



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2010-2012 Venable

Historic district Union Hill

Date/time rec'd:	_____
Rec'd by:	_____
Application #:	_____
Hearing date:	_____

APPLICANT INFORMATION

Check if Billing Contact

Name Justin Dooley

Phone (804)229-2383

Company Hammersmith Contracting Co.

Email justin@hammersmithrva.com

Mailing Address 11422 Ivy Home PL
Henrico, VA 23233

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name Same as above

Company JR1 Properties LLC

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)
Renovation of two, single-family attached dwellings and construction of new addition to the rear of each dwelling.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner  Matt Jansan
3/8/2021 4:08:07 PM EST

Date 03/08/2021



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: _____

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



PROJECT CONTACTS:

DEVELOPER:
MATT JARREAU
804-306-9019

CONTRACTOR:
JUSTIN DOOLEY
HAMMERSMITH CONTRACTING CO.
804-229-2383

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

ADDITION & RENOVATION TO TWO 2-STORY, SINGLE-FAMILY
ATTACHED HOUSES IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD

2010-2012 VENABLE ST. HOUSES

2010-2012 VENABLE STREET
RICHMOND, VIRGINIA 23223

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DRAWING SYMBOLS

MATERIAL PATTERNS SCALED FOR CLARITY

DRAWING NUMBER DESIGNATION

01 | DRAWING TITLE
DRAWING SCALE

DRAWING NUMBER DESIGNATION, TYPICAL
ELEVATION MARK INDICATING ELEVATION VIEW DIRECTION WITH MARK INDICATION LOCATION OF ELEVATION DRAWING

SHEET DRAWING LOCATED ON, TYPICAL
SECTION MARK INDICATING SECTION LOCATION WITH MARK INDICATION LOCATION OF SECTION DRAWING

DETAIL MARK WITH MARK INDICATING LOCATION OF DETAIL DRAWING

ROOM NAME
ROOM NAME & NUMBER, ASSOCIATED WITH ROOM FINISH SCHEDULE

101A DOOR NUMBER, ASSOCIATED WITH DOOR SCHEDULE

A WINDOW NUMBER, ASSOCIATED WITH WINDOW SCHEDULE

01 WALL NUMBER, ASSOCIATED WITH WALL TYPE IN WALL SCHEDULE

01 NOTE, ASSOCIATED WITH CORRESPONDING SCHEDULE

CL COLUMN CENTER LINE

01 REVISION CLOUD WITH REVISION NUMBER MARK

BRICK (SECTION)

CONCRETE

GRAVEL FILL

EARTH OR COMPACTED FILL

CMU BLOCK

INSULATION-SEE SPECIFICATIONS

RIGID INSULATION-SEE SPECIFICATIONS

WOOD SHEATHING-SEE SPECIFICATIONS

CONTINUOUS 2x WOOD

SOLID WOOD BLOCKING

DRAWING INDEX

NO.	SHEET TITLE
CS	COVER SHEET
CI.1	ARCHITECTURAL CIVIL SITE PLAN
DI.1	AS-BUILT/DEMO FLOOR PLANS/ELEVATIONS
AI.0	FOUNDATION PLAN
AI.1	FIRST FLOOR PLAN
AI.2	SECOND FLOOR PLAN
AI.3	ROOF PLAN
A2.1	FRONT & RIGHT EXTERIOR ELEVATIONS
A2.2	REAR & LEFT EXTERIOR ELEVATIONS
A3.1	REAR WALL SECTION
A3.2	PARTY WALL SECTION
A3.3	PARTY WALL UL ASSEMBLY DETAILS
BW.1	FIRST FLOOR LATERAL BRACING DESIGN
BW.2	SECOND FLOOR LATERAL BRACING DESIGN
BW.3	STANDARD PORTAL FRAME DETAIL

DRAWING REVISIONS:

REVISION 01	03-08-2021	- ADDITION SIDING REVISED TO BE HARDIE PANEL SIDING- ELEVATIONS & WALL SECTION REVISED
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01

GENERAL NOTES & SPECIFICATIONS

SEE FULL SPECIFICATIONS PROVIDED BY OWNER/DEVELOPER.

GENERAL CONTRACTOR NOTIFY ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES BETWEEN DRAWING SET AND OWNER-SUPPLIED SPECIFICATION, APPLICABLE CODES, OR STRUCTURAL ASPECTS DESIGNED BY OTHERS (TRUSSES, GEOTECHNICAL, ETC.).

PROVIDE INTERCONNECTED SMOKE & CARBON MONOXIDE ALARMS IN ACCORDANCE WITH IRC R314.

PROVIDE IFC-COMPLIANT FIRE EXTINGUISHER IN KITCHEN.

ALL EXTERIOR MATERIALS/FINISHES/COLORS MUST BE APPROVED BY RICHMOND'S COMMISSION OF ARCHITECTURAL REVIEW (C.A.R.); G.C. SHALL SUBMIT SPECS./SAMPLES TO C.A.R. FOR APPROVAL PRIOR TO PURCHASE.

GENERAL CONTRACTOR RESPONSIBLE FOR ALL MEANS & METHODS OF DEMOLITION & CONSTRUCTION & FOR TEMPORARY STRUCTURAL BRACING/SHORING DURING DEMOLITION & CONSTRUCTION.

CODE/ORDINANCE ANALYSIS

BUILDING CODE:
PROJECT SHALL CONFORM TO THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2015 IRC)

BUILDING AREA (EACH UNIT):
CONDITIONED AREA:

2010: EXISTING FIRST FLOOR: 568 S.F. NEW FIRST FLOOR: 240 S.F. TOTAL FIRST FLOOR AREA: 808 S.F. EXISTING SECOND FLOOR: 568 S.F. NEW SECOND FLOOR: 240 S.F. TOTAL SECOND FLOOR AREA: 808 S.F. 2010 TOTAL CONDITIONED AREA: 1,616	2012: EXISTING FIRST FLOOR: 537 S.F. NEW FIRST FLOOR: 240 S.F. TOTAL FIRST FLOOR AREA: 777 S.F. EXISTING SECOND FLOOR: 537 S.F. NEW SECOND FLOOR: 240 S.F. TOTAL SECOND FLOOR AREA: 777 S.F. 2012 TOTAL CONDITIONED AREA: 1,554
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RICHMOND CITY ORDINANCE:
LOT ZONED R-63

SETBACKS OF ATTACHED ADDITION:
REQUIRED MIN. SIDE YARD: 3'
REQUIRED MIN. REAR YARD: 5'

2010: DESIGNED SIDE YARD (LEFT): 4'-11" DESIGNED REAR YARD: 4'-6"±	2012: DESIGNED SIDE YARD (RIGHT): 3' DESIGNED REAR YARD: 4'-6"±
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PERMITTED HEIGHT: 2-3 STORIES
DESIGNED HEIGHT (BOTH UNITS): 2 STORIES

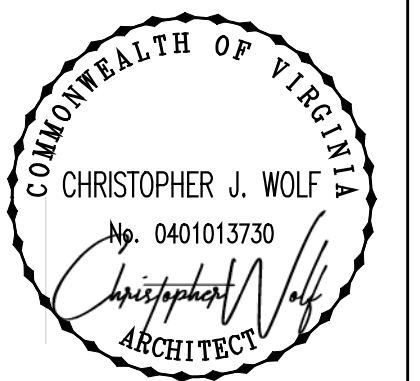
STRUCTURAL:
SEISMIC DESIGN CATEGORY: B
DESIGN WIND SPEED: 110 MPH, 3 SECOND GUST
FROST DEPTH: 18"
SNOW LOAD: 20 PSF

FOUNDATION- SEE GEOTECHNICAL REPORT BY OTHERS.
HOUSE SHALL BE BRACED PER IRC R602.10, DESIGN BY OTHERS

VENTILATION REQUIREMENTS (EACH UNIT):
PROVIDE CRAWLSPACE VENTILATION IN ADDITION AREA PER IRC R408.1 AND R408.2
PROVIDE SEALED 12MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE FLOOR (TAPE SEAMS & EDGES)
CRAWLSPACE AREA = 240 S.F.
VENTILATE AT 1/1500 = .16 S.F. = 23 S.I. NET FREE AREA
TYPICAL SLOTTED VENT 36 S.I. NET FREE AREA- (1) VENTS REQUIRED EXCEPT, PROVIDE ONE VENT WITHIN 3' OF ALL CORNERS- SEE FOUNDATION PLAN FOR LOCATIONS

PROVIDE ATTIC VENTILATION PER IRC R806.1 AND R806.2
ATTIC AREA = 808 S.F.
VENTILATE AT 1/300 (40-50% VENTING THRU RIDGE) = 2.69 S.F. = 388 S.I. NET FREE AREA (N.F.A.) REQ.
"ALLURA" SOFFIT VENTS: 32" (ACROSS FRONT & REAR) AT 8 S.I. N.F.A./LINEAR FOOT = 256 S.I. N.F.A.
RIDGE VENTS: PROVIDE 200 S.I. N.F.A. (44% OF TOTAL) THROUGH MULTIPLE NON-POWERED 12" HIGH THRU-ROOF VENTS, EQUALLY DISPERSED- SEE ROOF PLAN
TOTAL N.F.A. PROVIDED = 456 S.I.

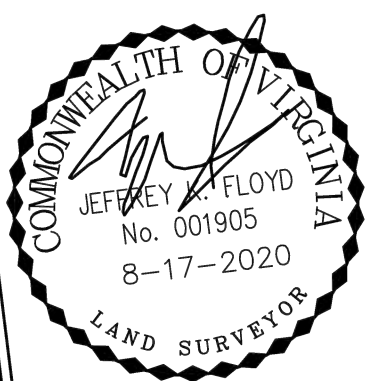
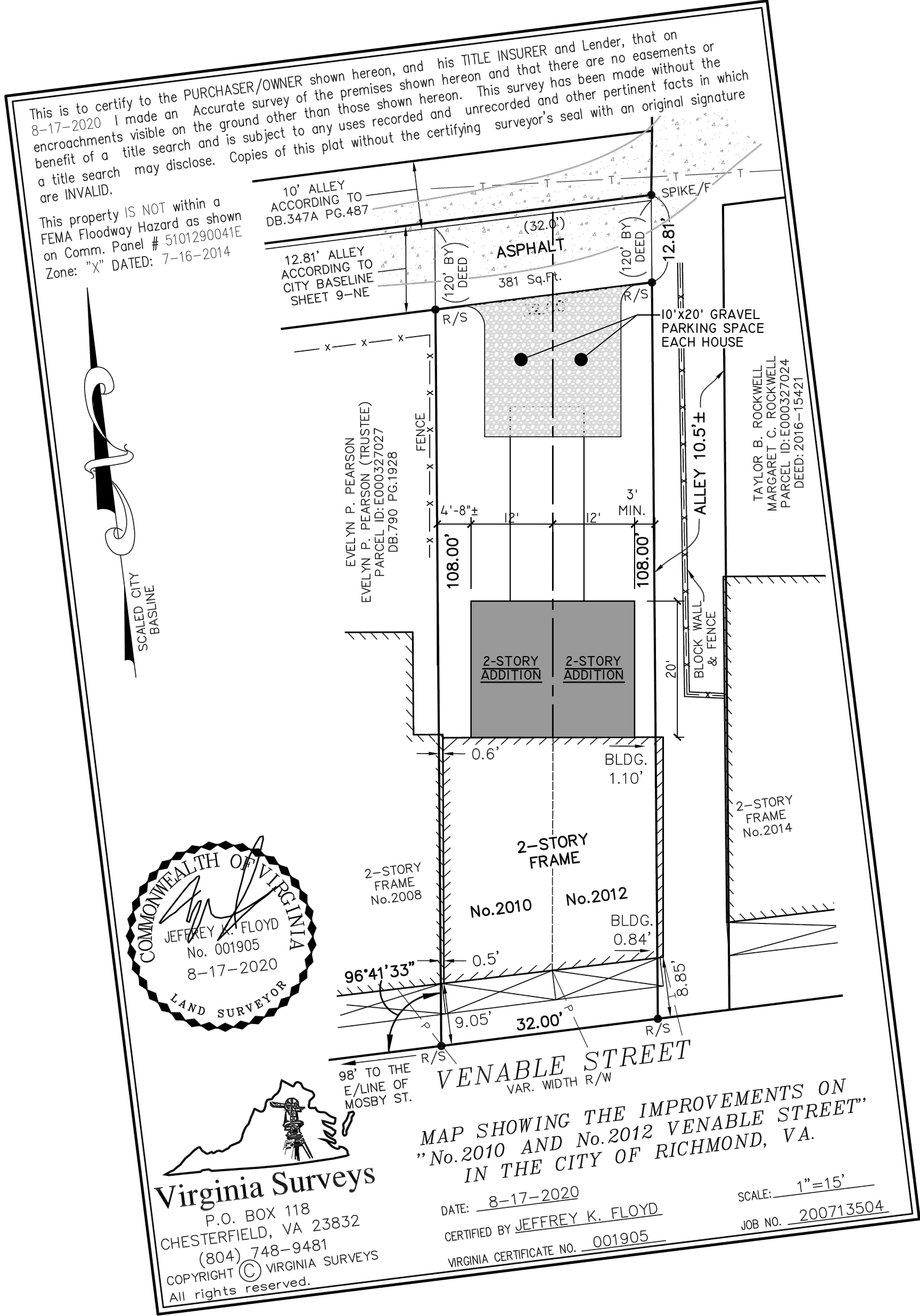
G.C. TO VERIFY ACTUAL NET FREE AREA OF PRODUCTS SELECTED & NOTIFY ARCHITECT OF DISCREPANCIES WITH CALCULATIONS ABOVE.



SET/REVISION:
REVISION 01:
ADDITION SIDING
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COVER SHEET
CS



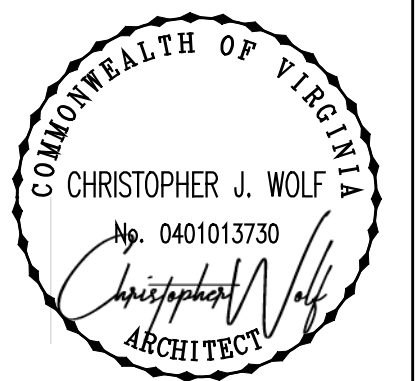


PROJECT CONTACTS:
 DEVELOPER:
 MATT JARREAU
 804-306-9019
 CONTRACTOR:
 JUSTIN DOOLEY
 HAMMERSMITH CONTRACTING CO.
 804-229-2383
 ARCHITECT:
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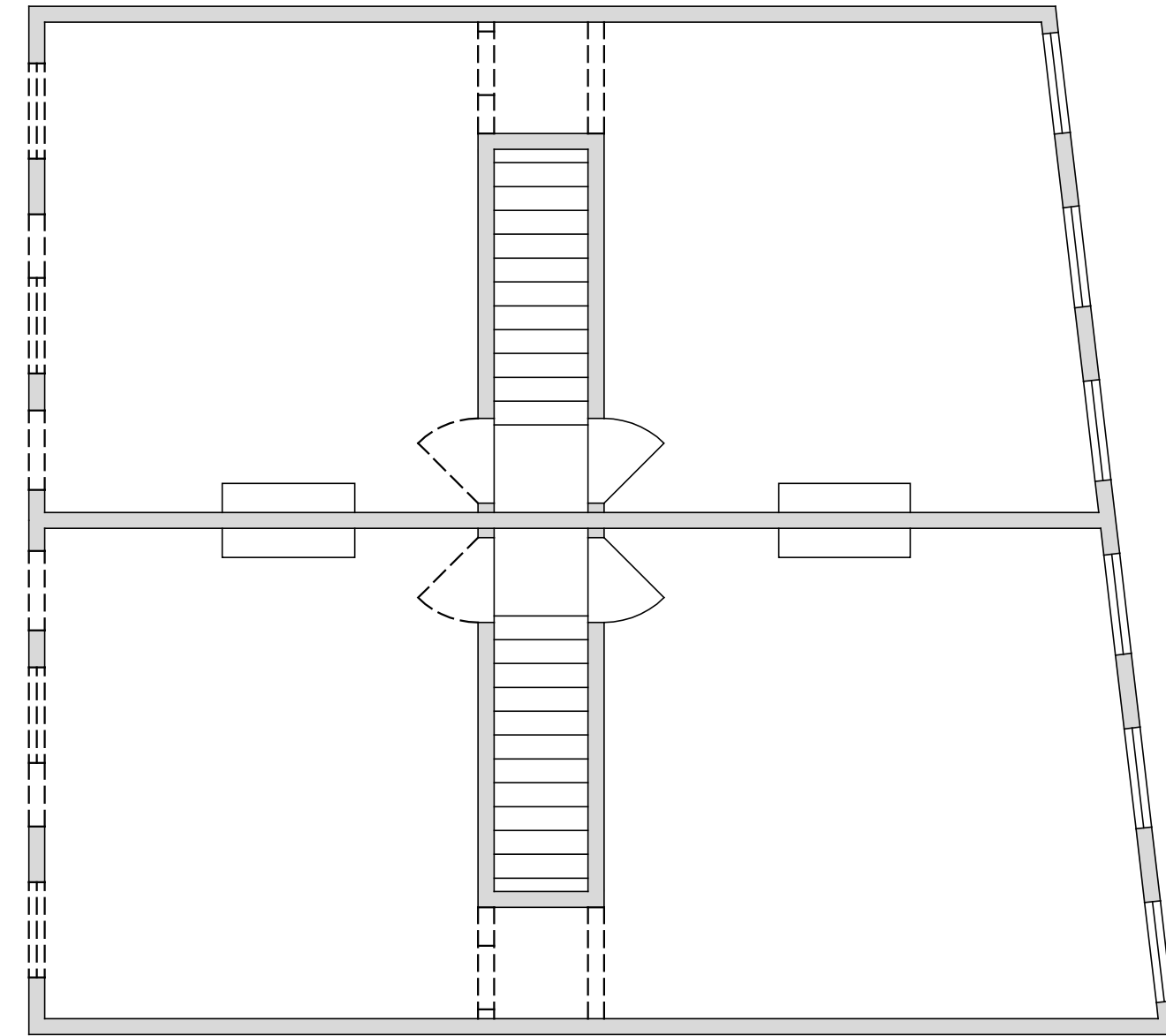
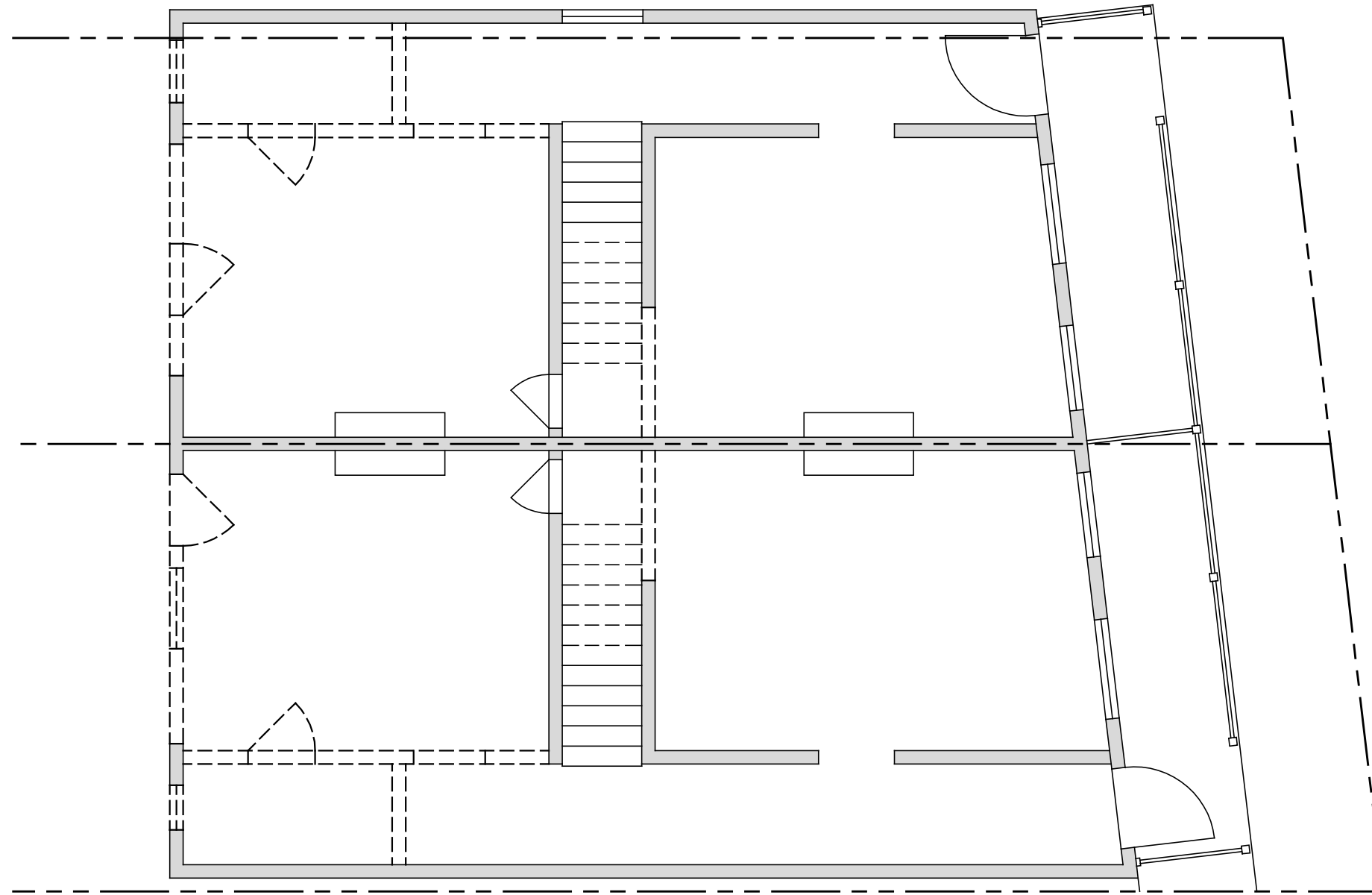
ARCHITECTURAL
 SITE PLAN



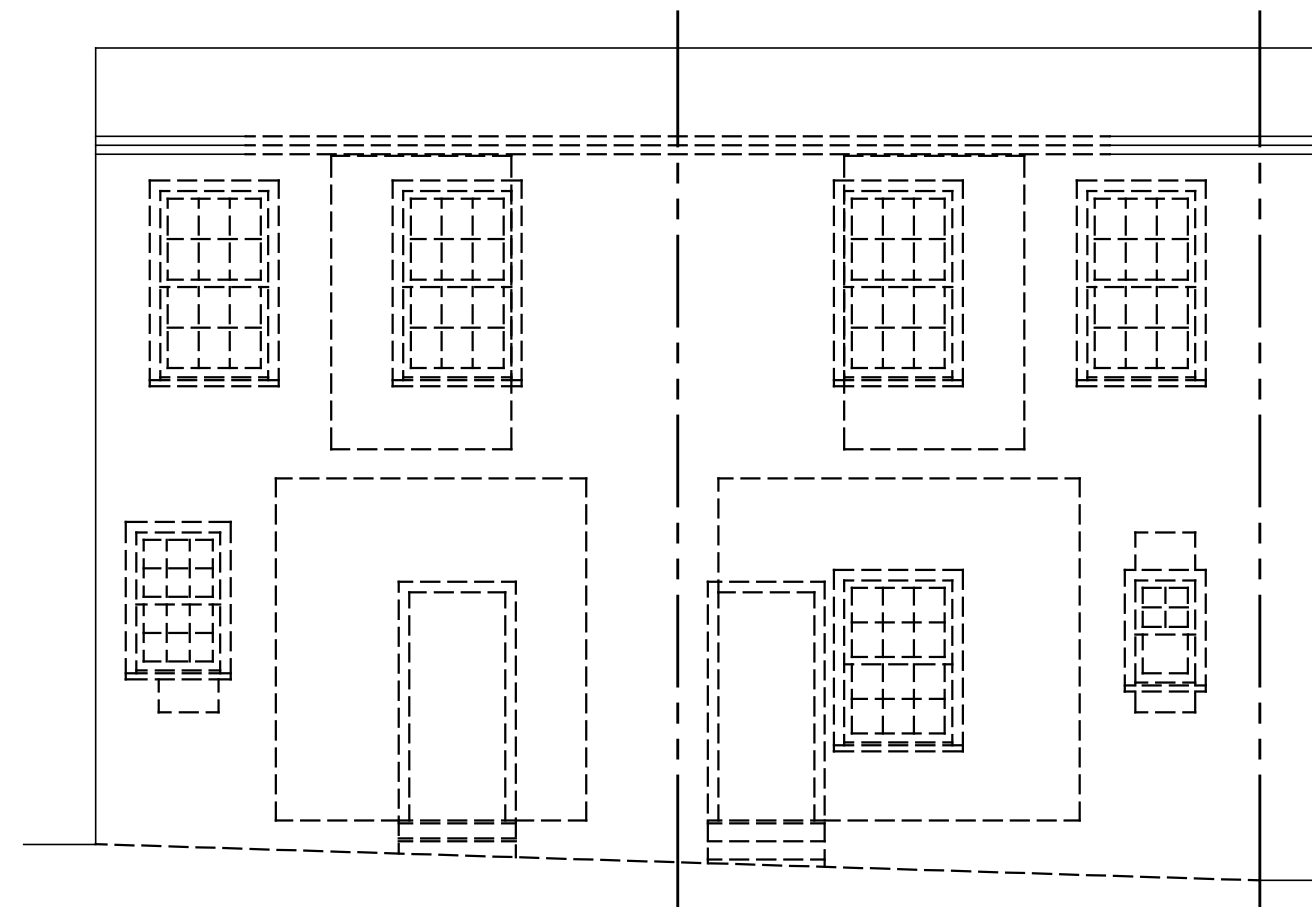
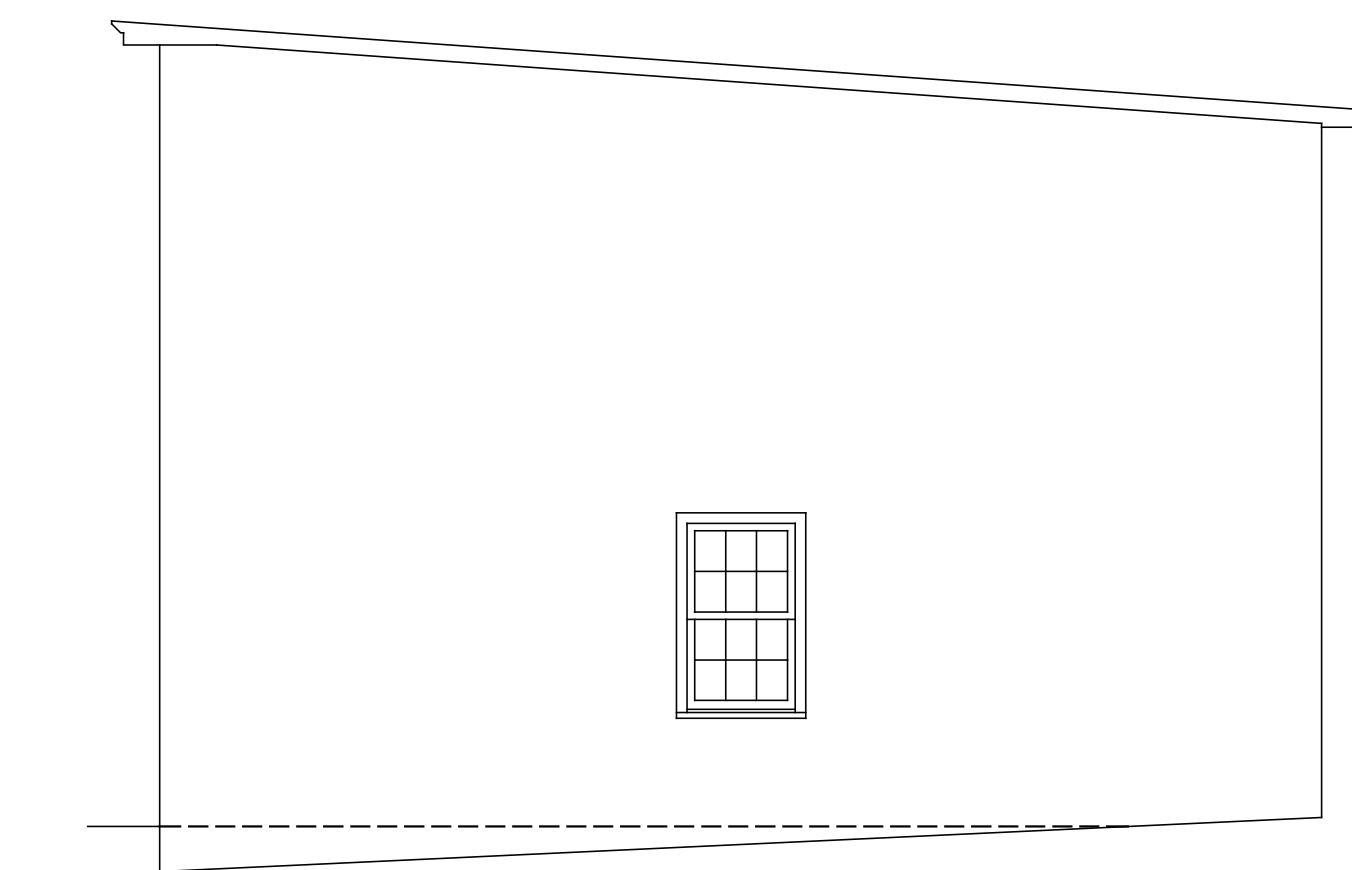
01 | ARCHITECTURAL SITE PLAN
 1" = 15'

PROPOSED CONSTRUCTION
 OVERLAID ON PLAT BY
 OTHERS- PROFESSIONAL
 STAMP DOES NOT APPLY

G.C. PROVIDE SILT FENCE
 AROUND AREA OF
 DISTURBANCE DURING
 CONSTRUCTION



02 | AS-BUILT/DEMO SECOND FLOOR PLAN
3/16" = 1'



01 | AS-BUILT/DEMO FIRST FLOOR PLAN
3/16" = 1'

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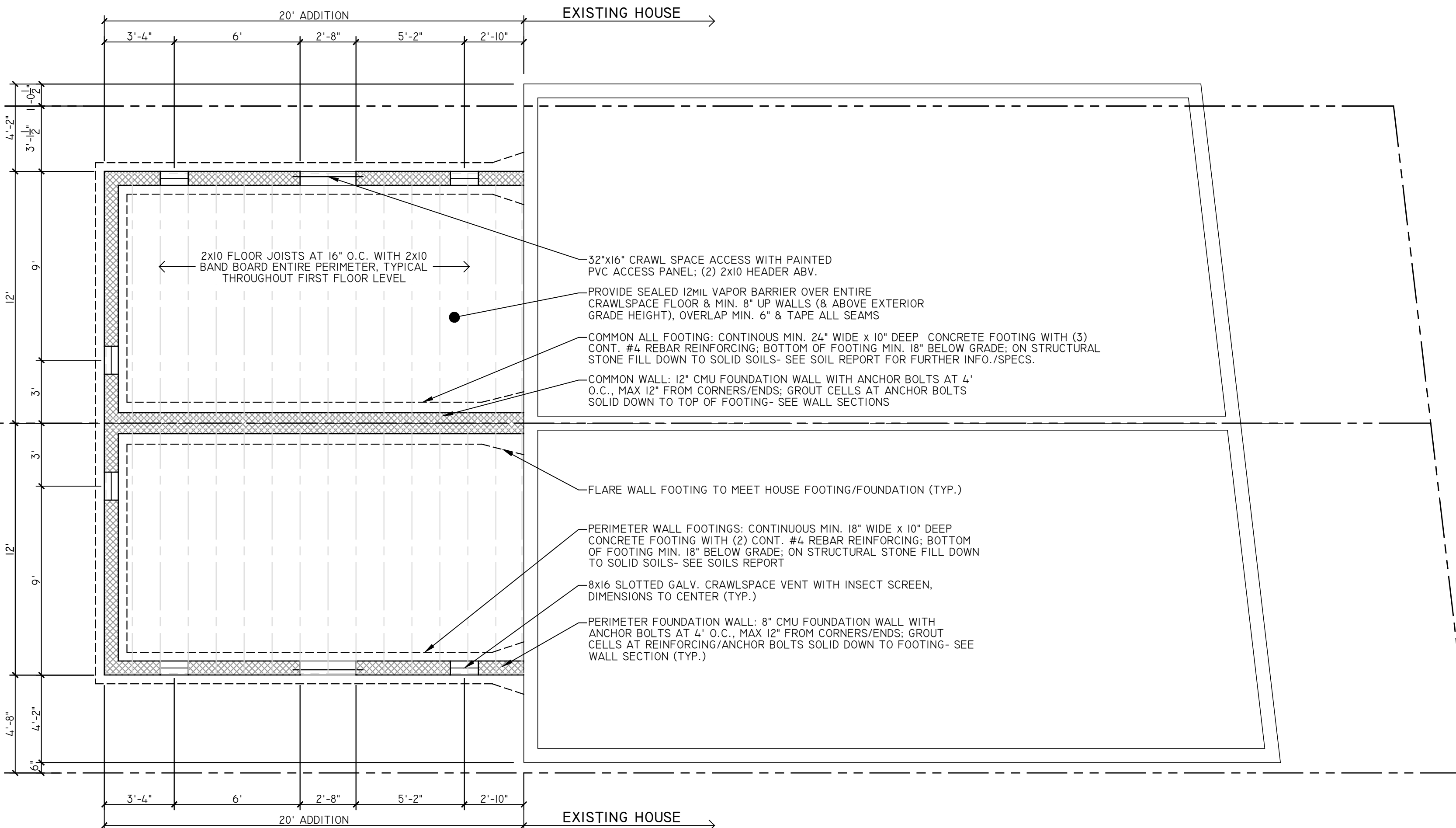
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AS-BUILT/DEMO FLOOR
PLANS & ELEVATIONS

DI.I

GENERAL FOUNDATION PLAN NOTES:

1. NOTES TYPICAL ACROSS BOTH UNITS U.N.O..
2. SEE SPECIFICATIONS AND GENERAL STRUCTURAL REQUIREMENTS ON COVER SHEET (CS) FOR FURTHER INFORMATION.
3. EXTERIOR DIMENSIONS TO OUTSIDE OF FOUNDATION OR CENTER OF OBJECT UNLESS NOTED OTHERWISE.
4. SEE COVER SHEET FOR CRAWL SPACE VENTILATION REQUIREMENTS.
5. BOTTOM OF FOOTINGS SHALL BE MIN 18" BELOW FINAL GRADE. SEE SOILS REPORT FOR FURTHER INFORMATION.
4. ALL STRUCTURAL WOOD FRAMING SHALL BE #2 SOUTHERN YELLOW PINE.
5. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
6. SEE WALL SECTION & DETAILS FOR FURTHER INFORMATION.



01 FOUNDATION FLOOR PLAN
1/4" = 1'

PROJECT CONTACTS:

DEVELOPER:
MATT JARREAU
804-306-9019

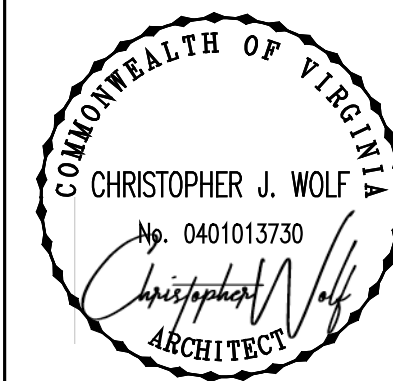
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FOUNDATION PLAN
AI.0

DOOR/WINDOW SCHEDULE				
DOORS (FULL GLASS)				
NO.	QTY.	SIZE (NOM.)	TYPE	REMARKS
101	-	2'10"x6'8"	FULL GLASS ENTRY	PAINTED (COLOR TBD)
A	02	2'6"x6'	DOUBLE HUNG	WHITE
B	01	2'x4'2"	DOUBLE HUNG	WHITE
C	01	1'8"x6"	DOUBLE HUNG	WHITE
D	02	2'8"x5'6"	DOUBLE HUNG	WHITE

WINDOW NOTES:

- G.C. SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS OR FRAMING.
- SEE CONSTRUCTION NOTES FOR ADDITIONAL SPECIFICATIONS.
- ALL WINDOW SIZES NOMINAL. G.C. VERIFY ACTUAL SIZES & FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
- ALL EXTERIOR WINDOWS & DOORS SHALL MEET C.A.R. REQUIREMENTS. G.C. SHALL SUBMIT SELECTIONS & FINISHES FOR C.A.R. APPROVAL PRIOR TO PURCHASE/CONSTRUCTION.
- HEAD HEIGHTS NOMINAL. G.C. COORDINATE ACTUAL HEADER HEIGHT WITH WINDOW ROUGH OPENING & INSTALLATION REQUIREMENTS.
- ALL WINDOWS & DOORS SHALL BE INSTALLED PER TYVEK INSTALLATION INSTRUCTIONS.
- FLASH TOPS OF ALL WINDOWS & ENTRY DOORS.
- 2ND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, & MIN. 5.7 S.F. NET CLEAR OPENING. G.C. VERIFY WITH MANUFACTURER & NOTIFY ARCHITECTS OF DISCREPANCIES PRIOR TO ORDERING OR FRAMING.
- BOTTOM OF SECOND & THIRD FLOOR WINDOWS SHALL BE GREATER THAN 18" OFF FINISH FLOOR.
- SEE ELEVATIONS FOR WINDOW FENESTRATION/MULLIONS.

GENERAL FLOOR PLAN NOTES:

- SEE SPECIFICATIONS AND GENERAL STRUCTURAL REQUIREMENTS ON COVER SHEET (CS) FOR FURTHER INFORMATION.
- EXTERIOR DIMENSIONS TO OUTSIDE OF FOUNDATION/SHEATHING OR CENTER UNLESS NOTED OTHERWISE.
- INTERIOR DIMENSIONS TO FACE OF DRYWALL.
- EXISTING EXTERIOR STUD WALLS DRAWN/DIMENSIONED AS 4-1/2" (STUD+SHEATHING+DRYWALL). INTERIOR WALLS DRAWN/DIMENSIONED AS 4-1/2" THICK (STUD + 2 DRYWALL). NEW EXTERIOR WALLS DRAWN/DIMENSIONED AS 4" (STUD+EXTERIOR SHEATHING) & NEW INTERIOR WALLS DRAWN/DIMENSIONED AS 3-1/2" (STUD ONLY).
- ALL STRUCTURAL FRAMING INCLUDING BEARING WALLS SHALL BE MIN. SOUTHERN YELLOW PINE NUMBER 2 GRADE OR BETTER/STRONGER
- ALL WALLS SHALL BE 2x4 STUDS AT 16" O.C. WITH (1) 2x4 BOTTOM PLATE & (2) 2x4 TOP PLATES UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING FOR PLUMBING FIXTURES, CABINETS, MECHANICAL SYSTEMS, ETC. AS REQUIRED. G.C. COORDINATE.
- INTERIOR DOOR LOCATIONS GENERALLY CENTERED. DOORS LOCATED AGAINST ADJACENT WALL NOT DIMENSIONED G.C. COORDINATE WITH SELECTED CASING.
- ALL WINDOWS & DOORS IN BEARING WALLS (ALL EXT. WALLS) SHALL HAVE MIN. (2) JACK STUDS & (2) 2x6 HEADER UNLESS NOTED OTHERWISE ON FLOOR PLANS.
- CONTINUE FRAMING LOADS (POSTS/COLUMNS) DOWN TO FOUNDATION. INCLUDE BLOCKING THROUGH FLOOR SYSTEMS. ENGINEERED LUMBER POSTS CONTINUOUS TO FOUNDATION (NO BREAKS AT FLOOR SYSTEMS).
- SEE LATERAL BRACING PLANS (BW SHEETS) FOR FURTHER STRUCTURAL INFORMATION.

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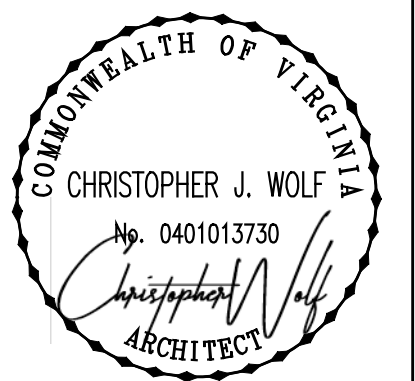
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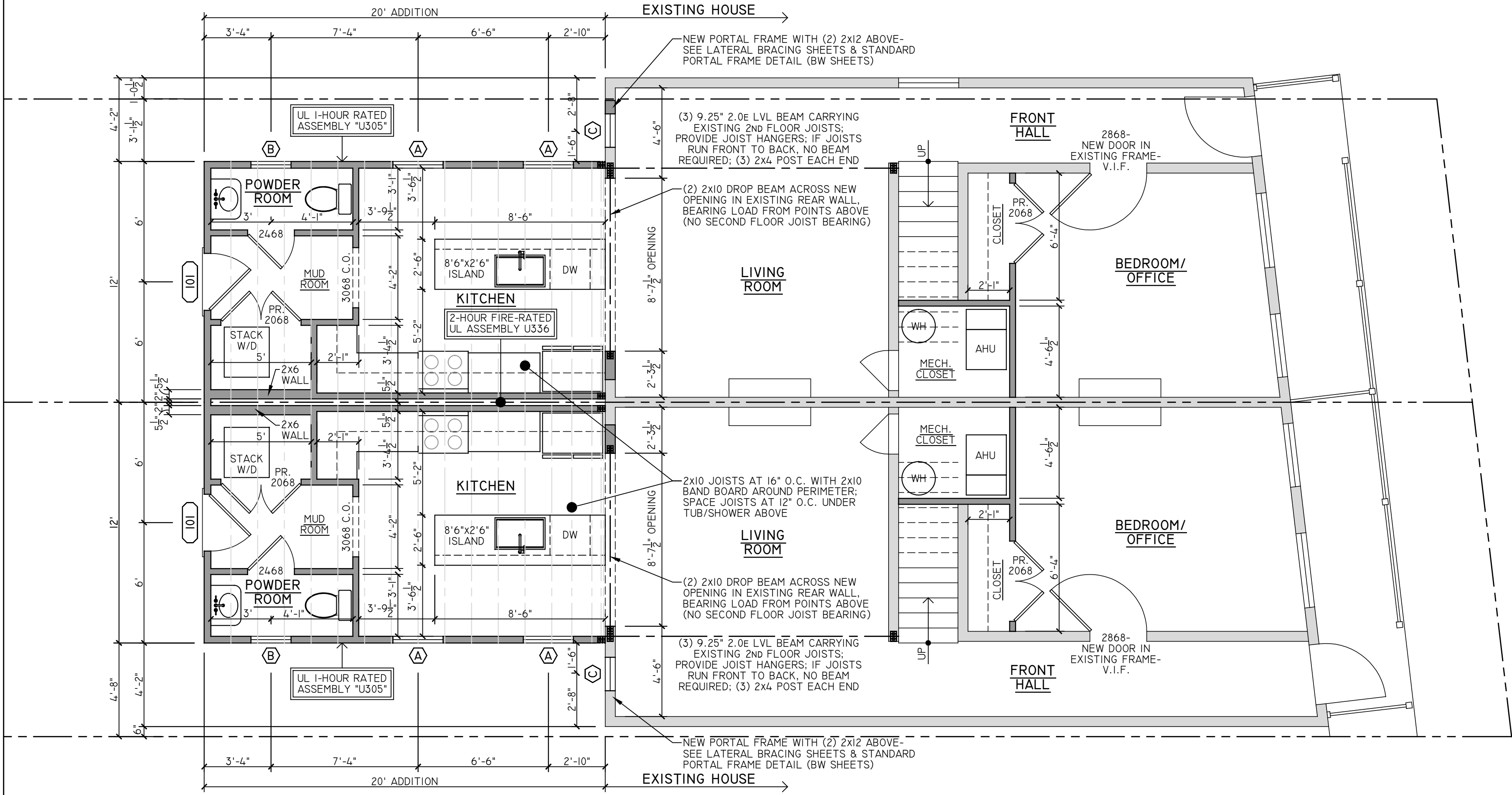
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FIRST FLOOR PLANS

AI.I



01 | FIRST FLOOR PLAN
1/4" = 1'

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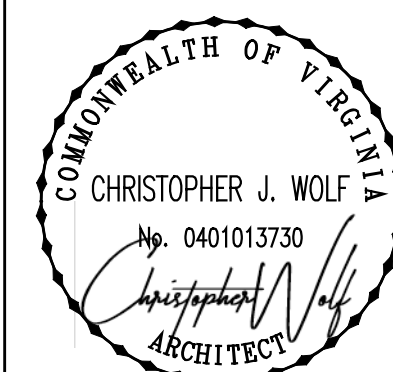
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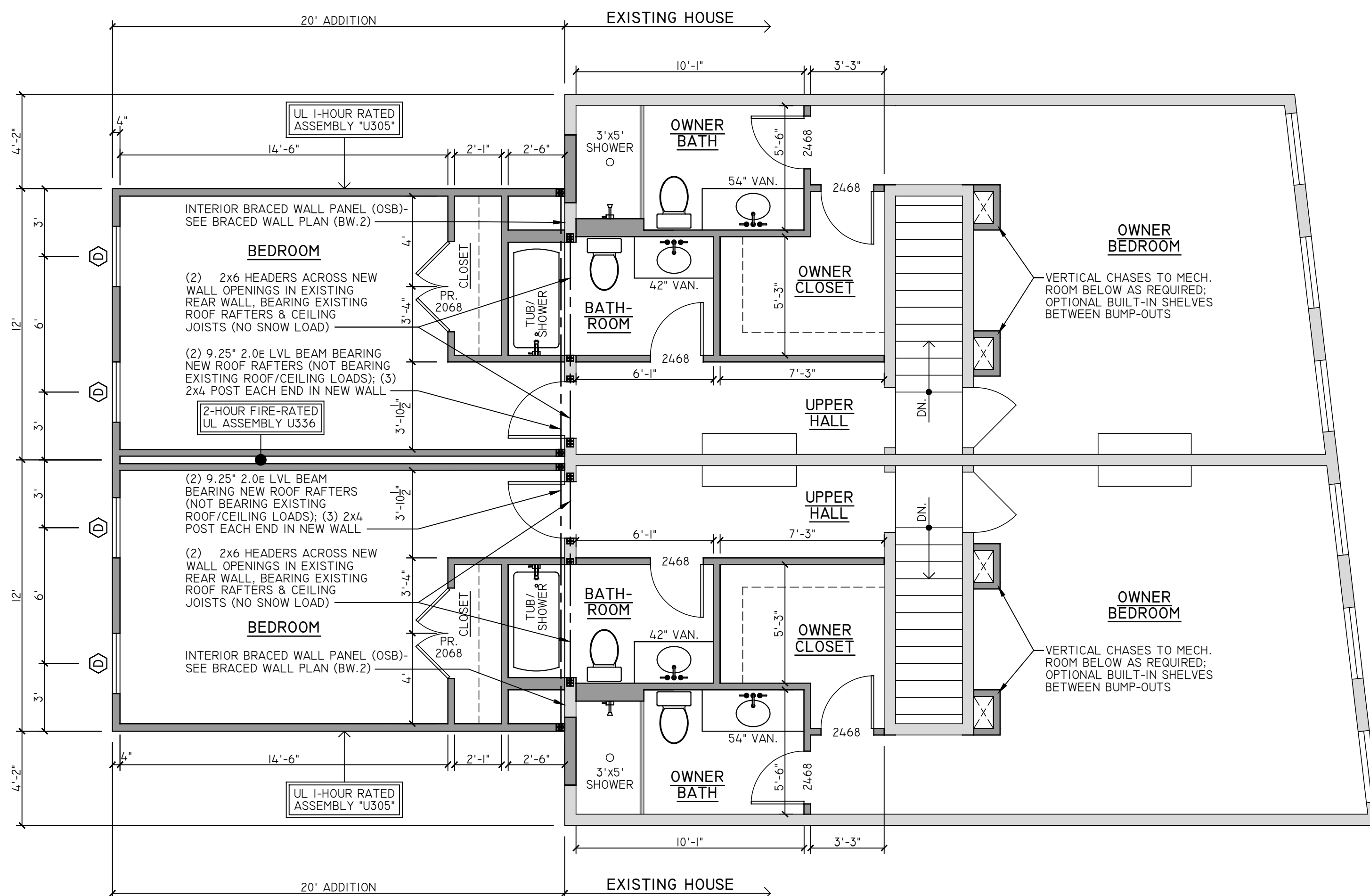
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SECOND FLOOR PLANS

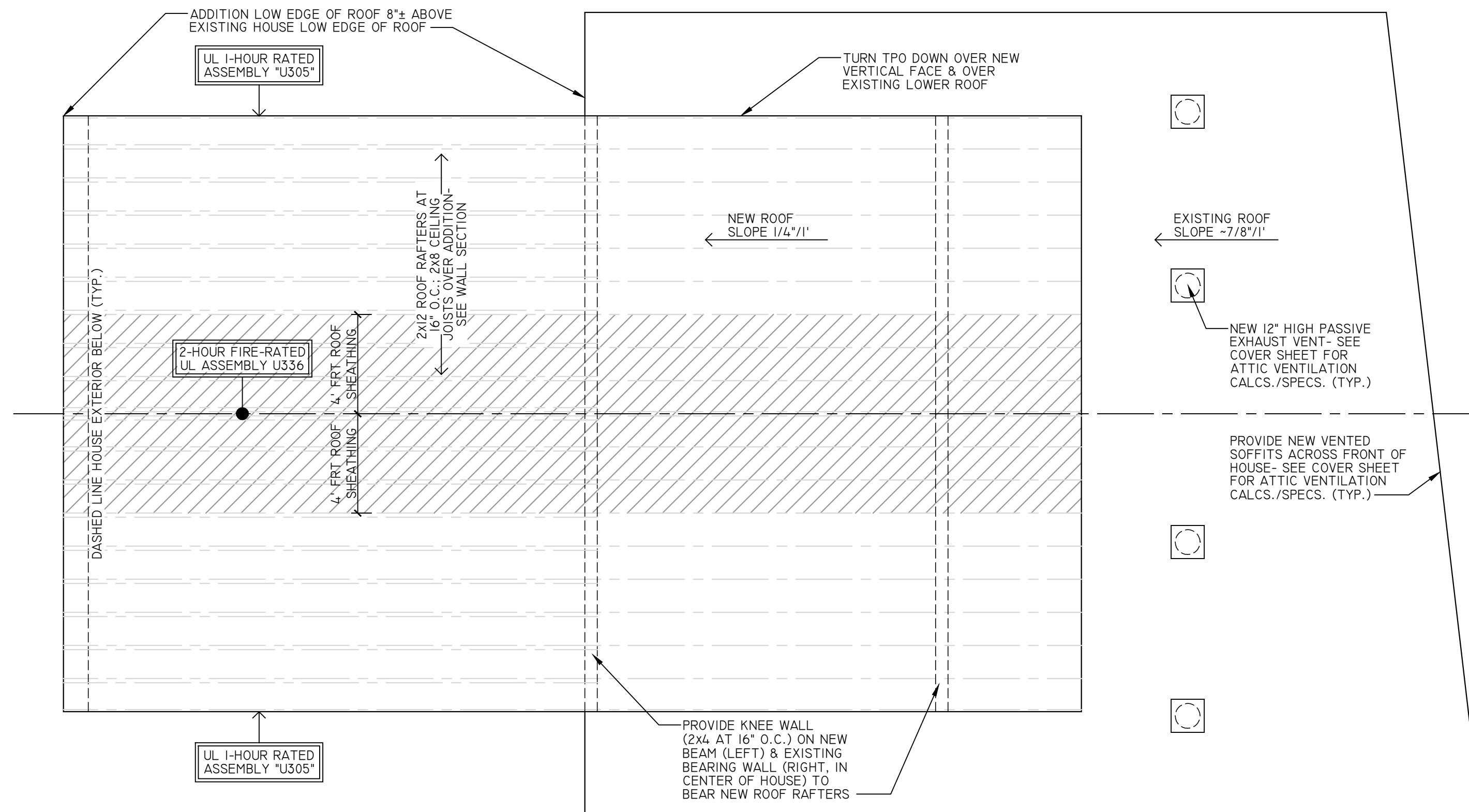
AI.2



02 | SECOND FLOOR PLAN
1/4" = 1'

GENERAL ROOF PLAN NOTES:

1. MAIN ROOF TPO: INSTALL OVER ENTIRE ROOF (EXISTING & NEW)- SEE SECTIONS & ELEVATIONS. INSTALL PER MFR. SPECS.
2. ALL ROOF SLOPES SHALL BE AS NOTED. MAINTAIN POSITIVE DRAINAGE TO EDGE.
3. PLACE ROOF PENETRATIONS (EXHAUSTS, VENT STACKS, ETC.) IN LEAST VISIBLE AREAS PRACTICAL.
4. INSTALL ROOFING, UNDERLAYMENT, EDGING, AND PENETRATIONS PER THESE DRAWINGS AND MANUFACTURER INSTALLATION DETAILS.
5. PROVIDE GUTTERS/DOWNSPOUTS TO COLLECT ALL ROOF WATER AND DRAIN TO GRADE, OUT AWAY FROM FOUNDATION.
6. G.C. TO DETERMINE SUITABILITY OF ALL STRUCTURAL MEMBERS- CONSULT ENGINEER IF QUESTIONABLE. NOTIFY ARCHITECT OF ANY UNSUITABLE STRUCTURAL MEMBERS DISCOVERED IN FIELD



01 | ROOF PLAN
1/4" = 1'

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ROOF PLAN
AI.3

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804-514-7644

REMOVE 2010 SECOND FLOOR WINDOWS & REPLACE WITH "2-OVER-2" CLAD WOOD WINDOWS TO MEET C.A.R. REQUIREMENTS; MATCH EXISTING SIZE- V.I.F.



EXISTING CORNICE/EAVE TO REMAIN; PATCH & REPAIR AS REQUIRED; PAINT WHITE

REMOVE EXISTING SIDING DOWN TO ORIGINAL WOOD LAP SIDING; PAINT SIDING (STANDARD HARDIE COLORS), TYPICAL ENTIRE HOUSE

PAINT ALL POSTS & TRIM WHITE

REPLACE ALL PORCH RAILS WITH SAWN WOOD RAIL TO MATCH HISTORIC PHOTO PROVIDED BY C.A.R.; G.C. PROVIDE PROFILE TO C.A.R. FOR APPROVAL PRIOR TO CONSTRUCTION; PAINT WHITE

01 | FRONT VIEW

ADDITION & RENOVATION TO TWO 2-STORY, SINGLE-FAMILY ATTACHED HOUSES IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD
2010-2012 VENABLE STREET
2010-2012 VENABLE STREET
RICHMOND, VIRGINIA 23223



SET/REVISION:
REVISION 01:
ADDITION SIDING

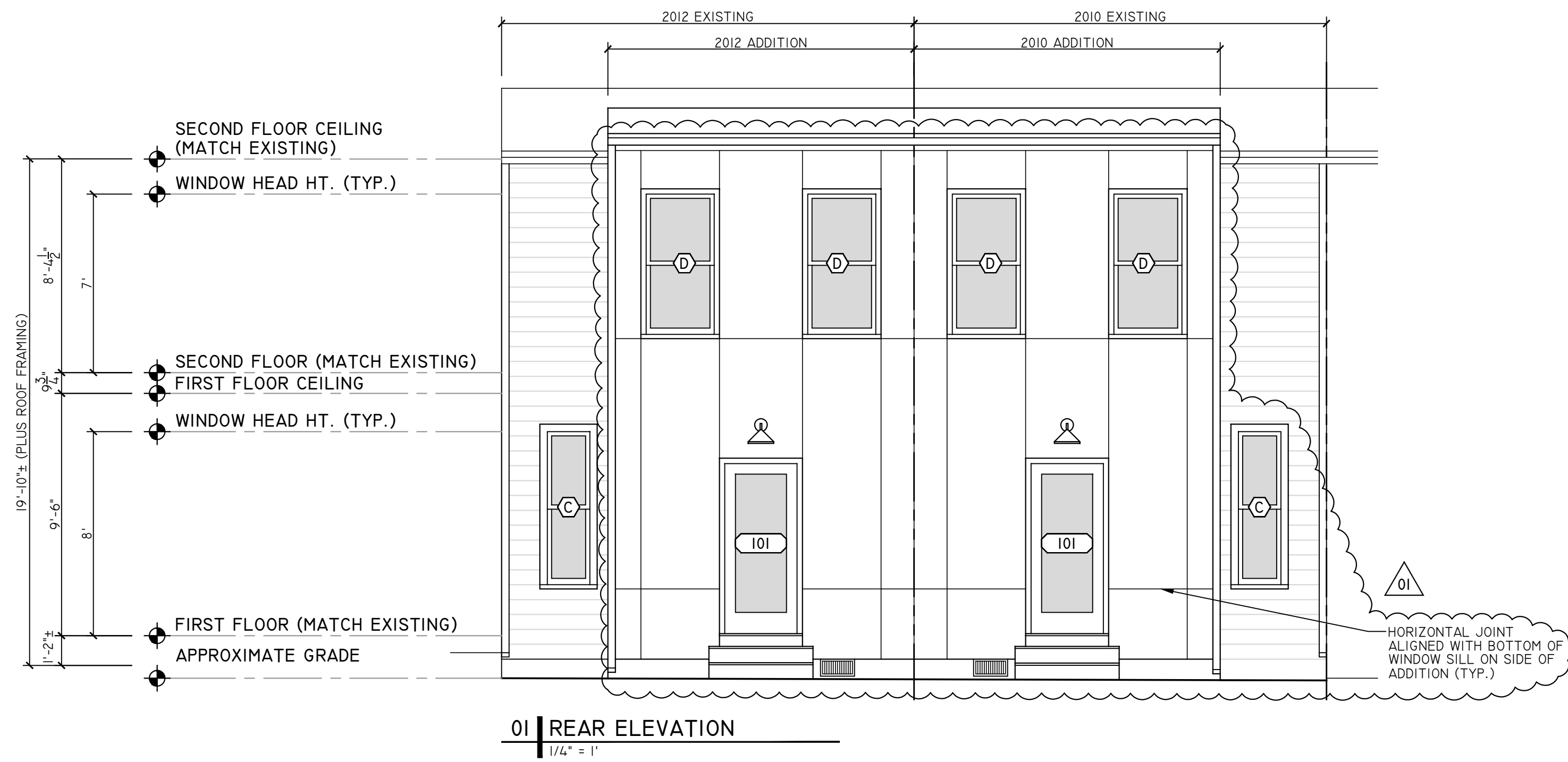
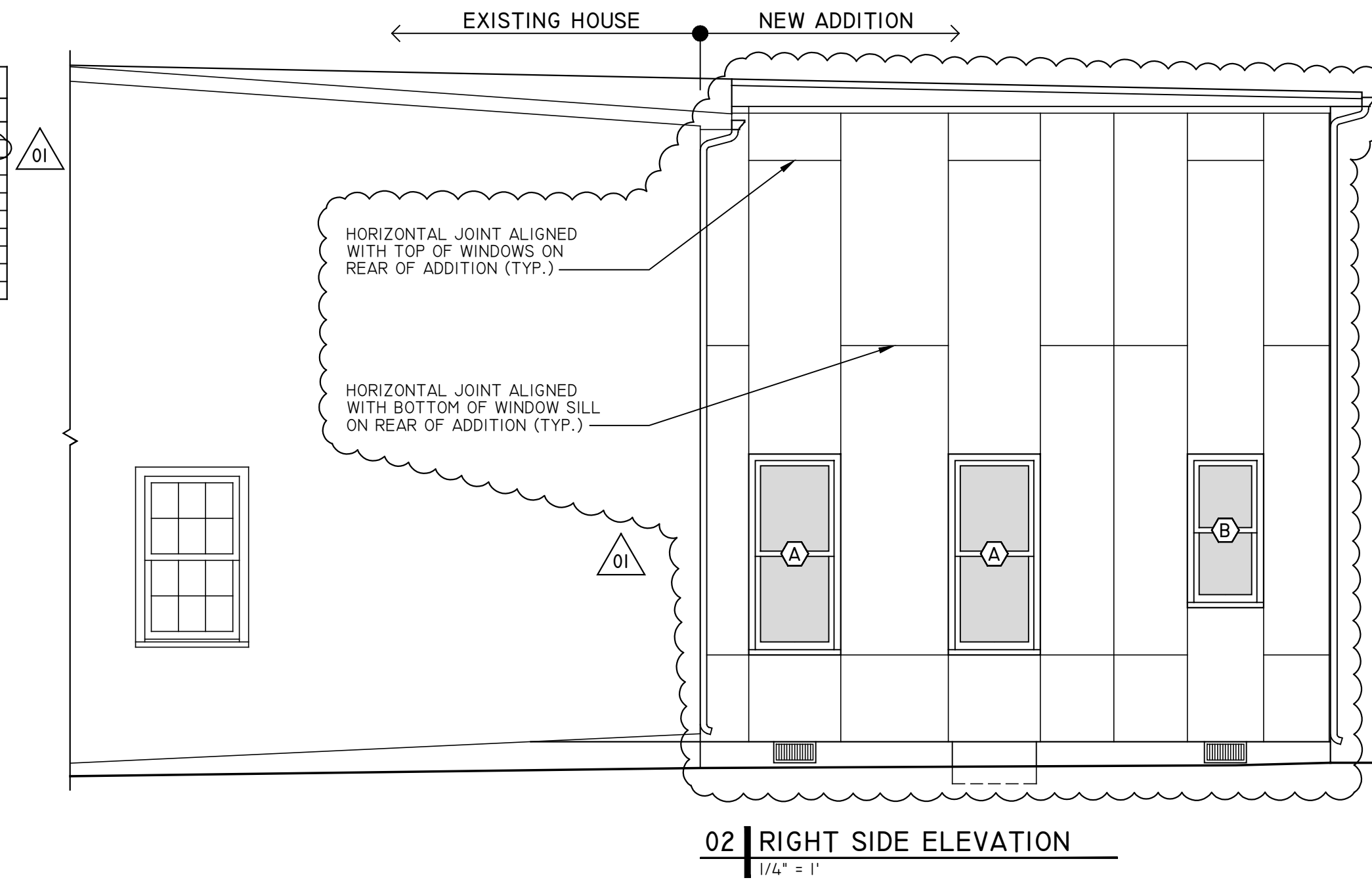
DATE/MARK:
03.08.2021

FRONT VIEW

A2.1

EXTERIOR FINISH SCHEDULE		
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PARGED FOUNDATION	DARK GRAY
02	HARDIE SMOOTH PANEL SIDING WITH ALUM. ACCESSORIES	TBD
03	HARDIE/COMP. TRIM	PAINTED WHITE
04	MAIN ROOF - TPO	FACTORY WHITE
05	NEW FRONT PORCH ROOF - EPDM MEMBRANE	FACTORY BLACK
06	SOLID WOOD ENTRY DOORS	PAINTED- COLOR TBD
07	WINDOW	WRAPPED WOOD, PREFINISHED WHITE
08	NEW FRONT PORCH RAILINGS - "RICHMOND RAIL"	PAINTED WHITE
09	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE

1. ALL MATERIALS & COLORS MUST MEET GENERAL C.A.R. REQUIREMENTS. G.C. SHALL SUBMIT SELECTIONS & FINISHES FOR C.A.R. APPROVAL PRIOR TO PURCHASE/CONSTRUCTION.
2. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS UNLESS NOTED OTHERWISE.
3. GRADES SHOWN APPROXIMATE. V.I.F.



PROJECT CONTACTS:

DEVELOPER:
MATT JARREAU
804-306-9019

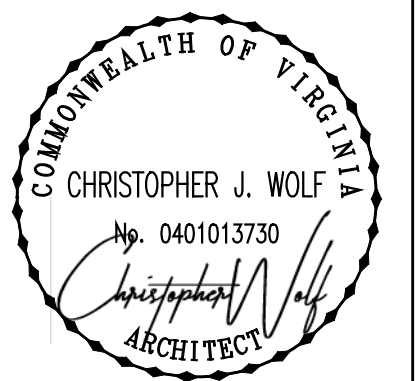
CONTRACTOR:
JUSTIN DOOLEY
HAMMERSMITH CONTRACTING CO.
804-229-2383

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

ADDITION & RENOVATION TO TWO 2-STORY, SINGLE-FAMILY ATTACHED HOUSES IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD

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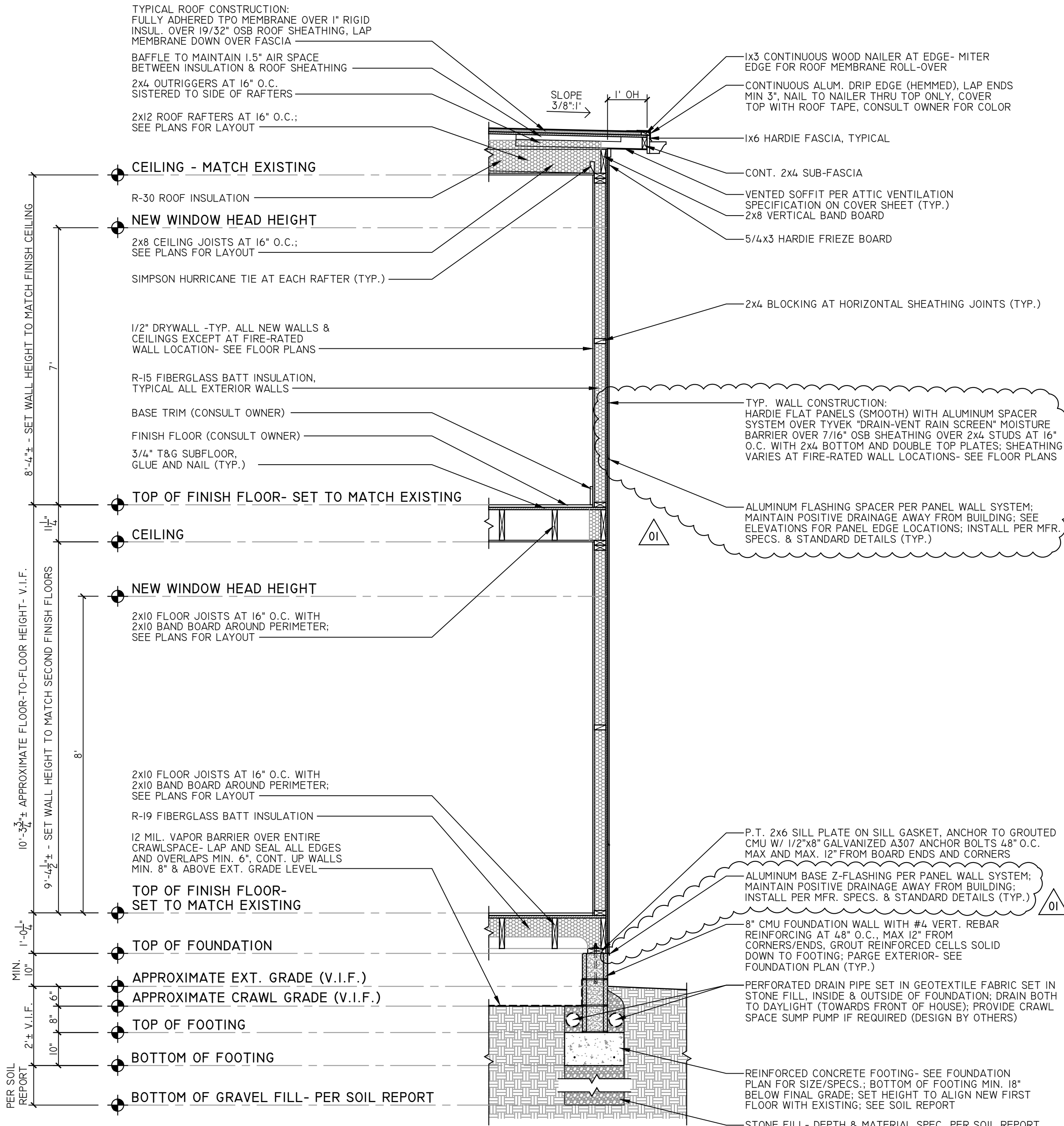
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03.08.2021

REAR & RIGHT SIDE EXTERIOR ELEVATIONS

A2.2

01

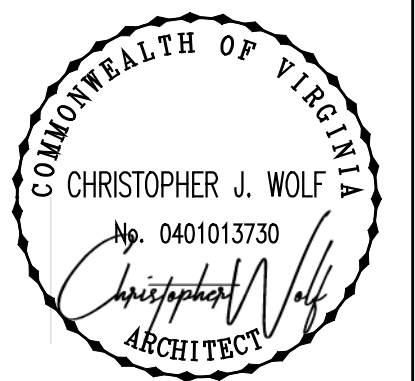
SECTION GENERAL NOTES:
 1. G.C. COORDINATE NEW CONSTRUCTION TO ALIGN NEW FINISH FLOORS WITH EXISTING.
 2. G.C. FIELD VERIFY GRADING REQUIREMENTS. SOME GRADING REQUIRED.
 3. NO SOIL REPORT PROVIDED.
 4. ALL EXTERIOR MATERIALS/FINISHES/COLORS MUST BE APPROVED BY RICHMOND'S COMMISSION OF ARCHITECTURAL REVIEW (C.A.R.); G.C. SHALL SUBMIT SPECS./SAMPLES TO C.A.R. FOR APPROVAL PRIOR TO PURCHASE.



01 | REAR WALL SECTION
 1/2" = 1'

PROJECT CONTACTS:
 DEVELOPER:
 MATT JARREAU
 804-306-9019
 CONTRACTOR:
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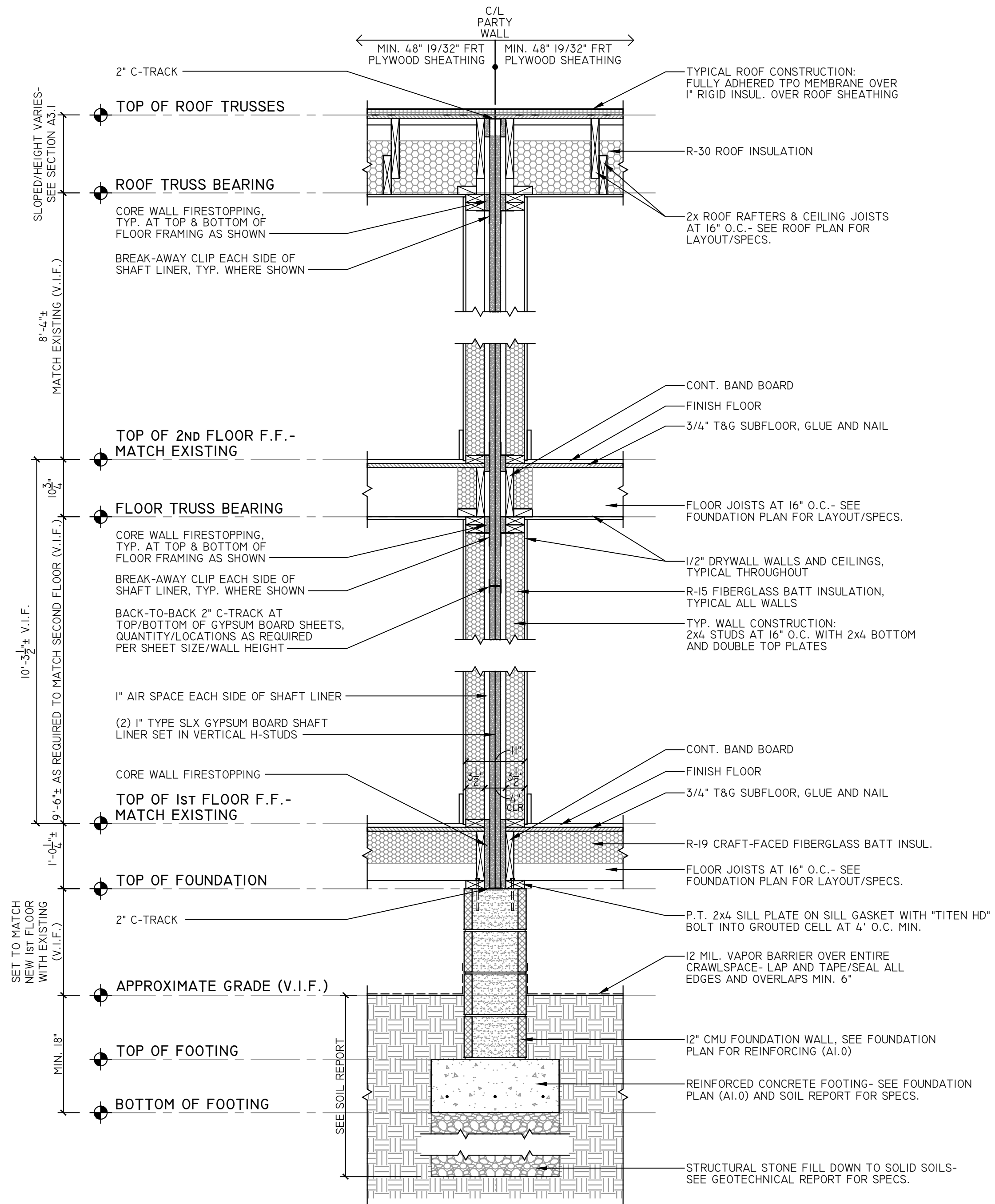
ADDITION & RENOVATION TO TWO 2-STORY, SINGLE-FAMILY ATTACHED HOUSES IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD
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REAR WALL SECTION
A3.1

NOTE: ALL COMPONENTS OF PARTY WALL SHALL MEET SPECIFICATIONS & DETAILS OF UL ASSEMBLY U336 (SEE SHEET A3.3) & MANUFACTURER INSTALLATION INSTRUCTIONS



01 PARTY WALL SECTION
3/4" = 1'

PROJECT CONTACTS:

DEVELOPER:
MATT JARREAU
804-306-9019

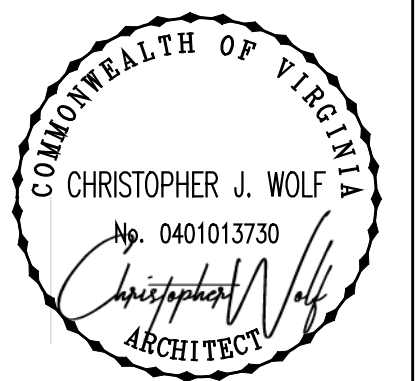
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PARTY WALL SECTION
A3.2



Design No. U336
BXUV.U336
Fire Resistance Ratings - ANSI/UL 263

Page Bottom

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-resistance Ratings - ANSI/UL 263

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

Design No. U336

March 05, 2018

Exposed to fire from separation wall side only

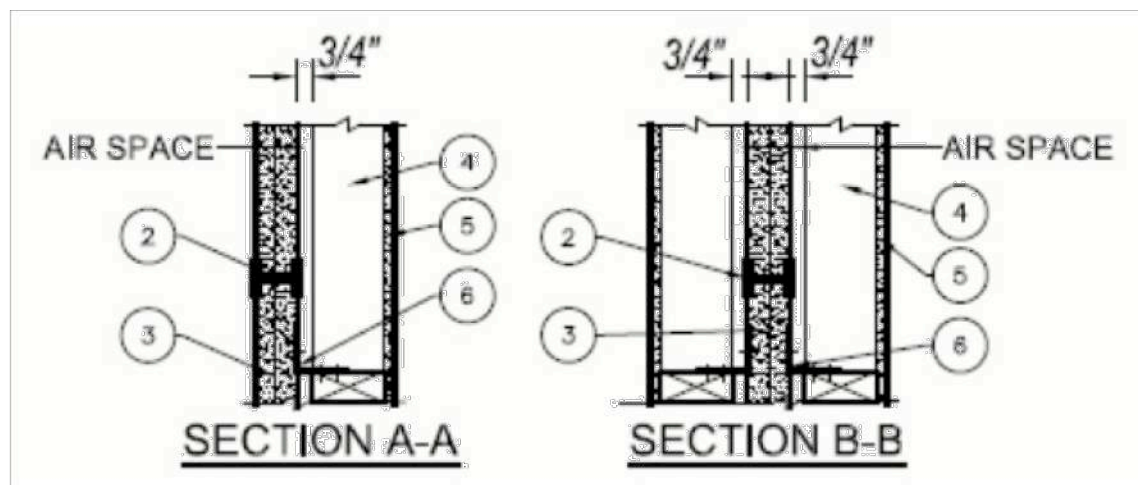
Nonbearing Wall Rating - 2 Hr (Separation Wall, See Items 1, 2 and 3)

Bearing Wall Rating - 2 Hr (Protected Wall, See Items 4 and 4A)

Nonbearing Wall Rating - 2 Hr (Protected Wall, See Item 4B)

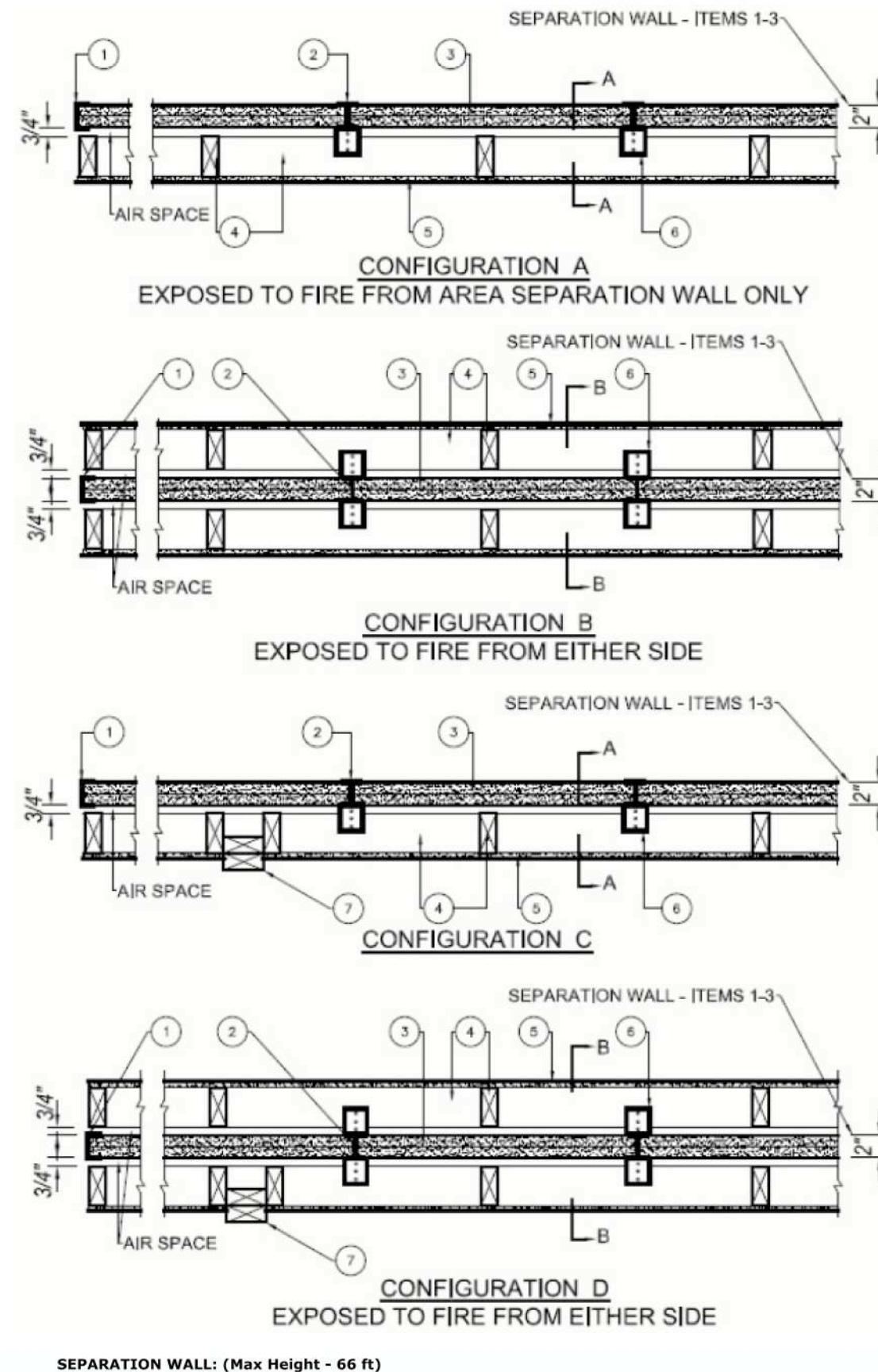
Finish Rating - 120 Min

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



01 PARTY WALL UL ASSEMBLY DETAILS

N.T.S.



SEPARATION WALL: (Max Height - 66 ft)

- 1. Floor, Intermediate or Top Wall** - 2 in. wide channel shaped with 1 in. long legs formed from No. 25 MSG galv steel, secured with suitable fasteners spaced 24 in. OC.
- 2. Metal Studs** - Steel members formed from No. 25 MSG galv steel having "H"-shaped flanged spaced 24 in. OC; overall depth 2 in. and flange width 1-3/8 in.
- 3. Gypsum Board*** - Two layers of 1 in. thick gypsum board liner panels, supplied in nom 24 in. widths. Vertical edges of panels friction fitted into "H"-shaped studs.

CGC INC - Type SLX

UNITED STATES GYPSUM CO - Type SLX

USG BORAL DRYWALL SFZ LLC - Type SLX

USG MEXICO S A D E C V - Type SLX

PROTECTED WALL: (Bearing or Nonbearing Wall). When Bearing, Load Restricted for Canadian Applications - See Guide BXUV7.

- 4. Wood Studs** - Nom 2 by 4 in. max spacing 24 in. OC. Studs cross braced at mid-height where necessary for clip attachment. Min 3/4 in. separation between wood framing and fire separation wall.

4A. Steel Studs - (As an alternate to Item 4, Not Shown) - For Bearing Wall Rating - Corrosion protected steel studs, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min 3-1/2 in. wide, min No. 20 GSG (0.036 in. thick) galv steel or No. 20 MSG (0.033 in. thick) primed steel, cold formed, shall be designed in accordance with the current edition of the Specification for the Design of Cold-Formed Steel Structural Members by the American Iron and Steel Institute. All design details enhancing the structural integrity of the wall assembly, including the axial design load of the studs, shall be as specified by the steel stud designer and/or producer, and shall meet the requirements of all applicable local code agencies. The max stud spacing of wall assemblies shall not exceed 24 in. OC. Studs attached to floor and ceiling tracks with 1/2 in. long Type S-12 steel screws on both sides of studs or by welded or bolted connections designed in accordance with the AISI specifications. Top and bottom tracks shall consist of steel members, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min No. 20 GSG (0.036 in. thick) galv steel or No. 20 MSG (0.033 in. thick) primed steel, that provide a sound structural connection between steel studs, and to adjacent assemblies such as a floor, ceiling, and/or other walls. Attached to floor and ceiling assemblies with steel fasteners spaced not greater than 24 in. O.C. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.

4B Steel Studs - As an alternate to Items 4 and 4A, for use in Configuration B only, Not Shown) - For Nonbearing Wall Rating - Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min 3-1/2 in. wide, min 1-1/4 in. flanges and 1/4 in. return, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height. Top and bottom tracks shall be channel shaped, fabricated from min 25 MSG corrosion-protected steel, min width to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners 24 in. OC max. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.

5. Gypsum Board - Classified or Unclassified - Min 1/2 in. thick, 4 ft wide, applied either horizontally or vertically. Gypsum board attached to studs with 1-1/4 in. long steel drywall nails spaced 8 in. OC. Vertical joints located over studs. (Optional) Joints covered with paper tape and joint compound. Nail heads covered with joint compound.

6. Attachment Clips - Aluminum angle, 0.063 in. thick, 2 in. wide with 2 in. and 2-1/4 in. legs. Clips secured with Type S screws 3/8 in. long to "H" studs and with Type W screws 1-1/4 in. long to wood framing through holes provided in clip.

6A. Clip placement (Item 6) for separation walls up to 23 ft high. Space clips a max of 10 ft OC vertically between wood framing and "H" studs.

6B. Clip placement (Item 6) for separation walls up to 44 ft high. Space clips as described in Item 6A for upper 24 ft. Remaining wall area below requires clips spaced a max 5 ft OC vertically between wood framing and "H" studs.

6C. Clip placement (Item 6) for separation walls up to 66 ft high: Space clips as described in Item 6A for upper 24 ft. Space clips as described in item 6B for next 20 ft. below the upper 24 ft. Remaining wall area below requires clips spaced a max of 40 in. OC vertically between wood framing and "H" studs.

7. Non-Bearing Wall Partition Intersection - (Optional) - Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 3 in. long 10d nails spaced a max. 16 in. OC, vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max 16 in. OC, vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the wall.

8. Caulking and Sealants* - (Optional) - A bead of sealant applied around the partition perimeter, and at the interface between wood or steel framing and gypsum board panels to create an air barrier.

KNAUF INSULATION LLC - Type ECOSEAL™ Plus

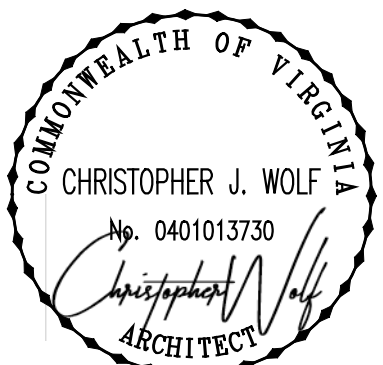
PROJECT CONTACTS:

DEVELOPER:
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 804-306-9019

CONTRACTOR:
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ARCHITECT:
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ADDITION & RENOVATION TO TWO 2-STORY, SINGLE-FAMILY
 ATTACHED HOUSES IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD
2010-2012 VENABLE STREET
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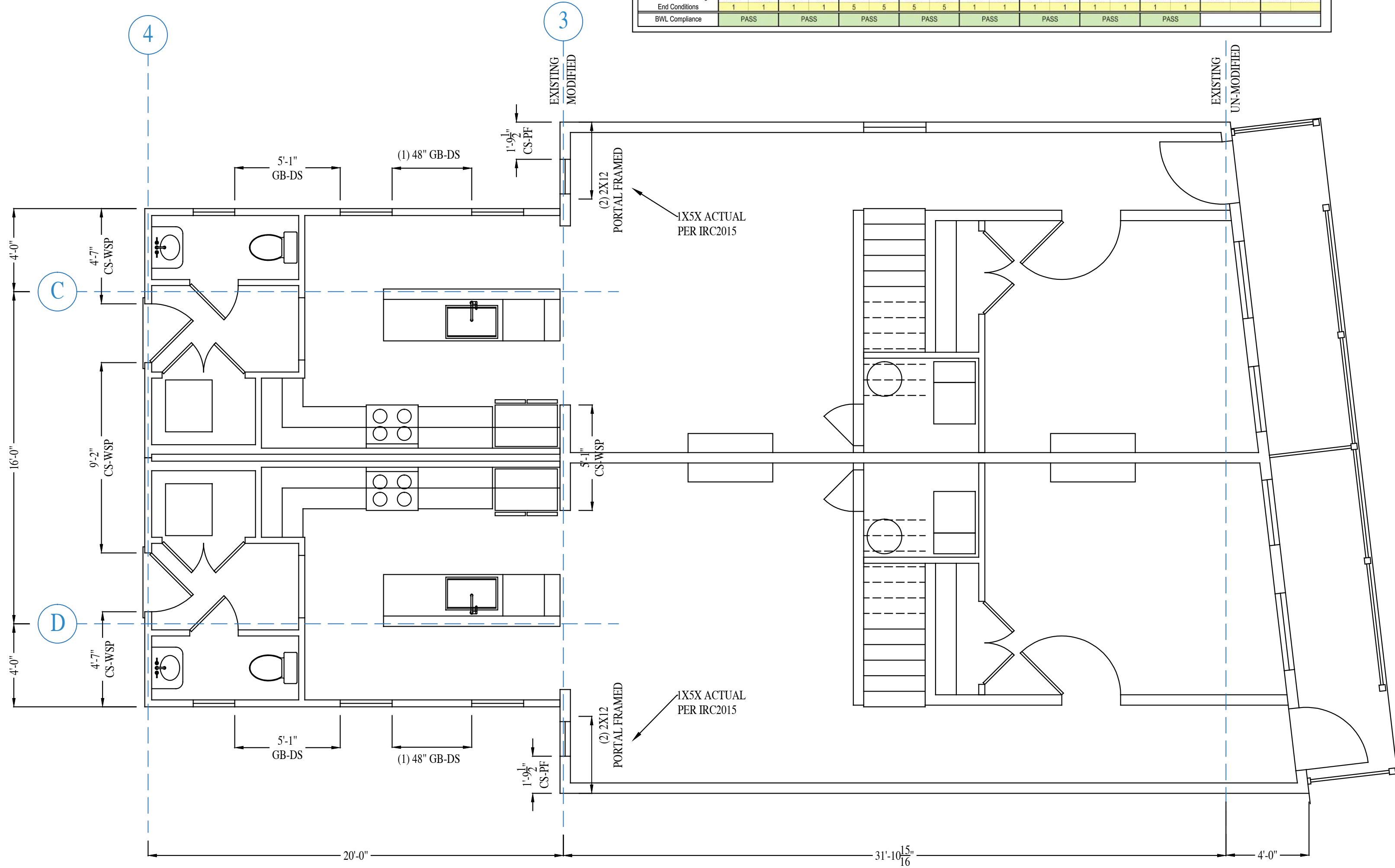
PARTY WALL UL
 ASSEMBLY DETAILS

A3.3

Classic Wall Bracing Worksheet

per 2015 Virginia Residential Code Section R602.10

Ultimate Wind Speed (mph)	115																
BWL Designation	A		B		1		2		C		D		3		4		
No. of Floors above BWL	0		0		0		0		1		1		1		1		
BWP Method	GB		GB		CS-WSP		CS-WSP		GB		GB		CS-WSP		CS-WSP		
Average BWL Spacing (ft)	24		24		32		20		16		16		32		20		
Tabular Requirement (ft)	7.70		7.70		4.80		3.50		10.30		10.30		9.50		6.50		
Exposure	B		1.00		B		1.00		B		1.00		B		1.00		
Eave-to-Ridge Ht. (ft)	3.00	0.70	3.00	0.70	3.00	0.70	3.00	0.70	3.00	0.85	3.00	0.85	3.00	0.85	3.00	0.85	
Max. Wall Ht. (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	
No. of BWLs	2		1.00		3		1.30		2		1.00		3		1.30		
Omit Interior Finish?	No		1.00		No		1.00		No		1.00		No		1.00		
Added Hold-downs?	No		1.00		No		1.00		No		1.00		No		1.00		
Joints Blocked?	Yes		1.00		Yes		1.00		Yes		1.00		Yes		1.00		
Fasteners @ 4' o.c.?	No		1.00		No		1.00		No		1.00		No		1.00		
Required BWP Length (ft)	5.12		5.12		4.15		3.03		8.32		8.32		9.97		6.82		
Actual BWPs	BWP	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length
	1	GB (ss)	10.00	GB (ss)	10.00	CS-WSP	3.05	CS-WSP	3.33	GB (ds)	5.00	GB (ds)	5.00	CS-PF	2.69	CS-WSP	4.60
	2					CS-WSP	3.05	CS-WSP	3.33	GB (ds)	4.00	GB (ds)	4.00	CS-PF	5.05	CS-WSP	9.17
	3							CS-WSP	3.33					CS-PF	2.69	CS-WSP	4.60
	4																
	5																
	6																
7																	
Actual BWP Length (ft)	10.00		10.00		6.10		9.99		9.00		9.00		10.43		18.37		
Actual ≥ Required?	PASS		PASS		PASS		PASS		PASS		PASS		PASS		PASS		
BWPs ≤ 20' Apart?	Yes		Yes		Yes		Yes		Yes		Yes		Yes		Yes		
≥ 2 Panels in BWL?	Yes		Yes		Yes		Yes		Yes		Yes		Yes		Yes		
BWP 10' from Ends?	Yes		Yes		Yes		Yes		Yes		Yes		Yes		Yes		
Continuous Sheathing	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	
End Conditions	1	1	1	1	5	5	5	5	1	1	1	1	1	1	1	1	
BWL Compliance	PASS		PASS		PASS		PASS		PASS		PASS		PASS		PASS		



01 | FIRST FLOOR LATERAL BRACING PLAN
1/4" = 1'

PROJECT CONTACTS:

DEVELOPER:
MATT JARREAU
804-306-9019

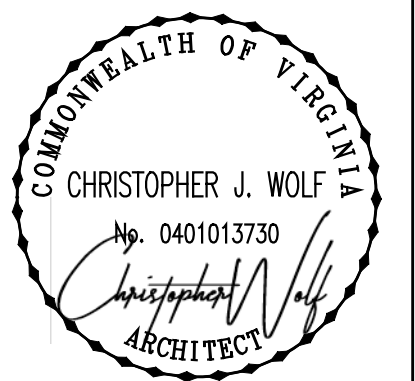
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ADDITION & RENOVATION TO TWO 2-STORY, SINGLE-FAMILY
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2010-2012 VENABLE STREET

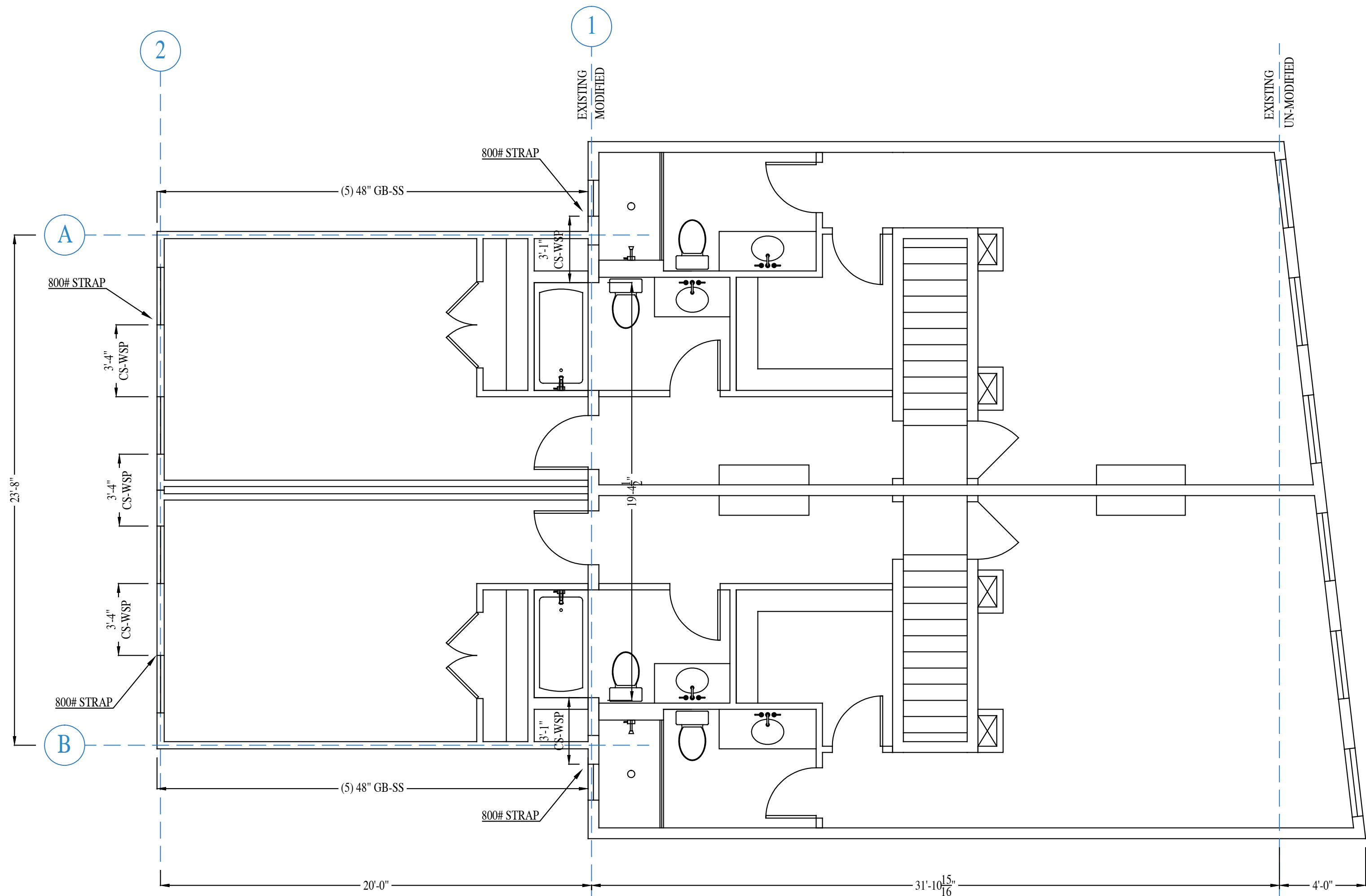
2010-2012 VENABLE STREET
RICHMOND, VIRGINIA 23223



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FIRST FLOOR LATERAL
BRACING DESIGN

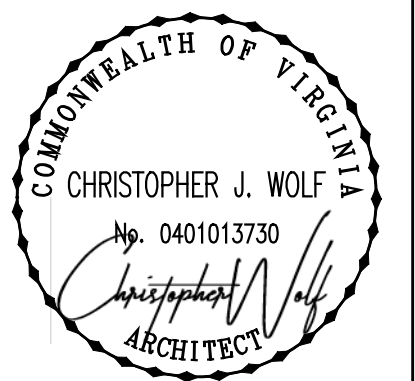
BW.1



01 | SECOND FLOOR LATERAL BRACING PLAN
 1/4" = 1"

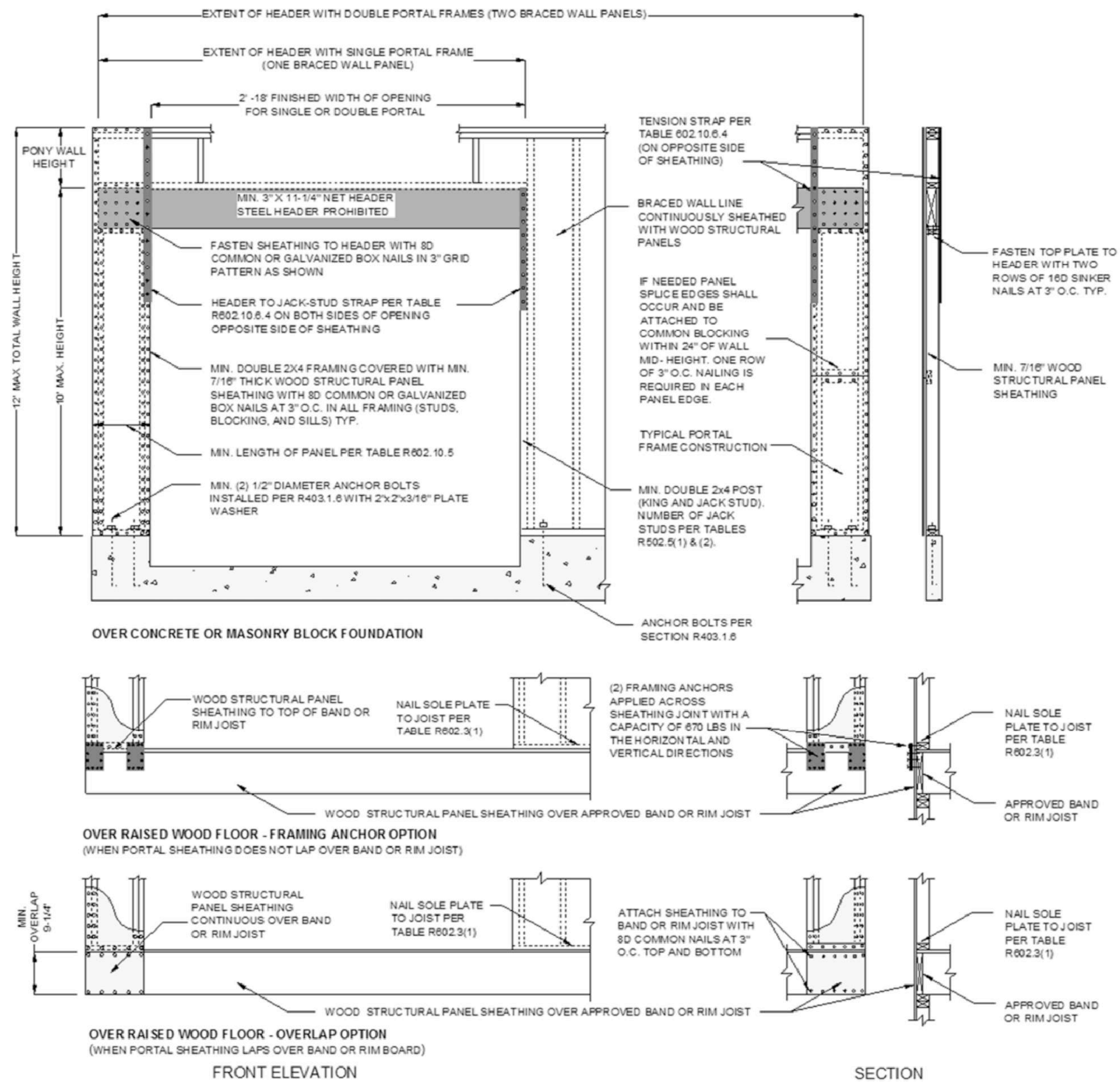
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 804-229-2383
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SECOND FLOOR LATERAL
 BRACING DESIGN
BW.I



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.10.6.4
METHOD CS-PF-CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

PROJECT CONTACTS:

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STANDARD PORTAL
FRAME DETAIL

BW.3