

# NEXUS

2723 east cary street richmond

Developer: 2723 E. Cary, LLC  
 1649-B West Broad St.  
 Richmond, VA 23220

Contact: Dave Johannas  
 Johannas Design Group  
 1901 West Cary Street  
 Richmond, VA 23220

**gross floor area**

lower level garage	7800 sf
upper level garage	7800 sf
first floor	6255 sf
second floor	6255 sf
third floor	6255 sf
fourth floor	6255 sf
fifth floor	6255 sf
sixth floor	6255 sf
seventh floor	4905 sf
eighth floor	4655 sf
ninth floor	4655 sf
gross area	67,390 sf

**area of units as shown**

(net interior residential unit areas)

first floor north	2000 sf	405 sf balc
first floor south	2330 sf	250 sf balc
second floor north	2385 sf	277 sf balc
second floor south	2330 sf	250 sf balc
third floor north	2385 sf	277 sf balc
third floor south	2330 sf	250 sf balc
fourth floor north	2385 sf	277 sf balc
fourth floor south	2330 sf	250 sf balc
fifth floor north	2385 sf	277 sf balc
fifth floor south	2330 sf	250 sf balc
sixth floor north	2385 sf	257 sf balc
sixth floor south	2330 sf	250 sf balc
seventh floor	3980 sf	1396 sf balc
eighth floor	3700 sf	1254 sf balc
ninth floor	3700 sf	863 sf balc
<b>totals</b>	<b>39,285 sf</b>	<b>6783 sf balc</b>

Notes:  
 Developer reserves the right to reconfigure the floor plans.

First floor north unit may be used for commercial uses per B-5 Zoning.

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**project data**

current zoning	M-2
site area	12,641 sf (.290 acres)
residential units	15
number of parking spaces	30 parking spaces
long term bike parking spaces	8
building floor plate	7,800 sf
open space area (site)	5,321 sf
balcony & patio area	6,783 sf
amount of paved area	
driveways	670 sf
ramp, stairs and front stoop	180 sf
AE flood zone elevation	34 feet

Note:  
 Former warehouse structure, 11,321 sf, was demolished after 1994.

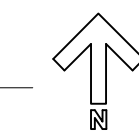
Parking is 2 spaces per dwelling unit.  
 If unit 1n is commercial space it will have 2 parking spaces.



rendering  
 view from Libbie Hill Park



location plan (nts)



site

SEAL

P 804.358.4993  
 F 804.358.8211

REVISIONS  
 3.07.16  
 4.25.16

1901 WEST CARY STREET RICHMOND, VA 23220

JOHANNAS DESIGN GROUP

NEXUS  
 2723 east cary street  
 richmond, virginia

SHEET TITLE  
 cover

PROJECT NO.  
 1541

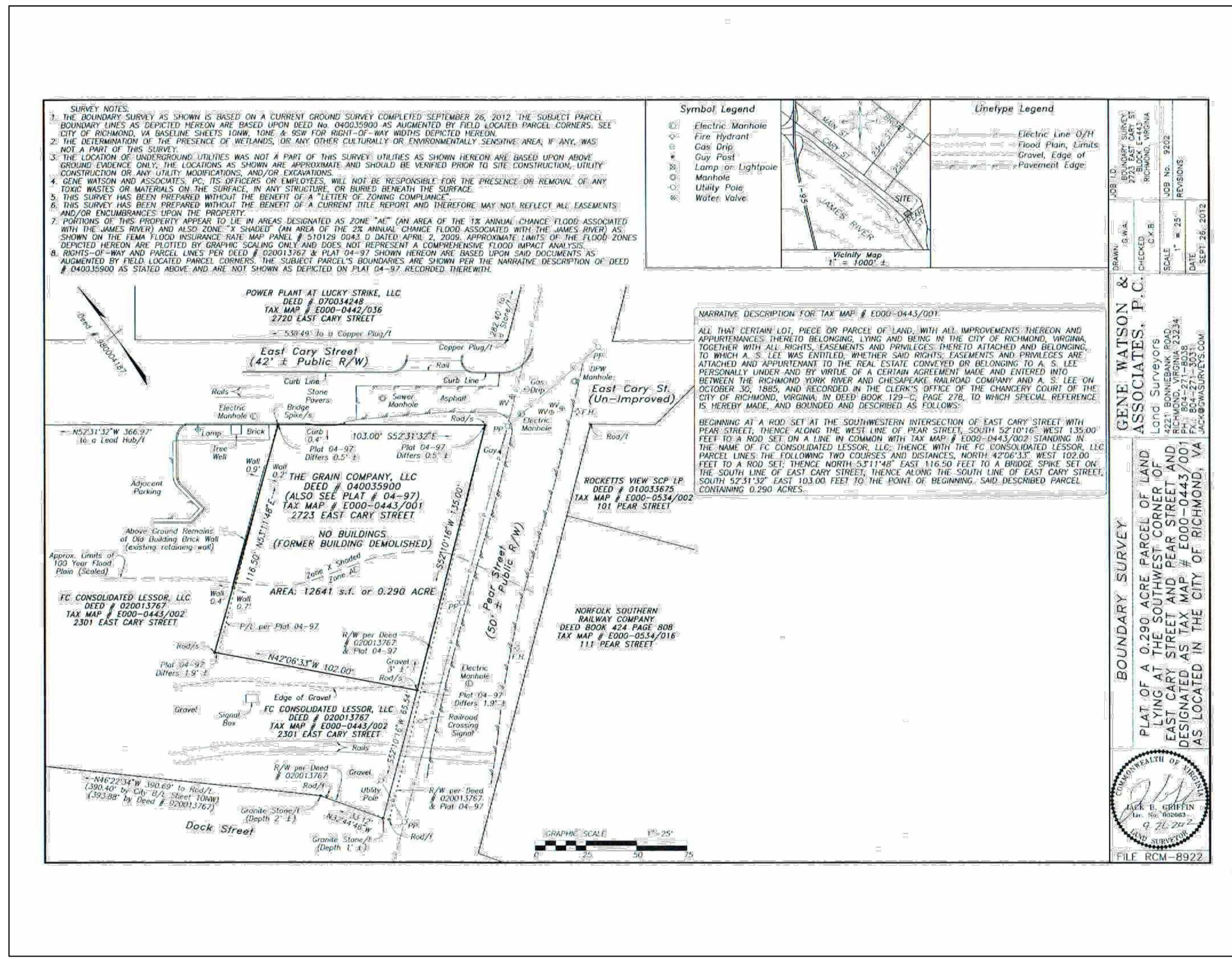
DATE  
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SHEET NO.  
 C 100









**LEGAL DESCRIPTION**

Commencing at the the intersection of the south line East Cary Street with the west line of Pear Street, said point being the Point of Beginning; thence South 80°10'16" West, a distance of 135.00 feet; thence North 42°06'33" West, a distance of 102.00 feet; thence North 53°11'48" East, a distance of 116.50 feet; thence South 52°31'32" East, a distance of 103.00 feet to the Point of Beginning, containing 0.2902 ACRES.

**Notes:**

- a) Said described property is located within an area having a Zone Designation "AE" & "Shaded Zone X" by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 5101200404E, with a date of identification of July 16, 2014, for Community Panel No. 510163, in the City of Richmond, State of Virginia, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- b) The property has direct physical access to E. Cary Street and Pear Street a dedicated public street or highway.
- c) The number of actual parking spaces located on the subject property is 0.
- d) The property described hereon is the same as the property described in Old Republic National Title Insurance Company, Commitment No. B15-3007R with an effective date of January 15, 2016, and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to have been plotted hereon or otherwise noted as to their effect on the subject property.
- e) The accompanying survey was made on the ground and correctly shows the location of all buildings, structures and other improvements situated on the above premises; there are no visible encroachments on the subject property or upon adjacent land abutting said property except as shown hereon and was made in accordance with laws and/or Minimum Standards of the State of Virginia.
- f) The property is serviced by Public Sewer and Water.
- g) Property Address is known as 2723 E. Cary Street, Richmond, VA, 23223.
- h) Property is zoned M-2 - Heavy Industrial.
- i) There was no observed evidence of current earth moving work, building construction or building additions at the time of the survey.
- k) There are no Proposed changes in street right of way lines. There is no observed evidence of recent street or sidewalk construction or repairs.
- l) There is NO Observed evidence of site use as a solid waste dump, sump or sanitary landfill.

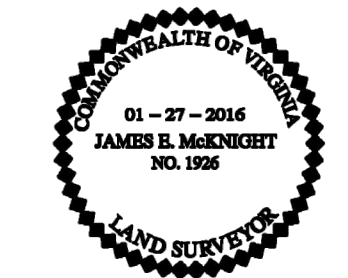
**SURVEYOR CERTIFICATION**

This survey is made for the benefit of:  
 a) 2723 E. Cary, LLC  
 b) Old Republic National Title Insurance Company  
 c) Xenith Bank, its successors and/or assigns as their interests appear.

This is to certify that this plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(a), 7a, 7(b)-1, 8, 9, 10(a), 11(a), 13, 14, 16, 17, and 18 of Table A thereof.

Date of Plot: January 27, 2016.

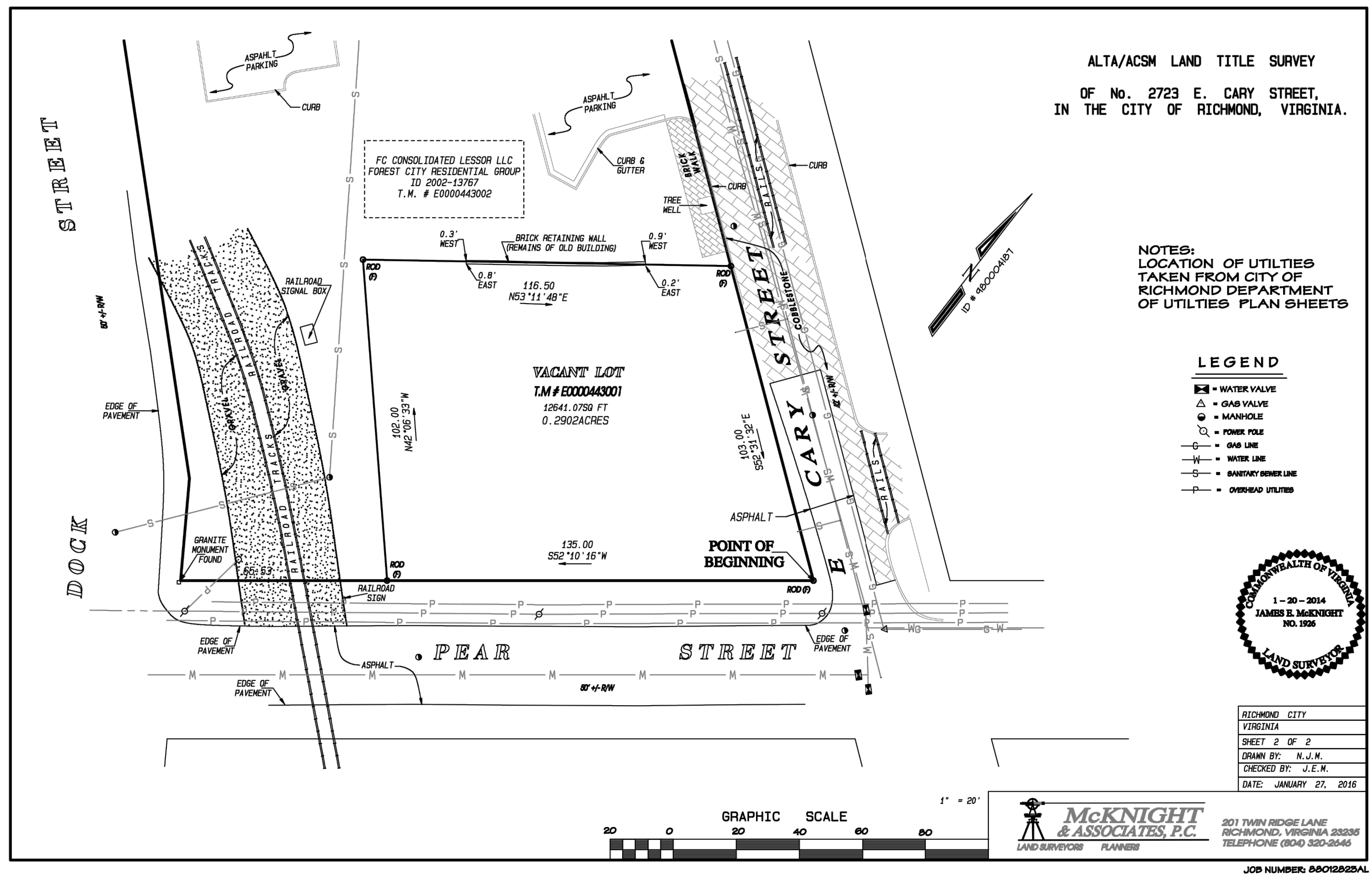
Land Surveyor No. 1926



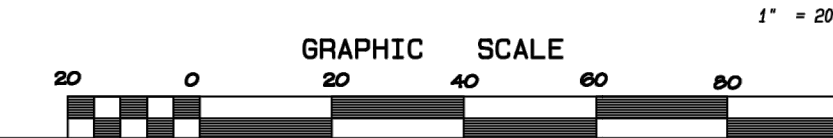
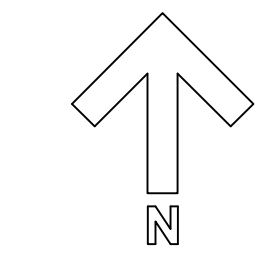
**ALTA/ACSM LAND TITLE SURVEY**  
 OF No. 2723 E. CARY STREET,  
 IN THE CITY OF RICHMOND, VIRGINIA.

RICHMOND CITY	VIRGINIA
SHEET 1 OF 2	DATE: JANUARY 27, 2016
DRAWN BY: N.J.M.	CHECKED BY: J.E.M.

**McKNIGHT & ASSOCIATES, P.C.**  
 LAND SURVEYORS PLANNERS  
 201 TWIN RIDGE LANE  
 RICHMOND, VIRGINIA 23238  
 TELEPHONE (804) 320-2546  
 JOB NUMBER: 8801282AL

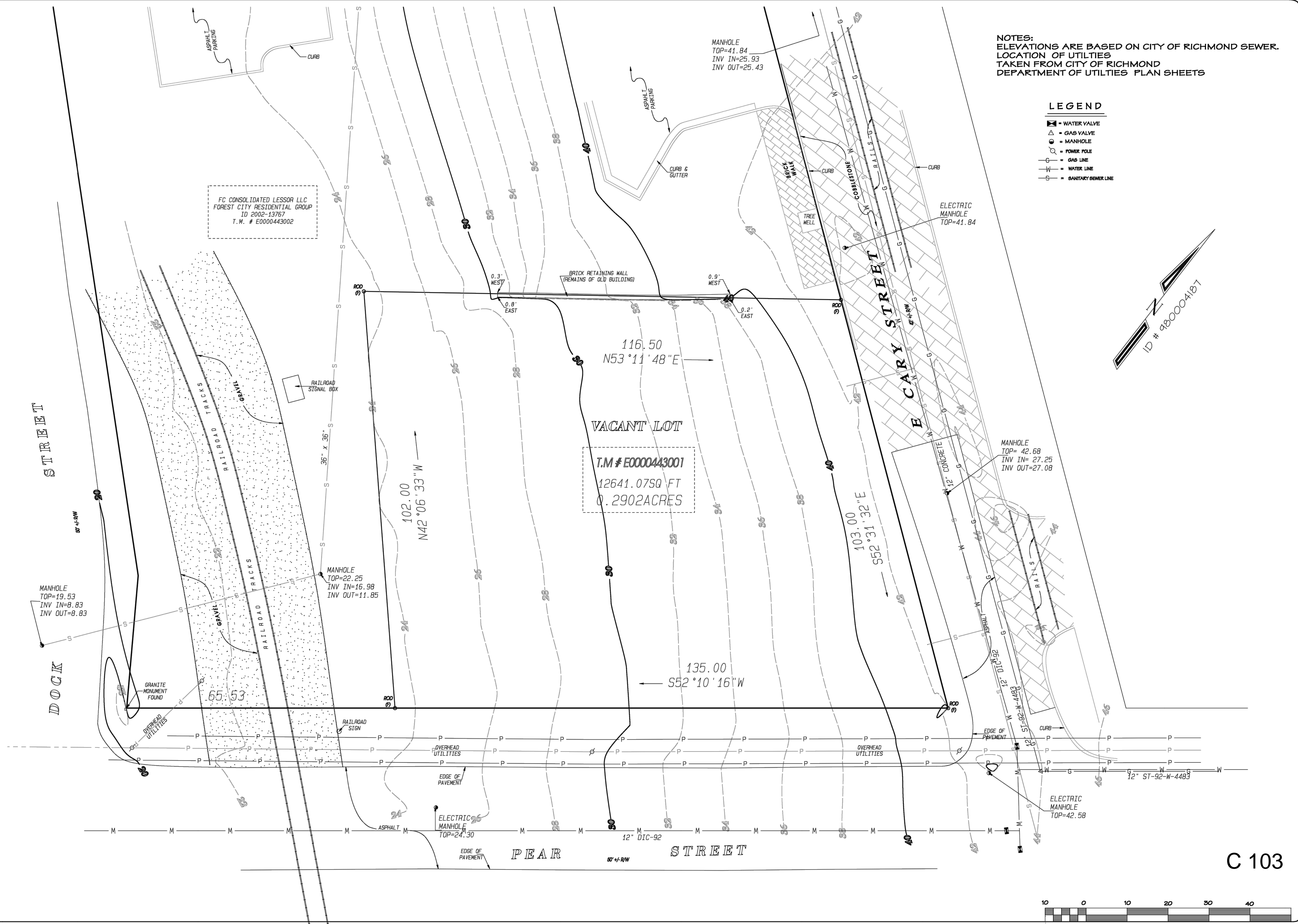


floodplain map  
n/a



**McKNIGHT & ASSOCIATES, P.C.**  
 LAND SURVEYORS PLANNERS  
 201 TWIN RIDGE LANE  
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 TELEPHONE (804) 320-2546  
 JOB NUMBER: 8801282AL



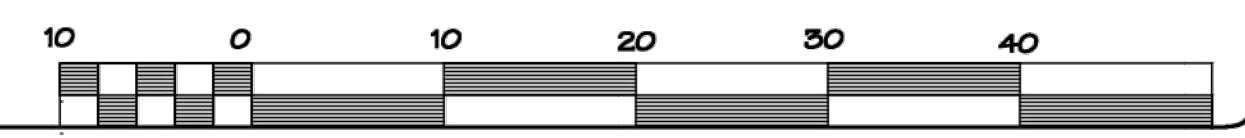
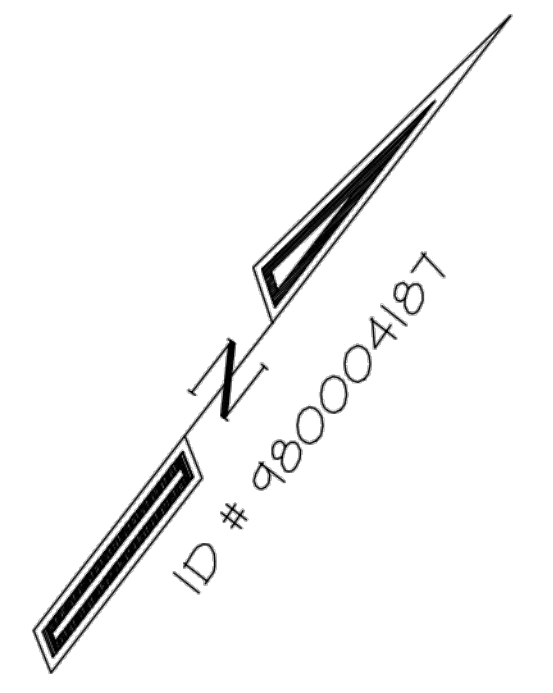


FC CONSOLIDATED LESSOR LLC  
 FOREST CITY RESIDENTIAL GROUP  
 ID 2002-13767  
 T.M. # E0000443002

VACANT LOT  
 T.M # E0000443001  
 12641.0750 FT  
 0.2902ACRES

NOTES:  
 ELEVATIONS ARE BASED ON CITY OF RICHMOND SEWER.  
 LOCATION OF UTILITIES  
 TAKEN FROM CITY OF RICHMOND  
 DEPARTMENT OF UTILITIES PLAN SHEETS

- LEGEND**
- ◻ = WATER VALVE
  - △ = GAS VALVE
  - = MANHOLE
  - ⊙ = POWER POLE
  - G — = GAS LINE
  - W — = WATER LINE
  - S — = SANITARY SEWER LINE



COMMONWEALTH OF VIRGINIA  
 12-15-2015  
 JAMES E. MCKNIGHT  
 NO. 1926  
 LAND SURVEYOR

RICHMOND, CITY
VIRGINIA
SHEET 1 OF 1
DRAWN BY: N.J.M.
CHECKED BY: J.E.M.
DATE: DECEMBER 15, 2015

**MCKNIGHT & ASSOCIATES, P.C.**  
 LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE  
 RICHMOND, VIRGINIA 23226  
 TELEPHONE (804) 320-2646  
 FAX (804) 320-7923

TOPOGRAPHIC SURVEY  
 OF 273 E. CARY STREET  
 RICHMOND, VIRGINIA.

DATE: DECEMBER 15, 2015  
 SCALE: 1" = 10'  
 JOB No. 860281070

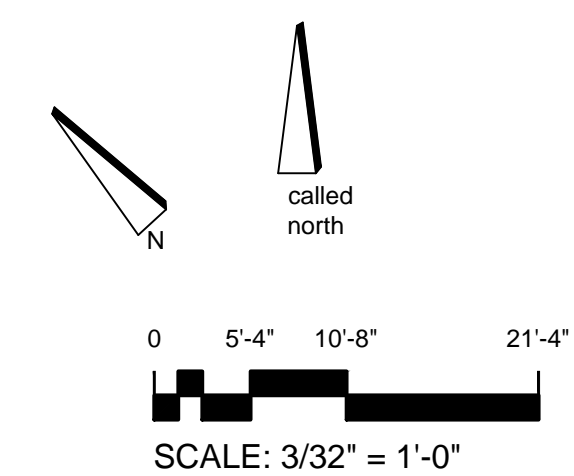
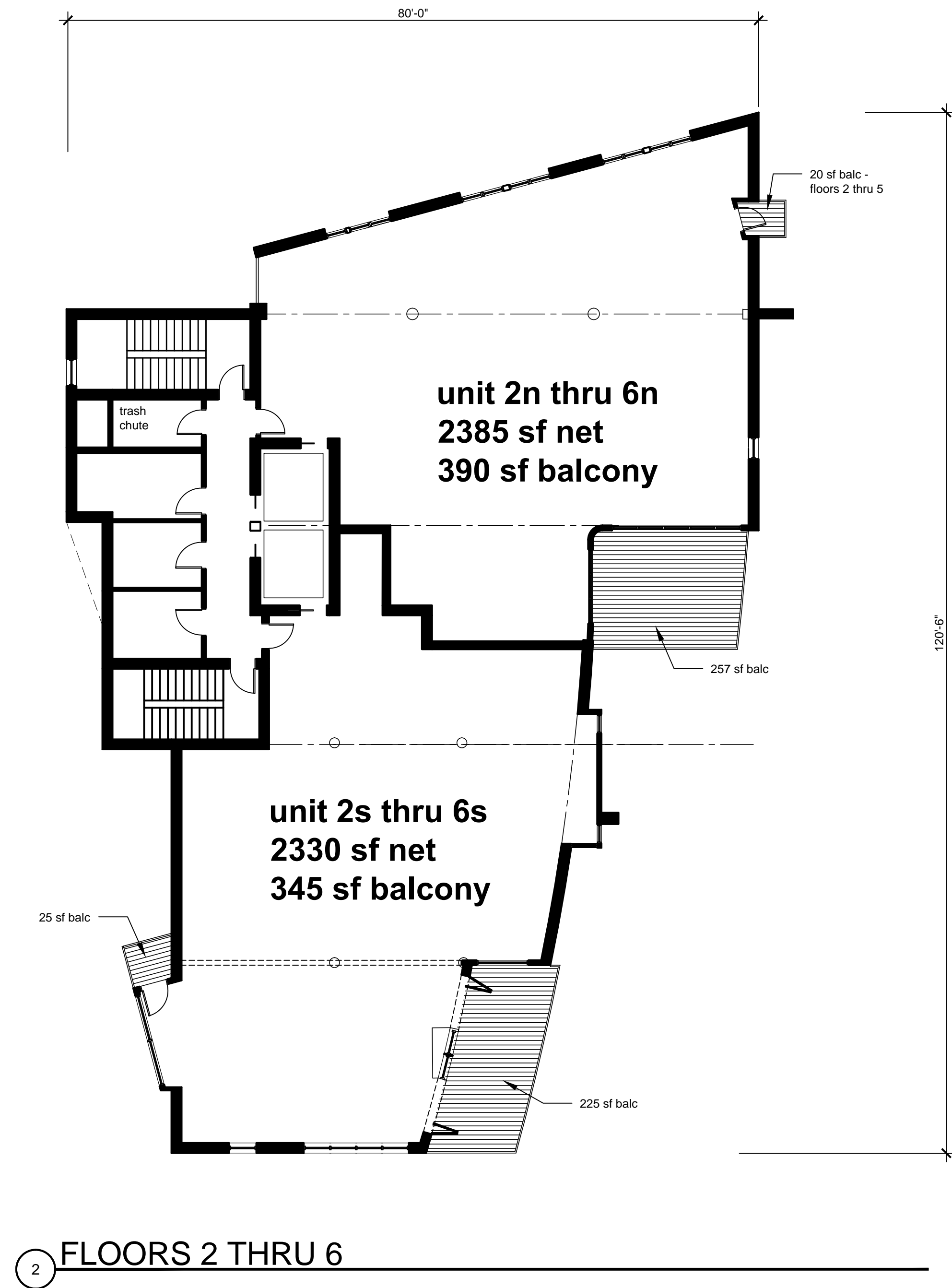
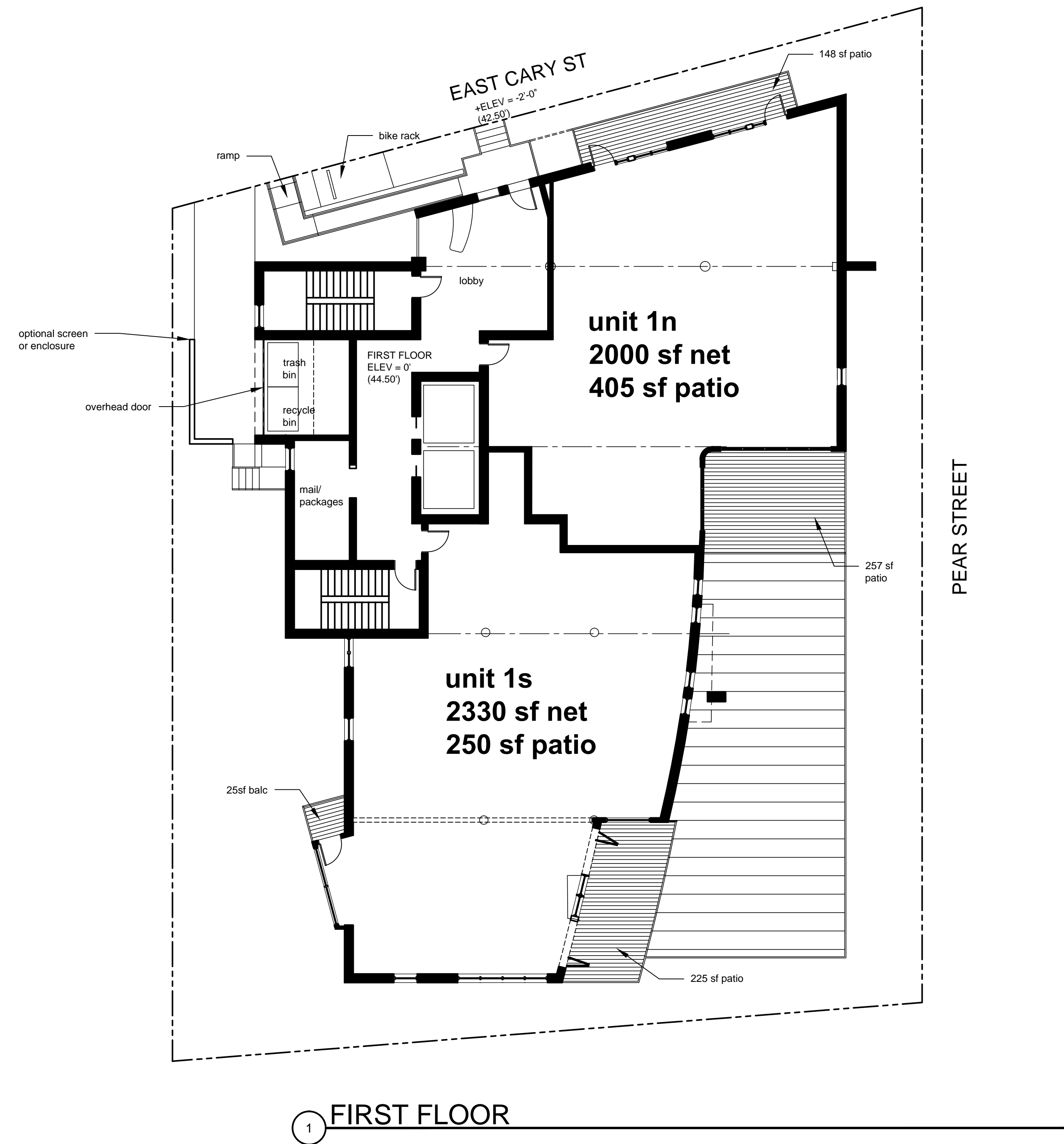
C 103







# NEXUS

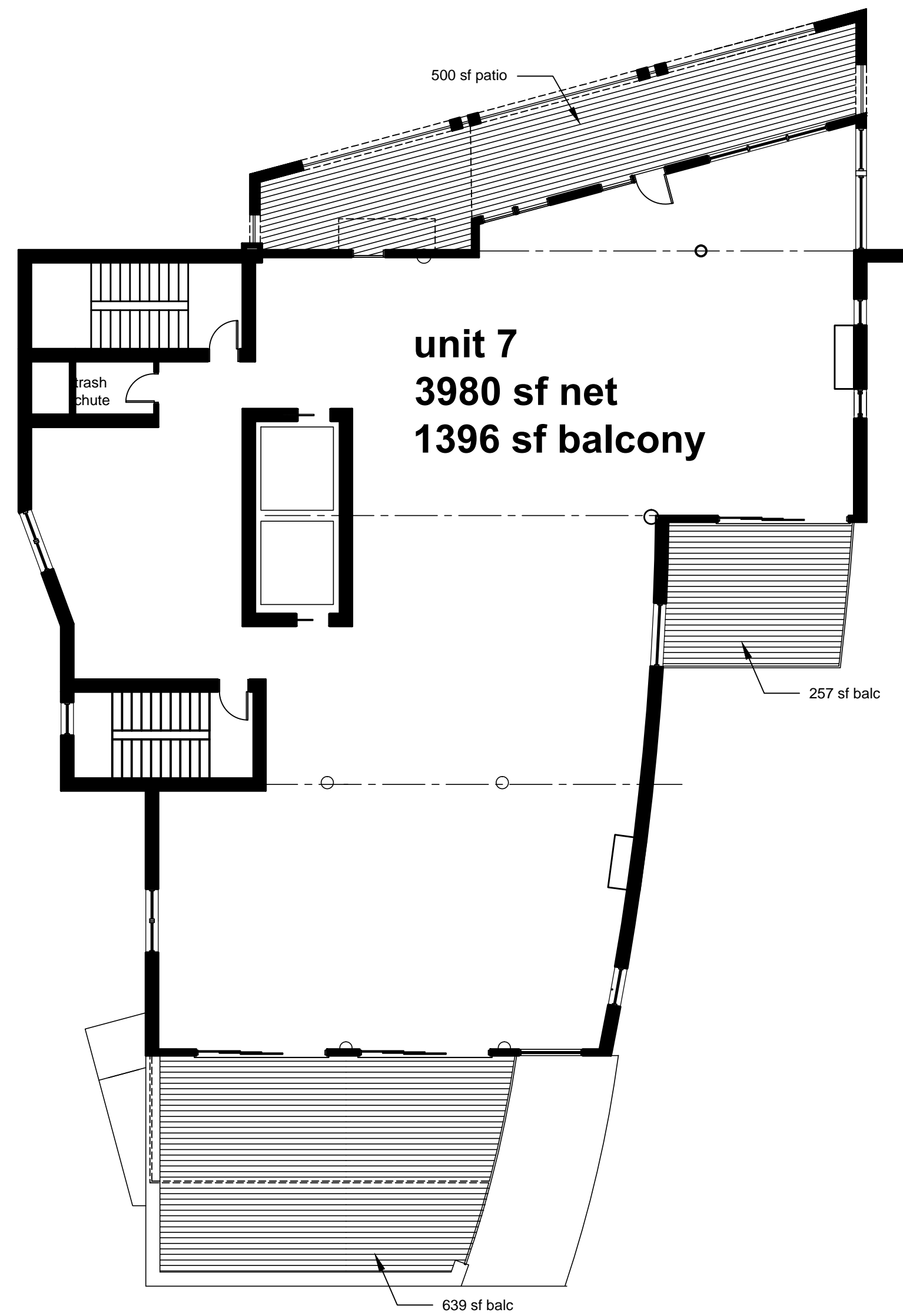


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 JOHANNAS DESIGN GROUP

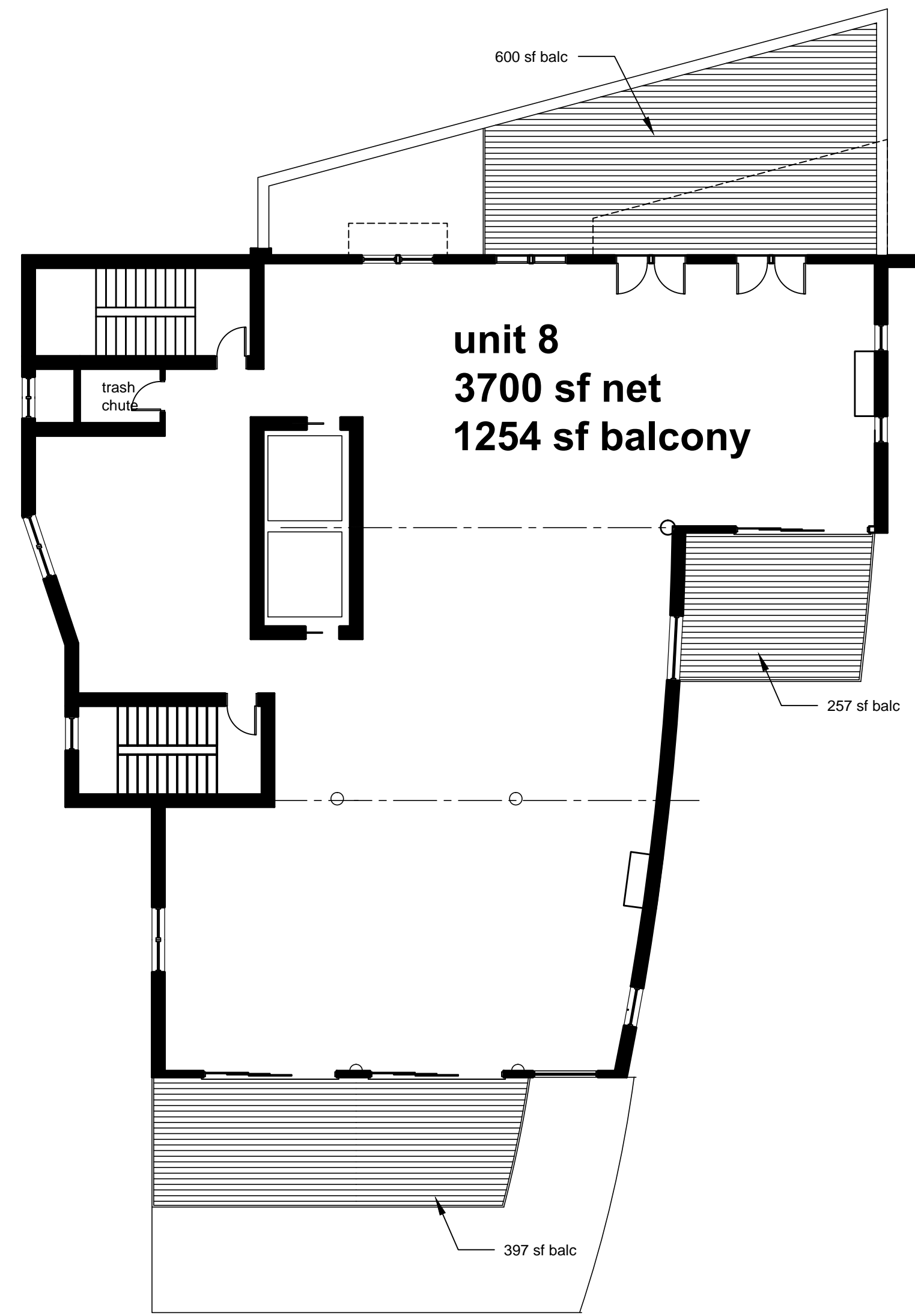
SEAL
REVISIONS 3.07.16
NEXUS
SHEET TITLE MID LEVELS
PROJECT NO. 1541
DATE 1.11.16
SHEET NO. A 101



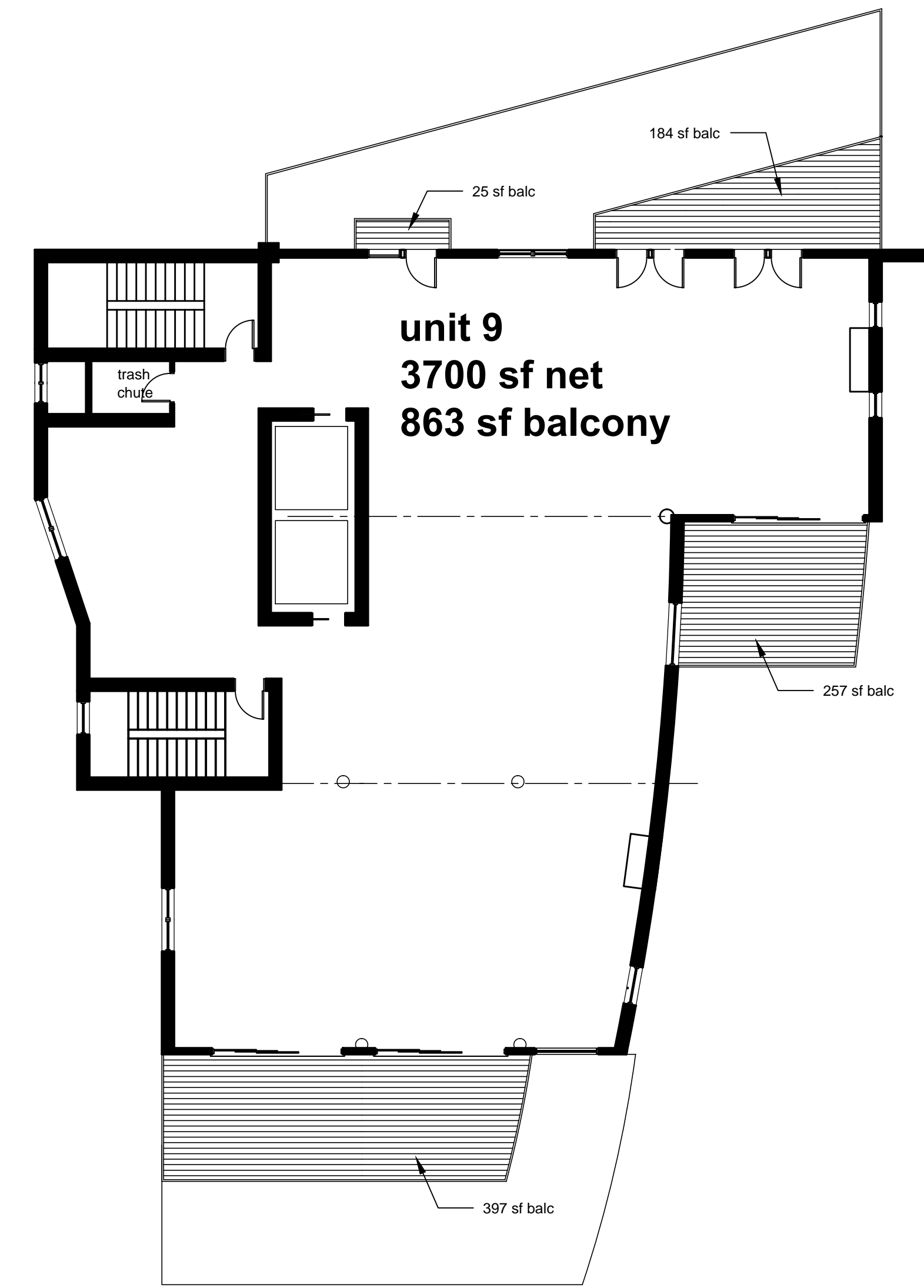
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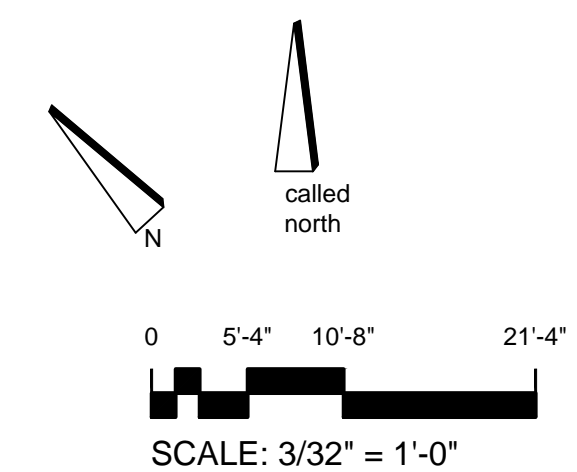
① 7TH FLOOR PENTHOUSE



② 8TH FLOOR PENTHOUSE



③ 9TH FLOOR PENTHOUSE



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SHEET TITLE  
PENTHOUSES

PROJECT NO.  
1541

DATE  
1.11.16

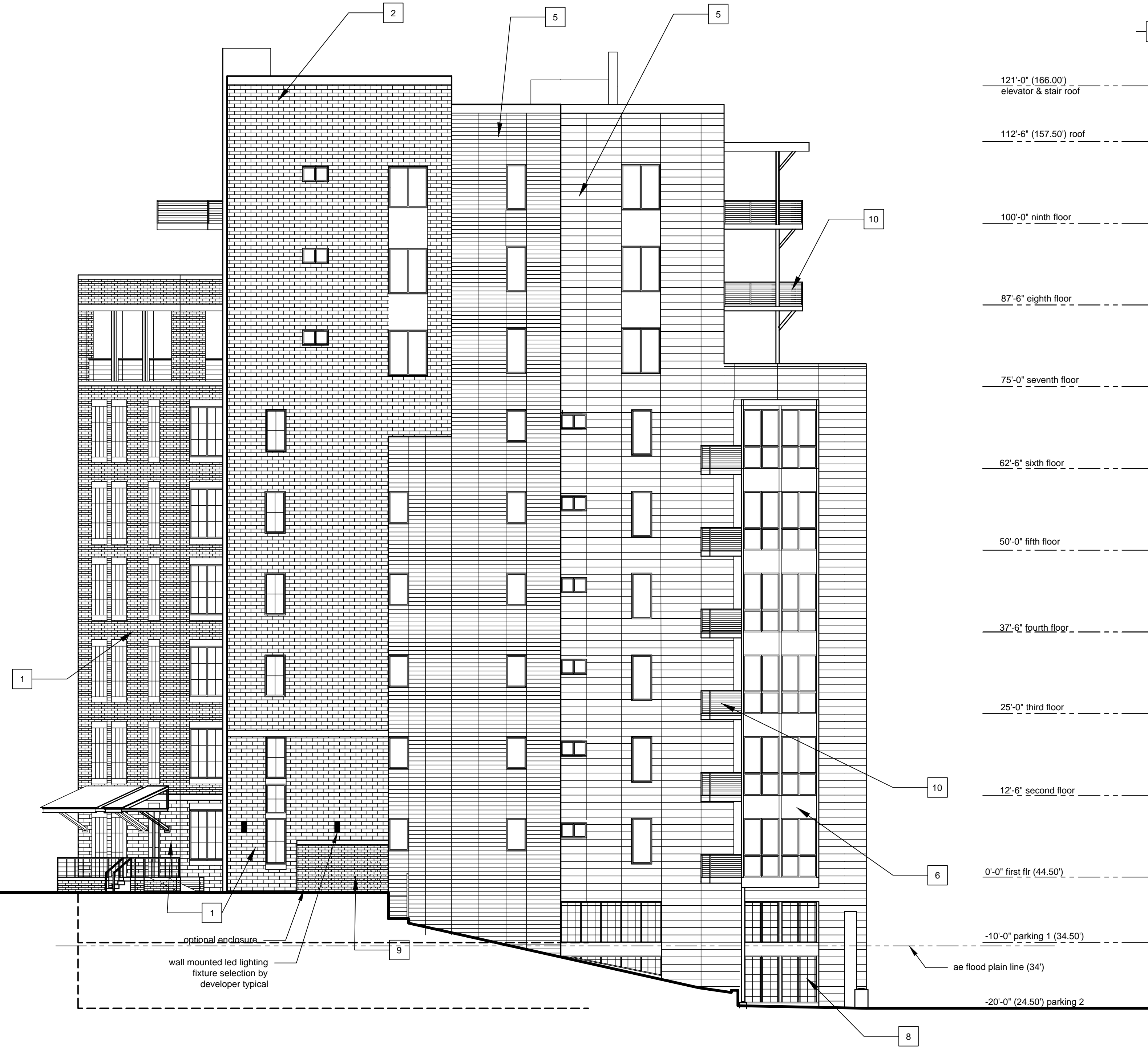
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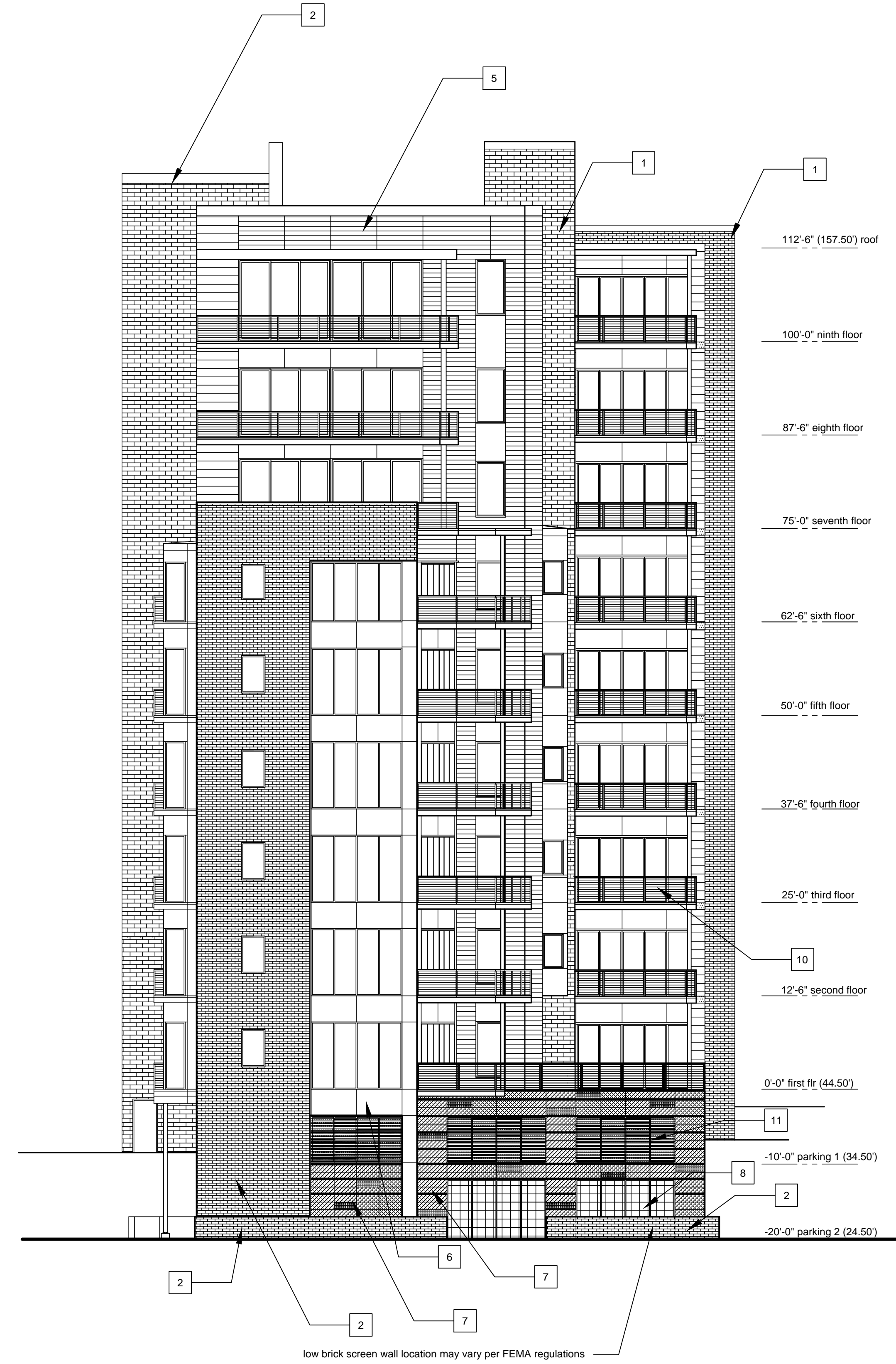
# NEXUS

## MATERIAL KEY NOTES

- 1 brick
- 2 brick
- 3 not used
- 4 not used
- 5 either:  
terra cotta  
metal panels  
brick  
grfc panels
- 6 either:  
metal panels  
swiss pearl panels or eq
- 7 terra cotta
- 8 metal mesh
- 9 masonry
- 10 metal railing
- 11 louvered terra cotta screen  
to meet 45% opacity  
requirement



WEST ELEVATION



SOUTH ELEVATION

0 5'-4" 10'-8" 21'-4"  
 SCALE: 3/32" = 1'-0"

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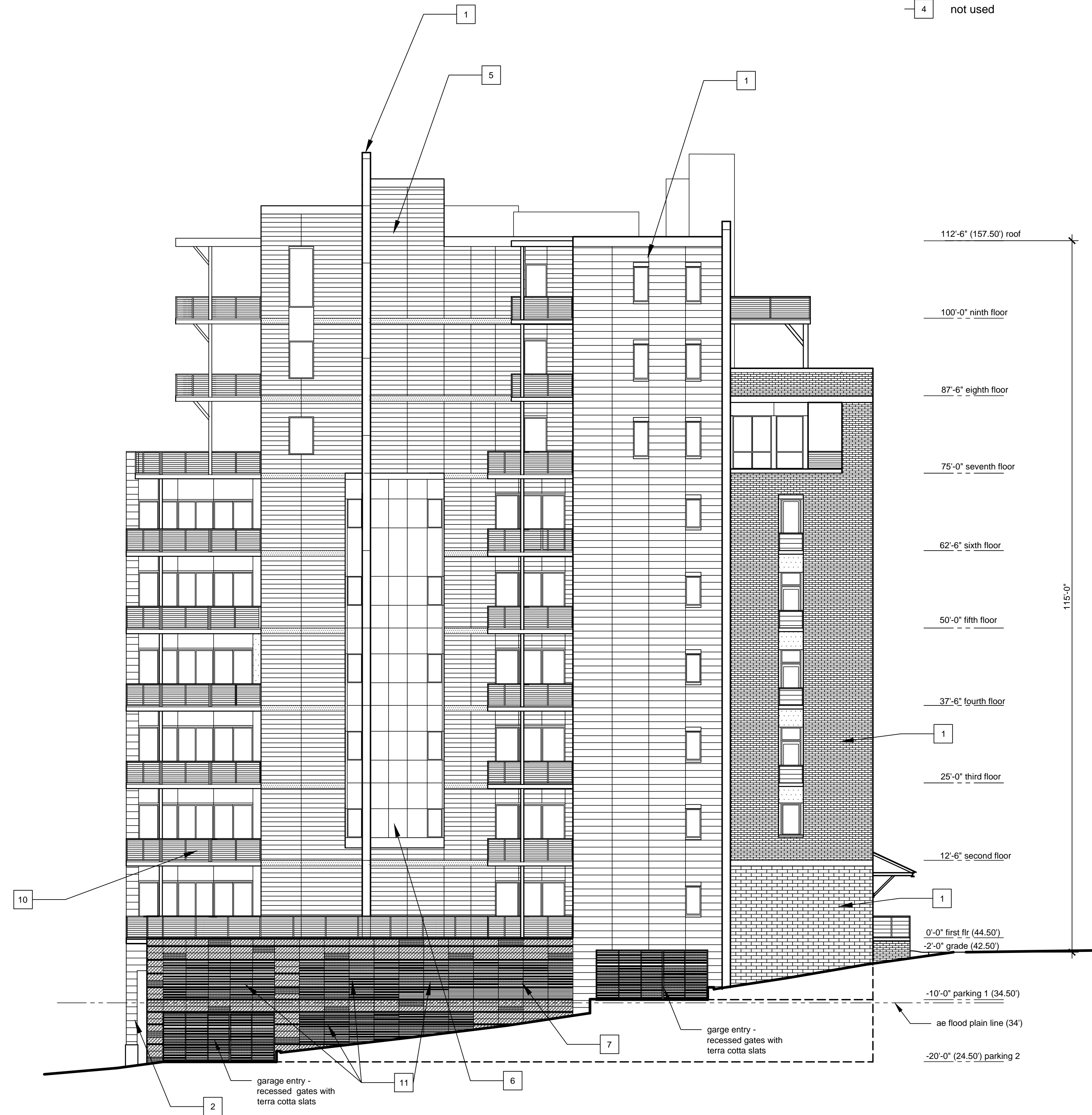
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 ELEVATIONS  
 3/32"  
 PROJECT NO.  
 1541  
 DATE  
 1.11.16  
 SHEET NO.  
 A 200



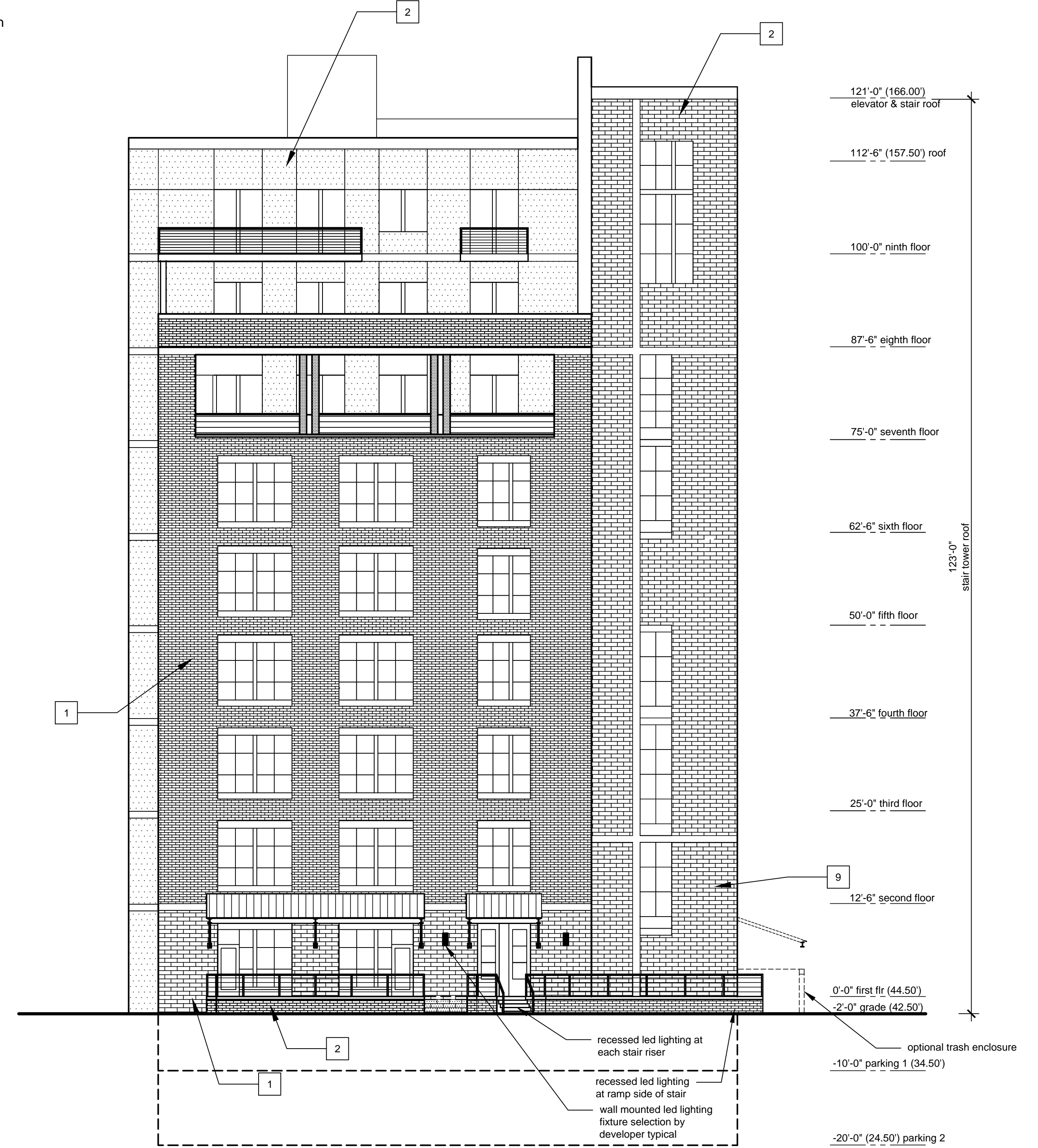
# NEXUS

## MATERIAL KEY NOTES

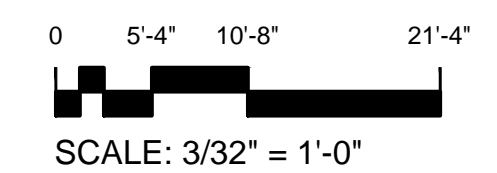
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terra cotta  
metal panels  
brick  
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metal panels  
swiss pearl panels or eq
- 7 terra cotta
- 8 metal mesh
- 9 masonry
- 10 metal railing
- 11 louvered terra cotta screen  
to meet 45% opacity  
requirement



**EAST ELEVATION (PEAR STREET)**



**NORTH ELEVATION (EAST CARY STREET)**



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 4.25.16

NEXUS

SHEET TITLE  
 ELEVATIONS  
 3/32"

PROJECT NO.  
 1541

DATE  
 1.11.16

SHEET NO.  
 A 201