

INTRODUCED: December 12, 2022

AN ORDINANCE No. 2022-368

To authorize the special use of the property known as 3917 Corbin Street for the purpose of a single-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JAN 9 2023 AT 6 P.M.

WHEREAS, the owner of the property known as 3917 Corbin Street, which is situated in a R-2 Single-Family Residential District, desires to use such property for the purpose of a single-family detached dwelling, which use, among other things, is not currently allowed by section 30-404.4, concerning lot area and width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN: _____

ADOPTED: JAN 9 2023 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 3917 Corbin Street and identified as Tax Parcel No. N018-0532/018 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Map Showing the Proposed Improvements on No. 3917 Corbin Street in the City of Richmond, VA.,” prepared by Virginia Surveys, and dated September 8, 2022, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a single-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “New Single Family Residence,” prepared by Watchtower Homes & Construction, dated October 15, 2020, and last revised October 18, 2020, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a single-family detached dwelling, substantially as shown on the Plans.

(b) No off-street parking shall be required for the Special Use.

(c) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans.

(d) All mechanical equipment, including heating, ventilation, and air conditioning units, serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including the installation of two street trees, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works

that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto;

consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

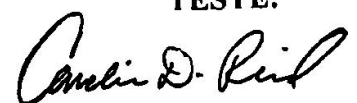
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:
TESTE:



City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2022.0466

O & R Request

DATE: November 14, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 3917 Corbin Street for the purpose of a single-family detached dwelling, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 3917 Corbin Street for the purpose of a single-family detached dwelling, upon certain terms and conditions.

REASON: The property is located in the R-2 Single-Family Residential District. Single-family dwelling are permitted uses in this zoning district, however not all lot feature requirements can be met. Therefore a special use permit is requested in order to authorize this use.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council.

BACKGROUND: The vacant 11,221 square foot subject property is located on the eastern side of Corbin Street near the intersection with Rex Avenue. The R-2 Single-Family Residential district requires a minimum lot area of not less than 15,000 square feet and a minimum lot width of 90 feet. The subject property has 63 linear feet of street frontage.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Residential Uses. This designation is defined as a "neighborhood consisting primarily of single-family houses on large or medium-sized lots more homogenous in nature.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: December 12, 2022

CITY COUNCIL PUBLIC HEARING DATE: January 9, 2023

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
January 3, 2023

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration (Room 510), David.Watson@RVA.Gov



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 3917 Corbin Street Date: _____
Tax Map #: NO180532018 Fee: \$300
Total area of affected site in acres: 0.258

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-2

Existing Use: Vacant

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)
One (1) new, single-family detached dwelling on the currently vacant parcel.

Existing Use: Vacant

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Will Gillette / Mark Baker

Company: Baker Development Resources

Mailing Address: 530 East Main Street, Suite 730

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 874-6275 Fax: ()

Email: markbaker@bakerdevelopmentresources.com

Property Owner: WATCHTOWER HOMES AND CONSTRUCTION LLC

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 3912 SEMINARY AVE

City: RICHMOND State: VA Zip Code: 23227

Telephone: () Fax: ()

Email: _____

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

September 9th, 2022

*Special Use Permit Request
3917 Corbin Street, Richmond, Virginia
Map Reference Number: W018-0532/018*

Submitted to:	City of Richmond Department of Planning and Development Review Land Use Administration 900 East Broad Street, Suite 511 Richmond, Virginia 23219
Submitted by:	Baker Development Resources 530 East Main Street, Suite 730 Richmond, Virginia 23219

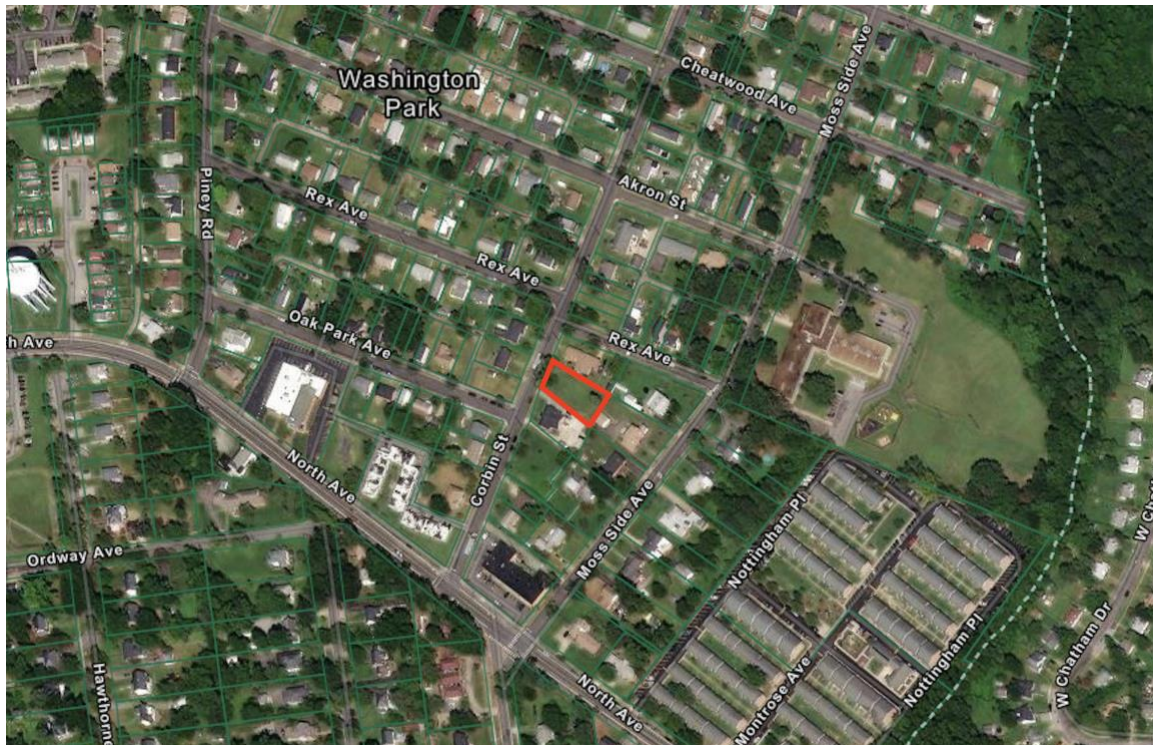
Introduction

The property owner is requesting a special use permit (the "SUP") for 3917 Corbin Street (the "Property"). The SUP will authorize the construction of a single family detached dwelling on the currently vacant Property. While the single family detached use is permitted by the underlying R-2 Single-Family Residential zoning district, some of the underlying feature requirements cannot be met, and therefore, a SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the eastern line of Corbin Street, between Rex Avenue and Oak Park Avenue. The Property is referenced by the City Assessor as tax parcel N018-0532/018 and is roughly 63 feet wide by 143' in depth, contains approximately 11,221 square feet of lot area, and is currently vacant.



The properties in the vicinity primarily developed with single-family dwellings. The subject block includes a mix of one and two story single-family detached dwellings. To the northeast, across Moss Side Avenue, lies Mary M. Scott School elementary school and further to the east lies the Forest Lawn Cemetery, which lies outside the boundaries of the City of Richmond in Henrico County. Single-family dwellings in the vicinity have been developed on lots ranging from 25 to more than 100 feet in width.

EXISTING ZONING

The Property is zoned R-2 Single-Family Residential, which generally permits the proposed single family dwelling use. The surrounding properties along the eastern line of Corbin Street and to the rear of the subject parcel are also zoned R-2. The R-2 district requires a lot area of not less than 15,000 square feet and width of not less than 90 feet for single-family dwellings. The majority of properties located within the Washington Park Neighborhood, including those immediately across Corbin Street, are zoned R-5 which requires only 6,000 square feet of lot area and 50' of lot width. To the south, at the intersection of Corbin Street and North Avenue lies an R-48 Multifamily Residential District while south of North Avenue lies an R-6 Single-Family Attached Residential district.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options."
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to "Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to "Increase the number of mixed-income communities along enhanced transit corridors."
- Page 155 (Inclusive Housing Chapter), Objective 14.8 to "Develop inclusionary and equitable housing options for our gentrifying neighborhoods to prevent involuntary displacement."
- Page 159 (Thriving Environment Chapter) Objective 15.1 to "Reduce air pollution related to transportation."
 - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to "maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards"
- Page 100 (High Quality Places Chapter), Objective 4.1, to "create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City," as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

TRANSPORTATION

The Property is located near the Corbin + Rex bus stop which is serviced by the #2 bus line which is considered a “high-frequency” line with busses arriving approximately every 15 minutes. Also within a half mile of the Property are bus stops which service the 1 and 93 lines.

Proposal

PROJECT SUMMARY

The applicant is proposing to construct a new, single family detached dwelling on the currently vacant property.

PURPOSE OF REQUEST

The Property at 3917 Corbin Street is generally larger than most parcels in the vicinity with a lot width of roughly 63 feet and area of 11,221 square feet. While the parcel is consistent or exceeds the width and area of many existing parcels fronting Corbin Street and other parcels in the Washington Park Neighborhood, the lot width and area requirements for the Property are not met, and therefore, a SUP is required. Furthermore, as no alley access is provided for the parcel, off-street parking cannot be provided.

In exchange for the SUP, the intent of this request is to ensure the development of a high-quality infill dwelling. The overall project will remain respectful to the historic development pattern in the vicinity thereby remaining consistent with the predominant character of the area. Also, the quality assurances conditioned through the SUP will guarantee a higher quality development and better neighborhood compatibility than might otherwise be guaranteed with a by right development.

PROJECT DETAILS

The new single family detached dwelling would be two stories in height and is intended to be consistent with the historic development pattern found throughout the neighborhood. The dwelling would contain three bedrooms and two bathrooms, totaling approximately 1,360 square feet of floor area. The dwelling would be clad in quality building materials including cementitious lap siding in order to ensure durability. A covered full-width front porch would engage the street and provide usable outdoor living space for future occupants. The proposed dwelling's massing and architectural style is designed to be compatible with nearby dwellings and is consistent with the historical homes found in the neighborhood.

Findings of Fact

The following are factors indicated in Section 17.11 of the Charter and Section 114-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation on the existing dead-end street will create no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit will not adversely affect the above referenced City services. To the contrary, the proposal will provide positive fiscal (tax) benefits that will enhance the City's ability to provide these services to the proposed development.

- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed buildings are of compatible massing and spacing to the existing in the vicinity. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.



Summary

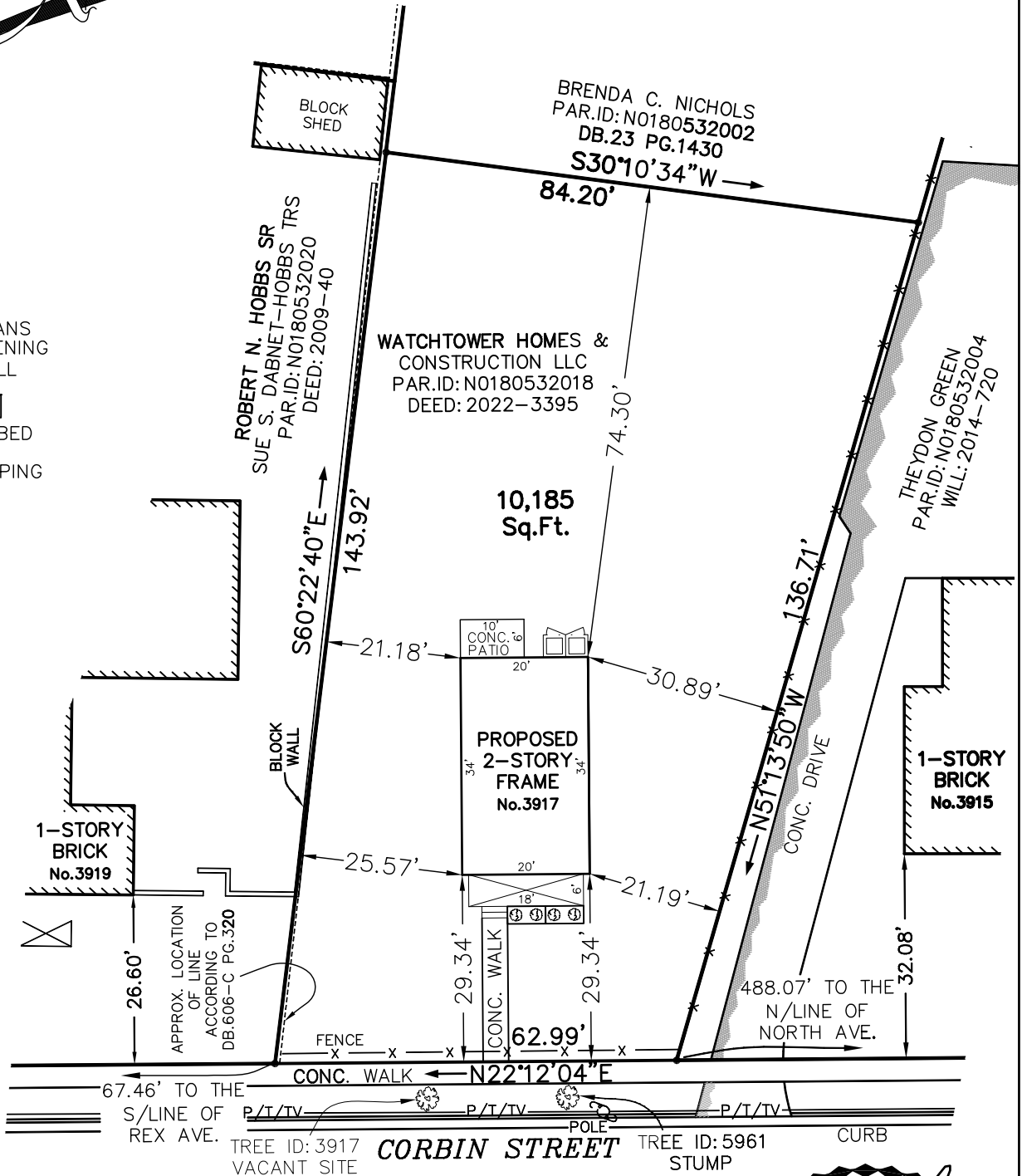
In summary we are enthusiastically seeking approval for the construction of the proposed single-family detached dwelling. The building has been thoughtfully designed in order to provide appropriate, high-quality, infill residential development. The request offers compatibility with the City's Master Plan in terms of use and would upgrade the Property while remaining compatible with the existing dwellings in the neighborhood. The traditional building form would provide the much-desired traditional neighborhood design which is appropriate to this area of the City. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than might otherwise be developed by right.

This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 6-13-2022 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.

This property IS NOT within a FEMA Floodway Hazard as shown on Comm. Panel # 5101290029D Zone: "X" DATED: 4-2-2022

DB.759 PG.1483

-  SUPER CANS WITH SCREENING < 5' TALL
-  MULCH BED WITH LANDSCAPING



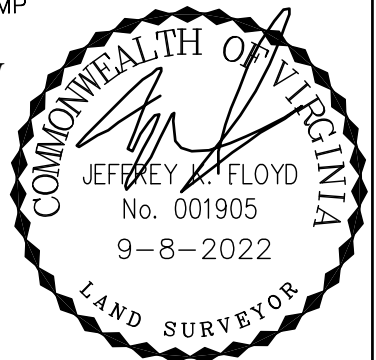
TREE ID: 3917 VACANT SITE SMALL *Wax Myrtles will be planted in the vacant tree wells in the ROW

TREE ID: 5961 STUMP

MAP SHOWING THE PROPOSED IMPROVEMENTS ON No. 3917 CORBIN STREET



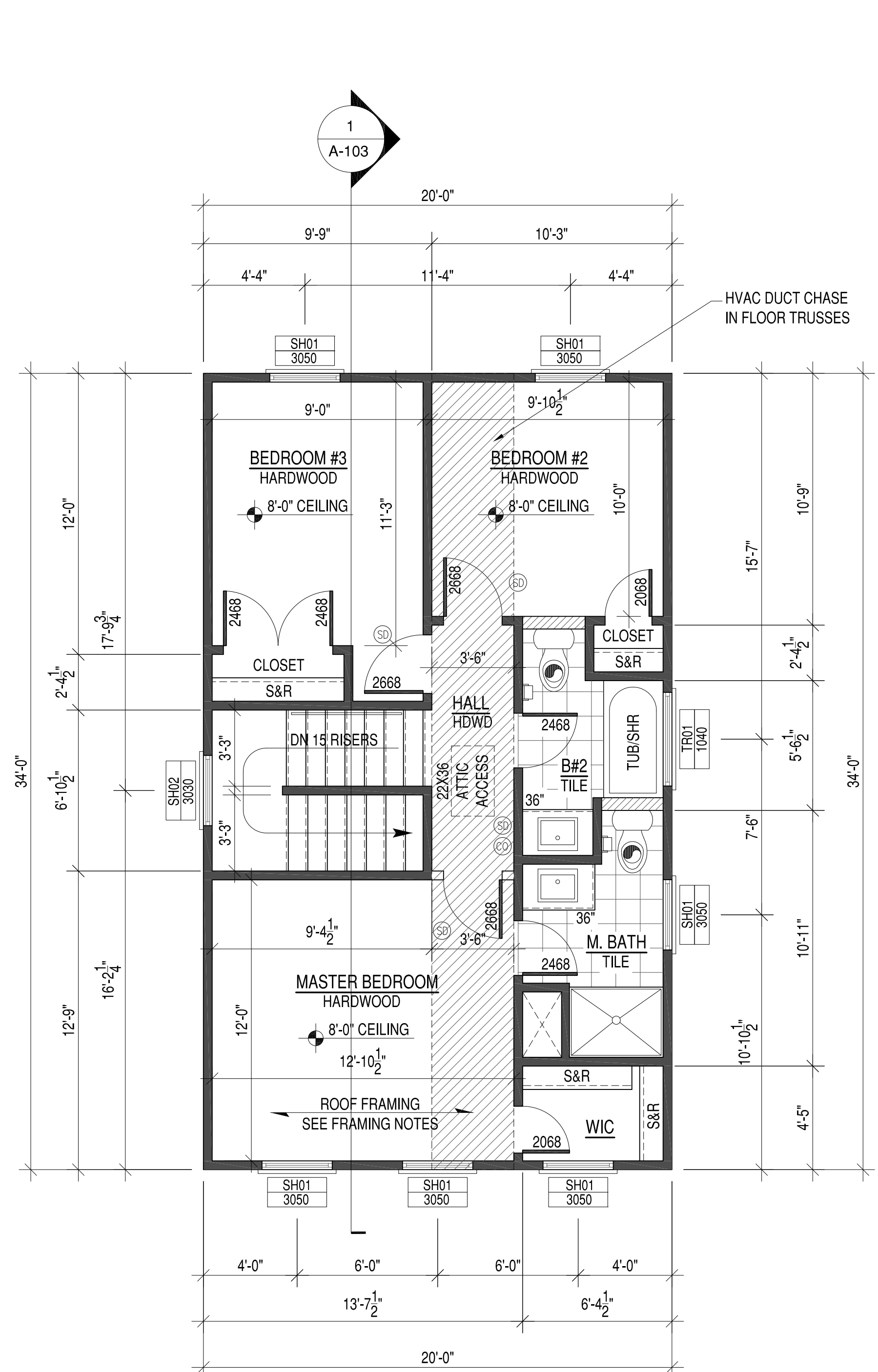
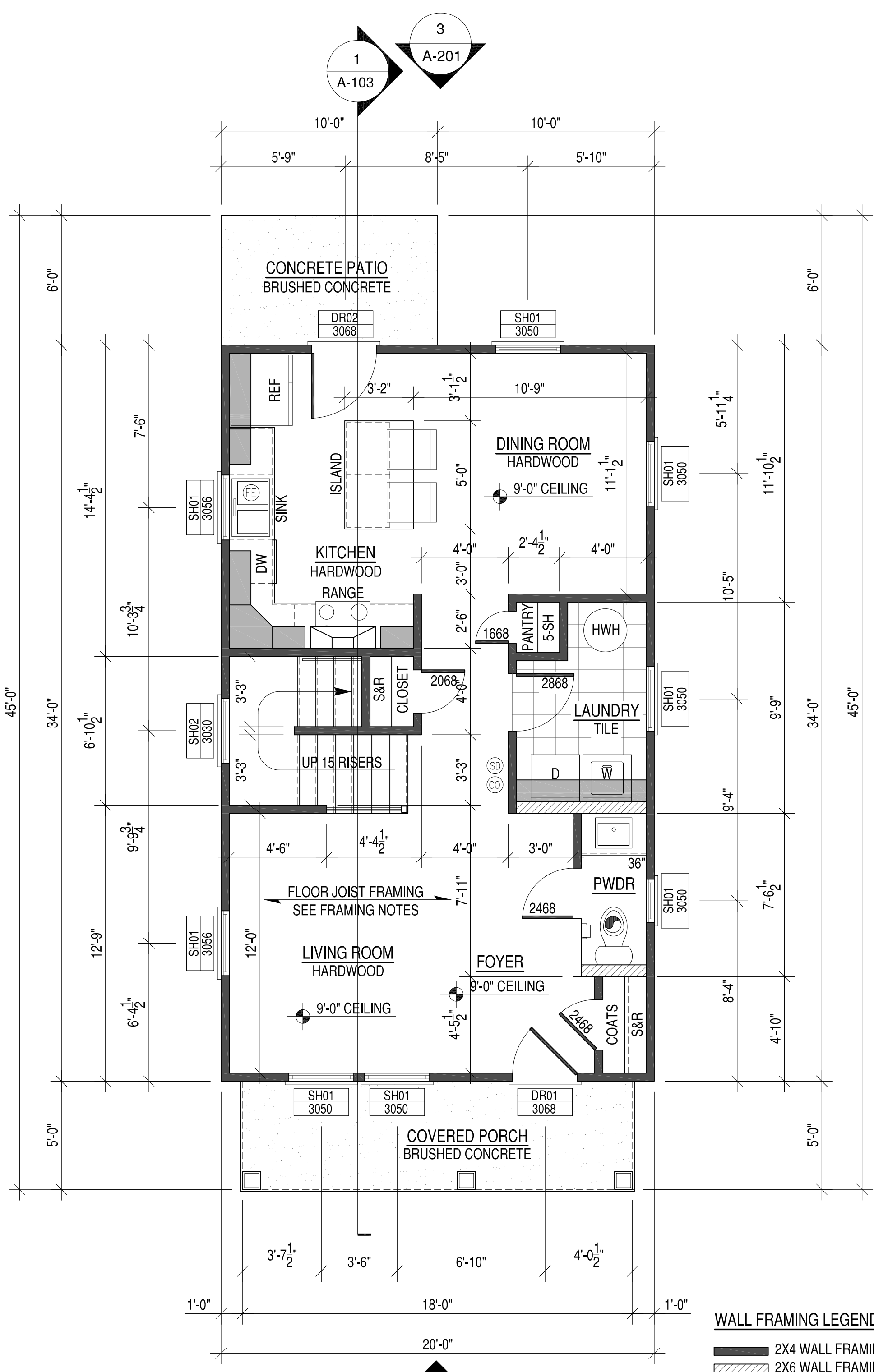
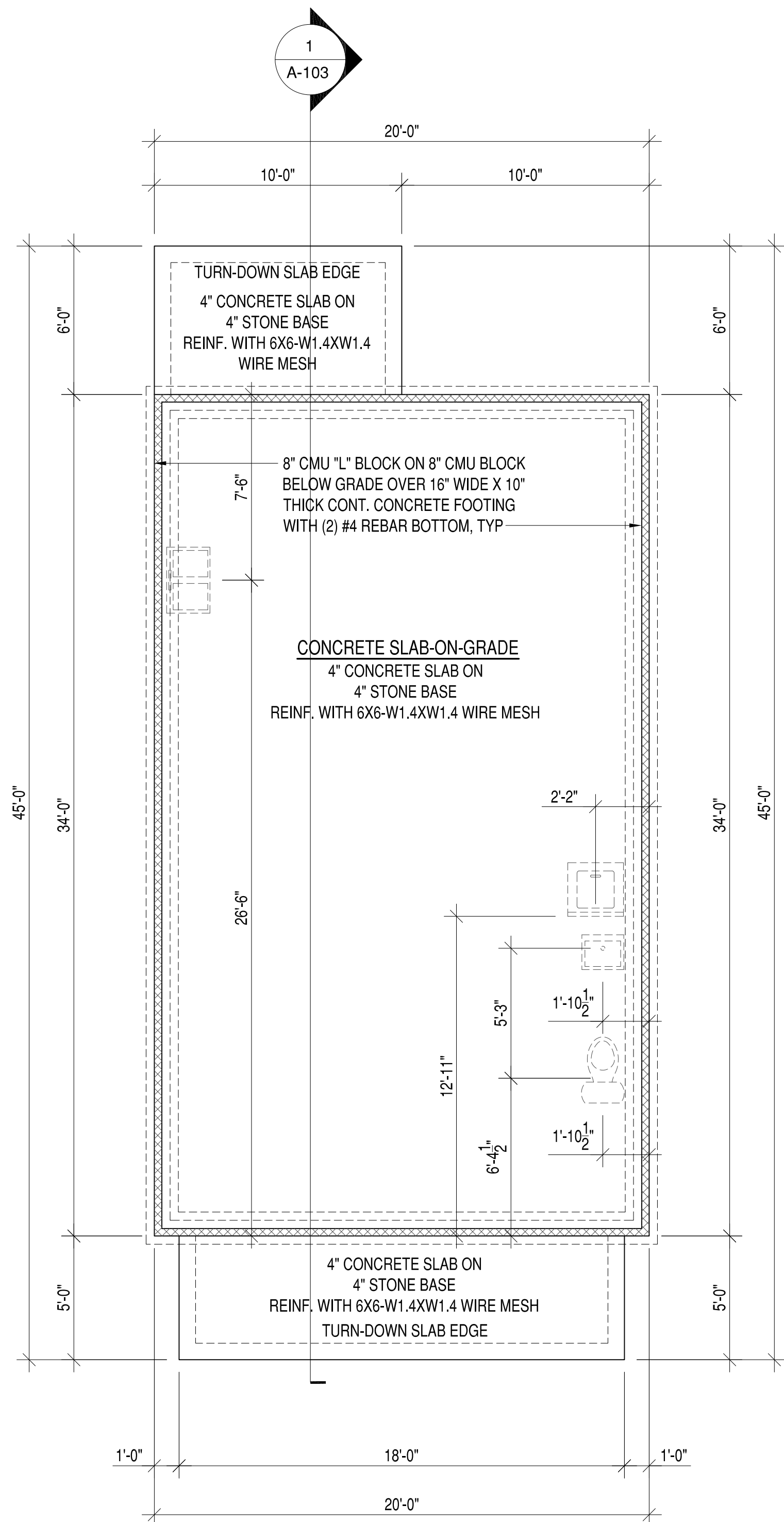
Virginia Surveys IN THE CITY OF RICHMOND, VA.



P.O. BOX 118
 CHESTERFIELD, VA 23832
 (804) 748-9481
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DATE: 9-8-2022
 CERTIFIED BY JEFFREY K. FLOYD
 VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=25'
 JOB NO. 220214792



Project Location:
3917 Corbin St.
RVA 23227



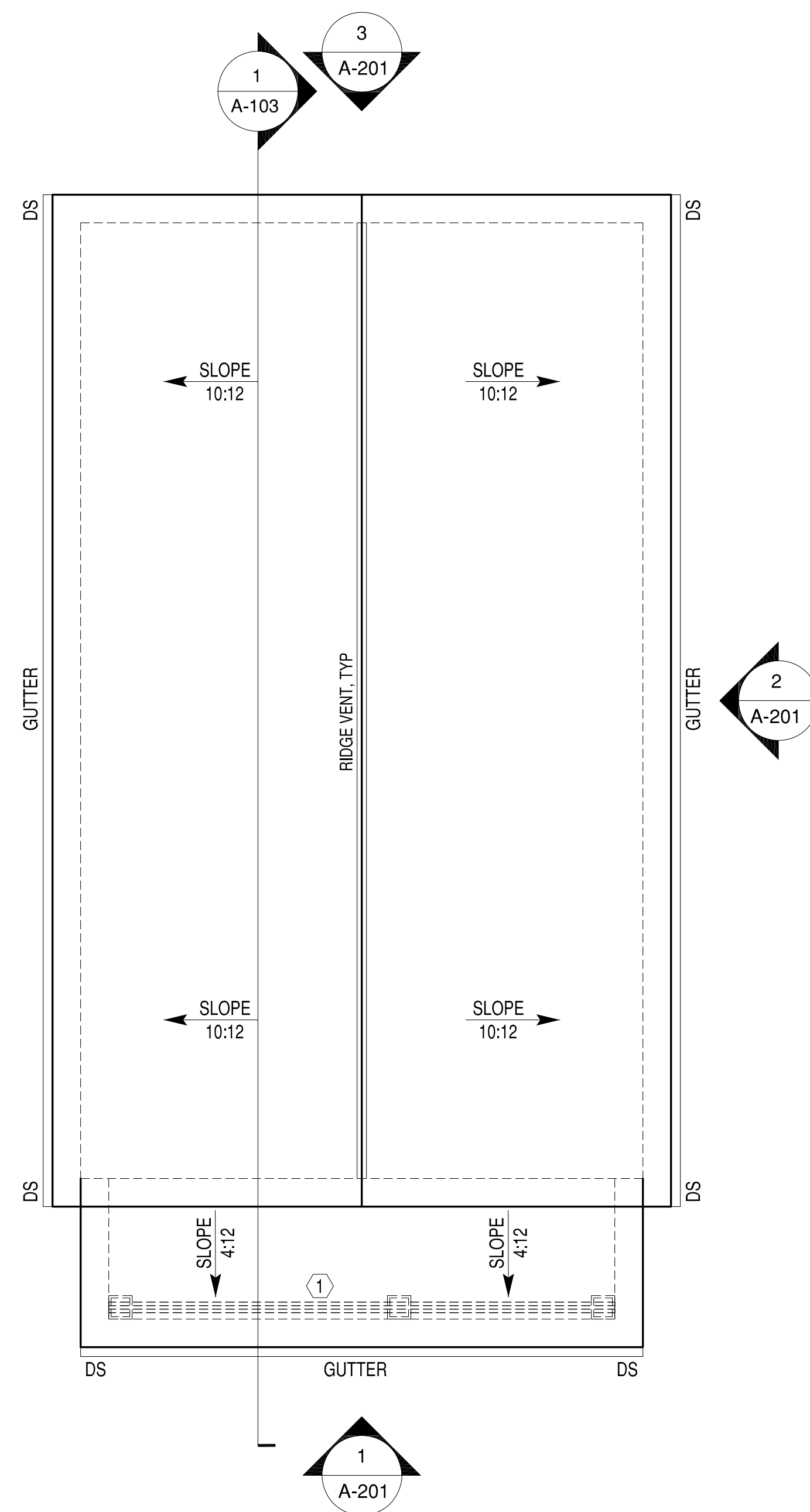
APPROVED	GENERAL CONTRACTOR
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW: JRP3 CHK: JRP3

NEW SINGLE FAMILY RESIDENCE

FOUNDATION, FIRST AND SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-101

DATE	APPRO.
10-18-2020	
10-15-2020	
DESCRIPTION	
1	
2	
FINAL PERMIT PLANS	



ATTIC AREA VENTILATION CALCULATIONS PER UNIT

ATTIC AREA:
 1565 SQ.FT. / 300*144 =
 751 SQ. IN. NET FREE AREA REQUIRED
 (50% MIN AT RIDGE)

RIDGE VENT:
 20 L.F. X 18 SQ. IN. PER LINEAR FOOT =
 360 SQ. IN. PROVIDED

SOFFIT VENT:
 146 L.F. X 5.867 SQ. IN. PER LINEAR FOOT =
 856 SQ. IN. PROVIDED

TOTAL NET FREE ARE PROVIDED = 1,216 SQ. IN.

POWER VENT = (1) 12" AIRVENT, INC POWERCOOL PLUS 12
 AUTOMATIC THERMOSTAT W/ HUMIDSTAT VENT FOR UP TO
 1,650 SF OF ATTIC SPACE, INSTALL MULTIPLE VENTS FOR
 ADDITIONAL AREA.
 IF INSTALLING POWER VENT, DO NOT INSTALL
 RIDGE VENT

PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

- THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
- REFERENCE STANDARDS
 - NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
 - TP-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
- MATERIALS
 - THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPARATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
 - LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
- DESIGN
 - THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
 - THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO-TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
 - METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
 - IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
 - DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 - DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
 - DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
- DESIGN LOADS
 - ROOF
 - TOP CHORD DEAD LOAD = 10 PSF
 - TOP CHORD LIVE LOAD = 20 PSF
 - BOTTOM CHORD DEAD LOAD = 10 PSF
 - BOTTOM CHORD LIVE LOAD = 0 PSF
 - WIND LOADING: SEE DESIGN LOADS SECTION ON SHEET S 001
 - NET WIND UPLIFT = 8 PSF
 - DEFLECTIONS
 - ROOF
 - MAXIMUM LIVE LOAD DEFLECTION = L/360, OR .625" MAXIMUM
 - MAXIMUM TOTAL LOAD DEFLECTION = L/240, OR 1.0" MAXIMUM
 - DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
- SUBMITALS
 - SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
 - SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
 - SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
 - INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

ROOF PLAN
 SCALE: 1/4"=1'-0"

- PLAN NOTES
- ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC, TYP UNLESS OTHERWISE NOTED.
 - 12" OVERHANGS AND 12" GABLE END EXTENSIONS, TYP.

MARK	BEAM SIZE	REMARKS
①	(3) SPF NO.2 2X10 OR BETTER	DROPPED GIRDER

EXTERIOR DOOR SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR
DR02	REAR ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR

- DOOR NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
 - ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
 - ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
 - ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

- DOOR HARDWARE SETS:**
- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

WINDOW SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES	
SH01	SINGLE HUNG	3'-0"	5'-0"	6'-8"	VINYL 1 OVER 1	
SH02	SINGLE HUNG	3'-0"	3'-0"	6'-8"	VINYL 1 OVER 1	
FIXED	FIXED WINDOW	3'-0"	2'-0"	SEE PLAN	VINYL 1 OVER 1	
TR01	TRANSOM	1'-0"	4'-0"	6'-8"	VINYL	

- WINDOW NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
 - ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
 - SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
 - NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
 - SAFETY GLAZING SHALL BE TEMPERED.

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2	FINAL PERMIT PLANS	10-18-2020	
1	CLIENT REVIEW	10-15-2020	

Project Location:
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WATCHTOWER
 homes & construction

GENERAL CONTRACTOR

APPROVED

ACTIVITY

SATISFACTORY TO DATE

DES: JRP3 | CHK: JRP3

NEW SINGLE FAMILY RESIDENCE

ROOF PLAN & DOOR AND WINDOW SCHEDULE

SCALE: 1/4"=1'-0"

PROJECT NO.: 2019-01

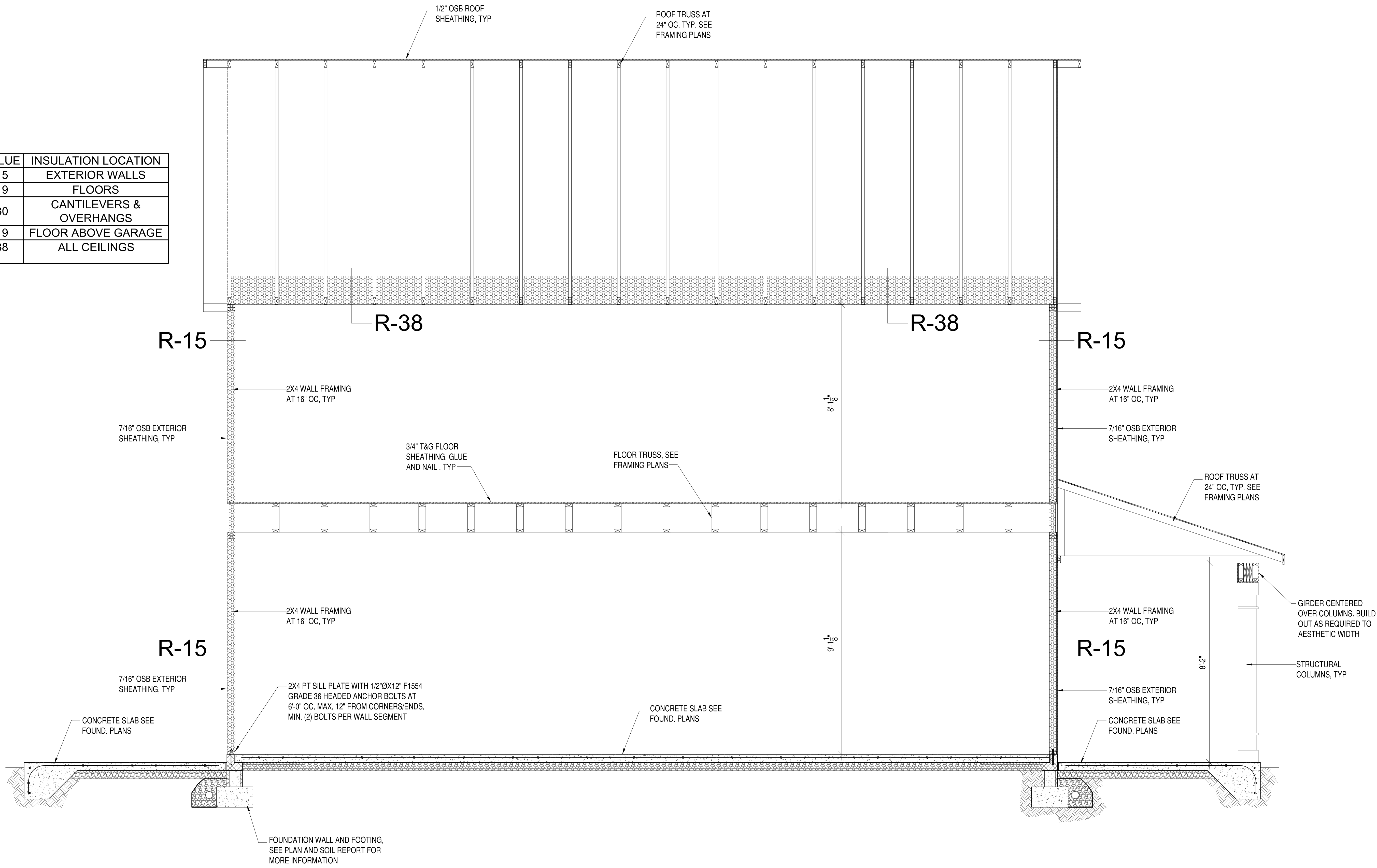
CONSTR. CONTR. NO.

DRAWING NO.

SHEET OF

A-102

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



SY#	DESCRIPTION	DATE	APPR.
2	FINAL PERMIT PLANS	10-18-2020	
1	CLIENT REVIEW	10-15-2020	

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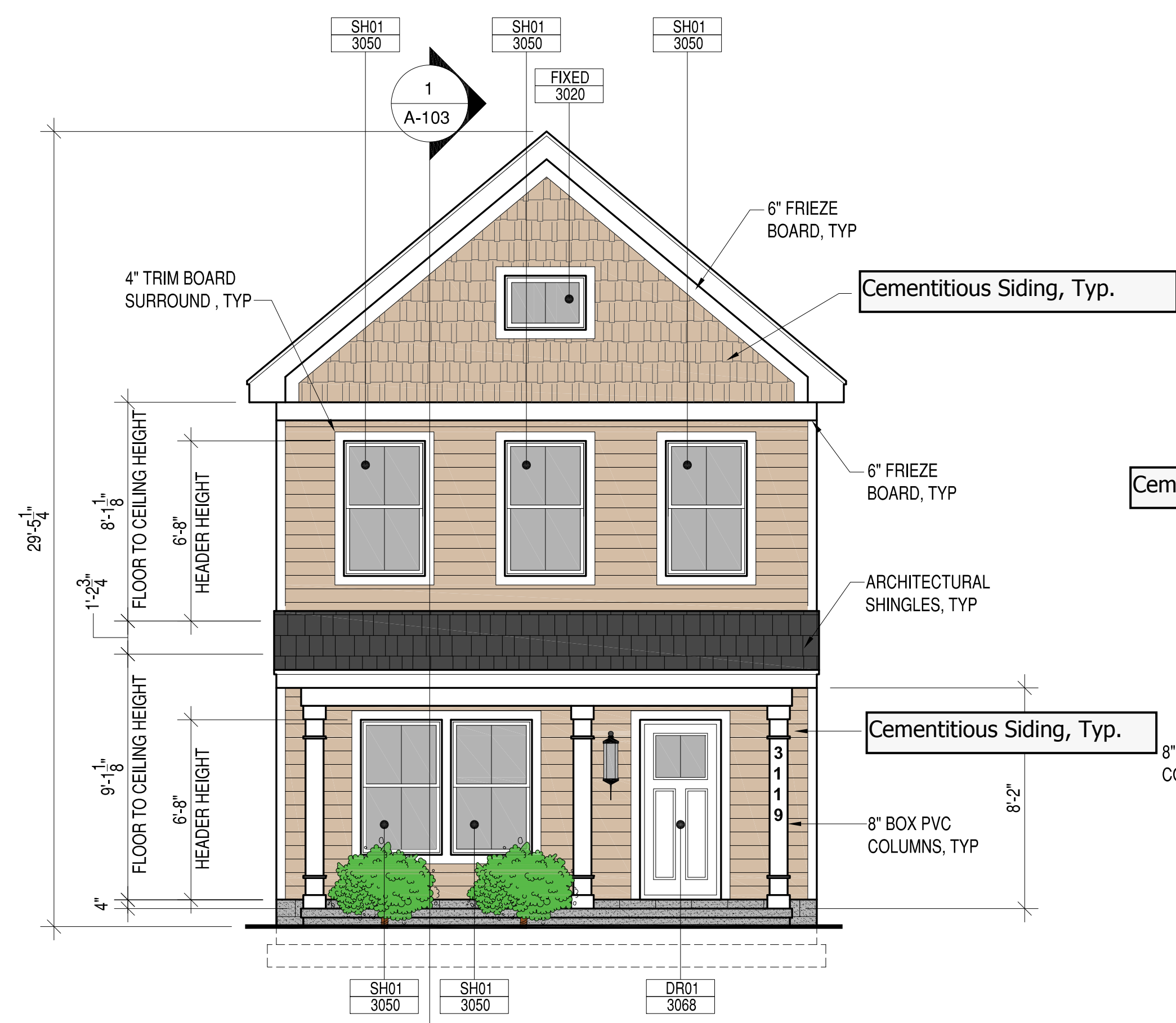


APPROVED
ACTIVITY
SATISFACTORY TO DATE
DES: JRP3 CHK: JRP3

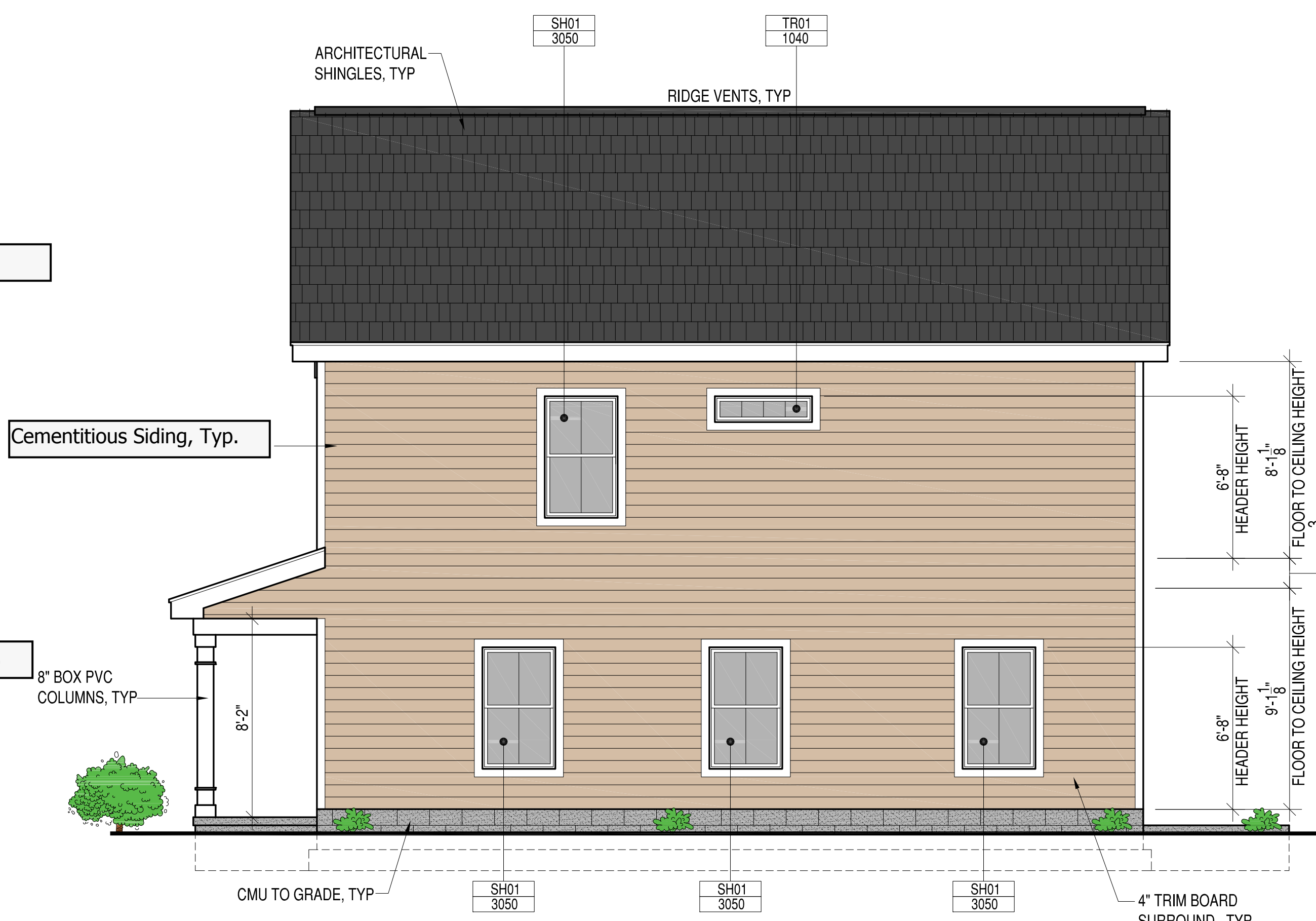
NEW SINGLE FAMILY RESIDENCE

BUILDING SECTION

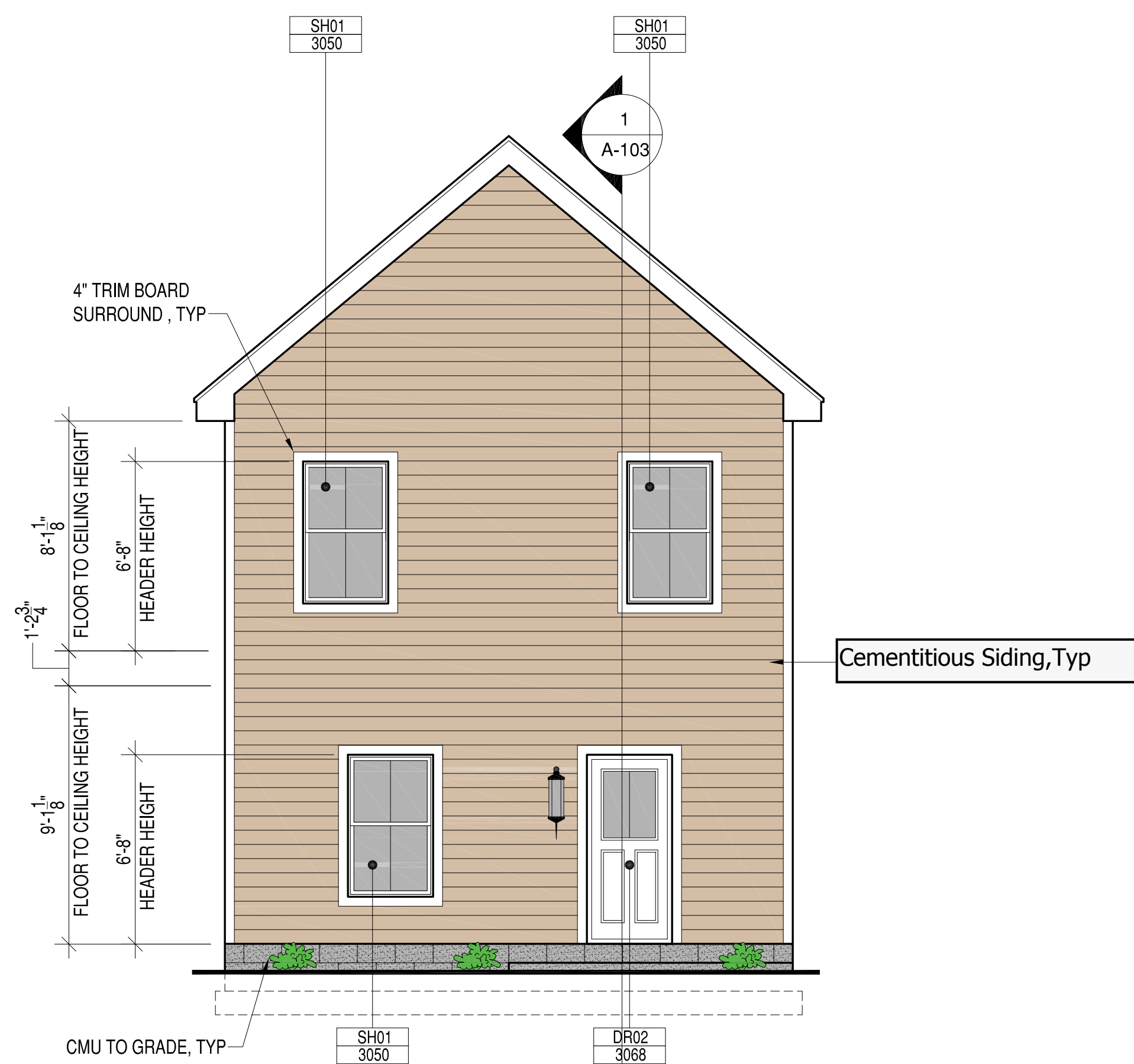
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PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-103



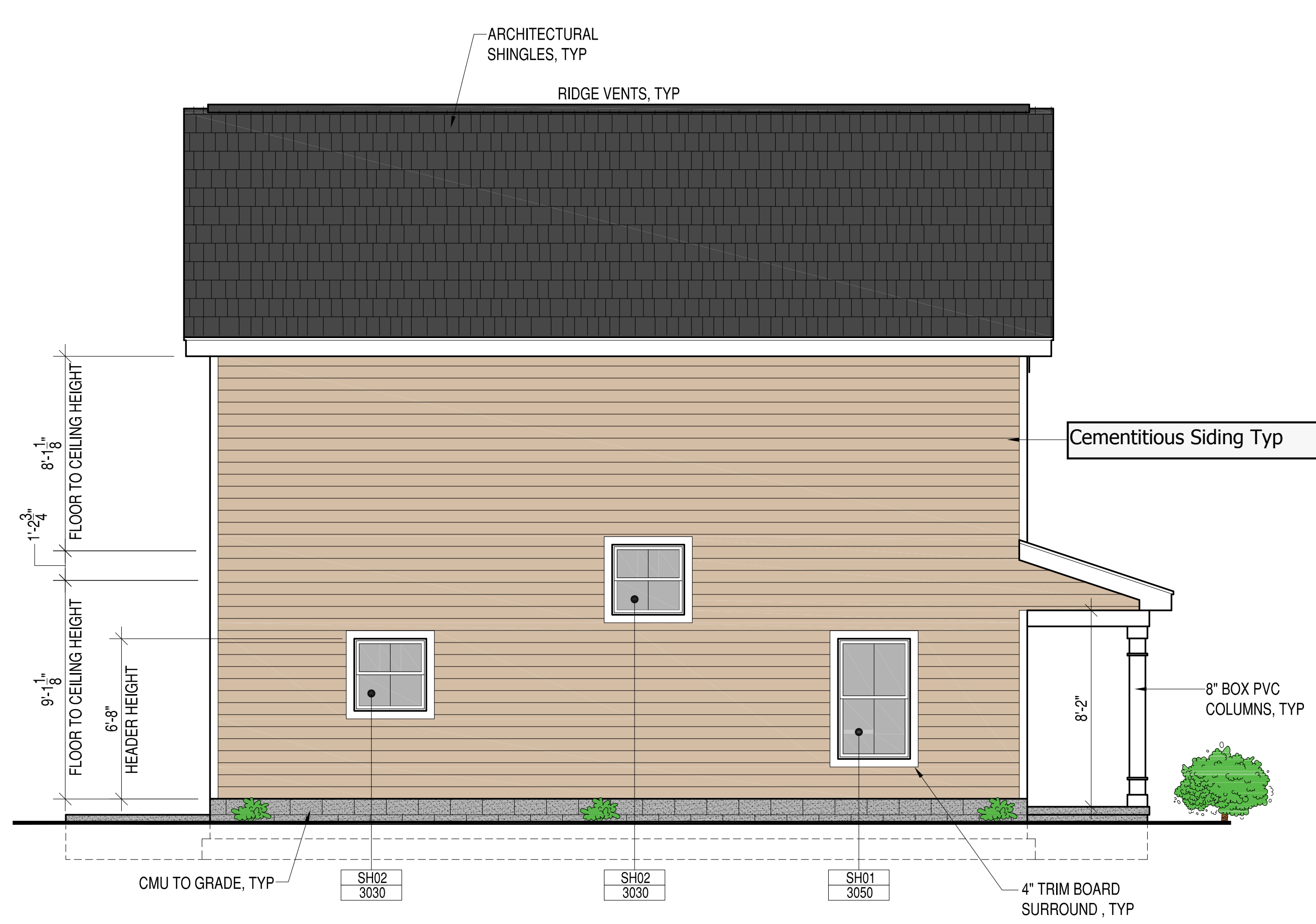
1 FRONT ELEVATION
A-201 SCALE: 1/4"=1'-0"



2 LEFT ELEVATION
A-201 SCALE: 1/4"=1'-0"



3 REAR ELEVATION
A-201 SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION
A-201 SCALE: 1/4"=1'-0"

EXTERIOR SIDING
FINISH COLORS TO
VARY WITH EACH
HOUSE

NO.	DESCRIPTION	DATE	APPROVED
2	FINAL PERMIT PLANS	10-18-2020	
1	CLIENT REVIEW	10-15-2020	

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APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW JRP3 CHK JRP3

NEW SINGLE FAMILY RESIDENCE
FRONT, REAR, RIGHT AND LEFT ELEVATIONS

SCALE: 1/4"=1'-0"
PROJECT NO: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-201

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.

CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.

MASONRY

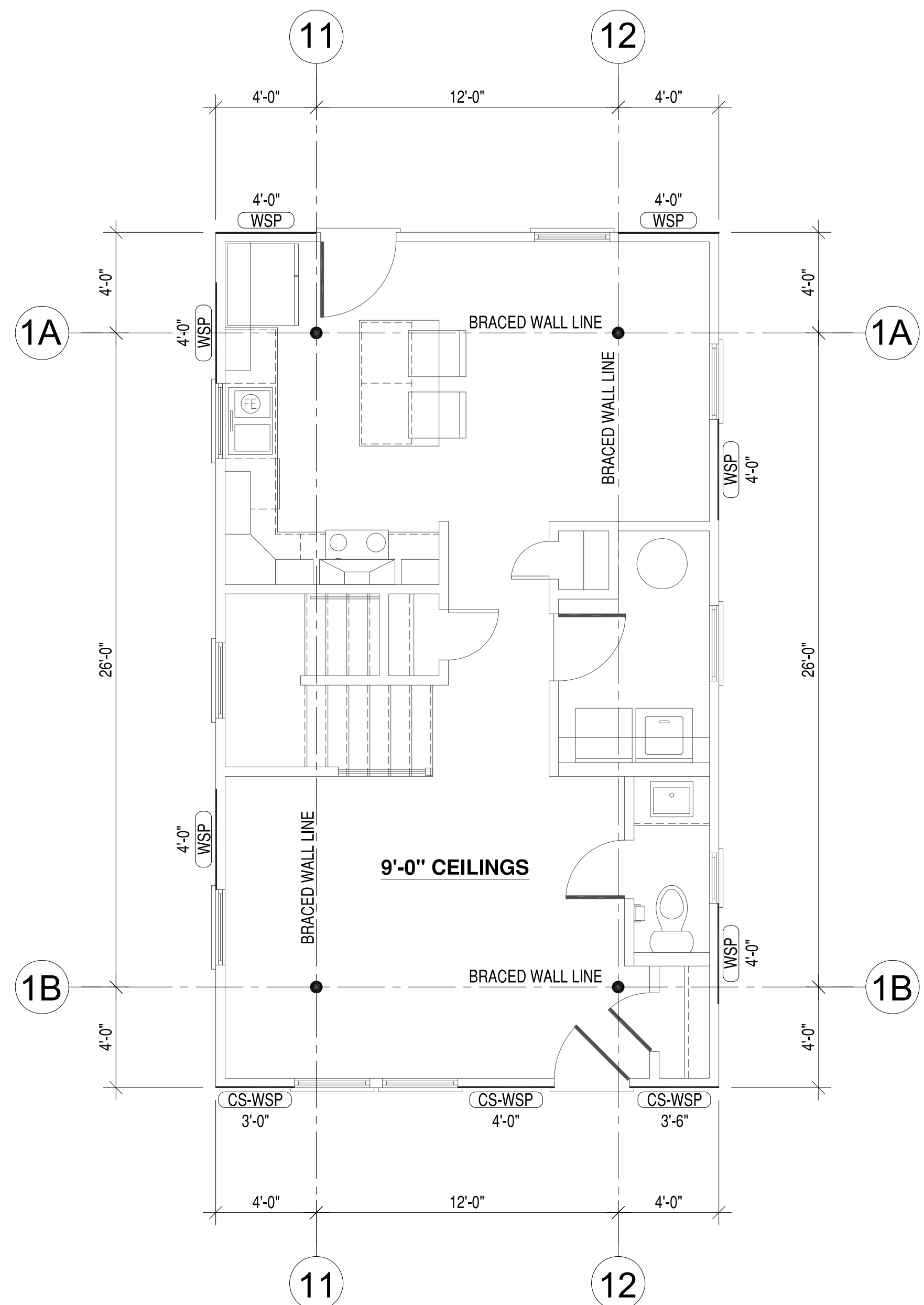
- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.

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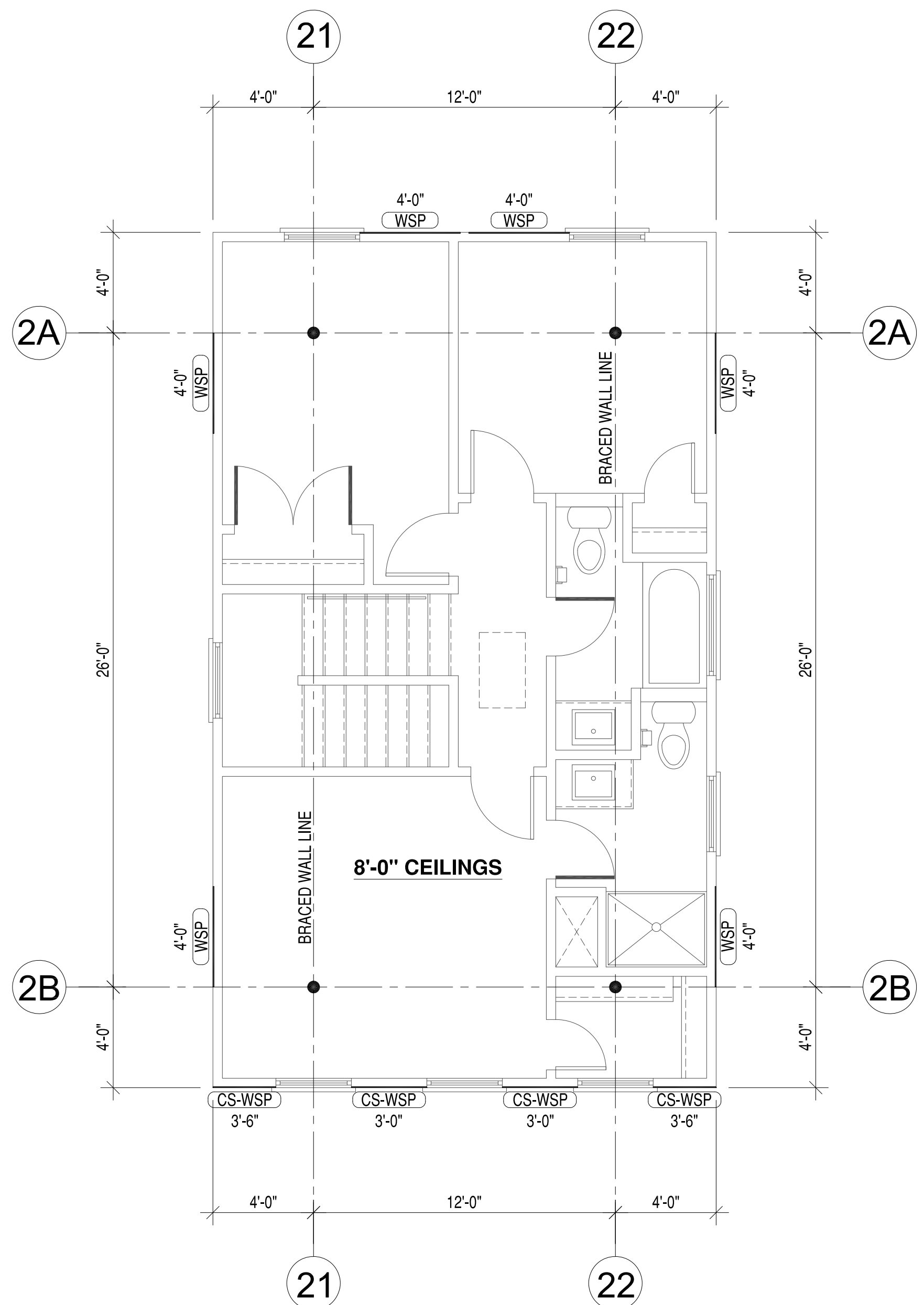


NEW SINGLE FAMILY RESIDENCE STRUCTURAL GENERAL NOTES

SCALE: 1/4"=1'-0" PROJECT NO.: 2019-01 CONSTR. CONTR. NO. DRAWING NO. SHEET OF S-001



FIRST FLOOR BRACED WALL PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR BRACED WALL PLAN
SCALE: 1/4"=1'-0"

- BRACED WALL PLAN NOTES:**
1. DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10.
 2. DESIGN BASED ON 90 MPH WIND SPEED, SEE CALCULATIONS.
 3. CLASSIC WALL BRACING METHOD USED.
 4. ——— DENOTES BRACED WALL PANELS.
 5. BLOCK HORIZONTAL SHEATHING JOINTS AT ALL BRACED WALL LINES AT FIRST FLOOR AND BRACED WALL LINES 2A AND 2B AT SECOND FLOOR.

NO.	DATE	DESCRIPTION	APPROVED
2	10-18-2020	FINAL PERMIT PLANS	
1	10-15-2020	CLIENT REVIEW	

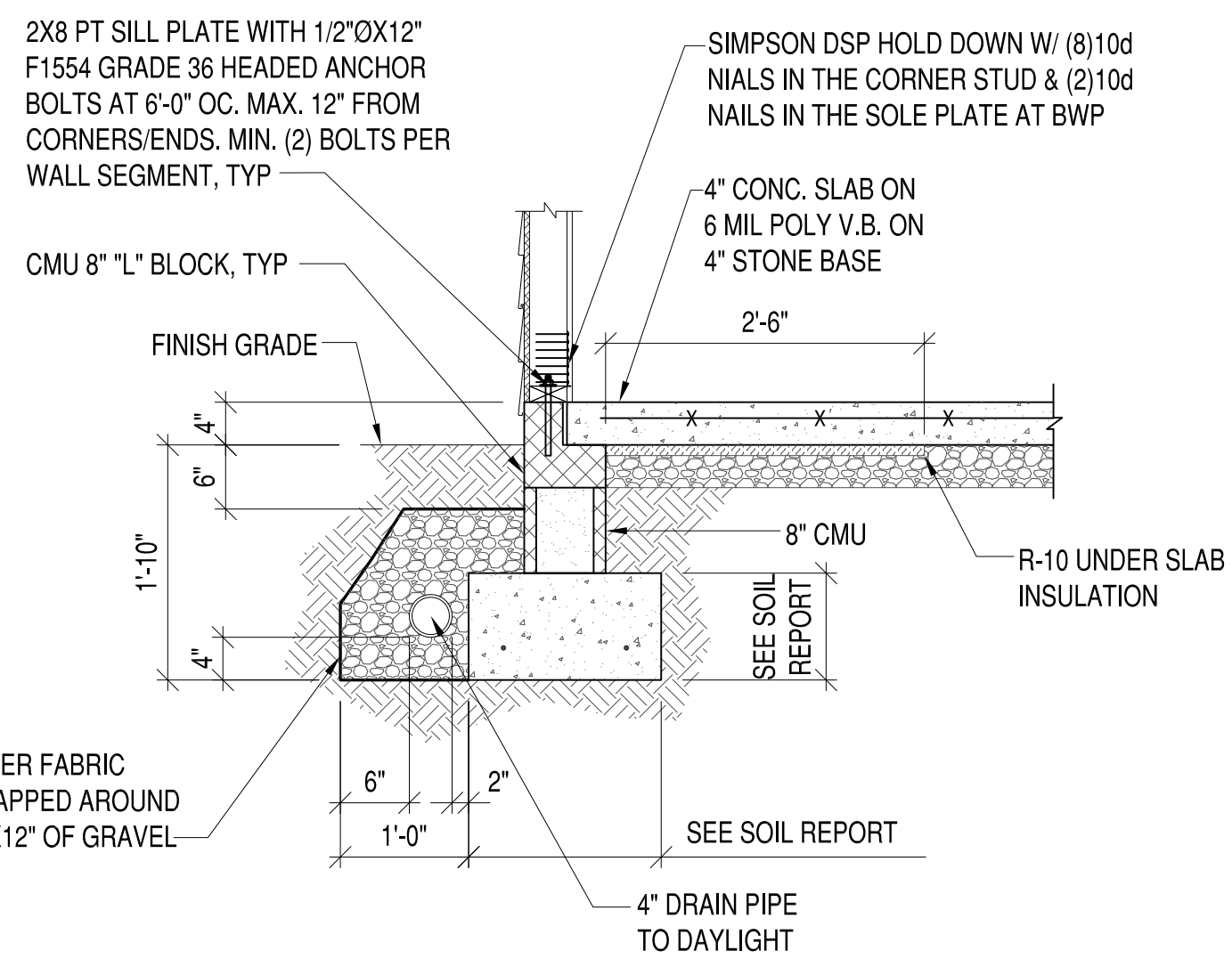
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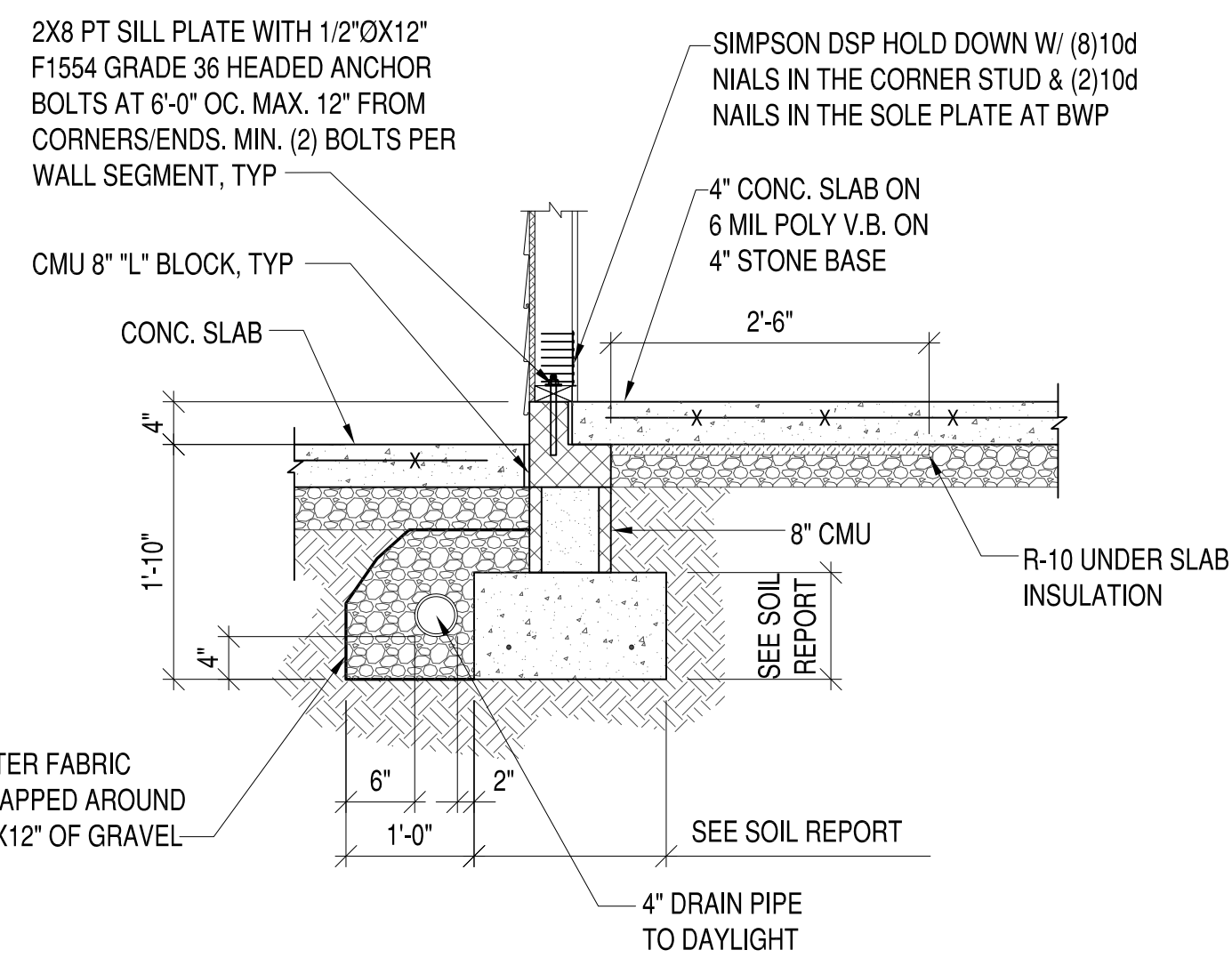
APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW JRP3 Chk JRP3

NEW SINGLE FAMILY RESIDENCE
FIRST & SECOND FLOOR BRACED WALL PLAN

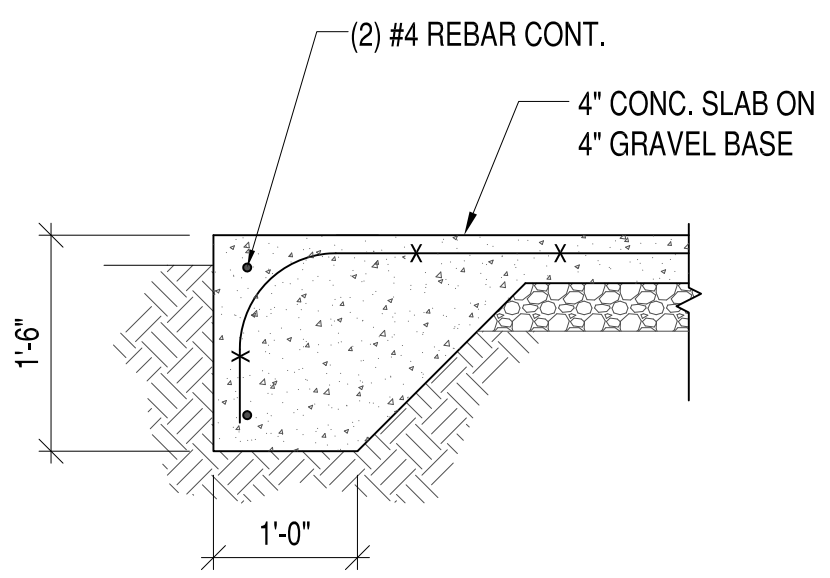
SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-102



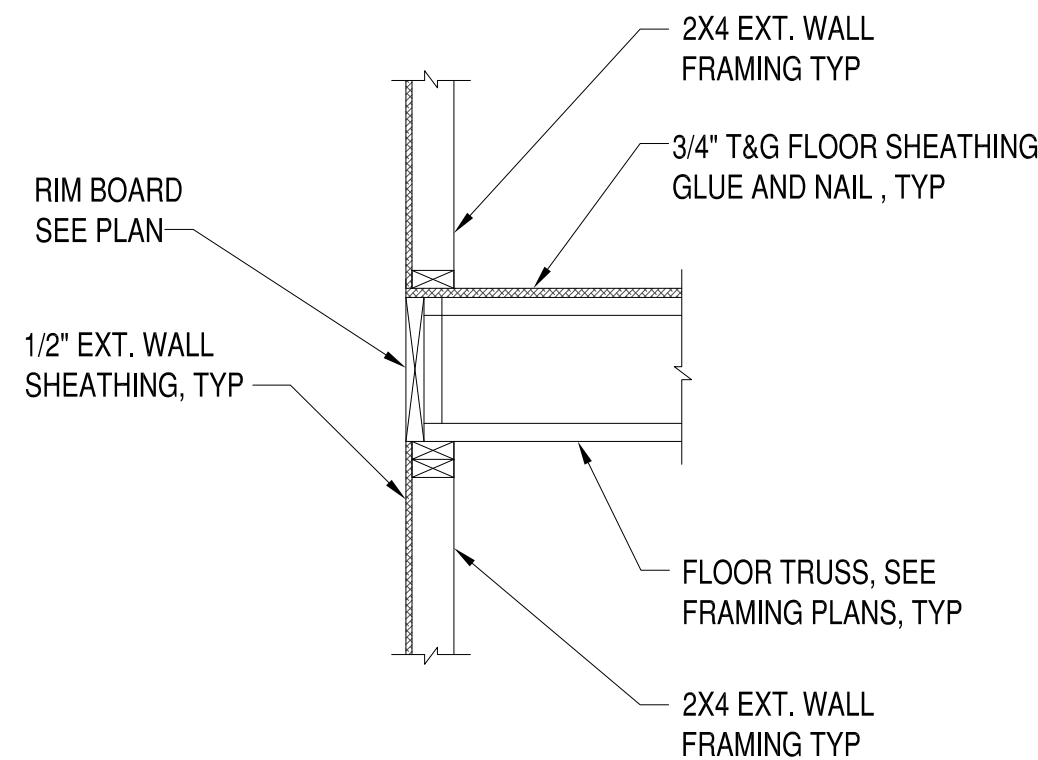
1 TYP. FOUNDATION SECTION
S-201 3/4"=1'-0"



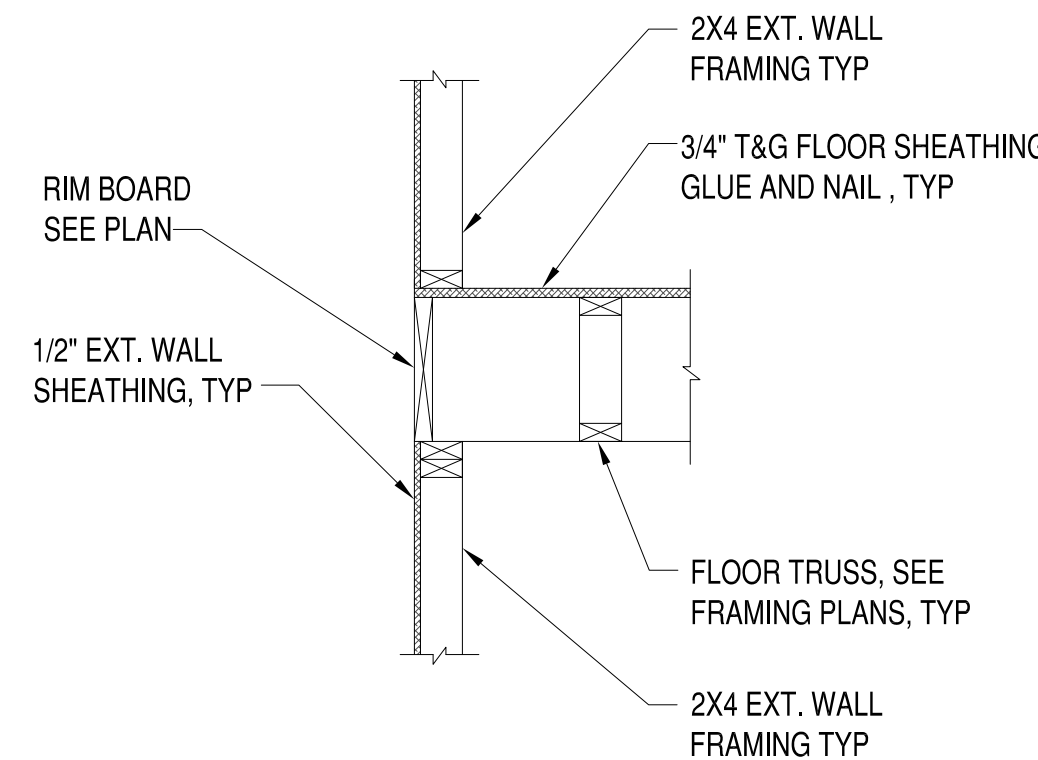
2 FOUNDATION SECTION AT PORCH
S-201 3/4"=1'-0"



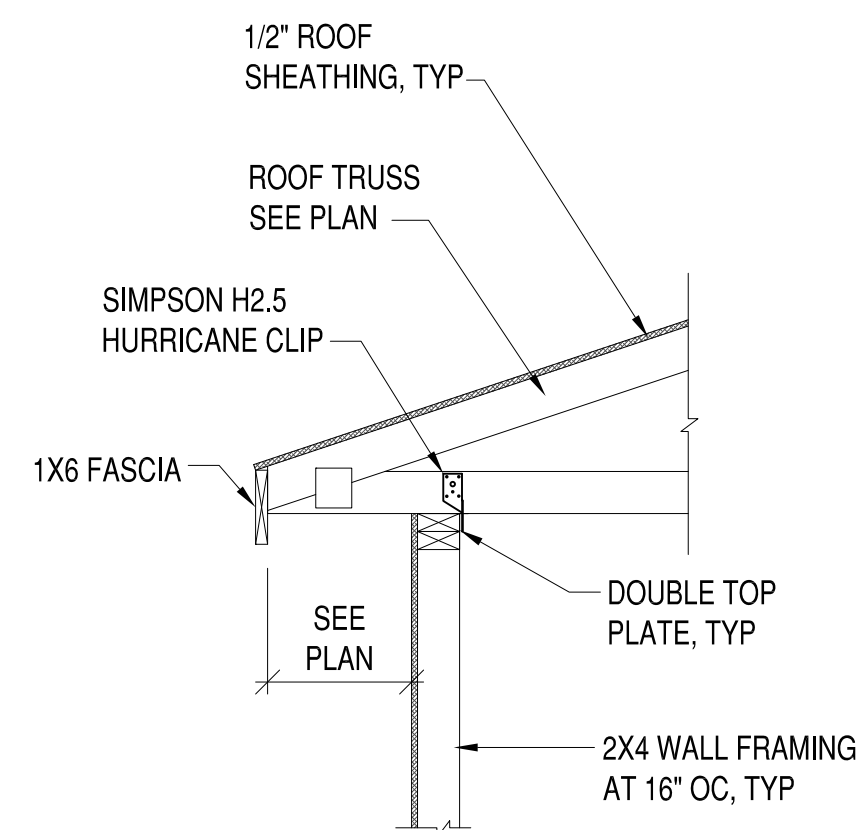
3 FOUNDATION SECTION AT PORCH EDGE
S-201 3/4"=1'-0"



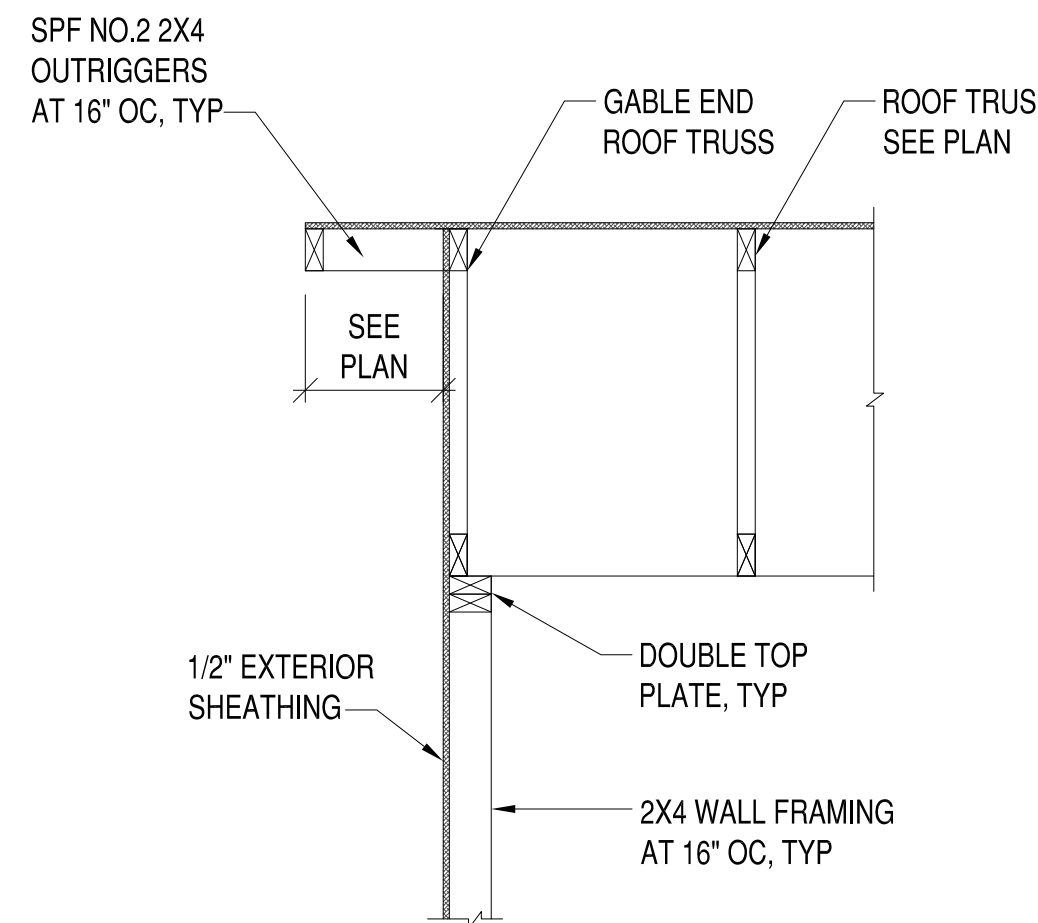
4 SECTION AT 2ND. FLOOR JOIST
S-201 3/4"=1'-0"



5 SECTION AT 2ND. FLOOR JOIST
S-201 3/4"=1'-0"



6 SECTION @ ROOF TRUSS
S-201 3/4"=1'-0"



7 SECTION @ ROOF GABLE END
S-201 3/4"=1'-0"

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APPROVED
ACTIVITY
SATISFACTORY TO DATE
DES: [initials] DRW: JRP3 CHK: JRP3

NEW SINGLE FAMILY RESIDENCE
TYPICAL FOUNDATION AND FRAMING SECTIONS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-201