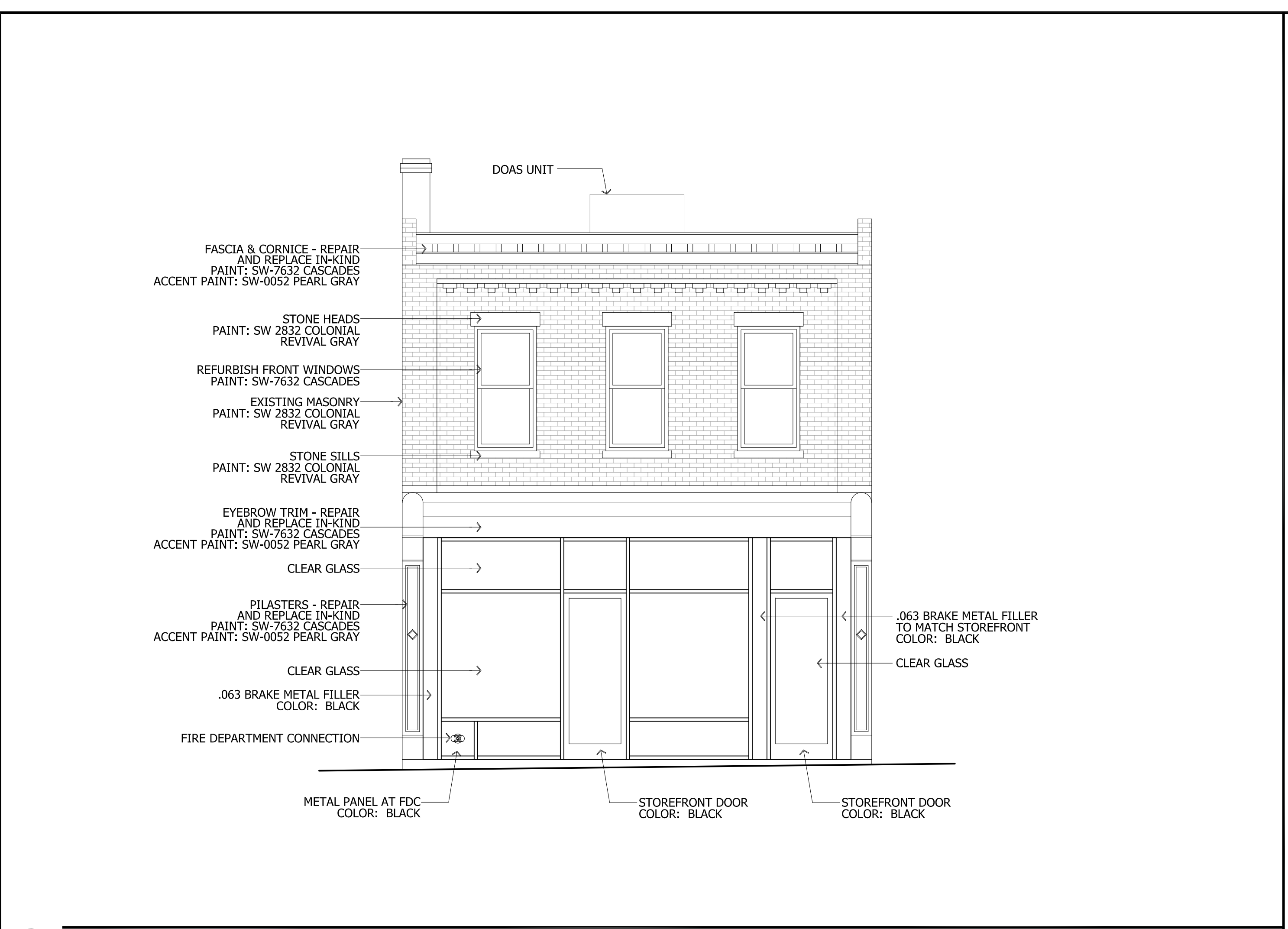
DRAWING TITLE **dpi**

EXTERIOR ELEVATIONS

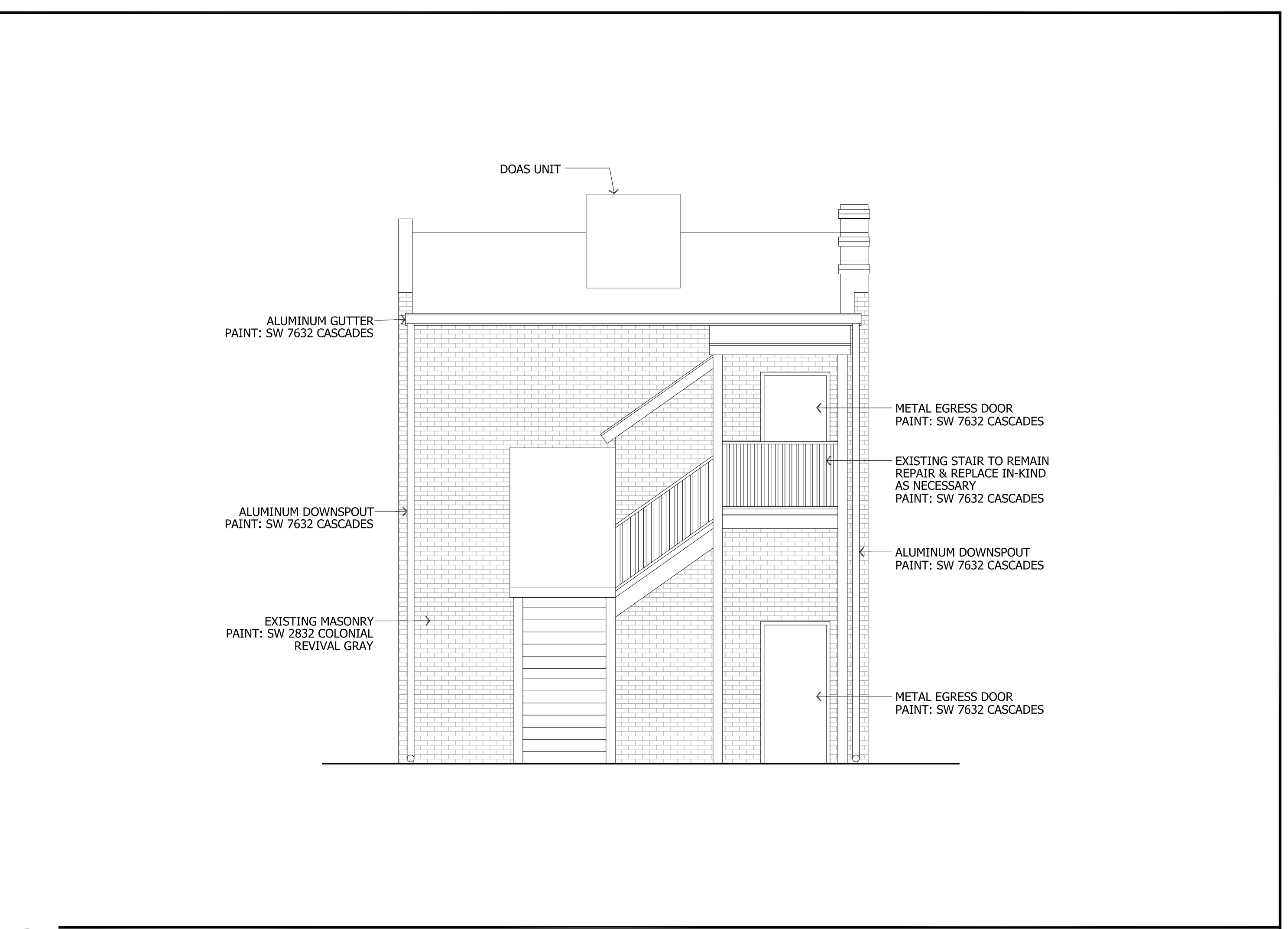
DRAWING INFORMATION **dpi**

SCALE	1/4" = 1'-0"
DATE	5.15.2019
DRAWN BY	JMH
PROJECT NUMBER	2018-265

A3.1



① FRONT ELEVATION 1/4" = 1'-0"



② REAR ELEVATION 1/4" = 1'-0"



③ ALLEY SIDE ELEVATION 1/4" = 1'-0"

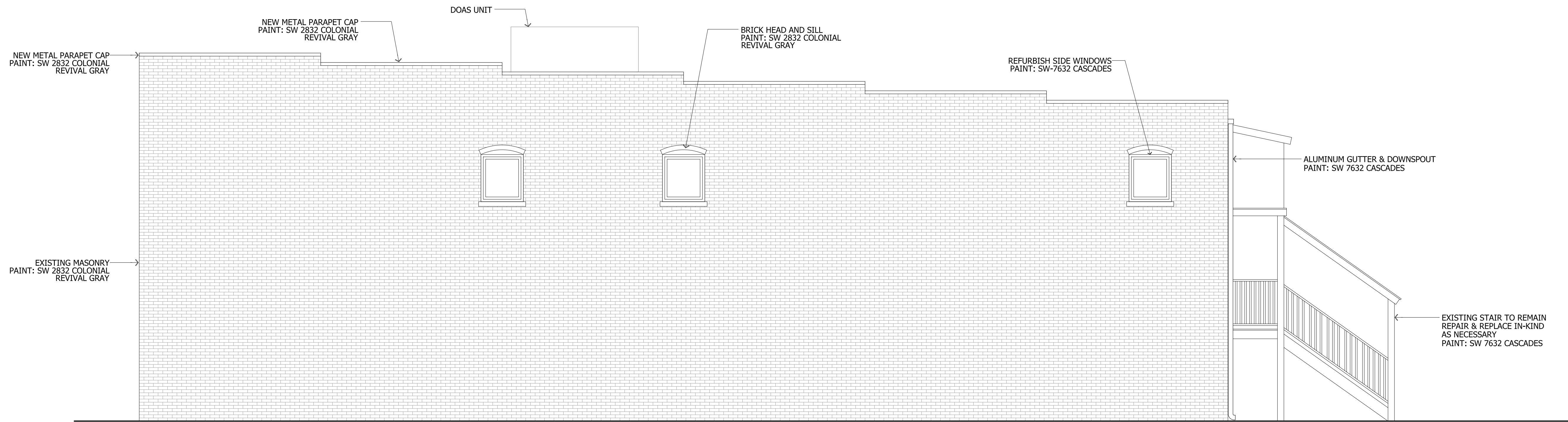
2306 LEIGH STREET RENOVATION

NO.	DESCRIPTION	DATE
1	CAR SUBMISSION	5.30.2019

EXTERIOR ELEVATIONS

SCALE	1/4" = 1'-0"
DATE	5.15.2019
DRAWN BY	JMH
PROJECT NUMBER	2018-265

A3.2

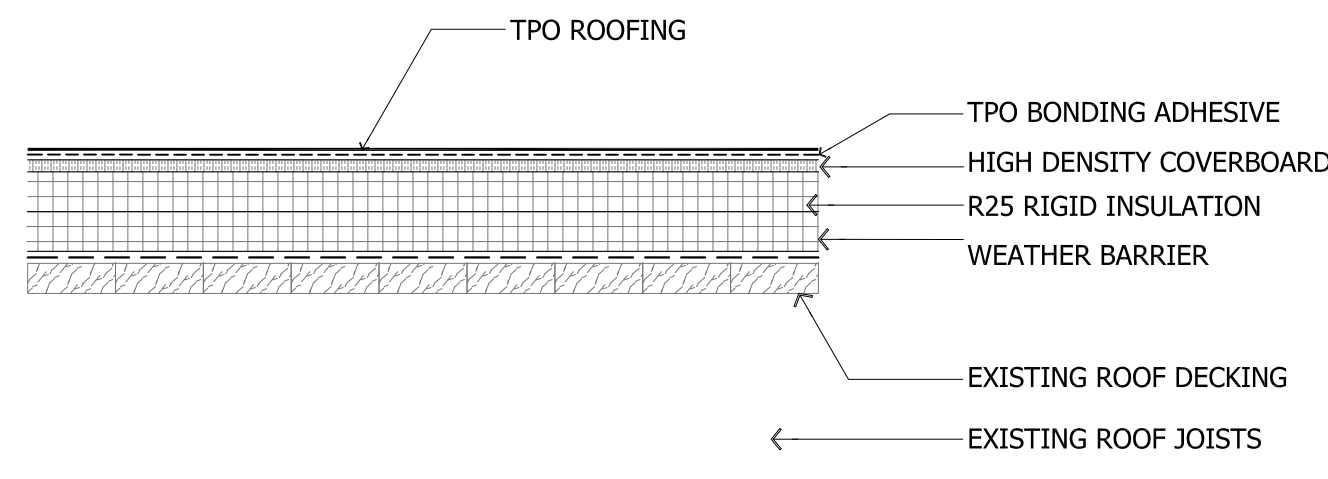


① SIDE ELEVATION

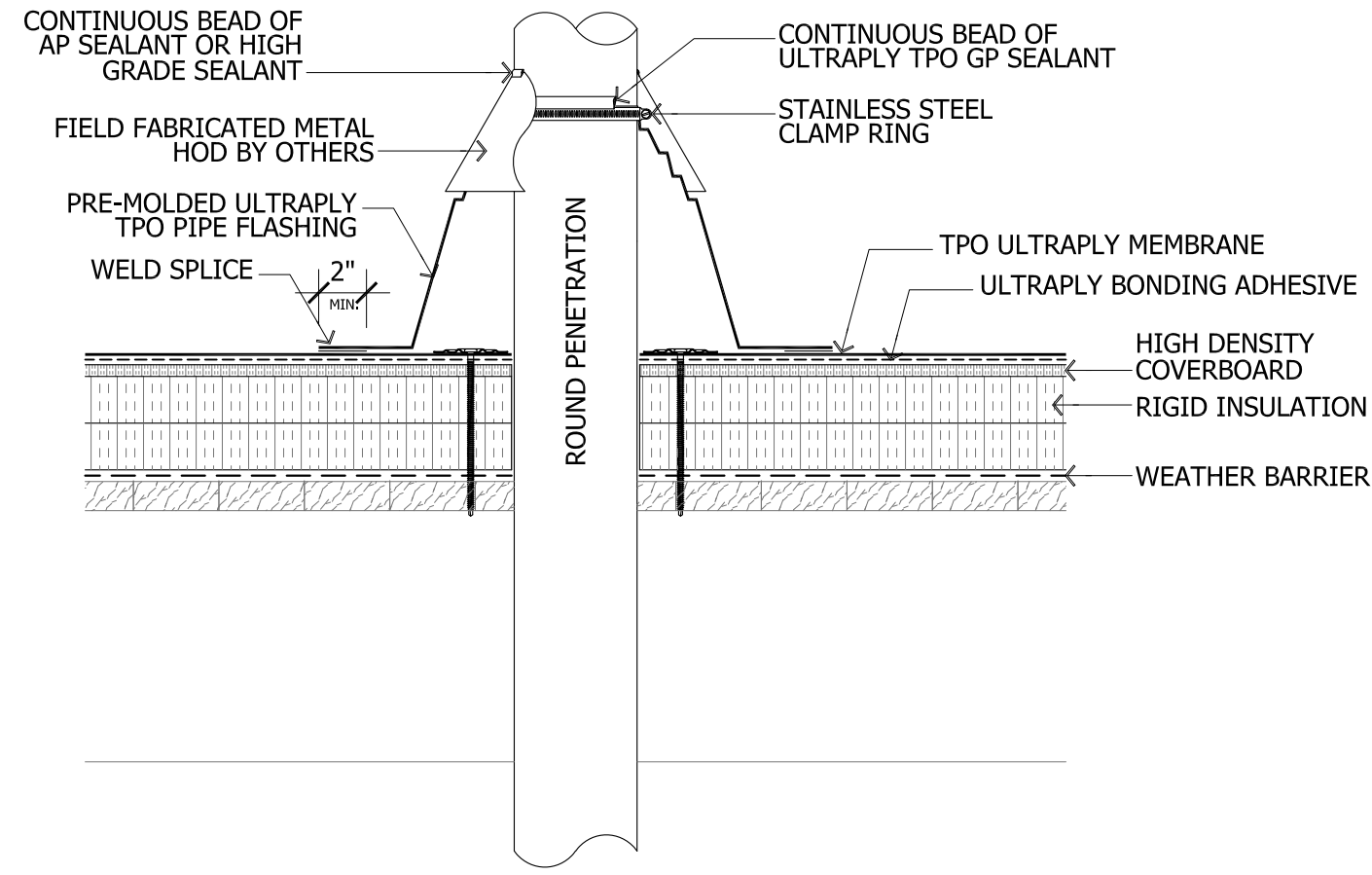
1/4" = 1'-0"

② NOT USED

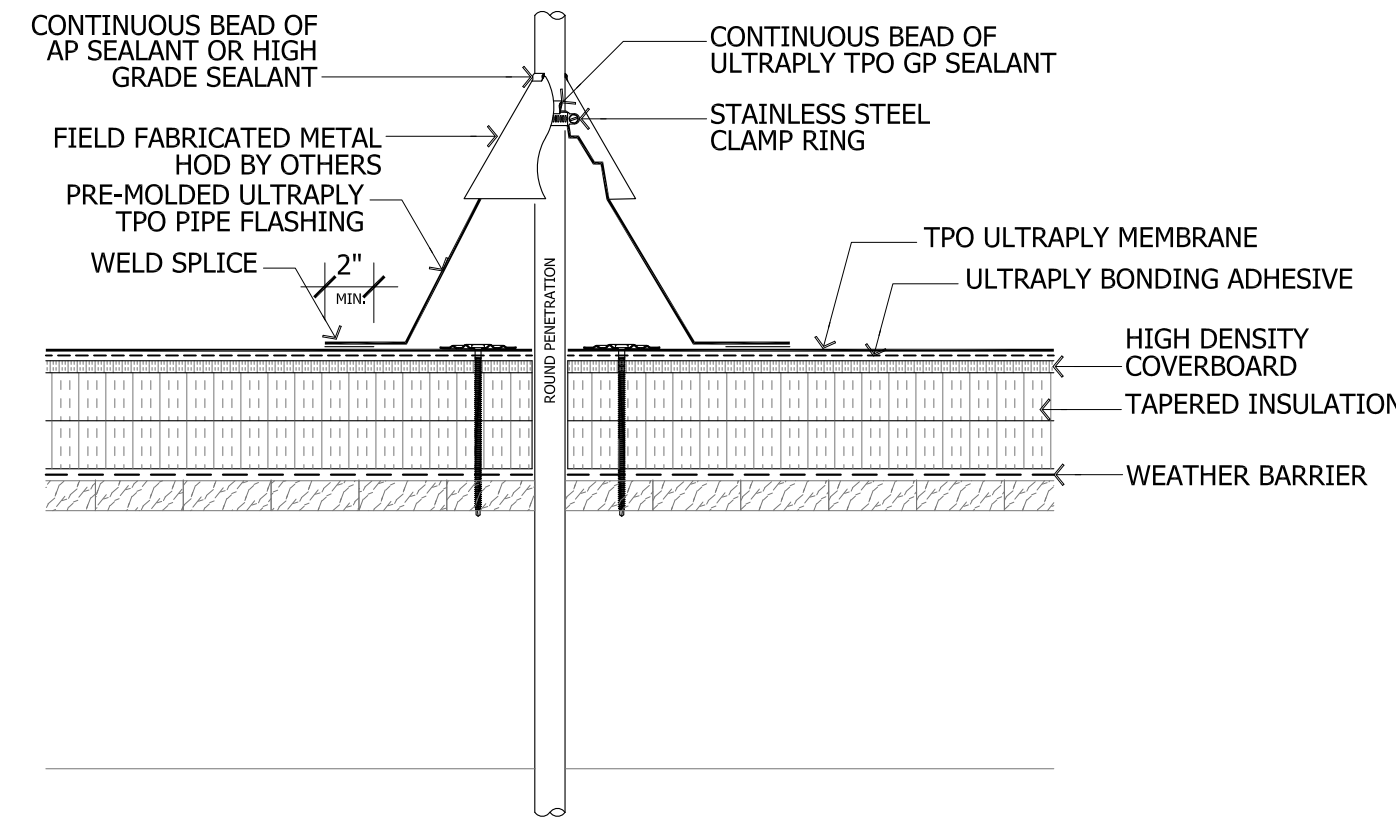
1/4" = 1'-0"



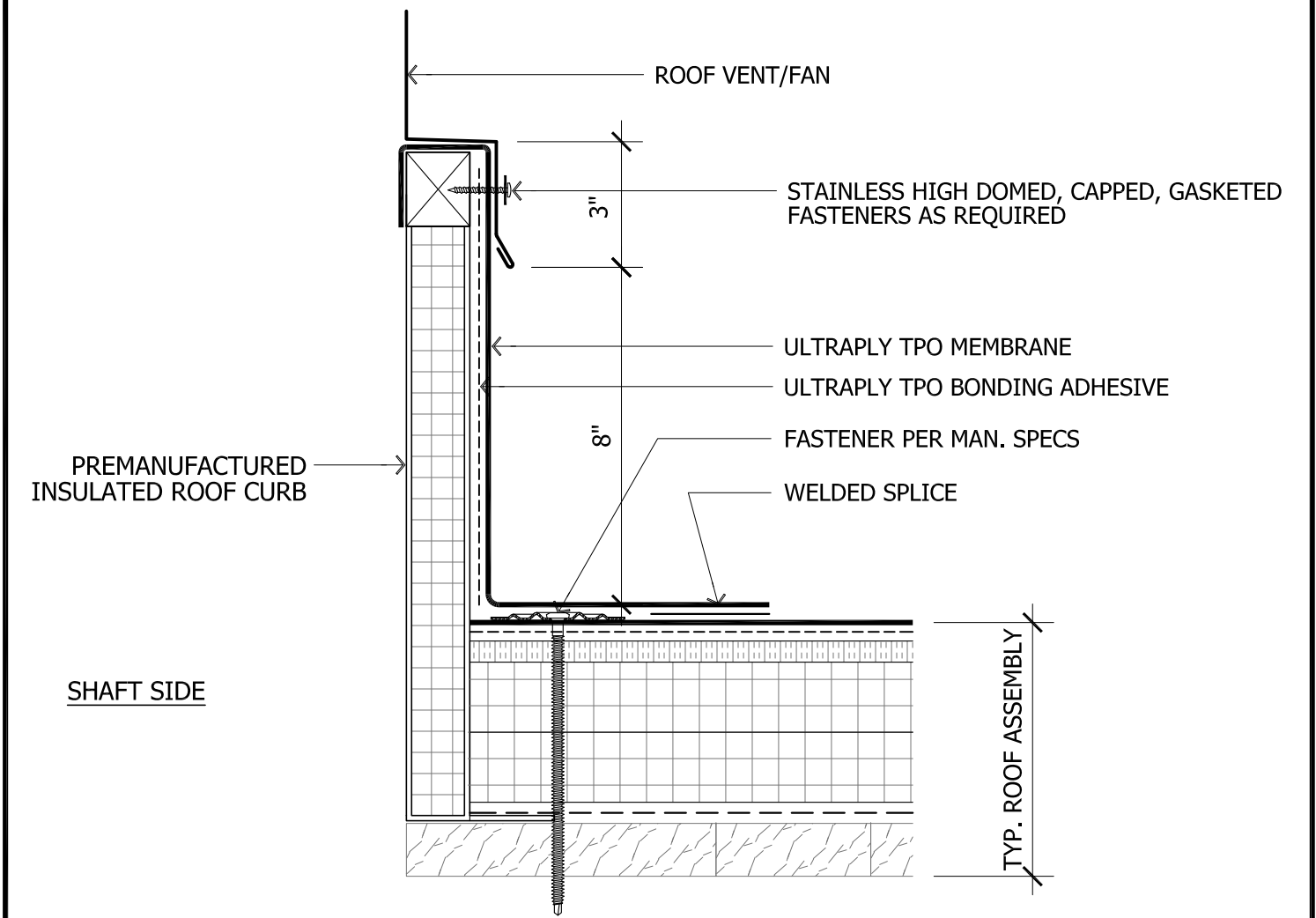
① TYPICAL ROOF ASSEMBLY 1 1/2" = 1'-0"



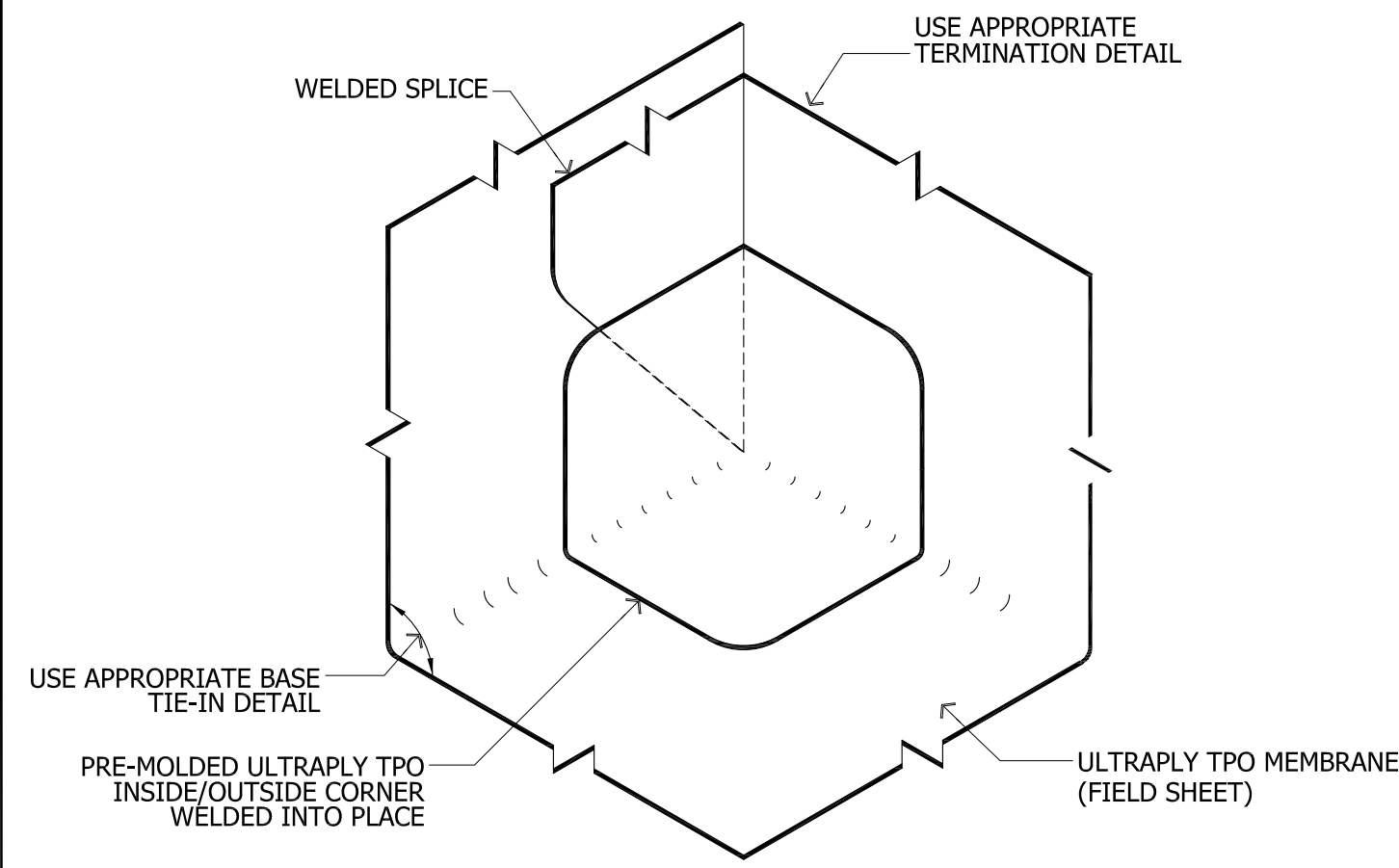
② LARGE PIPE PENETRATION 1 1/2" = 1'-0"



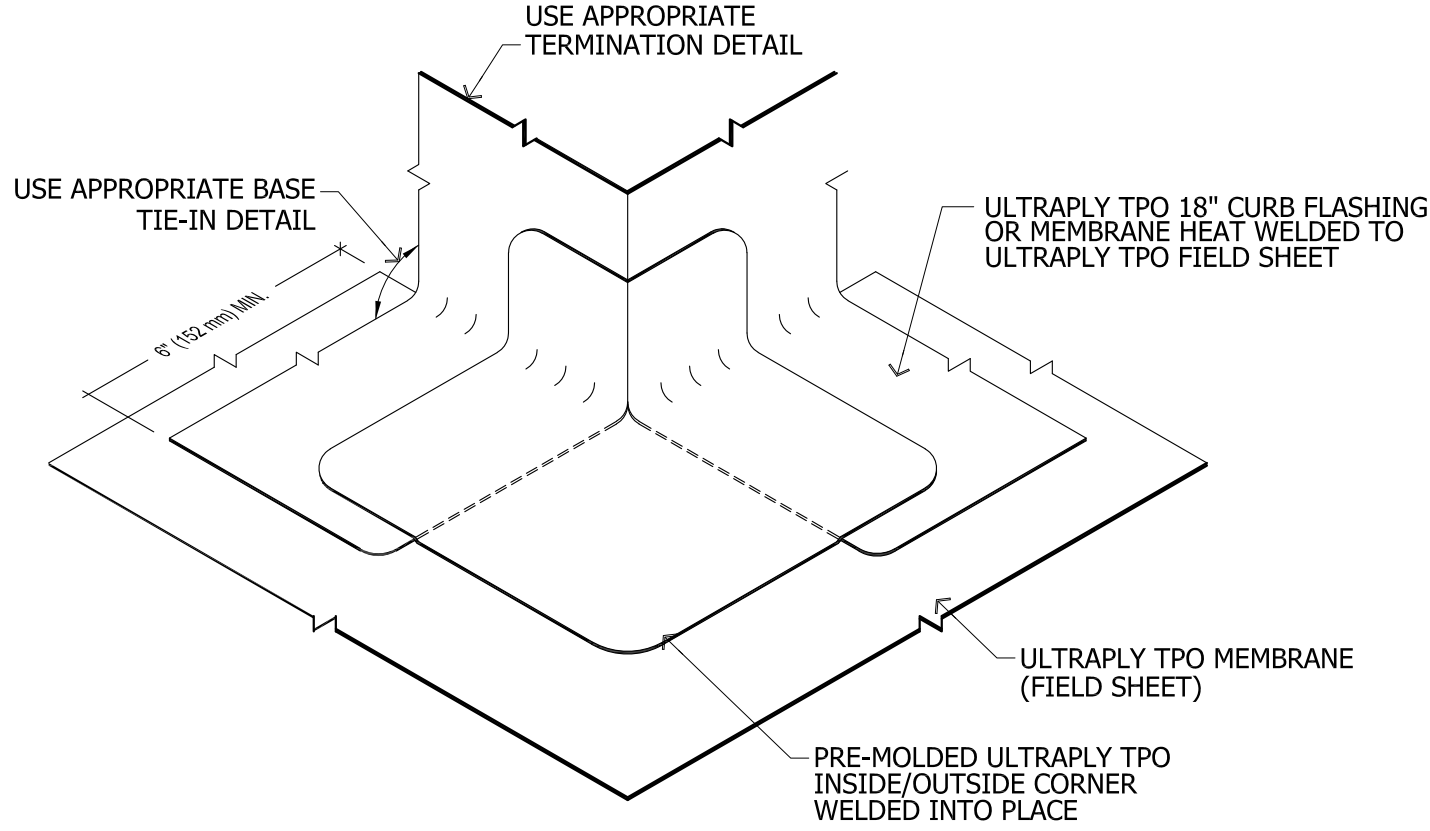
③ SMALL PIPE PENETRATION 1 1/2" = 1'-0"



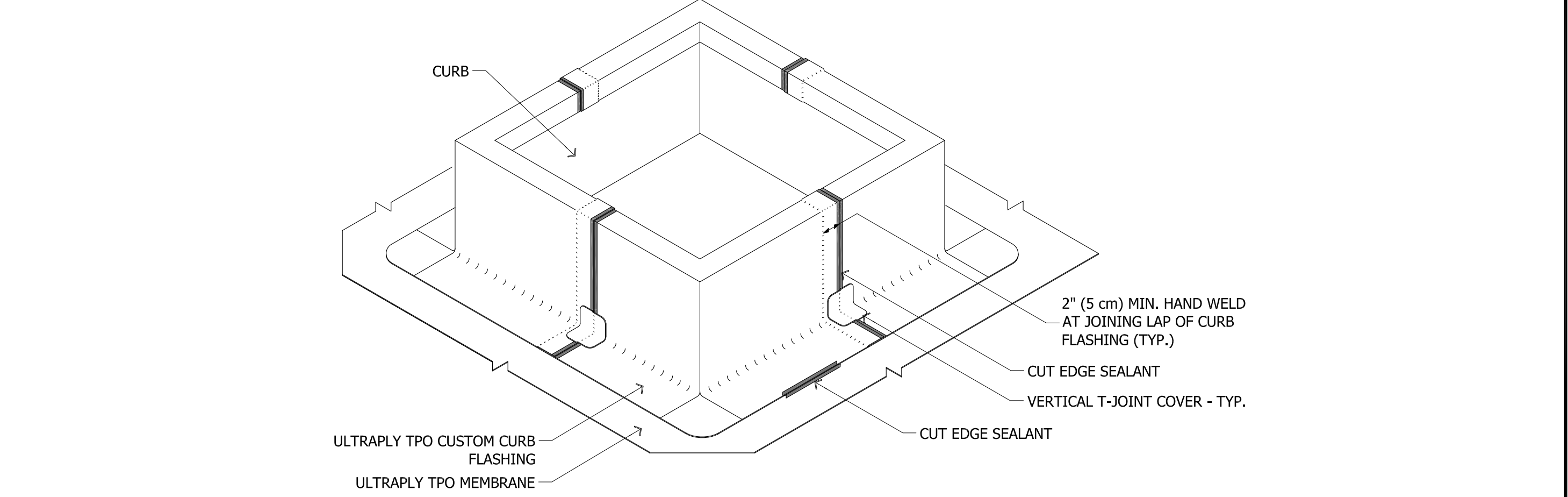
④ ROOF CURB DETAIL 6" = 1'-0"



⑤ INSIDE CORNER TPO DETAIL 1 1/2" = 1'-0"



⑥ OUTSIDE CORNER TPO DETAIL 1 1/2" = 1'-0"

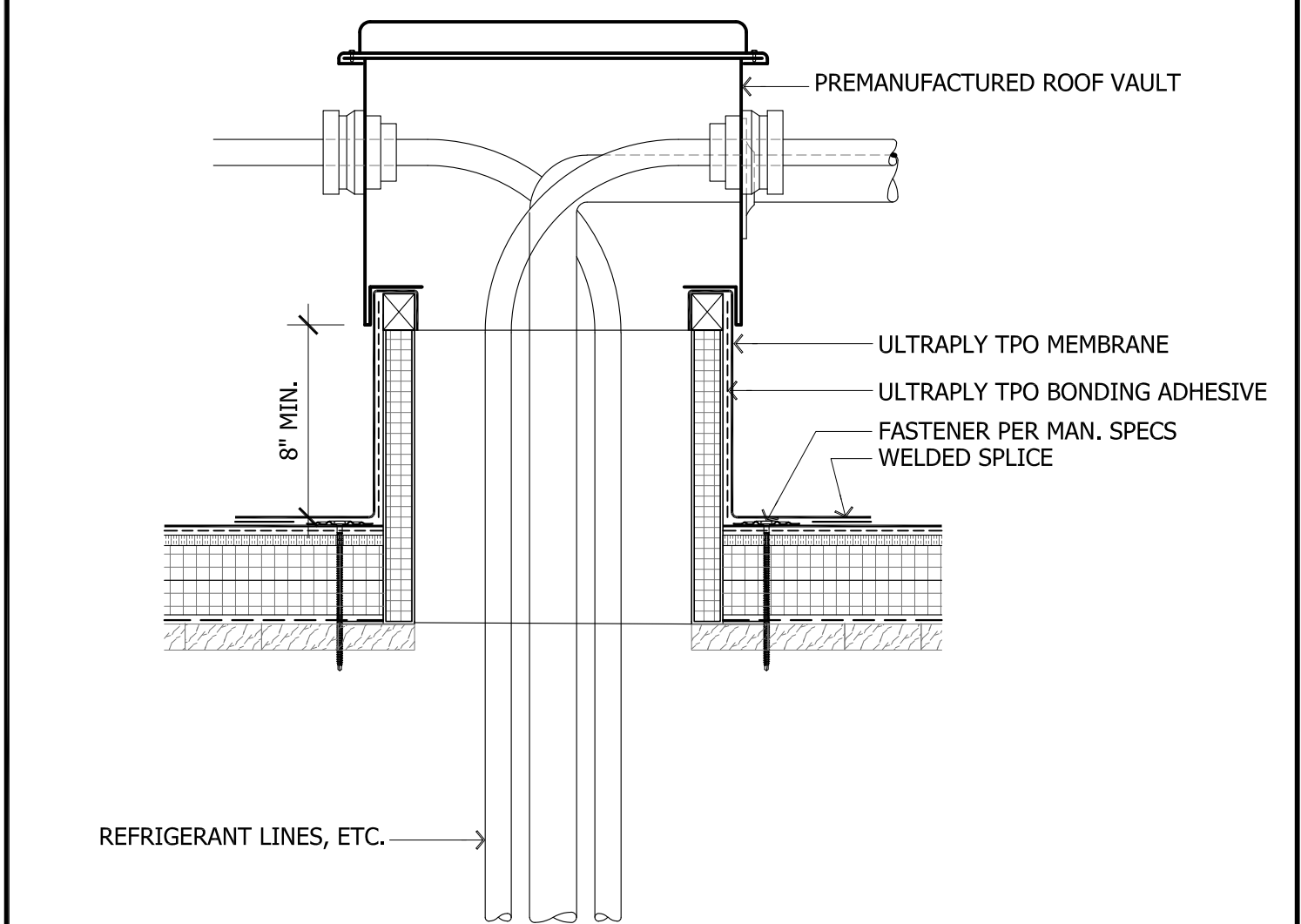


⑦ CURB FLASHING DETAIL 1 1/2" = 1'-0"

⑨ NOT USED 6" = 1'-0"

⑩ NOT USED 1 1/2" = 1'-0"

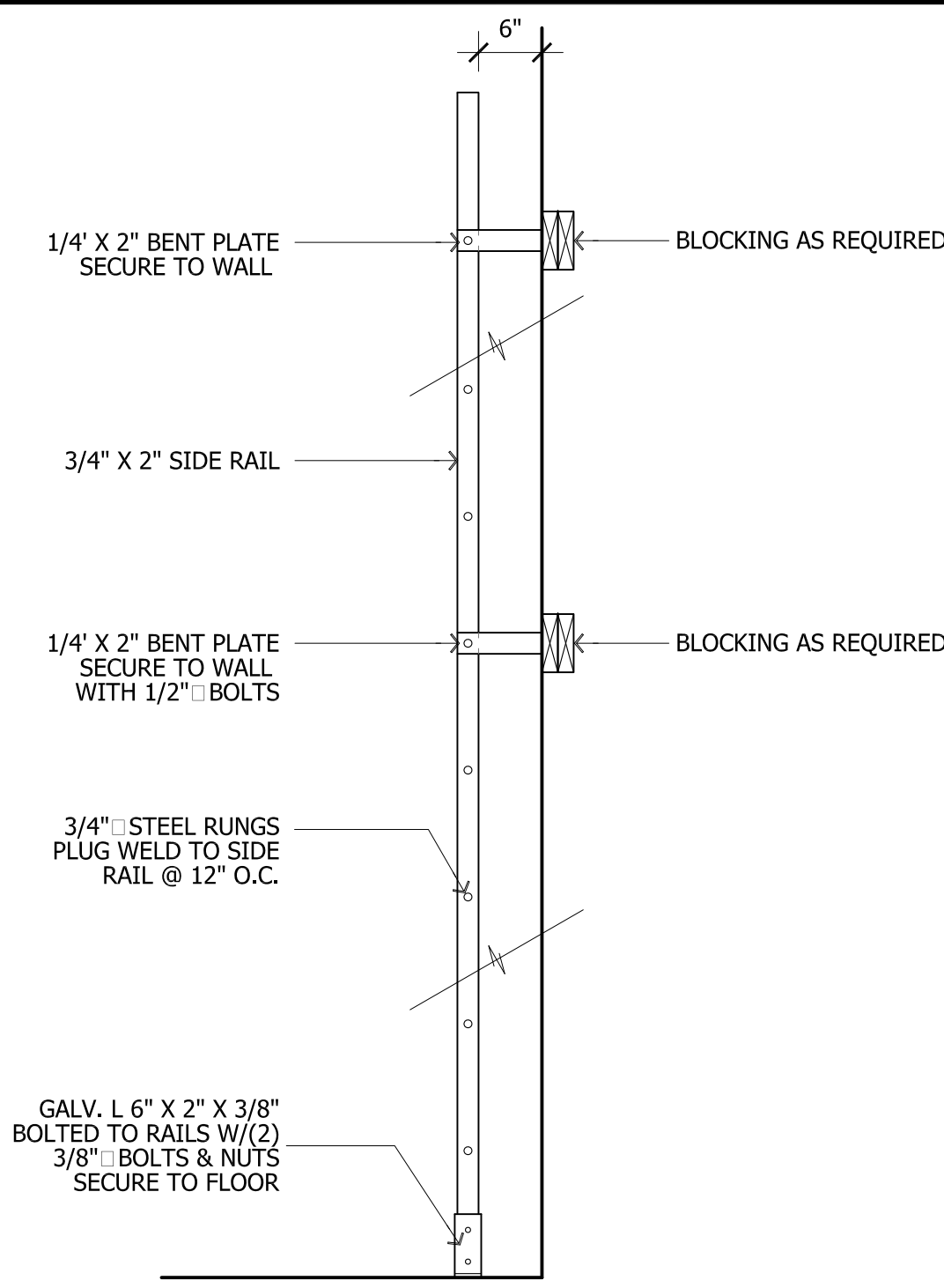
⑪ NOT USED 3" = 1'-0"



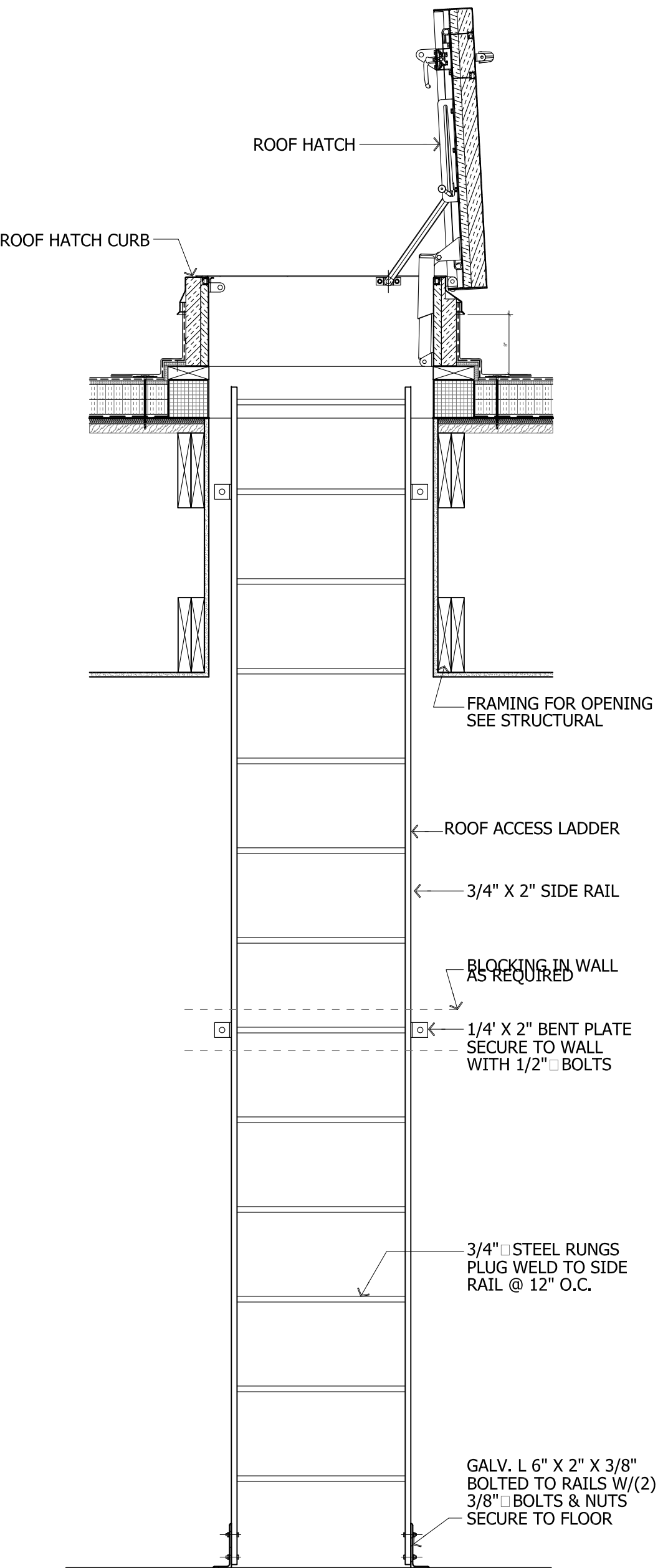
⑫ PENETRATION HOUSING VAULT 1 1/2" = 1'-0"

NO.	DESCRIPTION	DATE
1	CAR SUBMISSION	5.30.2019

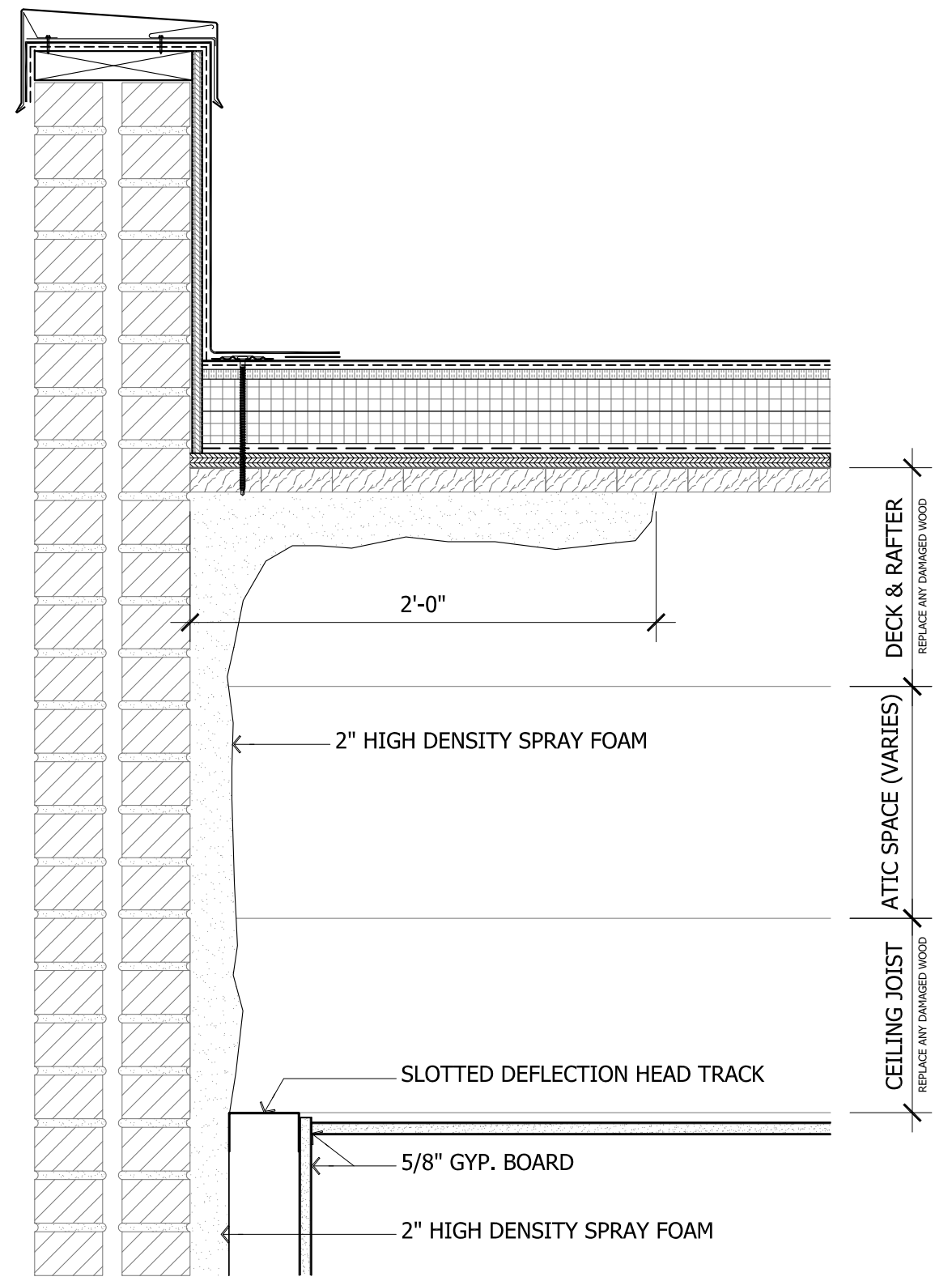
SCALE	AS NOTED
DATE	5.15.2019
DRAWN BY	JMH
PROJECT NUMBER	2018-265



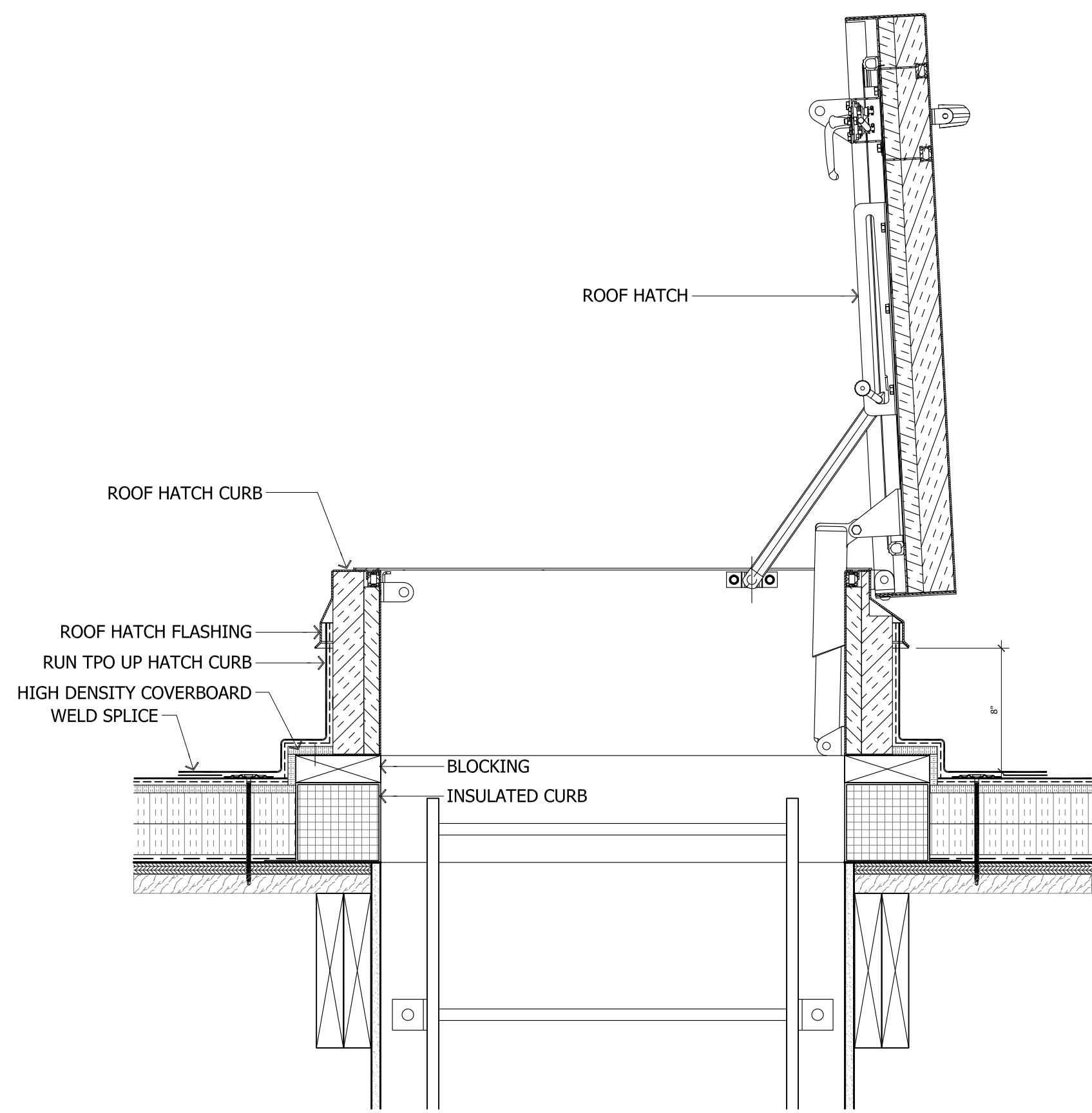
SIDE VIEW



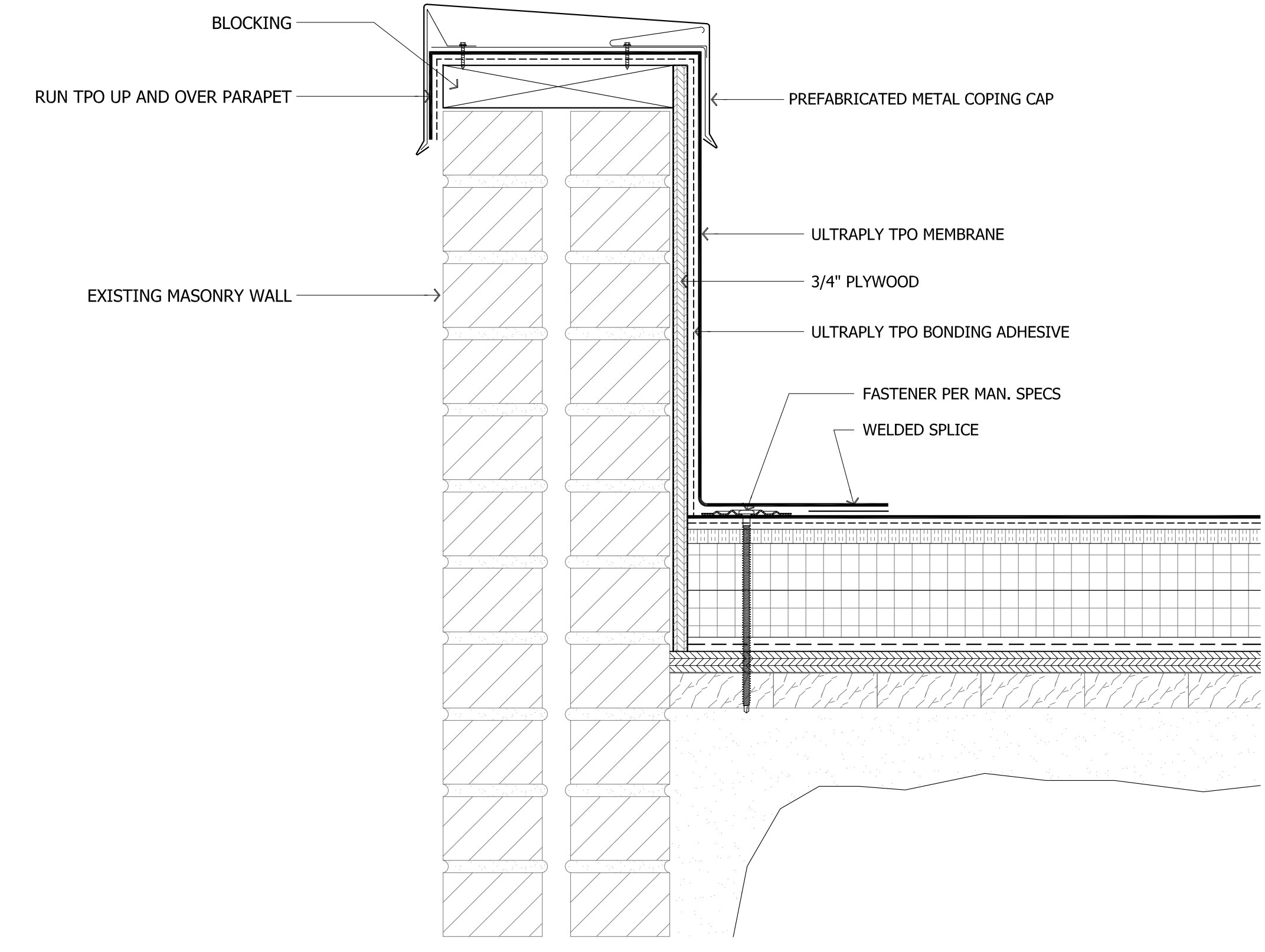
③ ROOF LADDER DETAILS 3/4" = 1'-0"



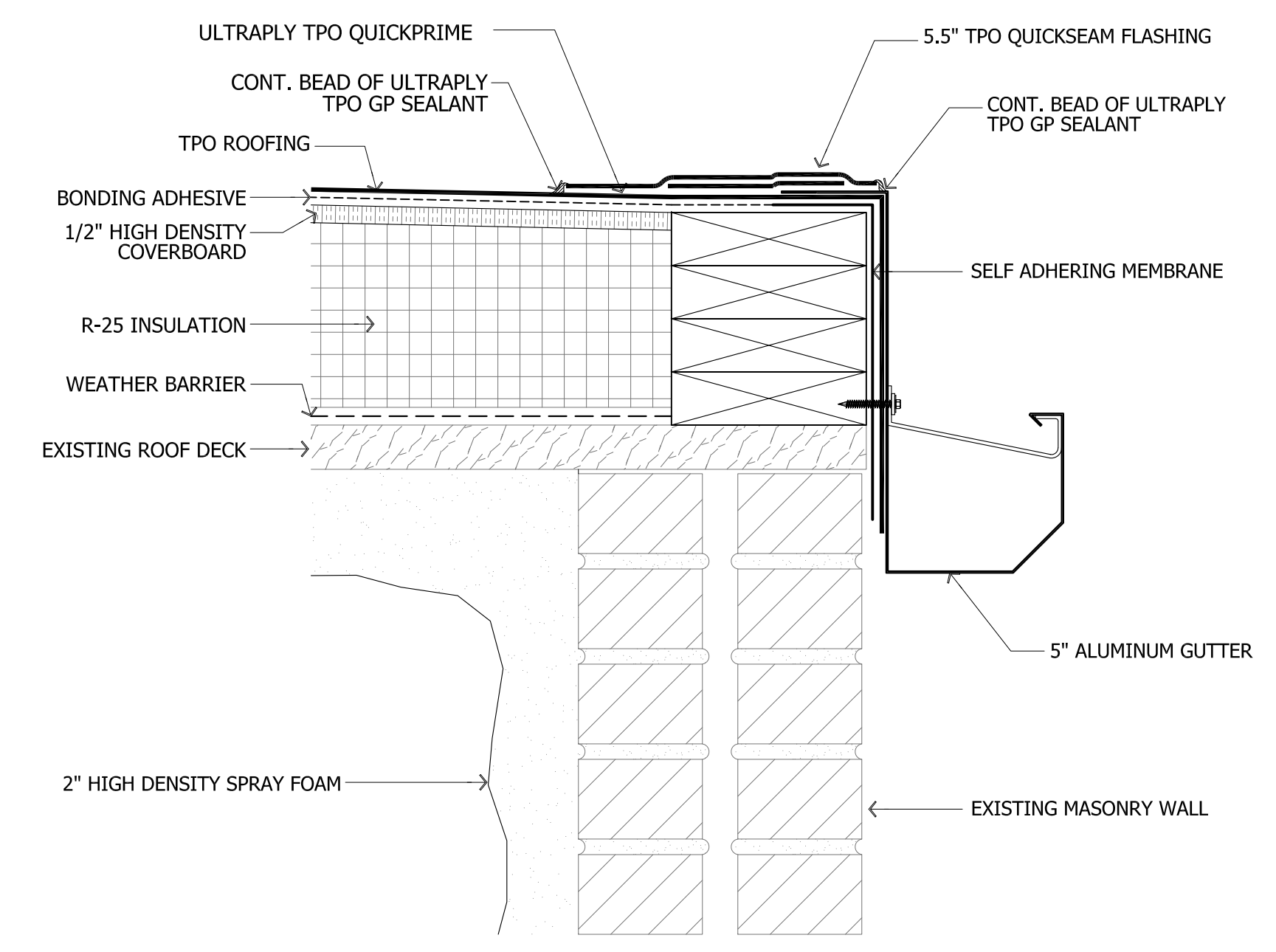
① INSULATION @ ROOF/WALL TRANSITION 1 1/2" = 1'-0"



④ ROOF HATCH DETAIL 3" = 1'-0"



② PARAPET DETAIL 3" = 1'-0"



⑤ ROOF EDGE/GUTTER DETAIL 3" = 1'-0"

2306 LEIGH STREET RENOVATION

REVISIONS **dp**

NO.	DESCRIPTION	DATE
1	CAR SUBMISSION	5.30.2019

EXTERIOR DETAILS

DRAWING INFORMATION **dp**

SCALE	AS NOTED
DATE	5.15.2019
DRAWN BY	JMH
PROJECT NUMBER	2018-265

A5.2