



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Commission of Architectural Review
Certificate of Appropriateness Application
900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work) _____
Property Address: 6 N. Arthur Ashe Blvd., Richmond, Va. 23220 Current Zoning: R-48
Historic District: Museum District 1 Residential
(multi-family)

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

Project Description (attach additional sheets if needed):

Add dormer to back of bedroom and add 3rd floor porch on back of house

Applicant/Contact Person: John Cronly
Company: Hampden Hill Custom Building, LLC
Mailing Address: 1706 Roseheath Road
City: Richmond State: VA Zip Code: 23230
Telephone: (804) 355-484
Email: john@hampdenhillcb.com
Billing Contact? yes Applicant Type (owner, architect, etc.): contractor

Property Owner: JJ Coury and Jake Voorhees
If Business Entity, name and title of authorized signer: _____
Mailing Address: 6 N. Arthur Ashe Blvd.
City: Richmond State: VA Zip Code: 23220
Telephone: (703) 625-4646
Email: jjcoury@gmail.com
Billing Contact? Hampden Hill Custom Building (invoices@hampdenhillcb.com)
****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: _____ Date: 8/20/24



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 6 N. Arthur Ashe Blvd., Richmond, VA 23220

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



HAMPDEN HILL
CUSTOM BUILDING



Exterior Selections for Jake Voorhees & JJ Coury
6 N. Arthur Ashe Blvd.
Richmond, VA 23220

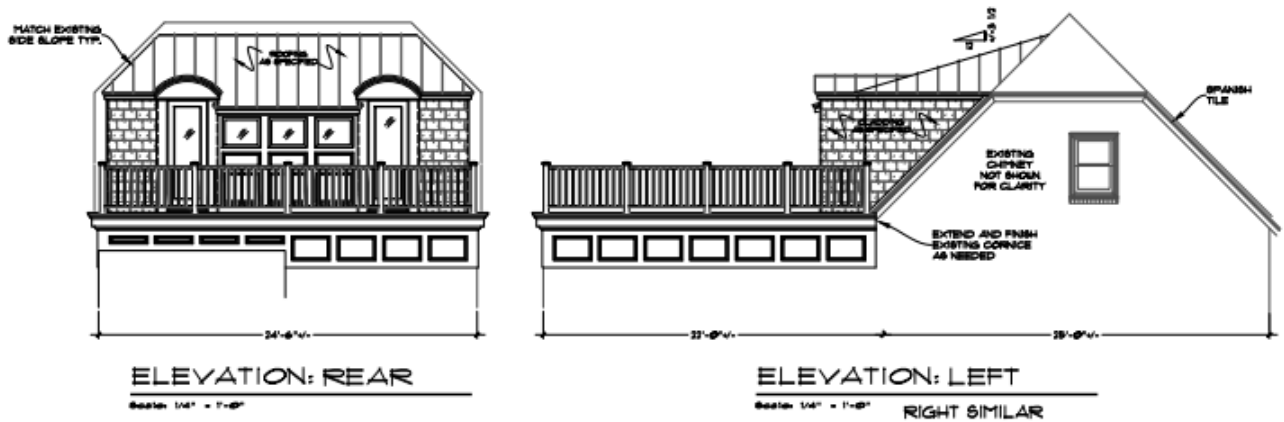
Scope of Work: Add dormer to back of bedroom and add 3rd floor porch on back of house

Hampden Hill Custom Building | 1706 Roseneath Rd Richmond, Virginia 23230

Dormer Roof: Standing Seam Metal, Classic Bronze

Siding: Buckingham Slate

Trim: Boral, painted to match existing



Railings: Classic Composite Railings, Drink Rail Matte Black



TimberTech

https://www.timbertech.com/product/classic-composite-series/?attribute_pa_top-rail-shape=drink-rail&attribute_pa_flat-color=matte-black

Roof Deck: Classic Line, Harland

<https://dec-tec.com/products/membranes/classic-line#1>



harland

Windows: Weather Shield Vue Collection



COMPOSITE RAILING

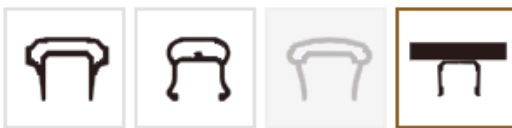
Classic Composite Series

High Performance & Design Versatility

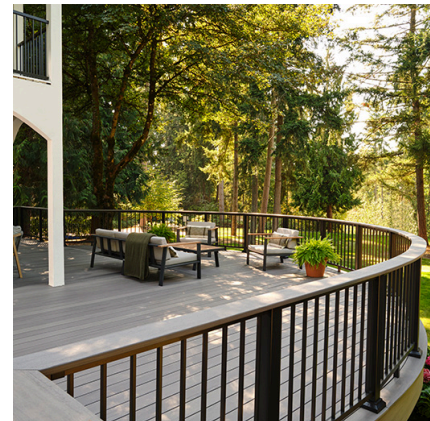
Made from a mix of recycled wood and plastic fibers, TimberTech composite railing boasts superior durability to wood, while being extremely low maintenance. With the most customization options, from traditional milled-wood-inspired looks to sleek, contemporary designs, mixing and matching components is a breeze.

Choose from multiple top rail design, infill options, and other accessories to customize your railing. [See options.](#)

TOP RAIL SHAPE Drink Rail



COLOR Matte Black



CLASSIC LINE

modern & functional style

THE PRODUCT ADVANTAGE

We've added four new membrane colors to our most popular Classic Line that are sure to impress. Harland, Rowan, Grafton and Ashdown boast unique wood designs on a PVC walkable surface and offer the same benefits you've come to love from our Classic Line.

With our proven Classic Line membrane technology, our new membrane colors complement all décor styles and accentuate any outdoor space, whether it's decks, patios, boathouses, or walkways so you can enjoy style, comfort and protection.

PACKAGING:

- Master rolls at 76" x 100' or 600'
- Cut to length

FEATURES AND BENEFITS:

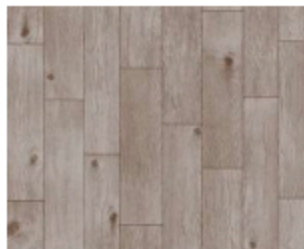
- **Spreadcoat construction** eliminates delamination *
- **Internal multi-directional fiberglass core** creates a lay-flat, fire-resistant membrane that does not wick water *
- **High-traction embossment** provides excellent slip resistance
- **Excellent vinyl to vinyl weldability** eliminates the reliance on adhesives & tapes and ensures absolute water-tightness
- **76" wide membrane** minimizes amount of in-field seaming *
- **Full line of color coordinated accessories**
 - **Dec-Flash** is a versatile, pre-manufactured accessory that installs quickly, consistently, and effectively and is made from the exact same Dec-Tec membrane to perfectly match
 - **Dec-Clad Metal** is finished in PVC creating water-tight, thermal bonds with the membrane at critical leak points
- **Low maintenance** minimizes the amount of time required to clean and allows for more time doing the things you love
- **10 year limited warranty** on 60 mil membrane

* unique to Dec-Tec membranes

HARLAND
60 mil



ROWAN
60 mil



GRAFTON
60 mil



ASHDOWN
60 mil



WEATHER SHIELD.
WINDOWS & DOORS



1965 Westmoreland St.
Richmond, VA 23230

Coury

Number: 3076728
PO Number:
Total Lead Time: 11 weeks

Bill To:

Deliver To:

Quote Date: 8/18/2024
Printed: 08/18/24 10:48 AM

WEATHERSHIELD WINDOWS & DOORS
CUSTOM VIEW LLC

Hampden Hill

NUMBER: 3076728

LINE #: 100-1

QUANTITY: 3

LOCATION: PRIM BATH



(Viewed from Exterior)

SIZING

R/O: 30 3/4" x 24 3/4"
JAMB: W30" x H24"
GLASS: 28 3/8" x 22 3/8"

RATINGS

CPD Product Number: WEA-N-328-00429-00001
U-Factor: 0.28
Solar Heat Gain Coefficient (SHGC): 0.25
Visible Transmittance (VT): 0.57
FL #: 42236.2

- PRODUCT -

VUE COLLECTION, DIRECT SET, 30" X 24"
COMPLETE UNIT, 6/7/2021 TO PRESENT, 4301, NO DP REQUIRED

- WINDOWSET DIMENSIONS -

MEASUREMENT TYPE = JB TO JB / FRAME SIZE

- DIMENSIONS -

UNIT 1: FRAME WIDTH = 30"
FRAME HEIGHT = 24" UNIT 1 GLASS: GLASS WIDTH = 28 3/8"
GLASS HEIGHT = 22 3/8"

- EXTERIOR OPTIONS -

ALUMINUM
AAMA 2605
JET BLACK
5 1/2" INSTALLATION CLIPS
FACTORY APPLIED

- INTERIOR OPTIONS -

3 3/16
AAMA 2605
JET BLACK

- GLASS OPTIONS -

UNIT 1: ZO-E SHIELD 5
BLACK SPACER
W/NEAT CLEAN GLASS
SILL REVEAL
NARROW
NO SPECIALTY GLASS
NO CAPILLARY TUBES
W/ARGON GAS
GLASS INSTALLED IN UNIT UNIT 1 GLASS: W/PRESERVE PROTECTIVE FILM
TEMPERED GLASS

- WRAPPING - EXTERIOR OPTIONS -

FRAME NAILING FIN = W/FRAME NAILING FIN

- WRAPPING - MISC. PKG -

STANDARD PACKAGING
NO CALIFORNIA WARNING LABEL
SAMPLE = STANDARD UNIT
LOAD FACTOR = 2.904647

WEATHERSHIELD WINDOWS & DOORS
CUSTOM VIEW LLC



(Viewed from Exterior)

SIZING

R/O: 32 1/4" x 86 1/2"
JAMB: W31 1/2" x H86"
GLASS: 23 3/16" x 77 5/8"

RATINGS

CPD Product Number: WEA-N-342-00011-00001
U-Factor: 0.31
Solar Heat Gain Coefficient (SHGC): 0.19
Visible Transmittance (VT): 0.43
FL #: 42237.2

Hampden Hill

NUMBER: 3076728
LINE #: 200-1
QUANTITY: 1
LOCATION: SHOWER STAIRS

- PRODUCT -

VUE COLLECTION, SIDE HINGE 1 PANEL, RIGHT, 31 1/2" X 86"
COMPLETE UNIT, 3/7/2022 TO PRESENT, OUTSWING, 4601, NO DP REQUIRED, RIGHT

- WINDOWSET DIMENSIONS -

MEASUREMENT TYPE = JB TO JB / FRAME SIZE

- DIMENSIONS -

UNIT 1: FRAME WIDTH = 31 1/2"
FRAME HEIGHT = 86" UNIT 1 GLASS: GLASS WIDTH = 23 3/16"
GLASS HEIGHT = 77 5/8"

- EXTERIOR OPTIONS -

ALUMINUM
AAMA 2605
JET BLACK
STANDARD SILL BLACK ANODIZED
5 1/2" INSTALLATION CLIPS
FACTORY APPLIED

- INTERIOR OPTIONS -

3 3/16
AAMA 2605
JET BLACK

- CENTER RAIL OPTIONS -

NO CENTER RAIL

- GLASS OPTIONS -

UNIT 1: ZO-E SHIELD 5
BLACK SPACER
W/NEAT CLEAN GLASS
NARROW
NO SPECIALTY GLASS
NO CAPILLARY TUBES
W/ARGON GAS UNIT 1 GLASS: W/PRESERVE PROTECTIVE FILM
TEMPERED GLASS

- HARDWARE OPTIONS -

W/HOPPE HARDWARE
5 POINT LOCK SYSTEM
DALLAS
MATTE BLACK
KEYED ALIKE
STANDARD HEIGHT-36"
ADJUSTABLE HINGE
BLACK

- SCREEN OPTION -

NO SCREEN

- WRAPPING - EXTERIOR OPTIONS -

FRAME NAILING FIN = W/FRAME NAILING FIN

- WRAPPING - MISC. PKG -

STANDARD PACKAGING
NO CALIFORNIA WARNING LABEL
SAMPLE = STANDARD UNIT
LOAD FACTOR = 9.848519

WEATHERSHIELD WINDOWS & DOORS
CUSTOM VIEW LLC

Hampden Hill

NUMBER: 3076728

LINE #: 300-1

QUANTITY: 1

LOCATION: BR STAIRS



(Viewed from Exterior)

SIZING

R/O: 32 1/4" x 86 1/2"
JAMB: W31 1/2" x H86"
GLASS: 23 3/16" x 77 5/8"

RATINGS

CPD Product WEA-N-342-
Number: 00011-00001
U-Factor: 0.31
Solar Heat Gain
Coefficient 0.19
(SHGC):
Visible
Transmittance 0.43
(VT):
FL #: 42237.2

- PRODUCT -

VUE COLLECTION, SIDE HINGE 1 PANEL, LEFT, 31 1/2" X 86"
COMPLETE UNIT, 3/7/2022 TO PRESENT, OUTSWING, 4601, NO DP REQUIRED, LEFT

- WINDOWSET DIMENSIONS -

MEASUREMENT TYPE = JB TO JB / FRAME SIZE

- DIMENSIONS -

UNIT 1: FRAME WIDTH = 31 1/2"
FRAME HEIGHT = 86" UNIT 1 GLASS: GLASS WIDTH = 23 3/16"
GLASS HEIGHT = 77 5/8"

- EXTERIOR OPTIONS -

ALUMINUM
AAMA 2605
JET BLACK
STANDARD SILL BLACK ANODIZED
5 1/2" INSTALLATION CLIPS
FACTORY APPLIED

- INTERIOR OPTIONS -

3 3/16
AAMA 2605
JET BLACK

- CENTER RAIL OPTIONS -

NO CENTER RAIL

- GLASS OPTIONS -

UNIT 1: ZO-E SHIELD 5
BLACK SPACER
W/NEAT CLEAN GLASS
NARROW
NO SPECIALTY GLASS
NO CAPILLARY TUBES
W/ARGON GAS UNIT 1 GLASS: W/PRESERVE PROTECTIVE FILM
TEMPERED GLASS

- HARDWARE OPTIONS -

W/HOPPE HARDWARE
5 POINT LOCK SYSTEM
DALLAS
MATTE BLACK
KEYED ALIKE
STANDARD HEIGHT-36"
ADJUSTABLE HINGE
BLACK

- SCREEN OPTION -

NO SCREEN

- WRAPPING - EXTERIOR OPTIONS -

FRAME NAILING FIN = W/FRAME NAILING FIN

- WRAPPING - MISC. PKG -

STANDARD PACKAGING
NO CALIFORNIA WARNING LABEL
SAMPLE = STANDARD UNIT
LOAD FACTOR = 9.848519

Photos: Exterior, facing alley







HAMPDEN HILL
CUSTOM BUILDING
hampdenhillcb.com
804-355-1484

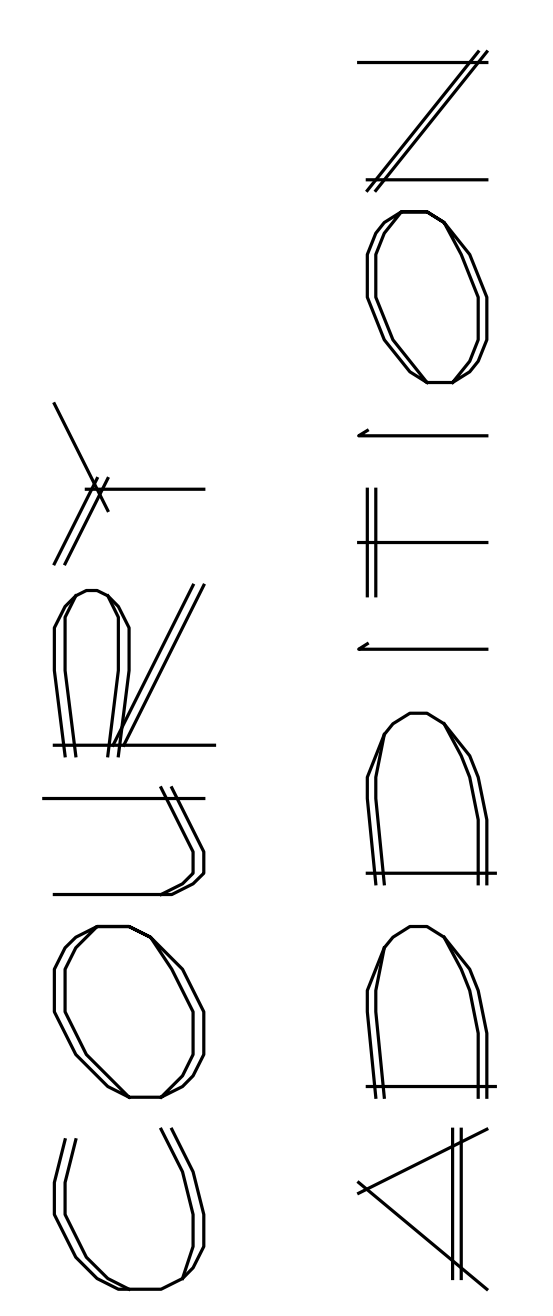
C. L. Shade Drafting

RESIDENTIAL DESIGN

7703 Wood Road P-804-405-4931
Henrico, Virginia 23229-6942
cshadedesign.com @cshadedesign
2022 clshade@cshadedesign.com

JOB #:
24-036A-6-14-24

8.9.2024



SHEET INDEX:
A-1 PLAN VIEWS
A-2 EXISTING PLAN VIEWS
A-3 ELEVATIONS
S-1 WALL SECTIONS
S-2 WALL SECTIONS

Lot = 3
Bk = T
Sec =

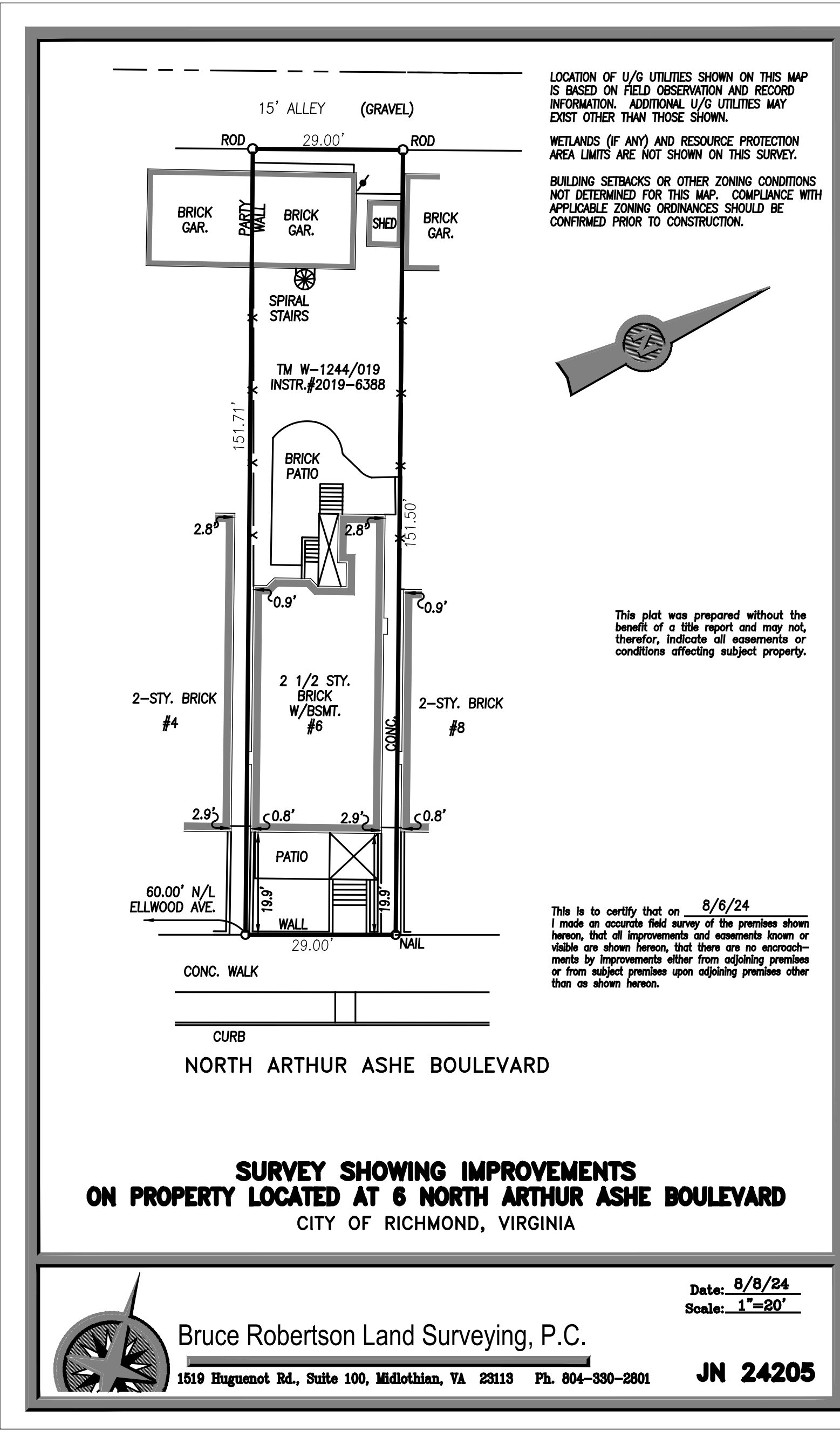
RICHMOND
6 N ARTHUR
ASHE BLVD 23220

DESIGN LOADS PER VRC R301.5 AS REQUIRED BY THE COMMONWEALTH OF VIRGINIA: (PER SQUARE FOOT)
#40 LIVE NON SLEEPING AREAS
#30 LIVE SLEEPING AREAS
#20 LIVE HABITABLE ATTICS
#10 LIVE NO STORAGE ATTICS
#20 LIVE LIMITED STORAGE ATTICS
#30 LIVE HABITABLE ATTICS

DESIGN LOADS PER VRC R301.4: (PER SQUARE FOOT)
3/4" FLYWOOD: #2.2-2.5 DEAD
2 x 10 STY JOIST: #2.5 DEAD
WOOD-1 @ 16" O.C.: #1.1-2.5 DEAD
1/2" GYPSUM: #2.2 DEAD
HARDWOOD FLOOR: #4 DEAD
CERAMIC 3/8": #4.1 DEAD
1/16" BACKER BOARD: #3 DEAD

TYPICAL DEAD LOAD (HIGH SIDE No.)
HARDWOOD FLOOR: #1.2 DEAD
W/ CERAMIC FLOOR: #4.5 DEAD
AVERAGE LOAD: #13 PER SQFT

LVL BEAMS AND OTHER MANUFACTURED LUMBER PRODUCTS TO BE DESIGNED AND SEALED BY MANUFACTURER'S REGISTERED DESIGN PROFESSIONAL AND WILL SUPERCEDE ANY OTHER DESIGNS PROVIDED IN THIS DOCUMENT UNLESS INDICATED OTHERWISE.



SURVEY SHOWING IMPROVEMENTS ON PROPERTY LOCATED AT 6 NORTH ARTHUR ASHE BOULEVARD CITY OF RICHMOND, VIRGINIA

GENERAL NOTES

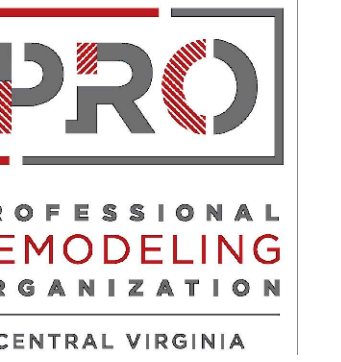
- THE GENERAL CONTRACTOR AND EACH TRADE CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR COMPLIANCE OF THESE PLANS WITH ALL REQUIREMENTS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE IN FORCE AT THE TIME OF CONSTRUCTION, LOCAL ORDINANCES & CONSTRUCTION REQUIREMENTS, AND MANUFACTURERS RECOMMENDATIONS PRIOR TO BEGINNING WORK AND DURING CONSTRUCTION.
- THE DRAWINGS ARE DIAGNOSTIC, INTENDING TO OUTLINE GENERAL DESIGN REQUIREMENTS ONLY, AND ARE NOT INTENDED TO BE COMPLETE IN ALL DETAILS. SPECIFIC IMPLEMENTATION OF THE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR AND EACH TRADE CONTRACTOR SHALL PROTECT THEIRS AND OTHERS WORK FROM DAMAGE DUE TO THEIR OPERATION AND SHALL REPAIR OR REPLACE, AS REQUIRED, ALL DAMAGED WORK TO THE SATISFACTION OF THE OWNER.
- MEASUREMENTS AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH CONNECTING WORK WITH EACH OTHER TRADE CONTRACTOR. ALL WALLS ARE DRAIN #4" WIDTH WITH DIMENSION TAKEN EDGE TO EDGE, ADJUST AS NEEDED FOR PREFABRICATED TUBS, STAIRS, AND OTHER APPLIANCES.
- EACH TRADE CONTRACTOR SHALL VERIFY THESE DRAWINGS BEFORE LAYING OUT OR PROCEEDING WITH WORK AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS RESULTING FROM THEIR FAILURE TO EXERCISE SUCH VERIFICATION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE DESIGN OF THE SITE, HVAC, PLUMBING, AND ELECTRICAL TRADE CONTRACTORS. ANY PLUMBING, HVAC, OR ELECTRIC DIAGRAMS INCLUDED IN THIS PLAN ARE ONLY PROVIDED AS A GUIDE TO PLACEMENT, NOT NECESSARILY THE FINAL PLACEMENT.
- SMOKE DETECTORS ARE REQUIRED IN EACH BEDROOM OR SLEEPING SPACE AND IN ADJACENT ENTRY SPACE AND ON EACH LEVEL OF THE DWELLING.
- FOOTING
 - SOIL BEARING CAPACITY IS ASSUMED TO BE 1500psf WITH FOOTINGS PLACED ON CLEAN UNDISTURBED SOIL OR COMPACTED FILL, VERIFIED BY AN INDEPENDENT ENGINEERING FIRM. DESIGN DOES NOT ALLOW FOR VARIATION IN BEARING UNLESS OTHERWISE NOTED.
- CONCRETE
 - CONCRETE TO BE MINIMUM COMPRESSIVE STRENGTH PER VRC §8402.2
 - ALL CONCRETE PLACED ON ELEVATED PAN AND/OR BEAM CONSTRUCTION SHALL BE SHORED AT ALL MIDPOINTS DURING PLACEMENT AND CURING TILL SLAB ATTAINS 75% OF ITS SPECIFIED COMPRESSIVE STRENGTH.
 - FORMED PANS SHALL BE GALVANIZED OR EQUAL. ALL PANS SPECIFIED SHALL CONFORM TO VULCRAFT STEEL ROOF AND FLOOR DECK GUIDELINES AS DIRECTED BY THE STEEL DECK INSTITUTE. (OR APPROVED EQUAL)
 - ALL REINFORCING BAR PLACED IN CONCRETE SHALL HAVE A MINIMUM 3" COVER TO ALL EDGES.
- FOUNDATION
 - GROUT COLLAR JOINT SOLID IN COMPOSITE MASONRY FOUNDATION WALL CONSTRUCTION UNDER ALL BEARING POINTS WHERE INDICATED ON PLAN.
 - IN AREAS WHERE COLUMNS OR POSTS ARE SHOWN ON FOUNDATION PLAN THE CTU CELLS SHALL BE FILLED SOLID.
- BRICK COLUMNS SUPPORTING RAISED DECKS AND PORCHES SHALL BE FILLED SOLID FROM FOOTING TO CAP.
- ALL SILLS IN CONTACT WITH MASONRY TO BE PRESSURE TREATED (PT) MATERIAL. FASTENERS IN CONTACT WITH PT MATERIAL TO BE HOT DIPPED GALVANIZED CONFORMING TO ASTM A53 EXCEPT FOUNDATION BOLTS GREATER THAN 1/2" dia.
- FRAMING
 - WOOD MEMBERS ARE DESIGNED AS SOUTHERN YELLOW PINE (SP17) MATERIAL UNLESS NOTED OTHERWISE (UNO.). FLOOR JOISTS, CEILING JOISTS, RAFTERS, ETC. ARE ASSUMED TO BE SP17 MATERIAL UNO. FLOOR JOISTS, CEILING JOISTS, RAFTERS OVER 18" IN LENGTH ARE DESIGNED AS HEMPIR MATERIAL EXCEPT FLOOR JOISTS UP TO 20" AS NOTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE MATERIALS PRIOR TO CONSTRUCTION.
 4. HEADERS DESIGNED IN ACCORDANCE WITH VRC TABLE 502.5(1), 20psf SNOW LOAD, 36" BUILDING WIDTH, ROOF CEILING AND ONE CENTER BEARING FLOOR.
 - WHERE HEADERS SPAN UNINTERRUPTED OVER MORE THAN ONE OPENING, DIAGONAL BRACING MAY BE REQUIRED FROM HEADER TO FRAMING ABOVE. LOCATE BRACES AT THE JAMB-HEADER SUPPORTS. DIAGONAL BRACES ARE NOT REQUIRED FOR HEADERS INSTALLED TIGHT TO THE UNDERSIDE OF THE FLOOR FRAMING ABOVE.
 - OVERHEAD DOOR HEADERS (OHD) ARE NOT SIZED FOR CONTINUOUS SPAN ACROSS ALL DOORS. C. L. SHADE DRAFTING DOES NOT RECOGNIZE THIS INSTALLATION METHOD AND RECOMMENDS AN INDEPENDENT ENGINEER VERIFY INSTALLATION OR ADDITIONAL BRACING THAT MAY BE REQUIRED.
 - DIMENSIONS TO BEAMS FOR SPAN OF ABUTTING MEMBERS AND ARE INTENDED TO BE AN APPROXIMATE CENTER PLACEMENT.
 - TRUSS DRAWINGS OR ARCHITECTURAL PLANS ARE INTENDED TO BE DIAGNOSTIC ONLY. MANUFACTURERS TRUSS DESIGN WILL SUPERSEDE ANY OTHER DRAWING.
 - LIVE LOADS PER VRC TABLE R301.5 WHERE APPLICABLE: NOMINAL ROOF LIVE LOAD: 20 PSF / 13 PSF DEAD LOAD FRAMED 1ST AND 2ND FLOOR: 40 PSF. SLEEPING AREAS: 30 PSF. ATTICS: 40 PSF FOR CLEAR HEIGHT GREATER THAN 42" 20 PSF FOR CLEAR HEIGHT LESS THAN 42".
 - DEAD LOADS PER VRC R301.4
 - MINIMUM 10" X 16" FLOOR FINISHES
 - CERAMIC / THINSET STONE, 5" X 5" ADDITIONAL
 - RAFTERS FRAMED TO RIDGE MEMBERS (RIDGE, HIP, VALLEY) LABELED BEAM ARE REQUIRED TO BE MECHANICALLY FASTENED WITH MINIMUM SIMPSON A35 OR EQUAL.
 - WHERE APPLICABLE TEMPORARY TRUSS BRACINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS AGENTS AND WILL FOLLOW RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE'S GUIDE "BC91 1-03 Guide to Good Practice for Handling, Installing, & Bracing of Metal Plate Connected Wood Trusses."
 - BRACED WALL PANELS TO BE PLACED IN ACCORDANCE WITH VRC §8602.10 OR ENGINEER DESIGN AS INDICATED ON PLAN. WHERE VRC PROSCRIPTIVE METHODS ARE USED AND INDICATED ON PLAN MINIMUM DIMENSION OF PANEL WILL GOVERN PLACEMENT OF ROUGH OPENINGS FOR OPENINGS IN EXTERIOR AND INTERIOR WALLS AND MAY OVERRIDE CENTER DIMENSION OF OPENING SHOWN.
 - WHERE ACCESS IS PROVIDED TO ATTIC AREAS OVER TWO STORY HOMES WHERE A FUTURE ROOM MAY BE CONSTRUCTED FIRST FLOOR WALLS TO BE FRAMED IN ACCORDANCE WITH VRC §8603.2 AND TABLES R602.3(1) AND R602.3.1.
- INSULATION

INSULATION TO BE PROVIDED PER CHAPTER 11 OF THE CURRENT INTERNATIONAL RESIDENTIAL CODE REFERENCED BY THE VRC, INDUSTRY AND MANUFACTURER'S RECOMMENDATIONS.
- ROOFING AND VENTILATION
 - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR VENTILATION OF EXTERIOR COLUMNS.
 - VENTILATION OF SPACES IS SHOWN AS A GUIDE TO AREAS REQUIRING VENTILATION AND APPROXIMATE * AND TYPE OF VENTS THAT MAY BE USED. THE GENERAL CONTRACTOR SHALL PROVIDE AS SHOWN OR AN EQUIVALENT VENTILATION THAT MEETS OR EXCEEDS THE FOLLOWING PARAMETERS:
 - MEETS OR EXCEEDS 1:300 RULE
 - LOMANCO 150 VENT: APPROX. AREA 104 sqft.
 - LOMANCO OR-4 RIDGE VENT: APPROX. AREA 180 sqft.
 - LOMANCO 2000 FLOWER VENT: APPROX. AREA 1500 sqft.
 - LOMANCO 993 ROUND VENT: APPROX. AREA 11 sqft.
 - FOUNDATION VENTILATION SHALL BE DETERMINED BY THE GENERAL CONTRACTOR TO CONFORM WITH APPLICABLE BUILDING CODES IN ACCORDANCE WITH VENTED OR UN-VENTED CRAWL SPACE DESIGN.
 - ATTIC VENTILATION TO COMPLY WITH VRC SECTION R806
 - ICE AND WATER SHIELD SHALL BE APPLIED AT THE EAVES TO 24" INSIDE THE EXTERIOR WALL LINE. ALL VALLEYS TO BE LINED WITH ICE AND WATER SHIELD OR EQUIVALENT.
 - ROOFING MATERIAL DEAD LOADS BASED ON:
 - CERTAINTEED 40 YR COMPOSITE SHINGLE: 3.0 lbs/sqft
 - ECOSTAR MAJESTIC SYNTHETIC SLATE: 2.9 lbs/sqft
 - QUARRIED SLATE: 11 lbs/sqft
 - CONCRETE TILE: 12.5 lbs/sqft
 MATERIAL SELECTED AS SHOWN ON PLANS
- EXTERIOR
 - EXTERIOR DETAILS (eg: columns, shutters, decorative items, etc.) ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. WINDOW AND DOOR GRILL PATTERNS ARE ILLUSTRATIVE ONLY AND WILL BE DETERMINED BY THE MANUFACTURER OF THE WINDOW SPECIFIED OR BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR AND TRADE CONTRACTOR WILL DETERMINE FINAL PLACEMENT AND MATERIALS FOR ALL EXTERIOR DETAILS AS WELL AS REQUIREMENTS FOR EXPOSURE OF SIDING REVEAL AND OTHER ITEMS THAT MAY BE FASTENED TO THE EXTERIOR CLADDING OR VENEER.
 - EXTERIOR DETAIL MAY VARY AS PREDICTED IN ELEVATION DRAWINGS, FIELD CONDITIONS AND MATERIAL AVAILABILITIES OR SELECTIONS MAY AFFECT FINAL FEATURE CONSIDERATIONS AND DESIGN.
 - ROOF OVERHANG, ALIGNMENT, AND DOOR OR WINDOW ALIGNMENT MAY DIFFER FROM ELEVATIONS DEPICTIONS AND DRAWING VENEER STONE INSTALLATION.
- FOLLOW ALL MANUFACTURER RECOMMENDED INSTALLATION INSTRUCTION FOR THE TYPE AND STYLE OF STONE INSTALLED OVER FLYWOOD / GYPSUM WALL BOARD, OSB, CONCRETE BOARD / FIBER BOARD, OR OTHER WOOD RELATED SHEATHING.
 - COVER THE WALL SURFACE WITH TWO LAYERS OF WATER RESISTIVE BARRIER (WRB). THE WRB SHALL BE EQUAL TO THAT PROVIDED FOR THE U.S.C STANDARD NO. 141 FOR KRAFT WATERPROOF BUILDING PAPER OR ASPHALT SATURATED RAG FELT. THE WRB MUST MEET THE REQUIREMENTS OF ICC-ES ACCEPTANCE CRITERIA 38 FOR WATER RESISTIVE BARRIERS (GRADE D, 15 FELT MEETING ASTM D 226, AND HOUSE WRAP).
- NOTE: USE OF FELT PAPER MEETING ASTM D 4869 IS NOT RECOMMENDED.
- THE BUILDING PAPER OR FELT SHALL BE APPLIED HORIZONTALLY WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2".
- WHERE VERTICAL JOINTS OCCUR, THE FELT OR PAPER SHALL BE LAPPED NOT LESS THAN 6".
- THEN INSTALL GALVANIZED 25 LB. (OR HEAVIER) DIAMOND MESH EXPANDED METAL LATH OR AN 18 GAUGE WOVEN WIRE MESH. USE GALVANIZED LATH FOR EXTERIOR APPLICATIONS.
- OVERLAP LATH SIDES BY NOT LESS THAN 3/8" AND ENDS BY A MINIMUM OF 1".
- ATTACH THE LATH USING GALVANIZED NAILS OR STAPLES 6" ON CENTER VERTICALLY AND 16" ON CENTER HORIZONTALLY PENETRATING STUDS A MINIMUM OF 1". (BE SURE TO ATTACH THE METAL LATH WITH THE SMALL CURS POINTING UPWARDS.)
- DOUBLE WRAP METAL LATH A MINIMUM OF 16" AROUND ALL INSIDE AND OUTSIDE CORNERS THEN APPLY A 1/2" THICK SCRATCH COAT OF MORTAR OVER THE METAL LATH AND ALLOW TO DRY COMPLETELY.
- EGRESS / WINDOWS / DOORS
 - ALL EGRESS OPENINGS FROM BEDROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, BE NOT MORE THAN 44" FROM FINISHED FLOOR TO SILL HEIGHT, AND HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20".
 - CONTRACTOR TO VERIFY HEIGHT OF WINDOW SILL ABOVE GRADE AND DETERMINE NEED FOR GUARD RAIL OR OTHER REMEDY IF OVER 6" FROM FINISHED GRADE AT EXTERIOR.
 - SEGMENT, ELLIPSE, HALF ROUND, TRANSOMS, AND OTHER ACCENT FEATURES ABOVE EXTERIOR OPENINGS ARE GENERALLY CONSIDERED TO BE PLACED ABOVE THE SPRINGLINE AS MARKED ON THE ELEVATIONS SHOWING HEADER HEIGHT ABOVE SUBFLOOR. CONTRACTOR TO VERIFY PLACEMENT FOR EXTERIOR FINISH FEATURES AND CLEARANCE TO INTERIOR TRIMS AS NEEDED.
 - ALL EXTERIOR OPENINGS SHALL BE PROTECTED FROM WATER INTRUSION BY GENERALLY ACCEPTED BUILDING PRACTICES AND AS REQUIRED BY THE VIRGINIA USBC.
 - HANDRAILS SHALL BE CONTINUOUS, THE FULL LENGTH OF THE STAIRS AND ENDS SHALL BE RETURNED OR TERMINATED IN NEWEL POSTS. HANDRAIL PORTIONS SHALL NOT BE MORE THAN 3-5/8" IN CROSS SECTIONAL DIMENSION OR AS APPROVED BY THE BUILDING OFFICIAL.
- DECKS

DECKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE American Forest and Paper Associations GUIDE FOR Prescriptive Residential Wood Deck Construction AND VRC SECTION R801 IN FORCE AT THE ISSUANCE OF THE BUILDING PERMIT.

These plans are being provided without the benefit of external review by a third party. The client accepts responsibility for plans as drawn and will notify designer of any deficiencies that may be encountered during plan review or construction. If the contractor or contractors agent discovers missing or incomplete details or conflicting items of work, they are obliged to call these items to the attention of the designer. Failure to do so may result in the designer disavowing any claims for cost incurred due to these deficiencies.

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Lot = 3
Blk = T
Sec =

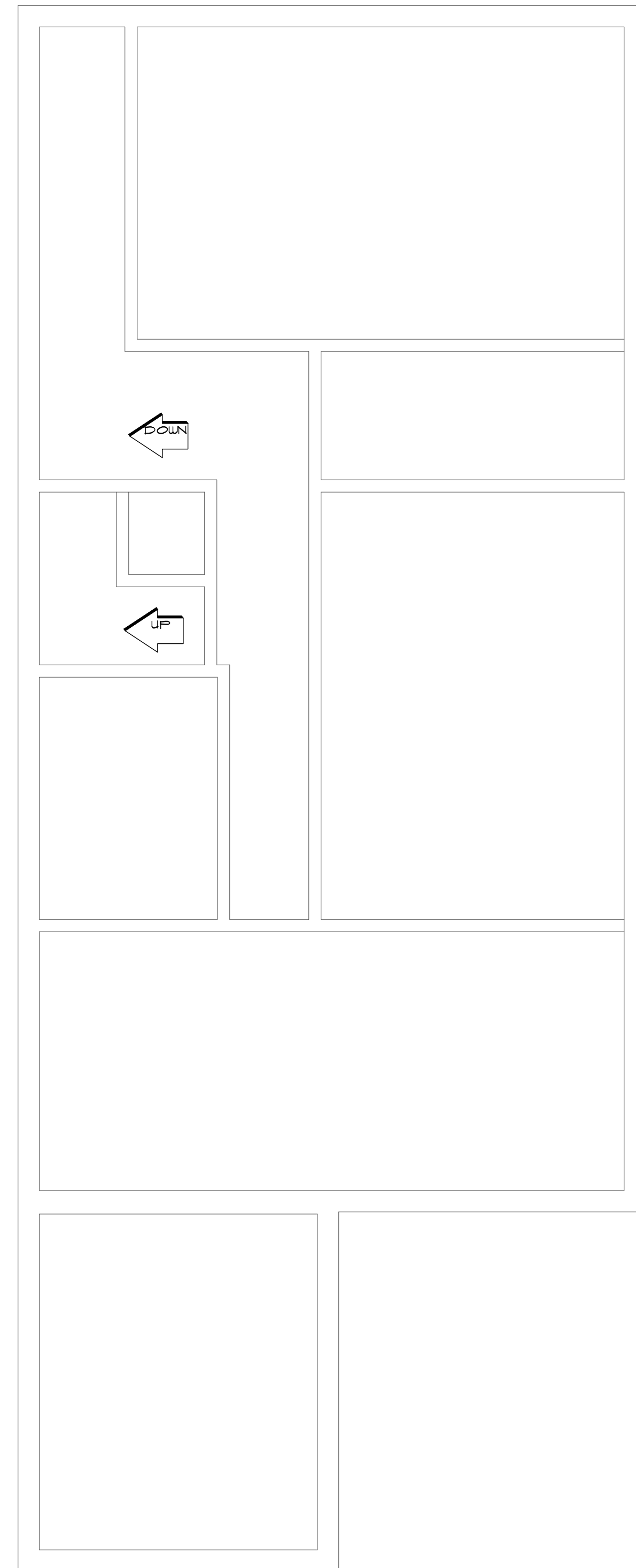
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ASHE BLVD 23220
JOB #:
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2018 VRC

EXISTING PLAN
VIEWS

COURT
ADDITION

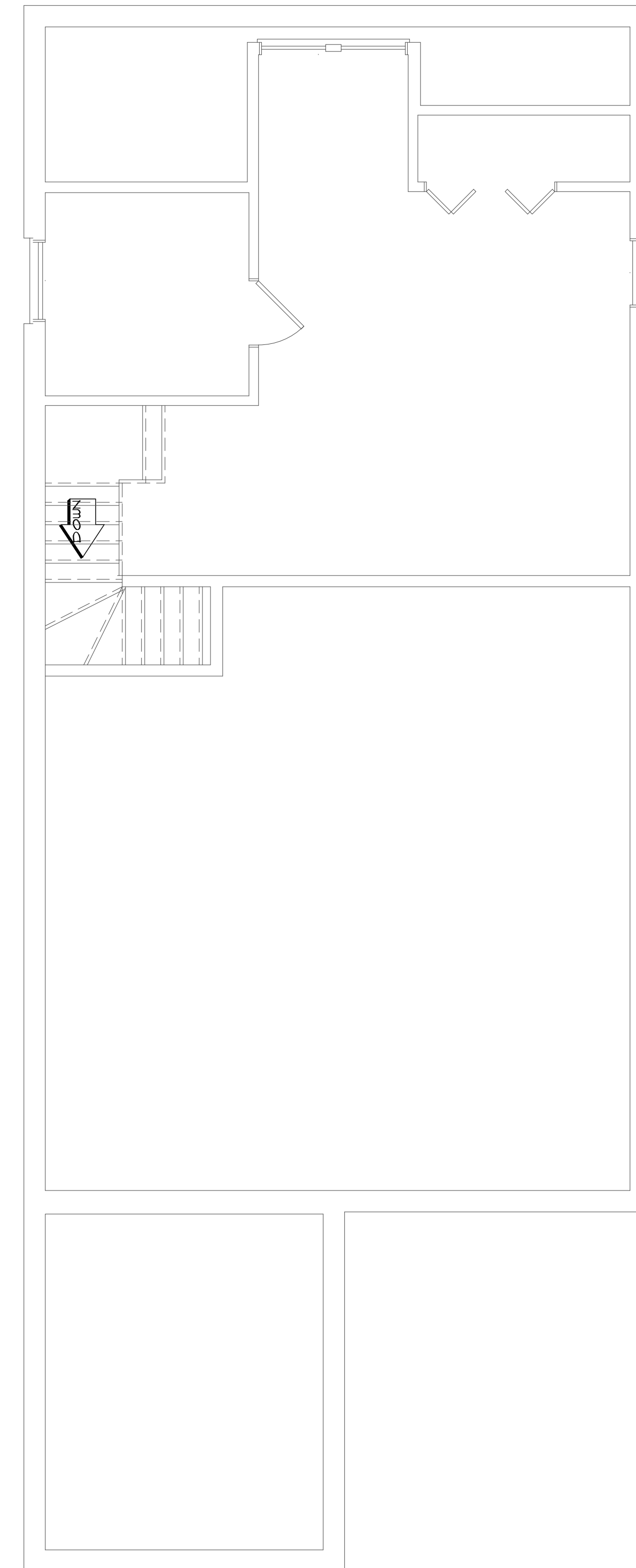
A2

SCALE: 1/4" = 1'-0"



EXIST: SECOND LEVEL

Scale: 1/4" = 1'-0" SCHEMATIC



EXIST: THIRD LEVEL

Scale: 1/4" = 1'-0"

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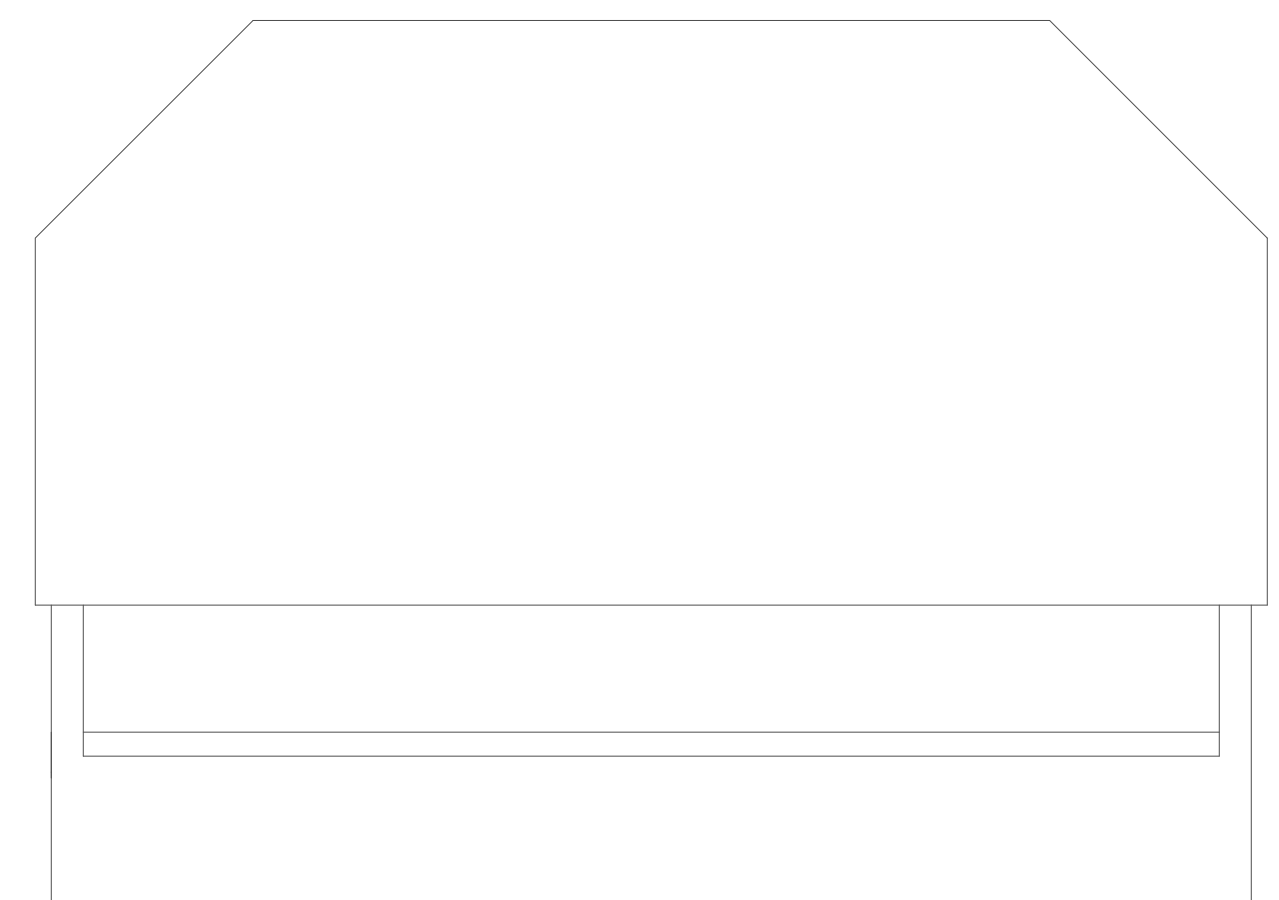
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STAIRS TO BE PROVIDED PER BUILDER AND GRADE

RAIL REQUIRED IF PORCH FLOOR GREATER THAN 30" ABOVE FINISHED GRADE VRC R312.1

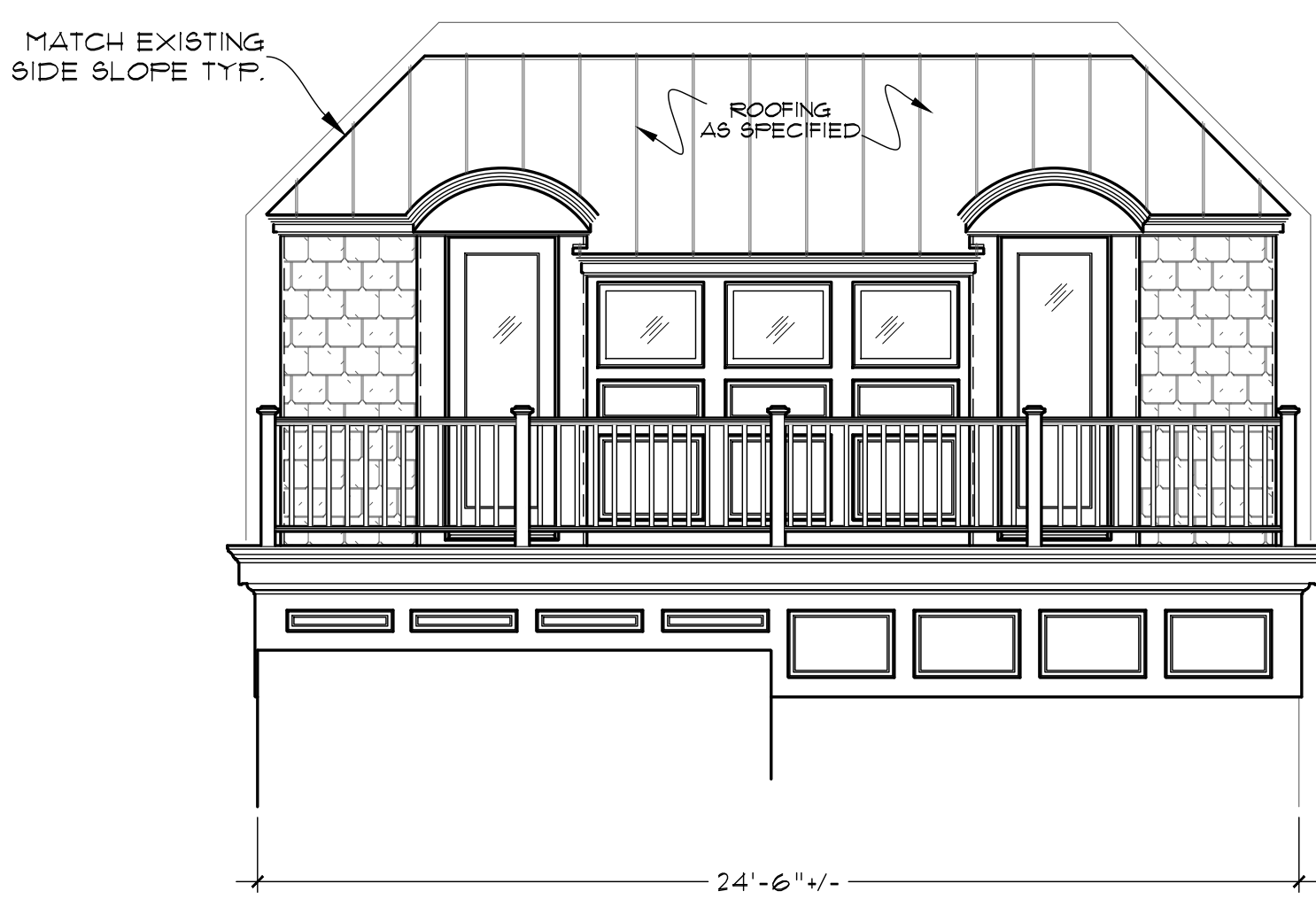
GRIP RAIL REQ'D IF 4 OR MORE RISERS TO LANDING VRC R311.8

VENTILATE ATTIC PER VRC SECTION R306



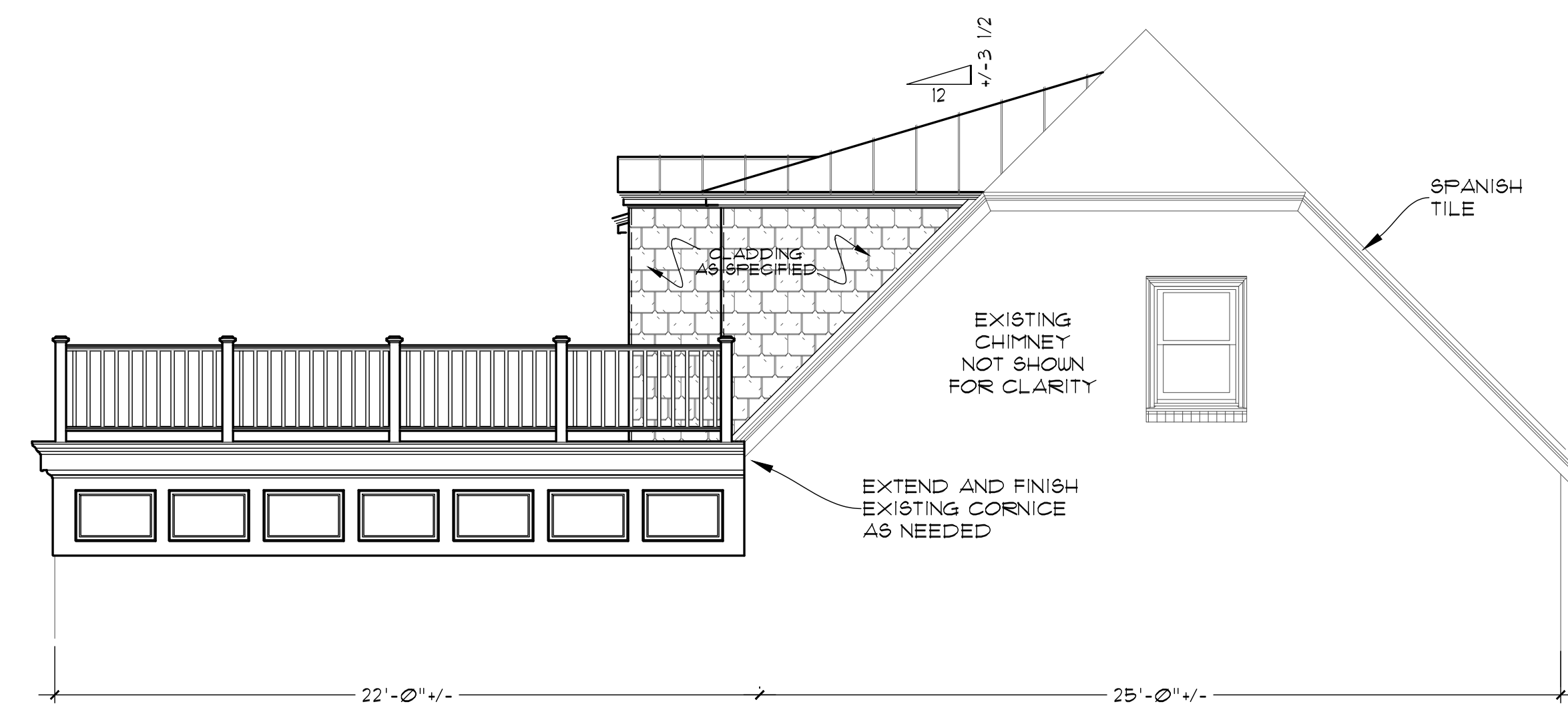
EXIST: REAR ROOF

Scale: 1/4" = 1'-0"



ELEVATION: REAR

Scale: 1/4" = 1'-0"



ELEVATION: LEFT

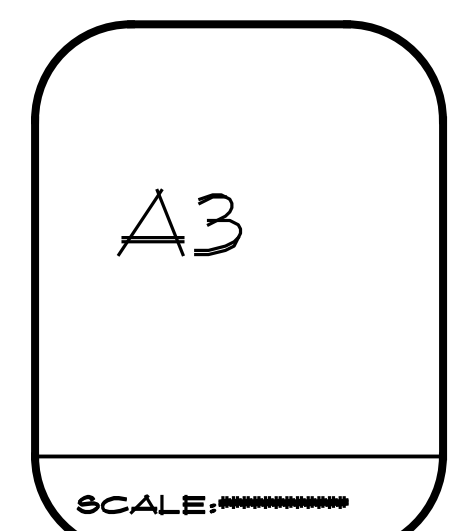
Scale: 1/4" = 1'-0" RIGHT SIMILAR

Lot = 3
 Blk = T
 Sec =

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FRONT / REAR
 ELEVATIONS

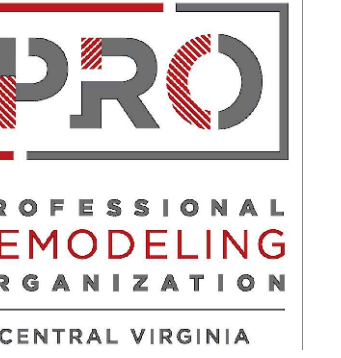
COURT
 ADDITION



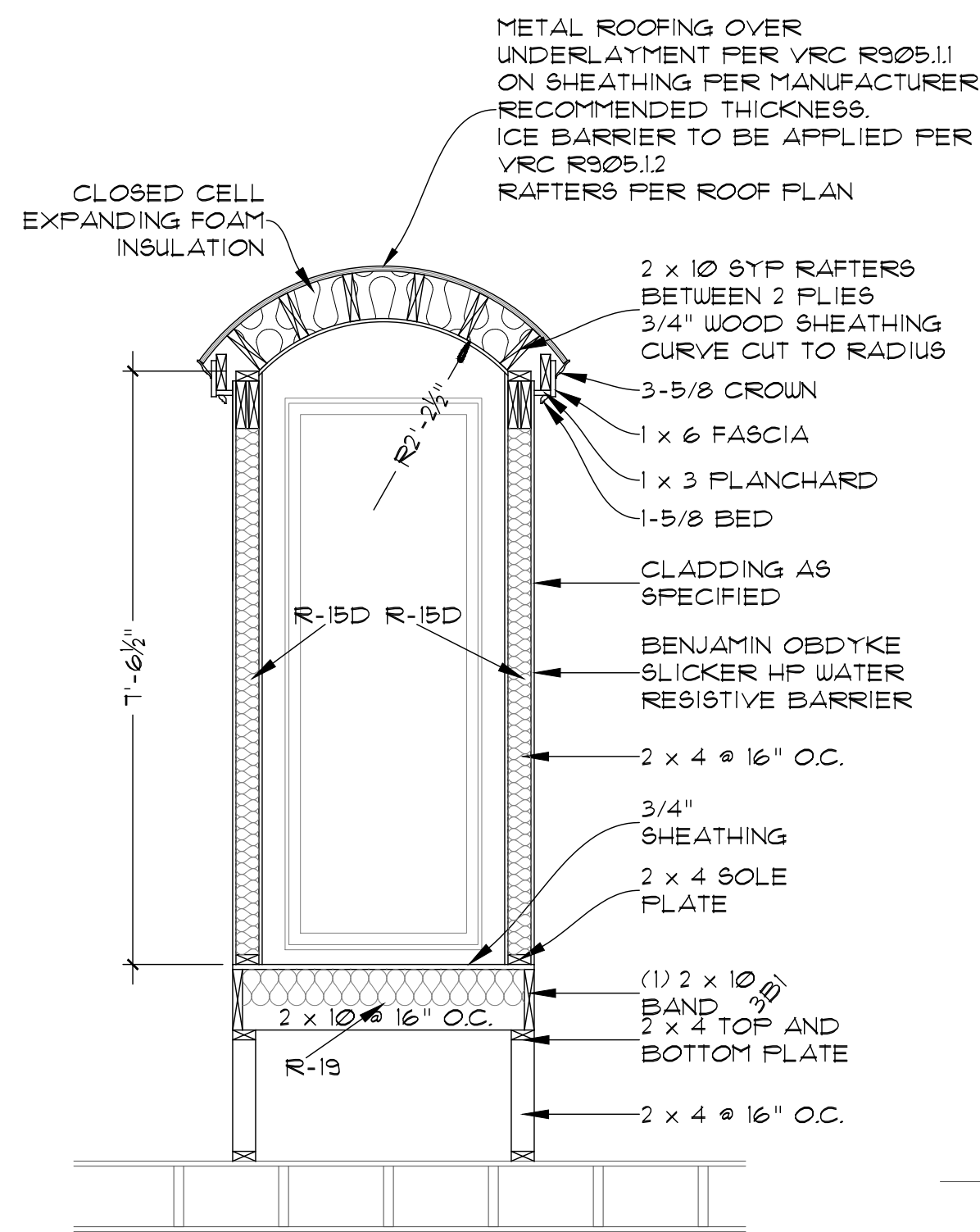
SCALE: 1/4" = 1'-0"

UNLESS INDICATED OTHERWISE CEILING HEIGHTS ARE NOTED ON ELEVATION PAGES

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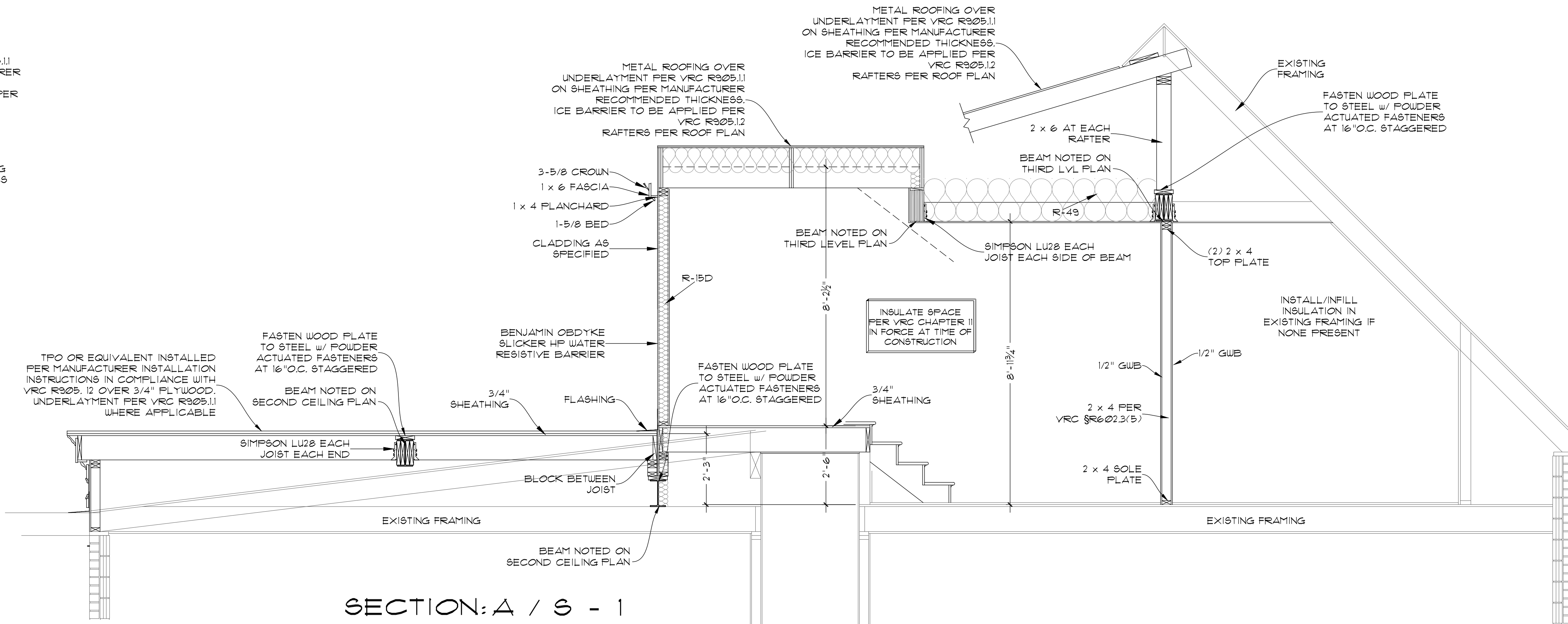


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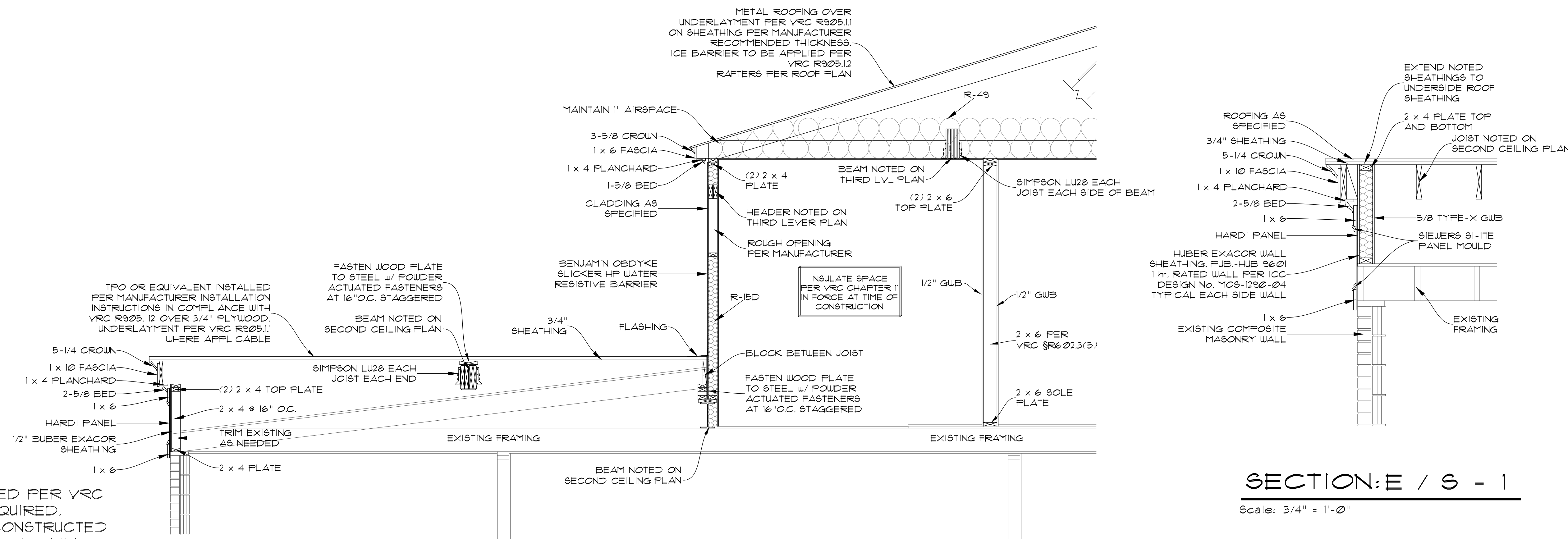
SECTION: D / S - 1

Scale: 1/2" = 1'-0"



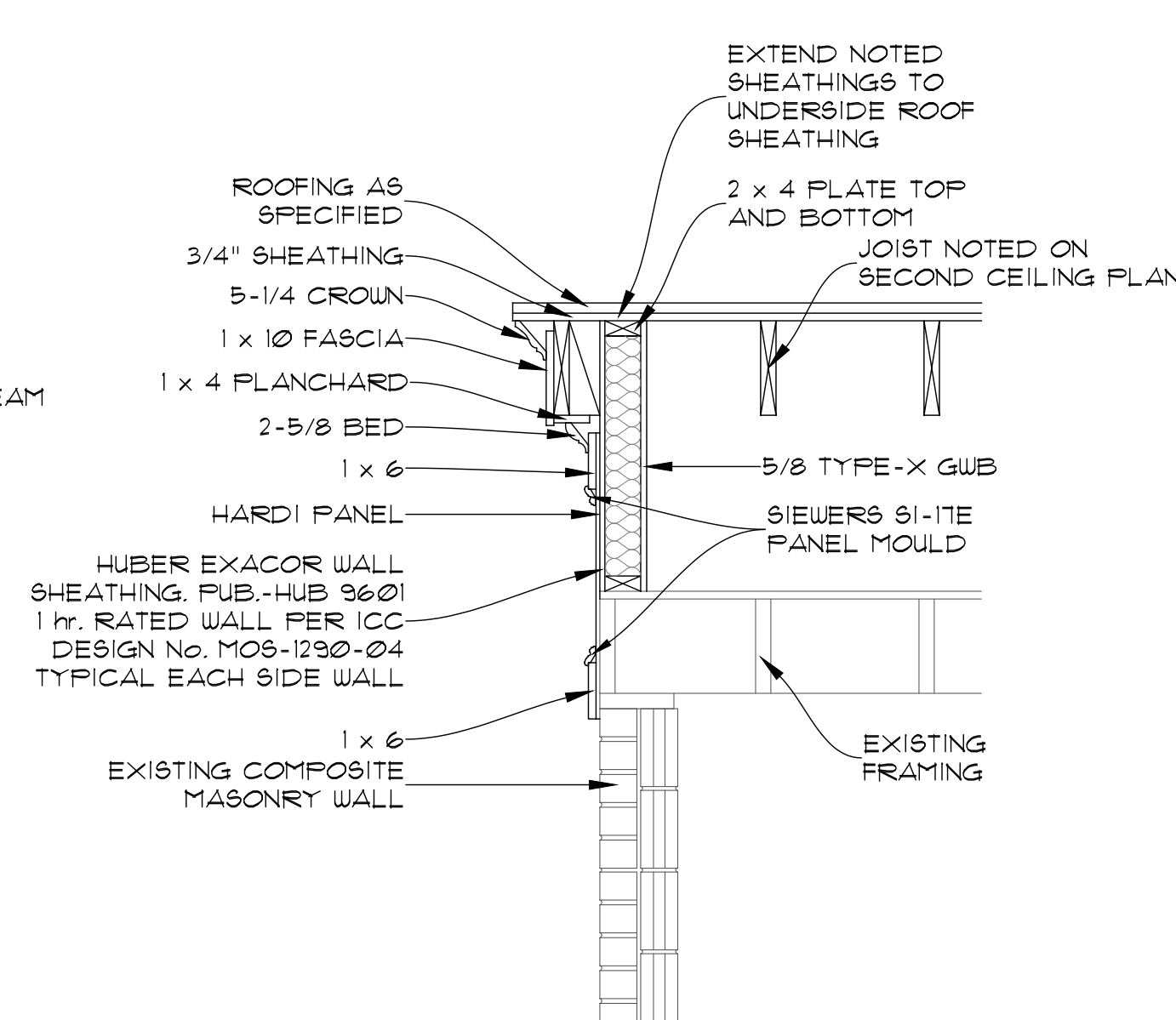
SECTION: A / S - 1

Scale: 1/2" = 1'-0"



SECTION: B / S - 1

Scale: 1/2" = 1'-0"



SECTION: E / S - 1

Scale: 3/4" = 1'-0"

ALL FRAMING TO BE FASTENED PER VRC TABLE R602.3(1) AS REQUIRED.
ALL NEW ELEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND THE REFERENCING DOCUMENT THE VIRGINIA RESIDENTIAL CODE AS REQUIRED BY THE CODE OF THE COMMONWEALTH OF VIRGINIA AND THE LOCAL GOVERNING AUTHORITY.

Lot = 3
Blk = T
Sec =

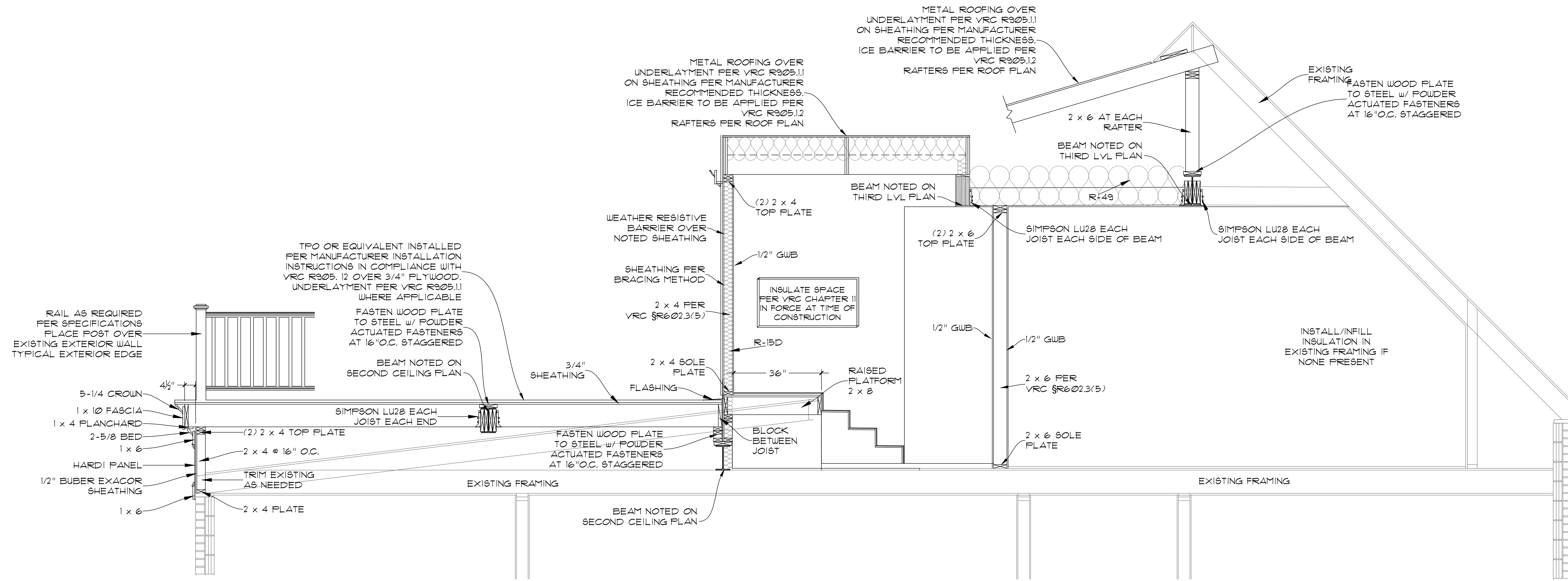
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WALL
SECTIONS

COURT
ADDITION

S1

SCALE AS NOTED

UNLESS INDICATED OTHERWISE CEILING HEIGHTS ARE NOTED ON ELEVATION PAGES



SECTION: C / S - 2

Scale: 1/2" = 1'-0"

ALL FRAMING TO BE FASTENED PER VRC TABLE R602.3(1) AS REQUIRED.
 ALL NEW ELEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND THE REFERENCING DOCUMENT THE VIRGINIA RESIDENTIAL CODE AS REQUIRED BY THE CODE OF THE COMMONWEALTH OF VIRGINIA AND THE LOCAL GOVERNING AUTHORITY.

BUILDER OR BUILDERS AGENT TO NOTIFY DESIGNER OF ANY PLAN DEFICIENCIES PRIOR TO CONSTRUCTION.

C. L. Shade Drafting

RESIDENTIAL DESIGN
 7703 Wood Road P-804-405-4931
 Henrico, Virginia 23229-6942
 cshadedesign.com @cshadedesign
 2022 cshade@cshadedesign.com

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 SECTIONS

COURT
 ADDITION

S2

SCALE AS NOTED