



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2701 East Grace Street
Historic district St. John's Church

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Amelie Rennolds
Company _____
Mailing Address PO Box 334
Pawling, Ny 12564

Phone 212-982-8281
Email mail@arrenolds.com
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

The project consists of the following: remove existing rear deck and steps, construct new rear steps, replace door to deck with window, remove insect screening on lower rear porch, relocate HVAC units to roof, replace dilapidated wood fencing with new 6'-6" high stained wood board fence, construct a new one story wood framed 6' x 11" addition on south elevation. The 1905 Sanborn's map shows a previous one story porch appendage in this location.

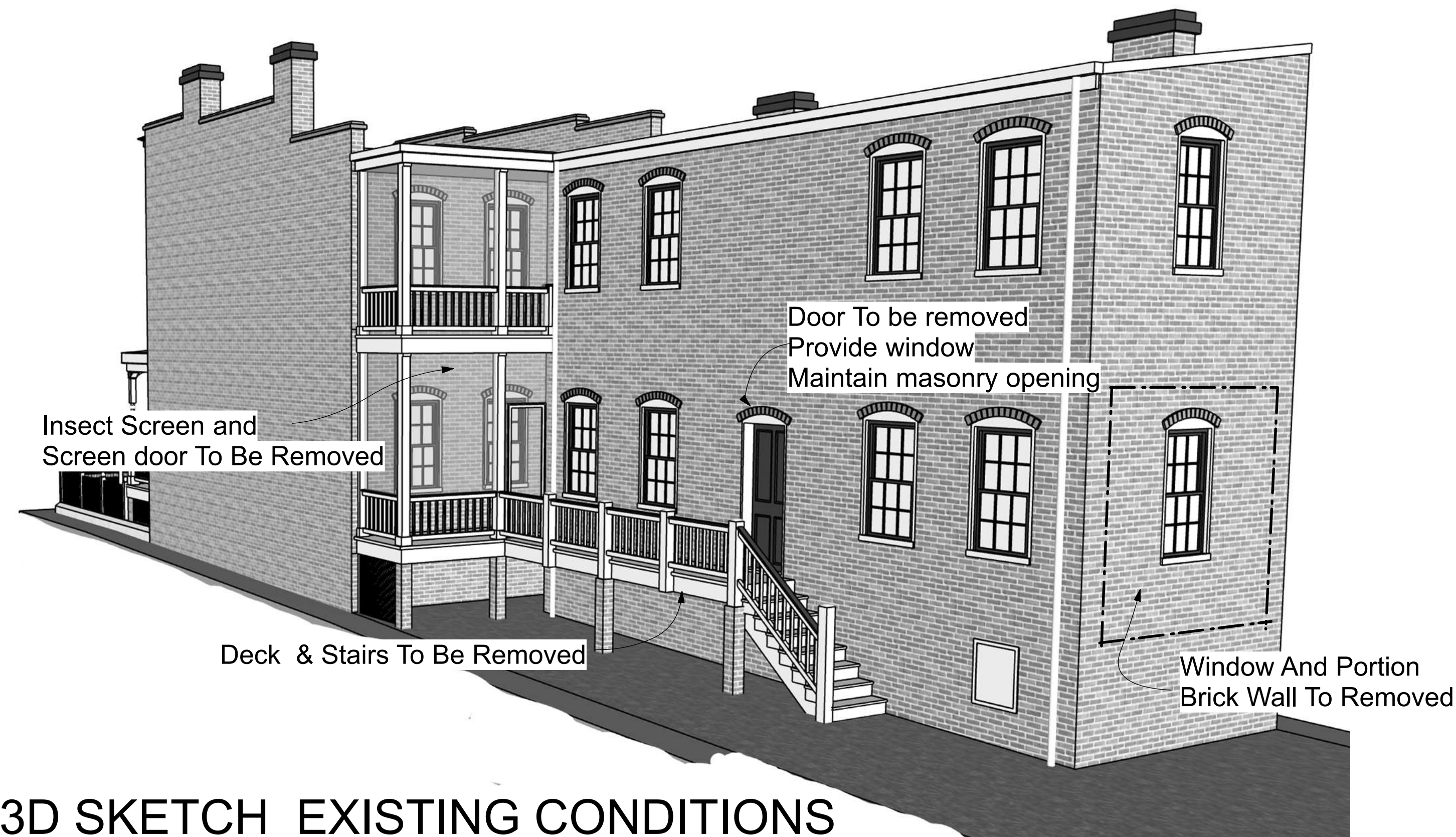
ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

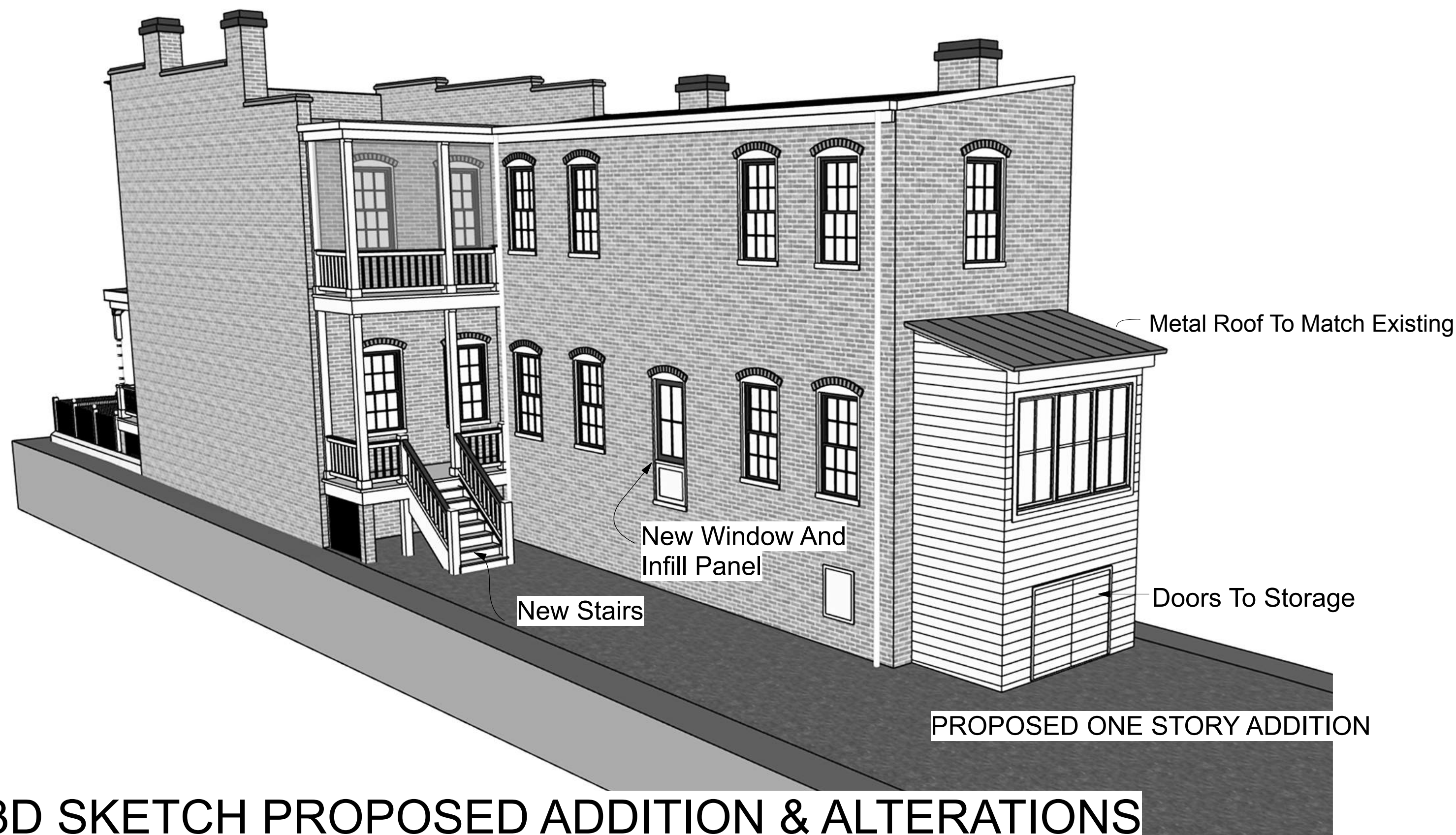
Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner _____ Date _____



3D SKETCH EXISTING CONDITIONS



3D SKETCH PROPOSED ADDITION & ALTERATIONS

DRAWING LIST

A-1 COVER SHEET, PROJECT DRESCRIPTION & SKETCHES

A-2 SITE PLAN, ZONING CALCULATIONS & 1905 SANBORNS MAP

A-3 EXISTING HOUSE PHOTOGRAPHS

A-4 EXISTING & PROPOSED PLANS

A-5 EXTERIOR ELEVATIONS

A-6 WINDOWS, WALL SECTION, PAINT COLOURS & FENCE

PROJECT DRESCRIPTION

This semi attached townhouse, built around 1880, is a two-story brick structure with a one story front porch facing Grace street, a two story screened side porch and open deck on 27th street.

SIDE PORCH AND DECK STEPS

The deck and steps are in poor condition. The deck will be removed and the steps will be relocated so they lead directly to the first floor porch. The existing insect screen on the lower porch will be removed. The two porch doors are 4 panel painted wood. These doors will be modified by replacing the two upper wood panels with glass inserts.

In removing the deck, the side kitchen door is no longer accessible so the door will be replaced with a casement window and an infill panel below, therefore maintaining the original masonry opening.

HVAC

The two exterior HVAC units at grade will be relocated to the roof and will be set back so that they will not be visible from the street.

FENCE

The existing wood fence and gate are in poor condition and will be replaced with a stained wood fence and gate.

PROPOSED ADDITION

A 66 SF single story addition is proposed at the rear of the kitchen wing. The 1905 Sanborn's Map shows a one story wood appendage at this location, indicating a precedent.

MATERIALS

The existing porch construction is painted wood with Azek type floor decking. All existing windows are painted wood with aluminum storm/ insect screen sashes. All existing roofs are painted metal flat seam.

The proposed alterations will use the following materials:

Steps to be painted azek with azek deck treads. Railing to be painted azek.

The addition walls are to be clad with painted cement fiber board horizontal lap siding with 6" exposure.

The addition roof will be flat seam painted metal to match the existing house roof.

New windows to be Jeld- Wen aluminum clad wood casement windows with insulated glass and simulated divided lights.

All colors to conform to approved Historic district CAR palette.

11-16-19

This is to certify that this plat or map was prepared under my direction from an actual field survey without the benefit of a title report. Unless otherwise noted, to the best of my knowledge and belief all visible evidence of improvements, easements and apparent encroachments are shown hereon. Not all easements may be shown.

EAST FRANKLIN STREET
66'± R\W

Gravel Alley
N52°50'11"W
23.74'

OHUTIL
OHUTWire
Rod(f)
0.34'
North

0.090 Acre
REPLACE FENCE

Stewart T. & Billie Hobbs Leeth
Inst: 09600-25058
Parcel ID: E0000485002

PROPOSED ADDITION
0.1' inside R

11'-0"
Brick Walk
13.2'

41.2'
Deck
HVAC
4.2'

14.8'
#2701 2 Story Brick

31.4'
#2703 & 2705 2 Story Frame

22.2'
0.2' inside line

1.4'
Conc. Wall
Brick Walk
30.6'

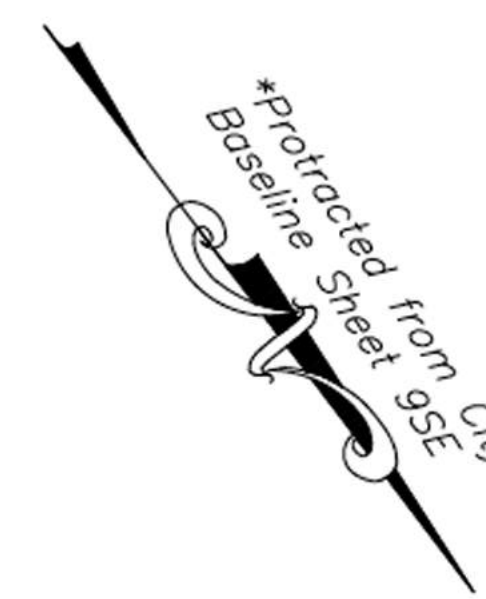
Rod(f)
0.36'
S\|E

*S52°50'11"E
23.74'

Water Meter
Lamp Post
Water Meter

EAST GRACE STREET
66'± R\W

NORTH 27th STREET
66'± R\W



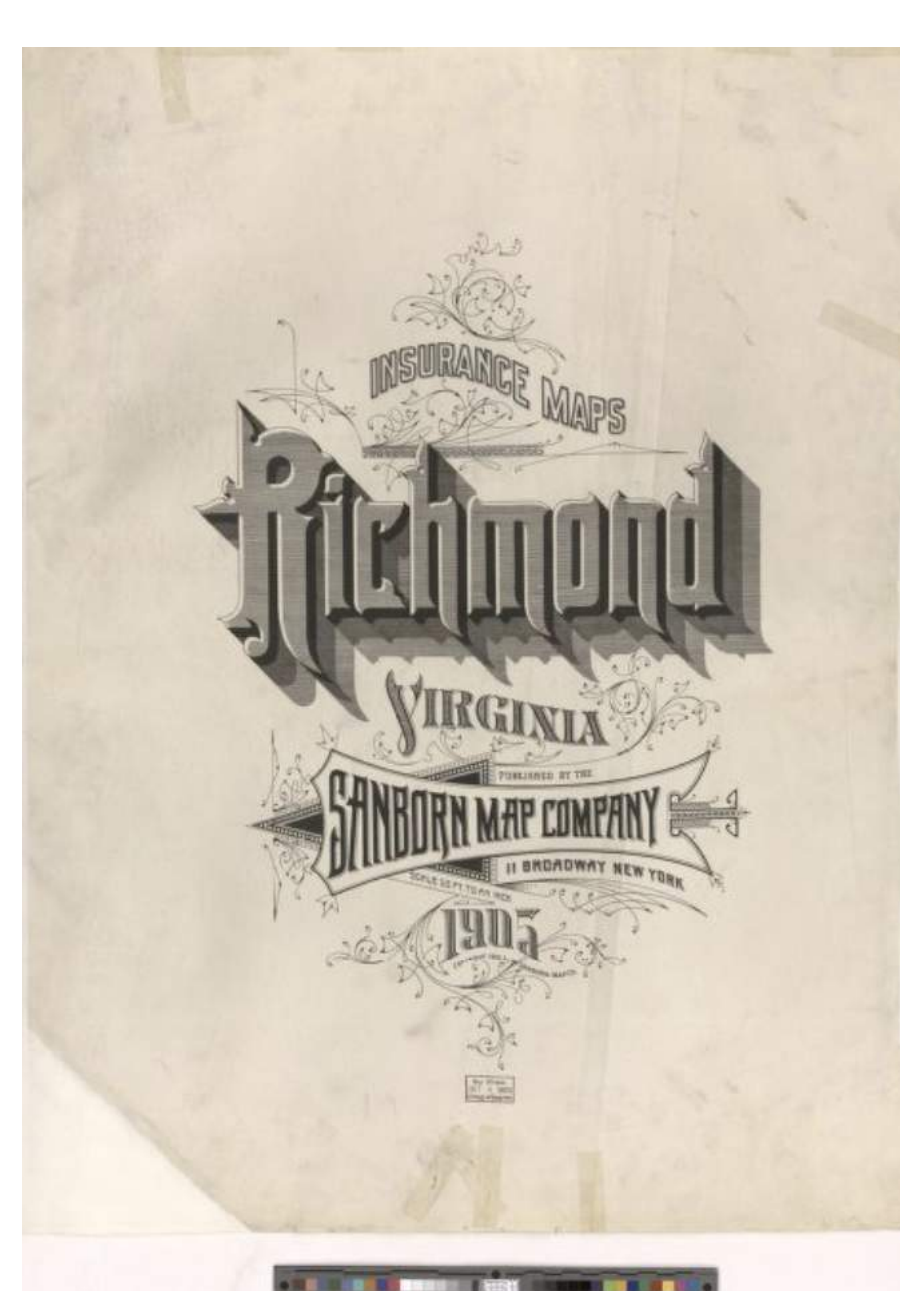
Current Owner:
Marya Olgas & Susan L. Carney,
Trustees
Inst: ID2016-11782
Parcel ID: E0000485001
#2701 East Grace Street.
DB: 764 PG: 1495

PUR: Amelie Rennolds & Robert Schulz
DATE: 04/25/2019
SCALE: 1"=20'
JOB NO.: 55190092.MS
DRAWN BY: DAD
CHECKED BY: JAB

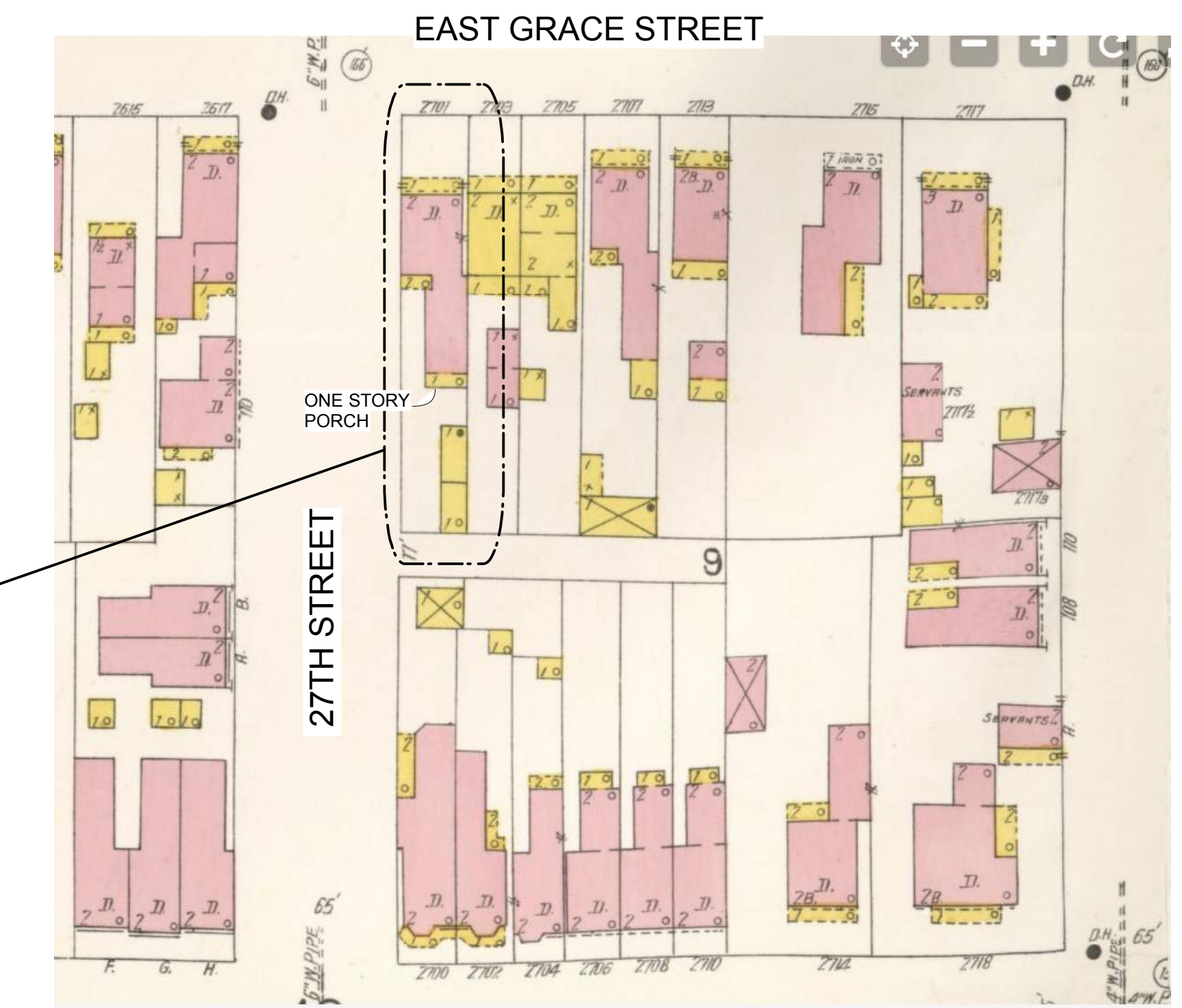
IMPROVEMENTS ON #2701 EAST GRACE STREET
CITY OF RICHMOND, VIRGINIA



PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.com



SANBORNS 1905 MAP



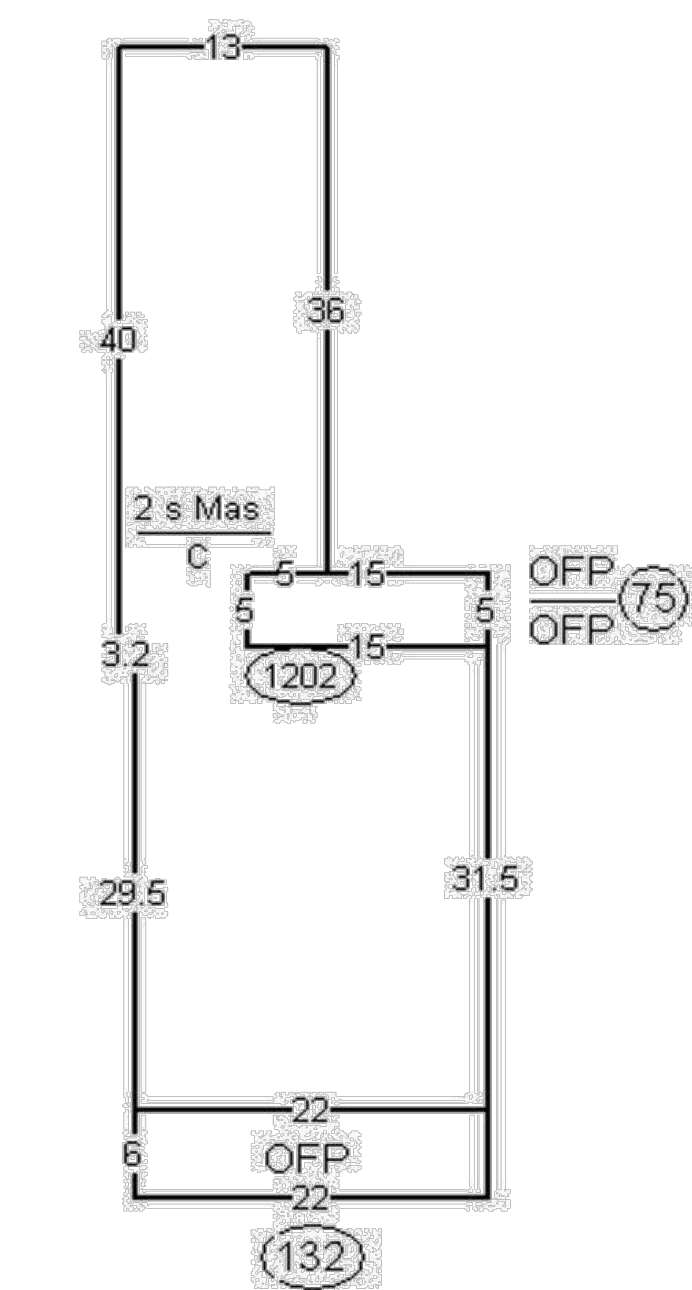
Enlarged Map

ZONING CALCULATIONS

ZONING DISTRICT R6- residential single Family
St John's Church Historic District
23.74' X 165' =
3917.1 SF TOTAL PARCEL SIZE

Code Section 30.412.6
MAX allowable coverage: 55%
Total permitted coverage is 2154.4 SF

EXISTING HOUSE Footprint: 1409 SF
Proposed addition : 66 SF
Total Proposed SF 1475 SF, complies



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Richmond, Virginia

Amelie Rennolds
Architect
212-982-828 mail@arrenolds

SITE PLAN, ZONING
CALCULATIONS & SANBORNS MAP

Not to scale

A-2



GRACE STREET NORTH ELEVATION



HVAC UNIT TO BE REMOVED

DECK AND STEPS TO BE REMOVED

27TH STREET WEST ELEVATION



FENCE AND GATE TO BE REPLACED

27TH STREET WEST ELEVATION-



HVAC UNIT/ WOOD FENCE TO BE REMOVED, ELECTRICAL EQUIPMENT TO BE RELOCATED

REAR GARDEN SOUTH ELEVATION

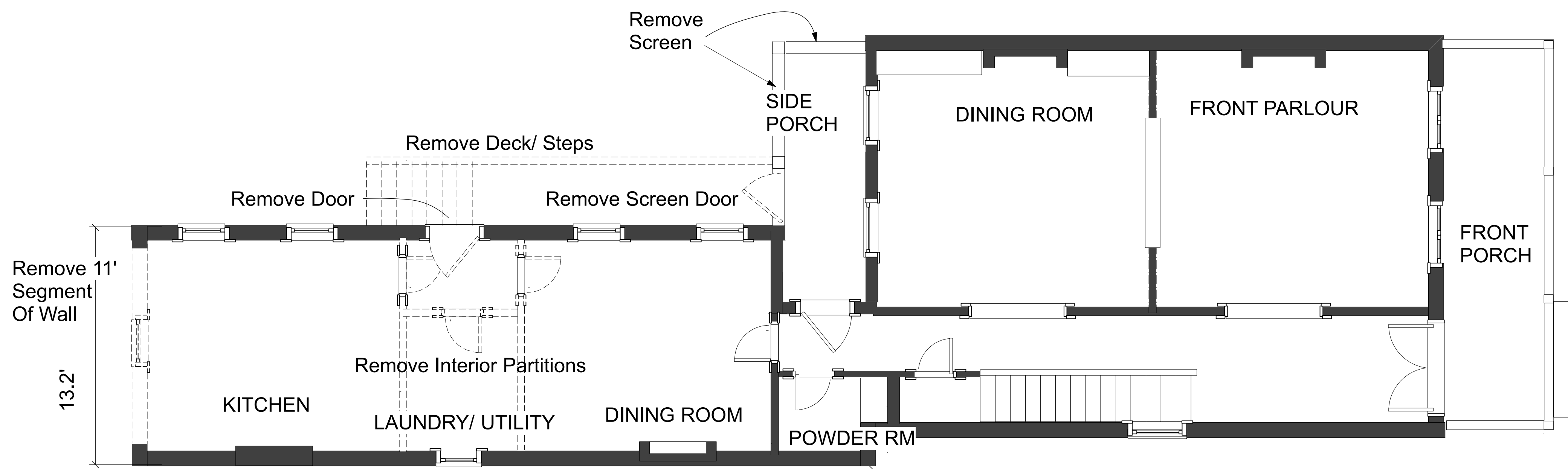
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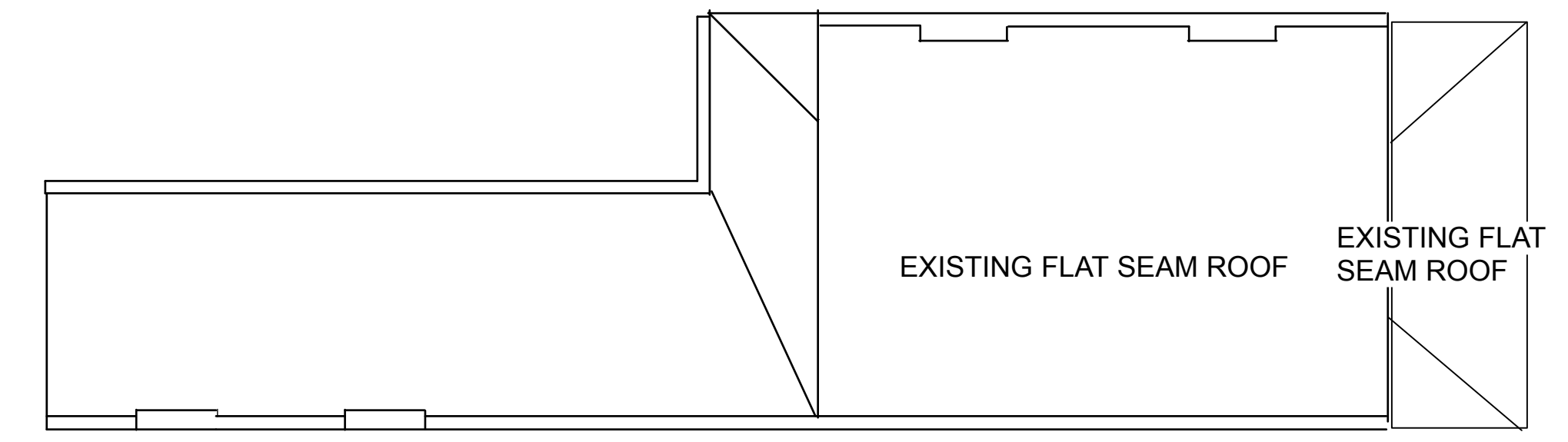
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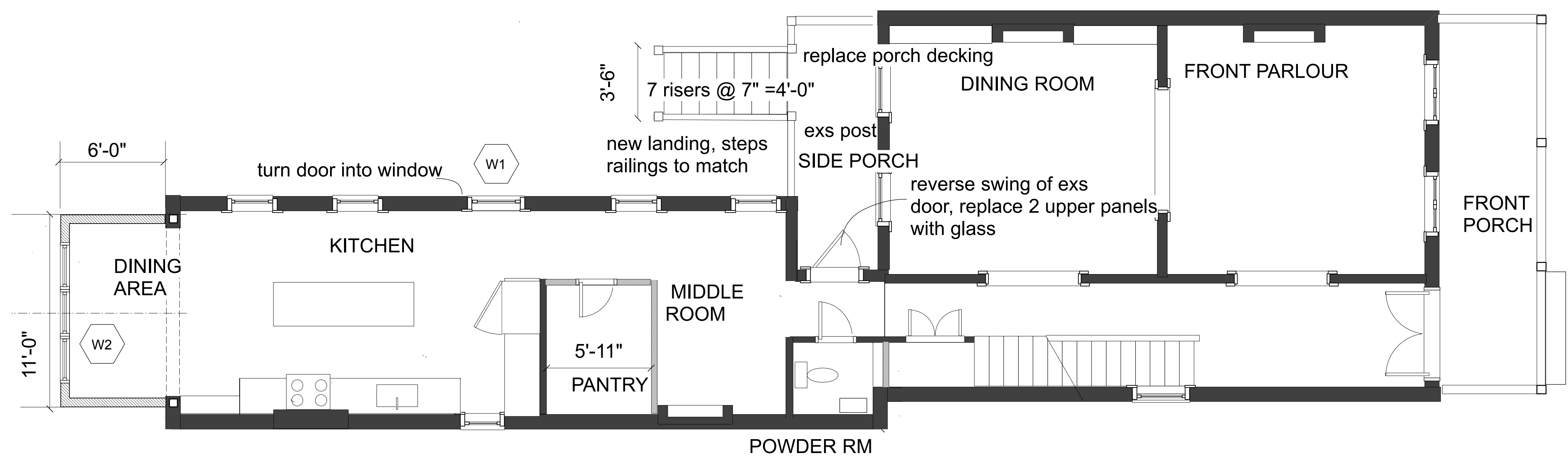
EXISTING HOUSE
PHOTOGRAPHS



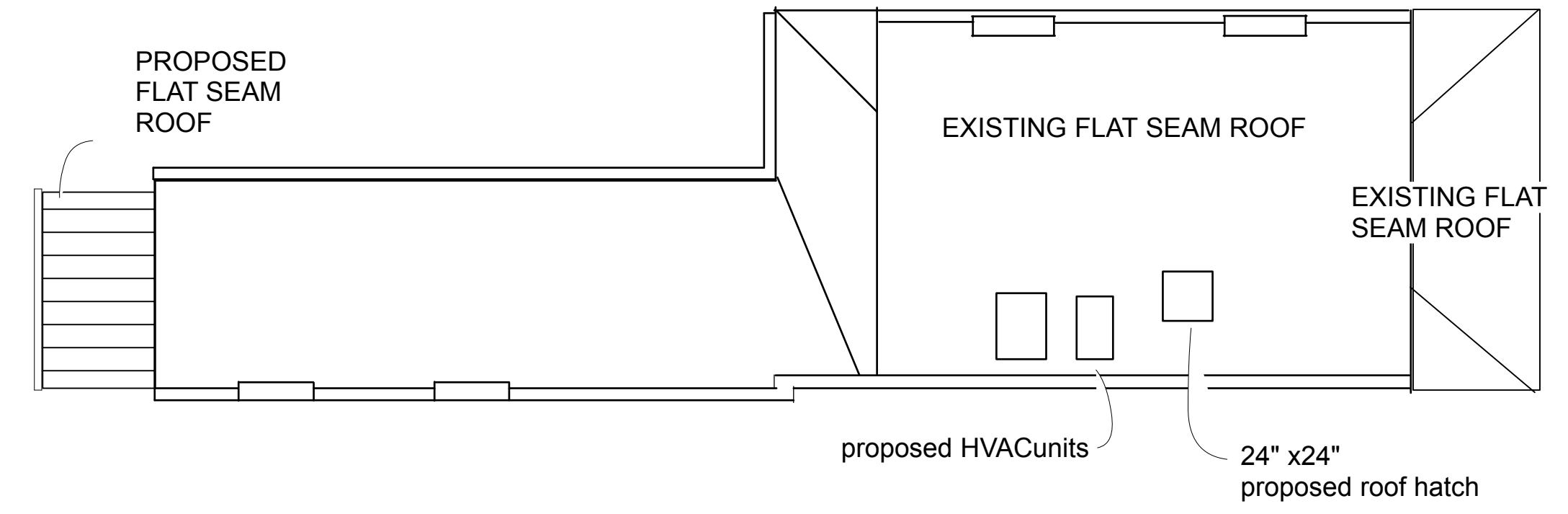
1) EXISTING CONDITIONS PLAN & DEMOLITION FIRST FLOOR
1/4" = 1'-0"



3) EXISTING ROOF PLAN
1/8" = 1'-0"



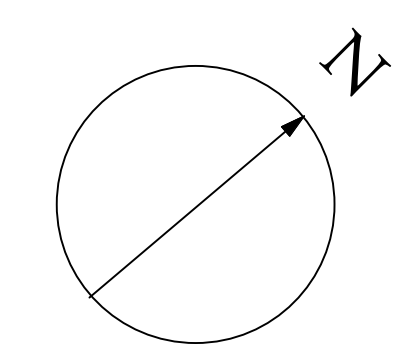
2) FIRST FLOOR PROPOSED FLOOR PLAN
1/4" = 1'-0"



4) PROPOSED ROOF PLAN
1/8" = 1'-0"

LEGEND

	Existing
	Demolition
	New Walls



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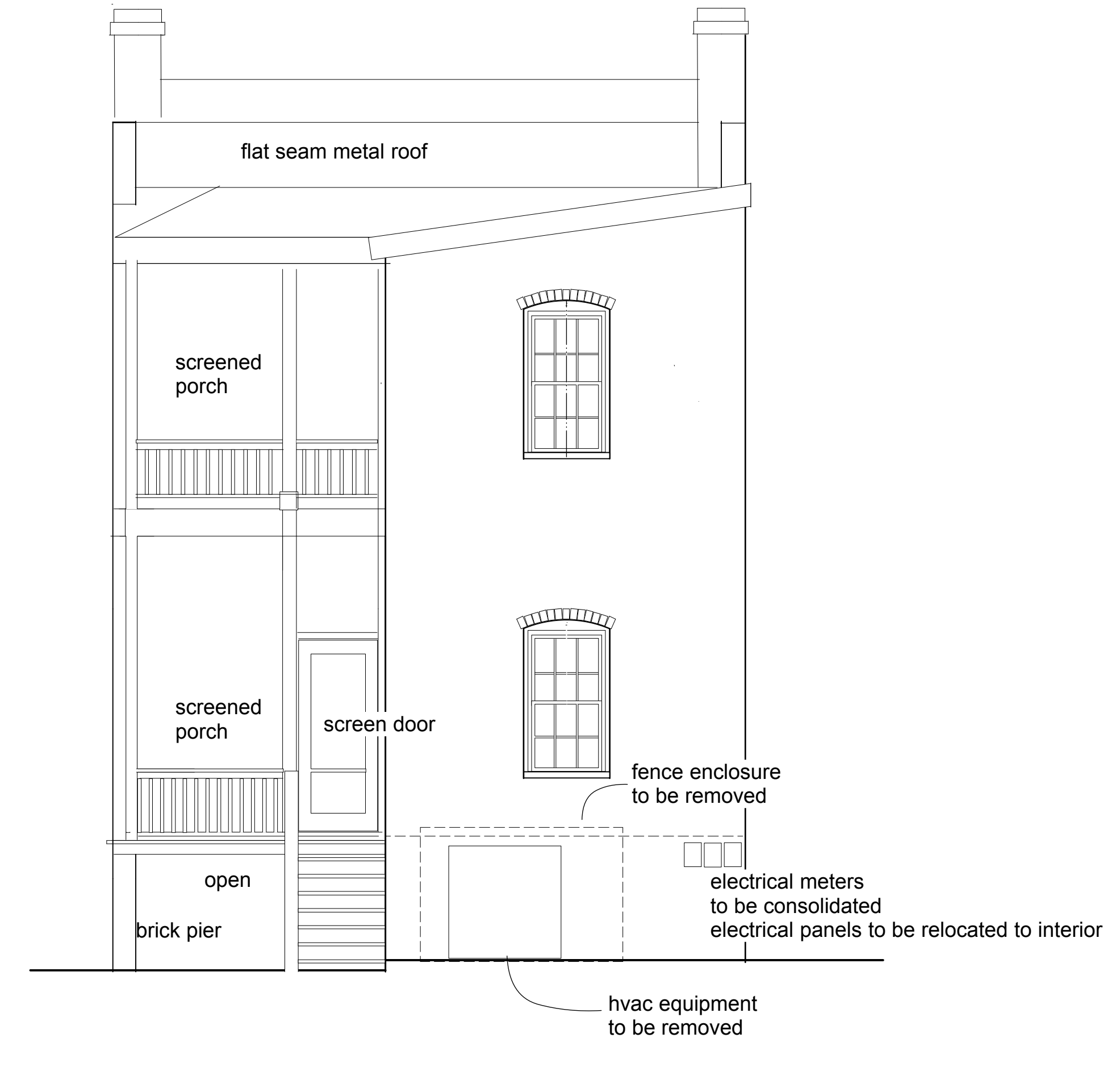
Amelie Rennolds
Architect
212-982-828 mail@arrennolds

EXISTING &
PROPOSED PLANS
scale: as noted

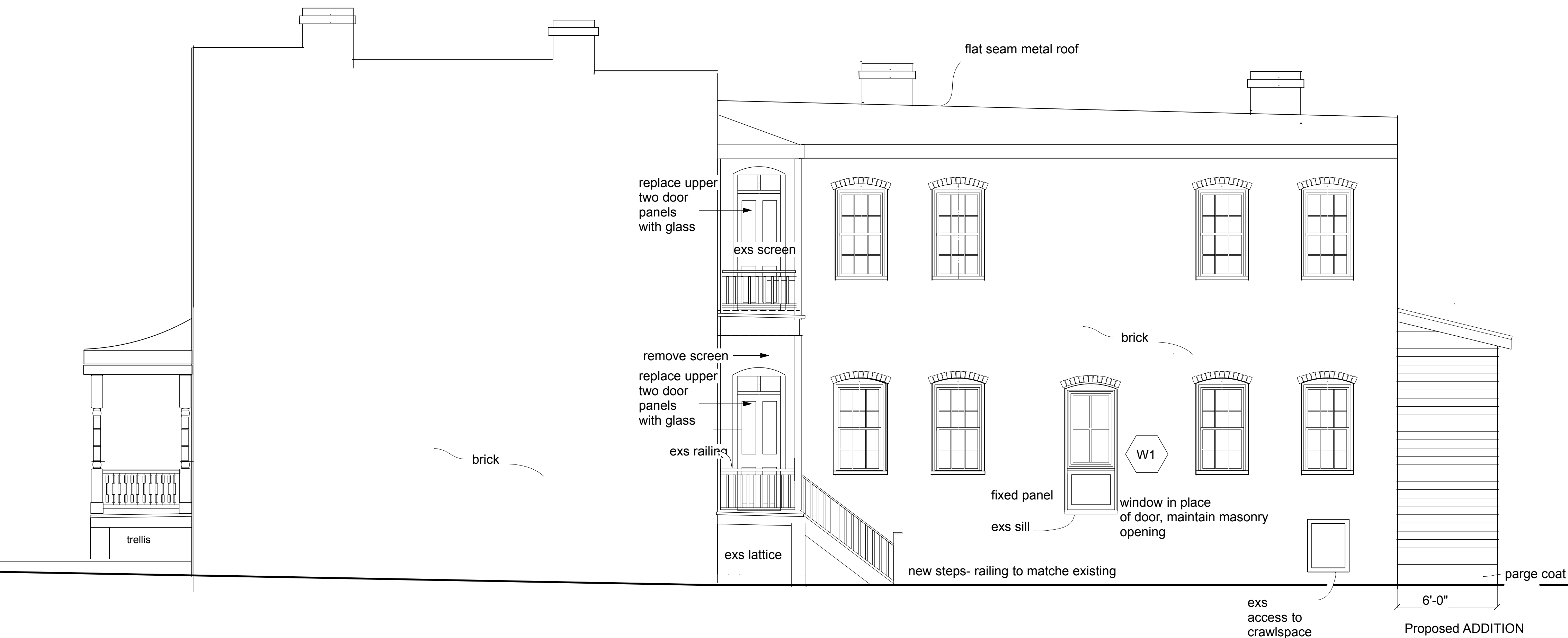
A-4



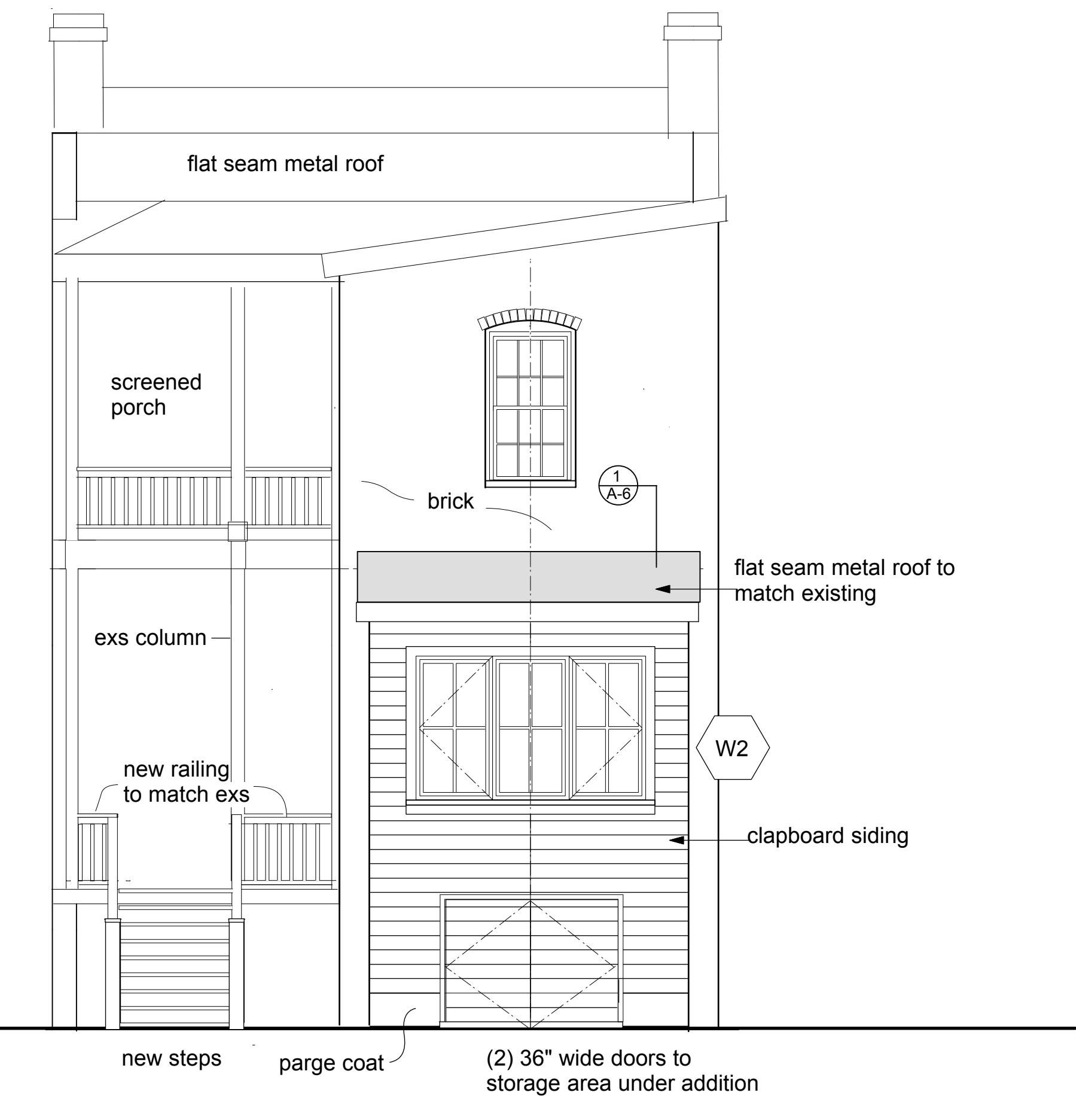
1) EXISTING WEST ELEVATION - 27TH STREET



2) EXISTING SOUTH ELEVATION



3) PROPOSED WEST ELEVATION - 27TH STREET

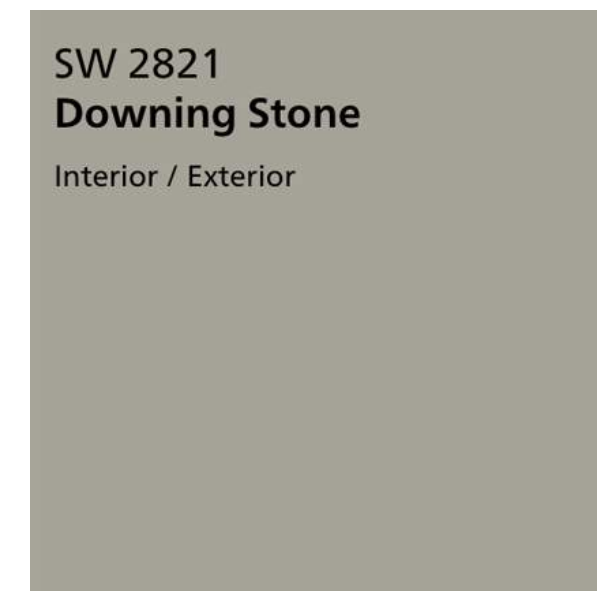


4) PROPOSED SOUTH ELEVATION

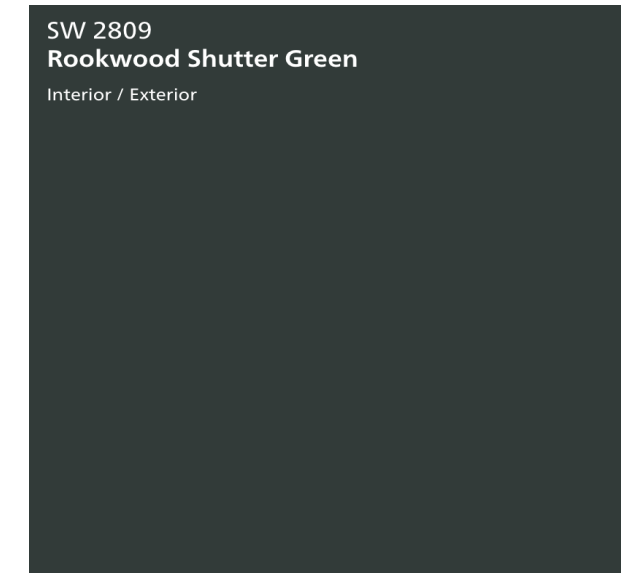
11-18-19



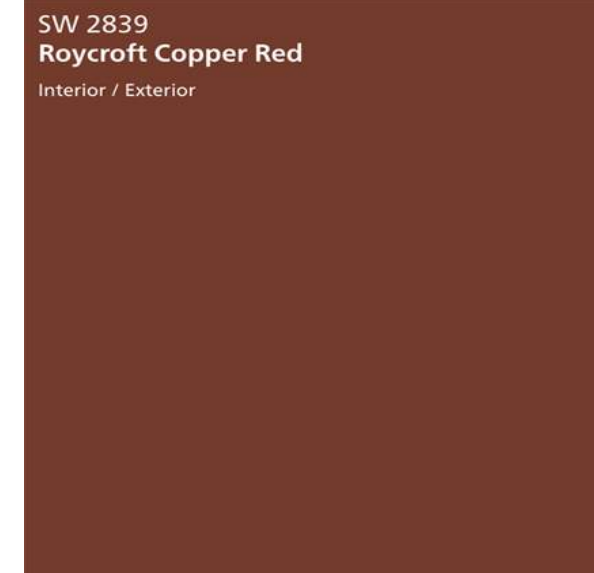
WOODWORK TRIM, NEW CLAPBOARD SIDING



WINDOWS, FENCE & GATE



EXTERIOR DOORS
OPTION 1



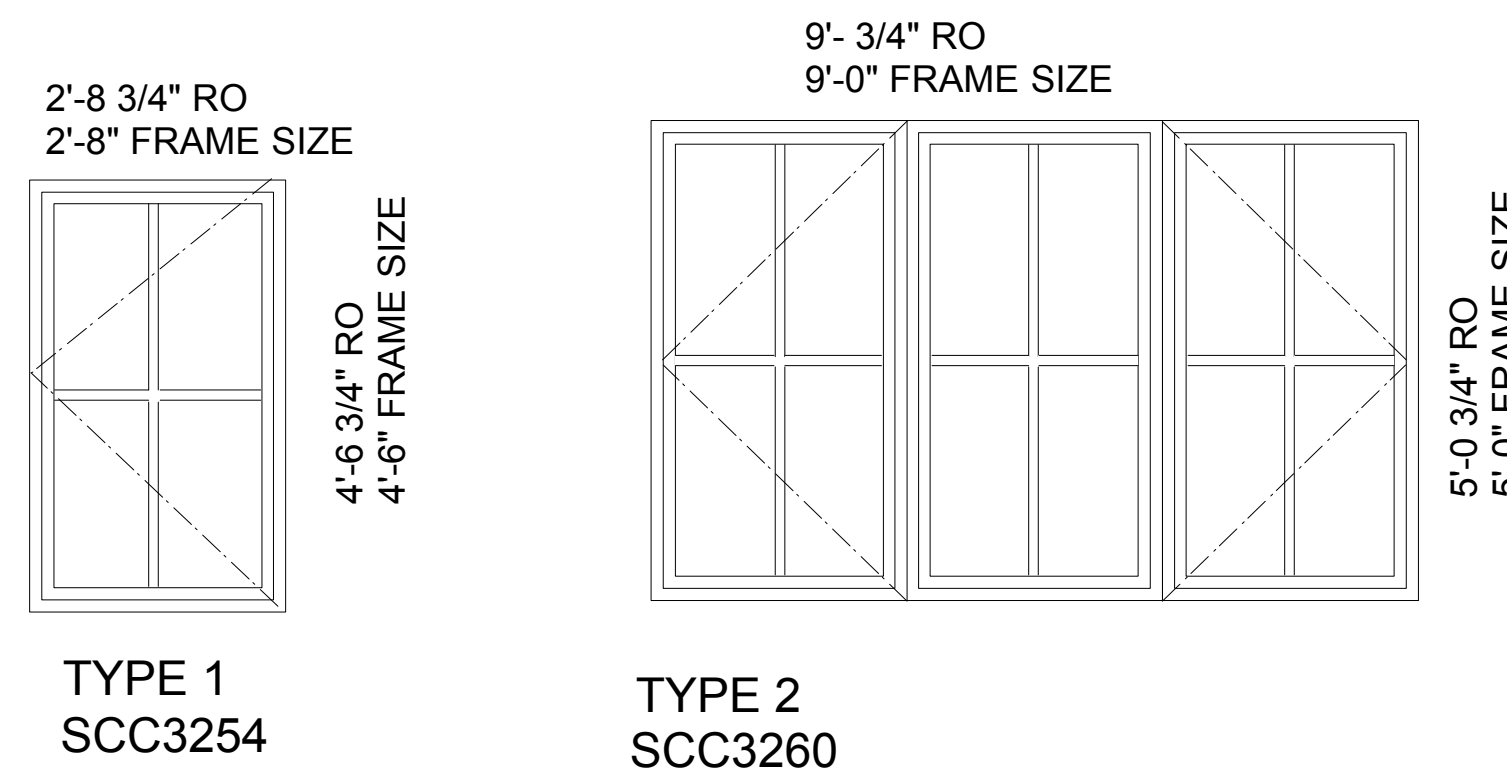
EXTERIOR DOORS
OPTION 2

PROPOSED PAINT COLOURS

All colors to meet approved Historic District palette

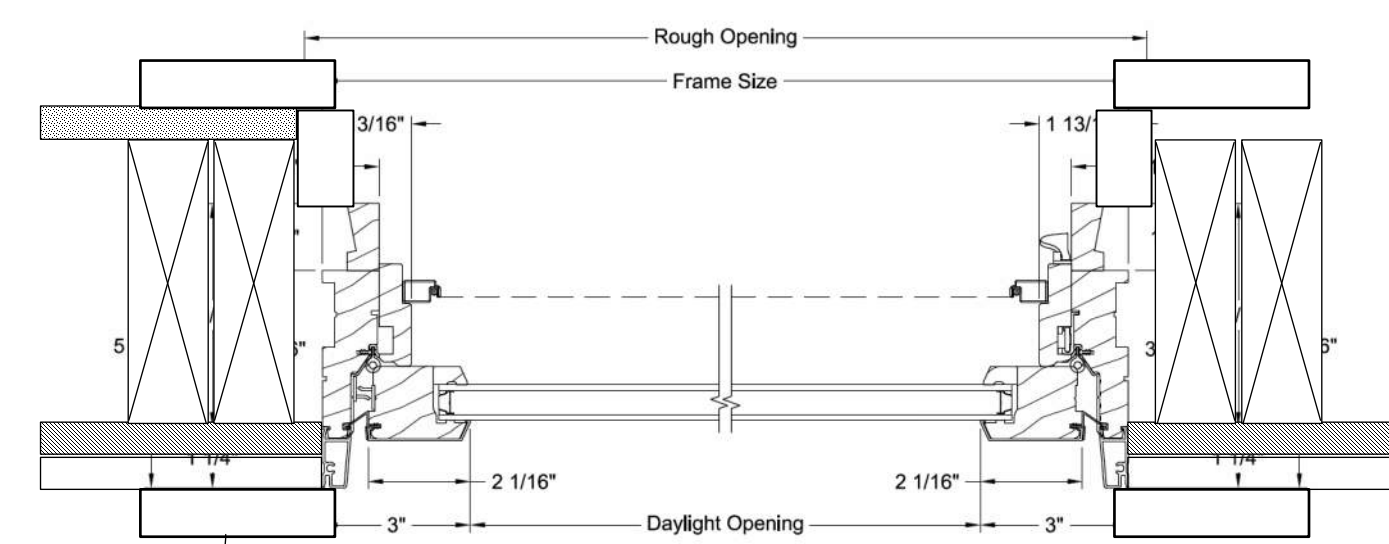
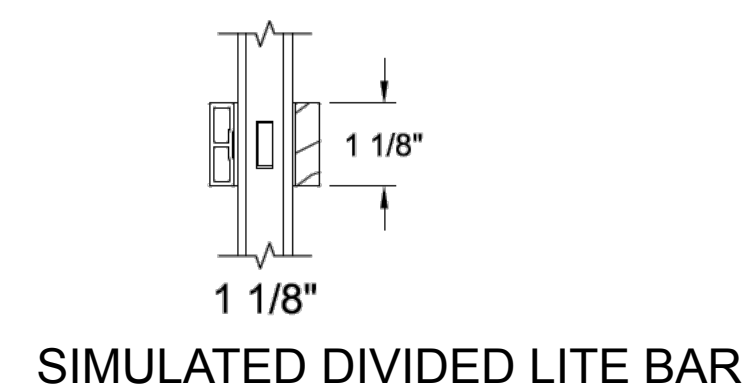


EXISTING FENCE



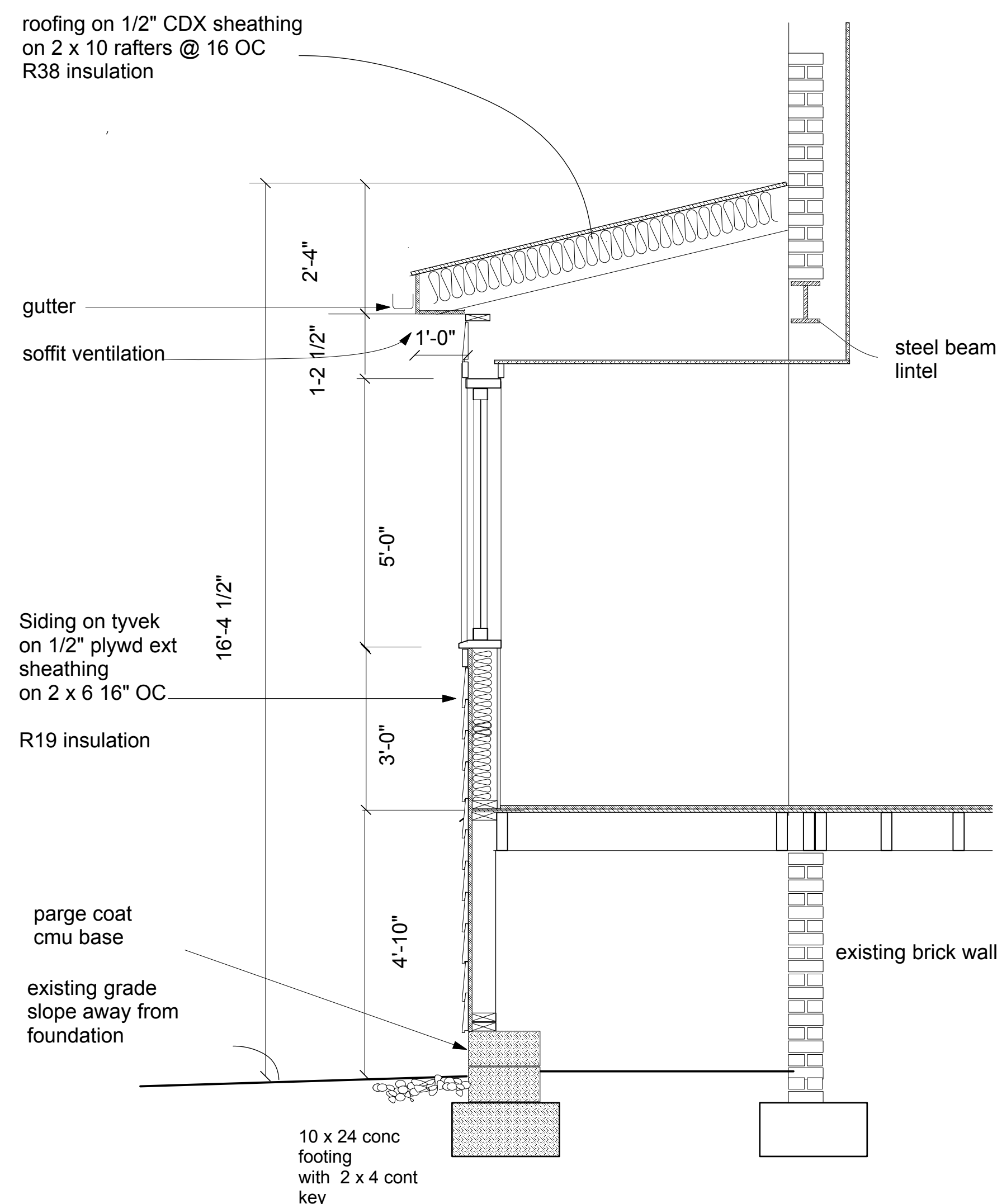
Jeld-Wen aluminum clad wood casement windows with simulated divided lights using flat contemporary beads

WINDOWS



new 1 1/4" x 4 flat casing

2) WINDOW PLAN/ SECTION NTS



1) WALL SECTION 1/2" = 1'-0"



PROPOSED FENCE

to be 6'6" high as permitted by Code, with top rail and cap, posts, and stained approved historic color

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WINDOWS, WALL SECTION, PAINT
COLOURS & FENCE

A-6