

INTRODUCED: September 22, 2025

AN ORDINANCE No. 2025-231

As Amended

To authorize the special use of the property known as 3219 Tuxedo Boulevard for the purpose of up to [~~five~~] four single-family detached dwellings, upon certain terms and conditions.

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: NOV 10 2025 AT 6 P.M.

WHEREAS, the owner of the property known as 3219 Tuxedo Boulevard, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of up to [~~five~~] four single-family detached dwellings, which use, among other things, is not currently allowed by sections 30-410.4, concerning lot area and width, [~~and~~] 30-410.5, concerning yards, and 30-410.8, concerning driveways from streets, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: 6 NOES: 0 ABSTAIN: 2

ADOPTED: JUN 22 2026 REJECTED: STRICKEN:

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 3219 Tuxedo Boulevard and identified as Tax Parcel No. E000-3314/020 in the 2025 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Lots 46 - 50 ~ Tuxedo Park, Richmond, Virginia,” prepared by Baseline Land Surveying, and dated October 22, 2024, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to ~~[five]~~ four single-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Plat Showing Proposed Houses on Lots 46 – ~~[50]~~ 49 ~ Tuxedo Park, Richmond, Virginia,” prepared by ~~[Baseline Land Surveying]~~ Saltwater Properties, LLC, ~~[dated December 3, 2024]~~ undated, and last revised ~~[August 1, 2025]~~ May 26, 2026, and “The Miracle III Model,” prepared by an unknown preparer, and dated July 10, 2024, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to [~~five~~] four single-family detached dwellings, substantially as shown on the Plans.

(b) All mechanical equipment serving the property shall be located or screened so as not to be visible from any public right-of-way.

(c) The height of the Special Use shall not exceed two stories.

(d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(e) Prior to the issuance of a building permit for the Special Use, the establishment of up to [~~five~~] four residential lots and the dedication of a two-foot-wide right-of-way, substantially as [~~shown~~] described on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including new sidewalk along Tuxedo Boulevard if the existing sidewalk is damaged, substantially as described on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works or the designee thereof that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following such written confirmation by the Director of Public Works or the designee thereof, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

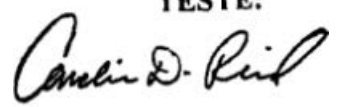
(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

ATRUE COPY:
TESTE:

Carolin D. Reed
City Clerk

City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: August 25, 2025

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Odie Donald II, Chief Administrative Officer

THROUGH: Sharon L. Ebert, DCAO for Economic Development and Planning

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the properties known as 3219 Tuxedo Boulevard for the purpose of up to five single-family detached dwellings, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: The applicant seeks to divide a property into five lots to build five single-family detached dwellings. The lots do not meet the zoning requirements of the R-5 district concerning lot area and width as well as yard setbacks, therefore, an SUP is required.

BACKGROUND: The property is located in the Creighton neighborhood on Tuxedo Boulevard, just south of Nine Mile Road. The property is currently a 12,500 sq. ft. (.287 acre) parcel of land. The City's Richmond 300 Master Plan designates a future land use for the subject property as Neighborhood Mixed-Use, which is defined as "Existing or new highly-walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses."

Primary Uses: Single-family houses, accessory dwelling units, duplexes, small multi-family buildings (typically 3-10 units), and open space. Secondary Uses: Large multifamily buildings (10+units), retail/office/personal service, institutional, cultural, and government”

The current zoning for this property is R-5 Single-Family Residential District. Adjacent properties are also R-5 and to the north of the property is R-53 Multifamily Residential. The immediate area is generally single-family. The density of the proposed use is five units upon .287 acres or 17.4 units per acre.

COMMUNITY ENGAGEMENT: Applicant is responsible for initial community outreach. Additional community notification will take place by staff after introduction.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: Richmond 300 Master Plan

FISCAL IMPACT: \$400 application fee.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: September 22, 2025

CITY COUNCIL PUBLIC HEARING DATE: November 10, 2025

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission October 21, 2025

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Authorization from Property Owner, Applicant’s Report, Plans, Survey

STAFF:

Alyson Oliver, Program & Operations Supervisor, Land Use Administration, 646-3709

Madison Wilson, Planner, Land Use Administration (Room 511) 646-7436



CITY OF RICHMOND, VA
Department of Planning and Development Review
Land Use Administration Division
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT

Applicant must complete ALL items

HOME/SITE ADDRESS: 14501 Kenmont Dr, Midlothian, VA 23113 APARTMENT NO/SUITE _____

APPLICANT'S NAME: Mike Boone EMAIL ADDRESS: _____

BUSINESS NAME (IF APPLICABLE): Saltwater Properties LLC

SUBJECT PROPERTY OR PROPERTIES: 3219 Tuxedo Blvd, Richmond, VA 23223

APPLICATION REQUESTED

- Plan of Development (New or Amendment)
- Wireless Plan of Development (New or Amendment)
- Special Use Permit (New or Amendment)
- Rezoning or Conditional Rezoning
- Certificate of Appropriateness (Conceptual, Administrative Approval, Final)
- Community Unit Plan (Final, Preliminary, and/or Amendment)
- Subdivision (Preliminary or Final Plat Correction or Extension)

TO BE COMPLETED BY THE AUTHORIZED OWNER

Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: Jacquelyne Bradley

PROPERTY OWNER ADDRESS: 8381 Cardova Rd, Richmond, VA 23227

PROPERTY OWNER EMAIL ADDRESS: _____

PROPERTY OWNER PHONE NUMBER: (804) 301-5974

Property Owner Signature: Jacquelyne Bradley 09/13/24

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.

RE: Special Use Permit Application for 3219 Tuxedo Blvd, Richmond, VA 23223

Dear Richmond Planning Commission,

Saltwater Properties LLC is respectfully submitting this application for a Special Use Permit (SUP) for the property located at 3219 Tuxedo Blvd in Richmond, VA. Our proposal aligns with several key aspects of Richmond's 300 Master Plan and aims to contribute positively to the neighborhood and the city at large.

Project Overview

We propose to redevelop the current lot, which measures approximately 125 feet wide by 100 feet deep, to 5 buildable lots in order to accommodate 5 new single-family, detached homes. The existing structure will be removed. Each of the 5 lots will be 25' x 100' to allow for the construction of a home per the submitted house plans.

Alignment with Richmond 300 Master Plan

Our proposal supports several Topic Visions and Goals outlined in Richmond's Master Plan:

1. **High-Quality Places:** By introducing thoughtfully designed, new single-family homes, we aim to enhance the architectural diversity and quality of the neighborhood.
2. **Inclusive Housing:** Our project will increase the housing stock in an area adjacent to the Priority Neighborhood of Creighton, potentially offering more affordable options in a location seeing growth.
3. **Diverse Economy:** The construction and subsequent maintenance of these homes will contribute to local economic activity.
4. **Thriving Environment:** We commit to implementing sustainable building practices and landscaping to support Richmond's environmental goals.
5. **Equitable Transportation:** The location's proximity to existing infrastructure supports Richmond's vision for equitable access to transportation.

Neighborhood Compatibility

Our proposed development is designed to integrate seamlessly with the existing neighborhood character:

- The proposed lot sizes (approximately 25 feet wide by 100 feet deep) are consistent with many existing lots on Tuxedo Blvd.
- We will be preserving the street's spatial rhythm.

- The development will complement the ongoing revitalization of the Church Hill neighborhood while providing potentially more affordable housing options.

Community Benefit

This project offers several benefits to the local community:

1. Increased housing options in a growing area
2. Potential for more affordable housing units
3. Improved property values in the vicinity
4. Enhanced streetscape through new or renovated structures

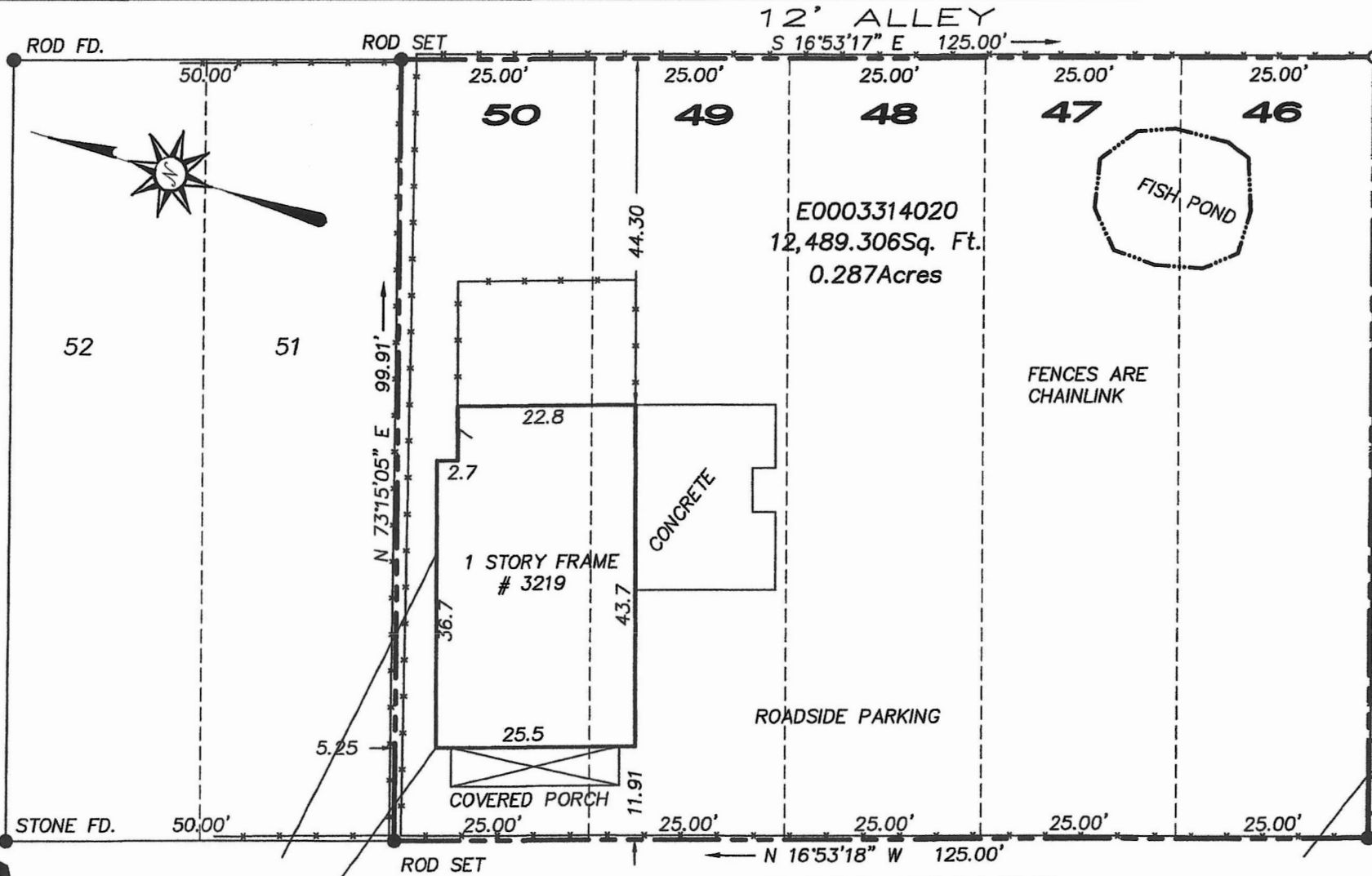
We believe this proposal represents a positive step towards fulfilling Richmond's vision for a more inclusive, sustainable, and vibrant city. We look forward to working with the Planning Commission and the community to bring this project to fruition.

Thank you for your consideration.

Sincerely,

Mike Boone, Broker / Owner
Saltwater Properties LLC
Boone Residential LLC
804-316-8488

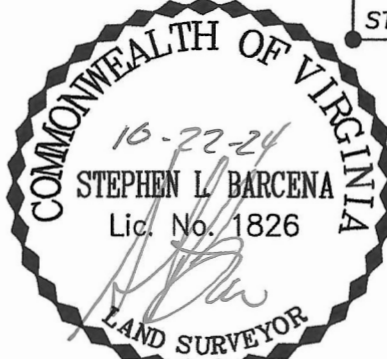
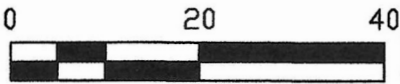
WARREN STREET
40' R/W



THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE BINDER AND IS SUBJECT TO ANY ENCUMBRANCES THAT ONE MAY REVEAL.

THIS IS TO CERTIFY THAT ON 10/22/24 TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT ALL IMPROVEMENTS KNOWN OR VISIBLE ARE SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES OTHER THAN AS SHOWN HEREON.

THIS PROPERTY IS IN ZONE "X" OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAPS.



TUXEDO BOULEVARD
50' R/W

PLAT SHOWING
LOTS 46 - 50 ~ TUXEDO PARK
RICHMOND, VIRGINIA
SURVEYED FOR
SALTWATER PROPERTIES, LLC

BASELINE LAND SURVEYING
526 GROVE AVENUE
PETERSBURG, VIRGINIA 23803
BLS23803@MSN.COM
PH.: 804.520.9180 / FX.: 804.722.9517

DATE: OCTOBER 22, 2024 SCALE: 1" = 20'

DRAWN BY: SLB

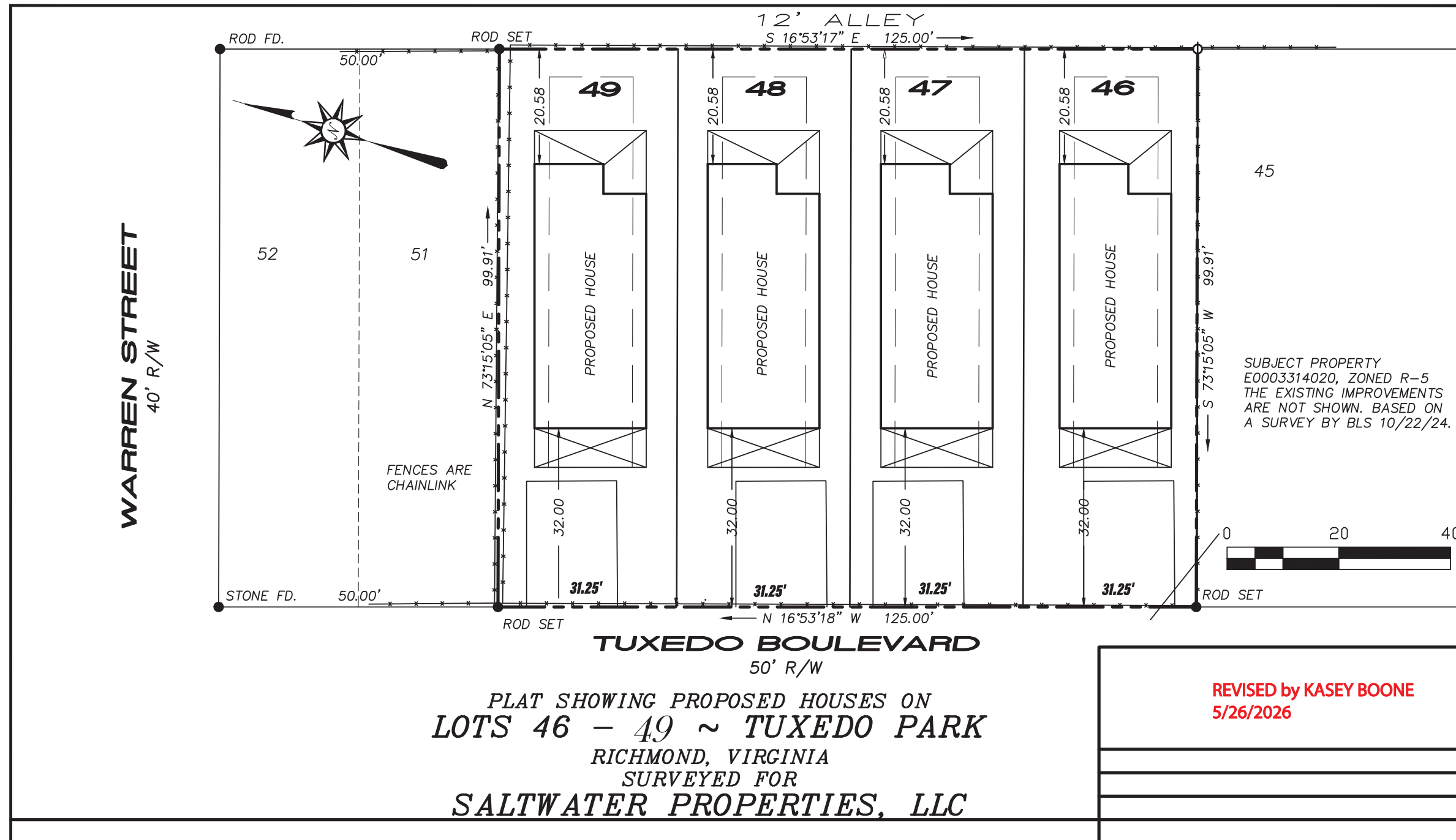
CHECKED BY: CALC. CHK.: **SLB**

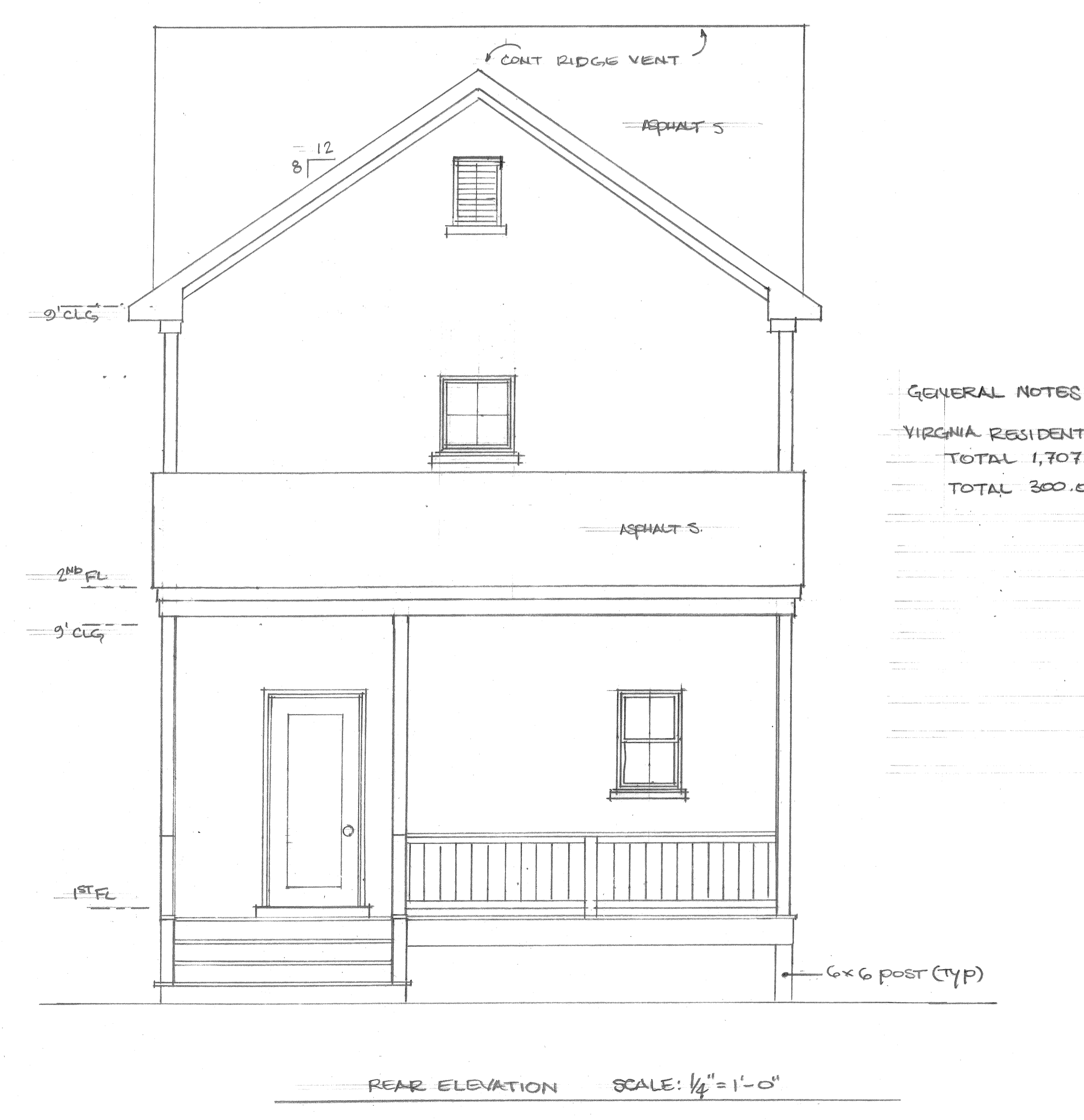
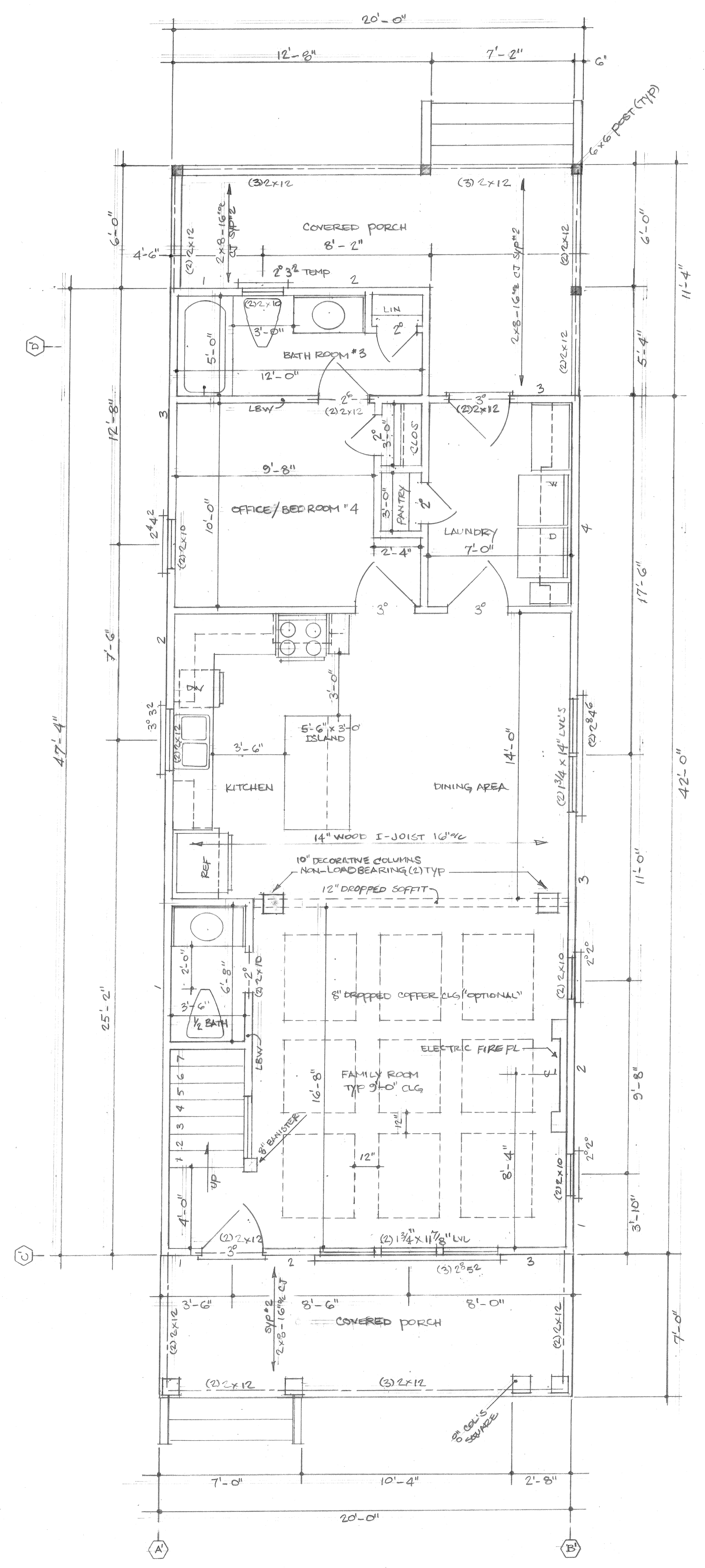
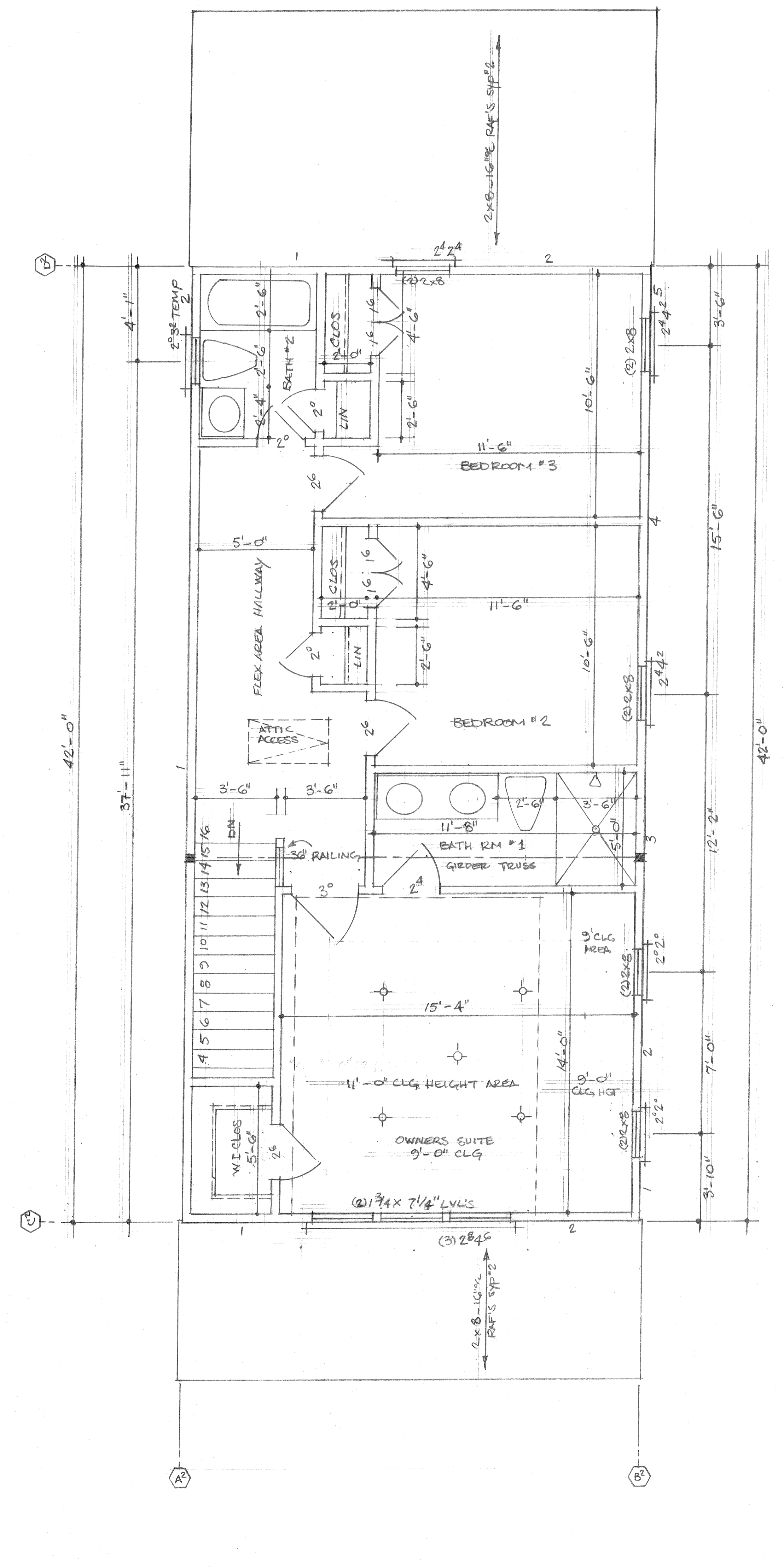
JOB NO.: 24229 F.B. 214/17

NOT VALID UNLESS SIGNED IN RED
PREVIOUS JOB NO.

1. 2' right of way dedication required along alley to allow for a usable alley. Should others redevelop along the alley, they also will be required to dedicate 2'. Ultimately the alley will be 16' and can then accommodate trash collection and rear yard parking. This will be addressed on individual site plans once submitted for permit approval to build.
2. Sidewalk along Tuxedo, if damaged, will need to be replaced with 5' minimum walk. This will be addressed on individual site plans once submitted for permit approval to build.
3. Stormwater system layout and calculations will be provided in a DEVR submittal.

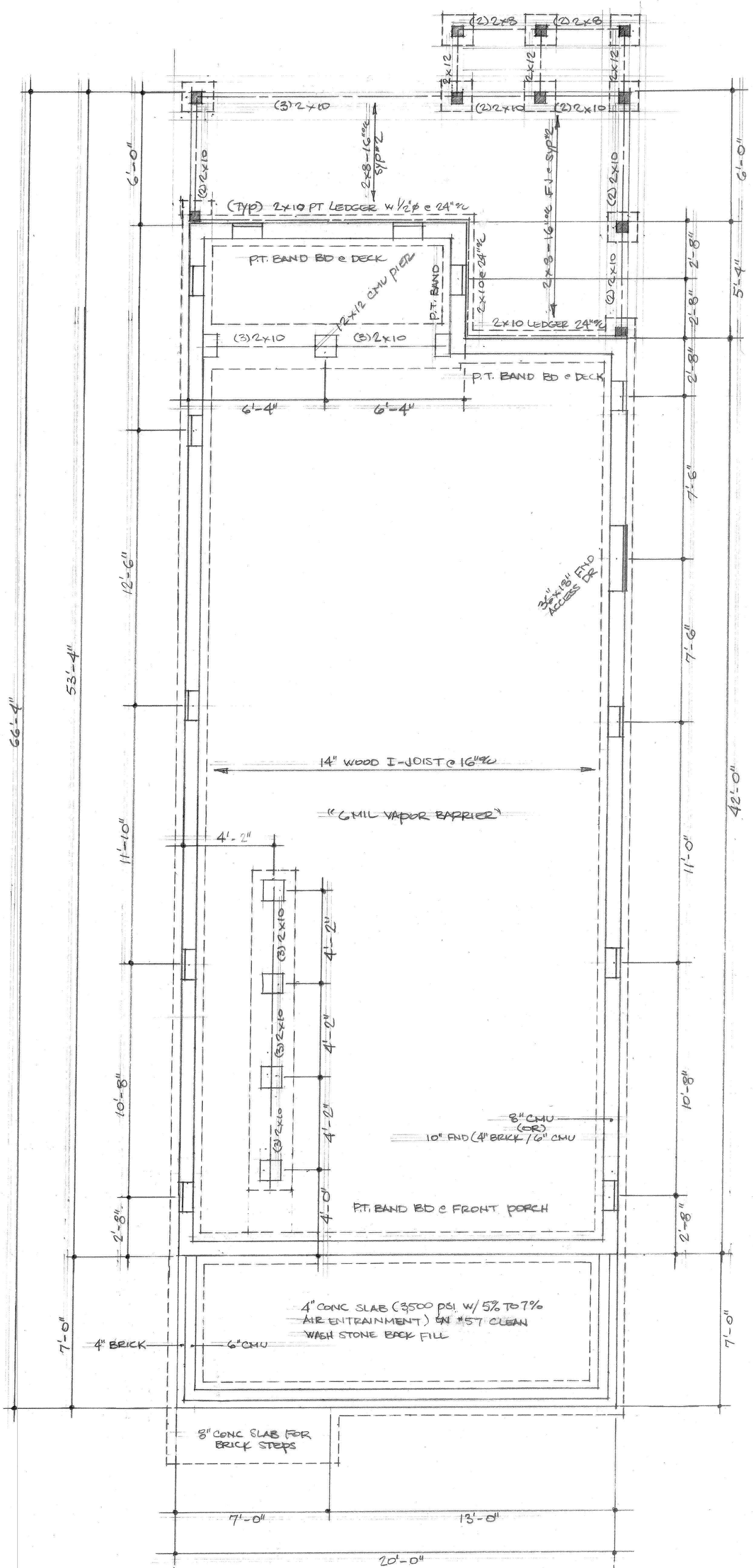
SEE SUP AMENDMENT FOR ADDITIONAL INFORMATION





GENERAL NOTES:
- VIRGINIA RESIDENT CODE 2015 EDITION
- TOTAL 1,707.53 SF INTERIOR
- TOTAL 300.00 SF UNFINISHED EXTERIOR

THE MIRACLE III MODEL			
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: TRP	
DATE: 7/10/2021		REVISED:	
DRAWING NUMBER		1 of 4	

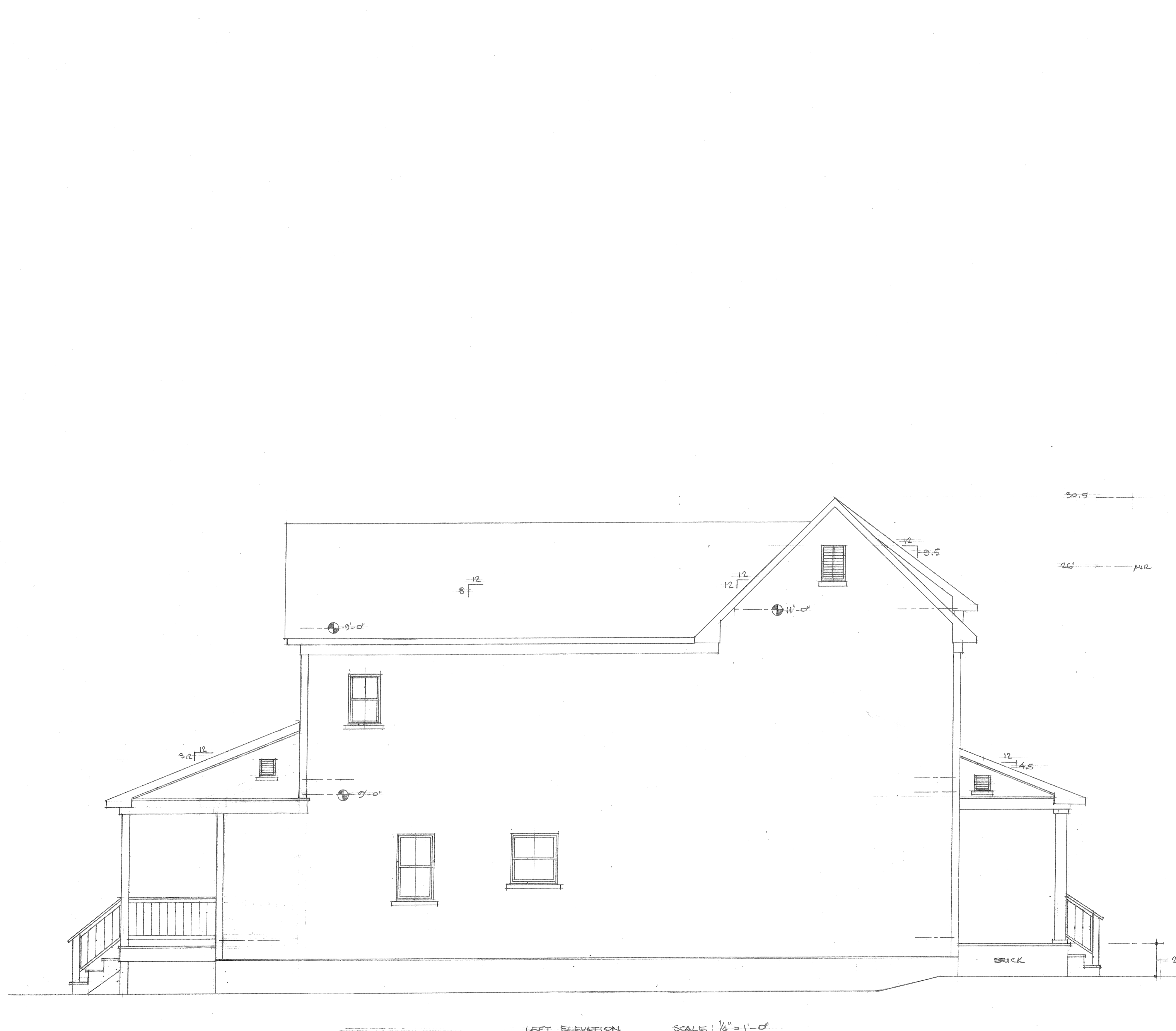


FOOTINGS AND FOUNDATION PLAN SCALE: 1/4" = 1'-0"

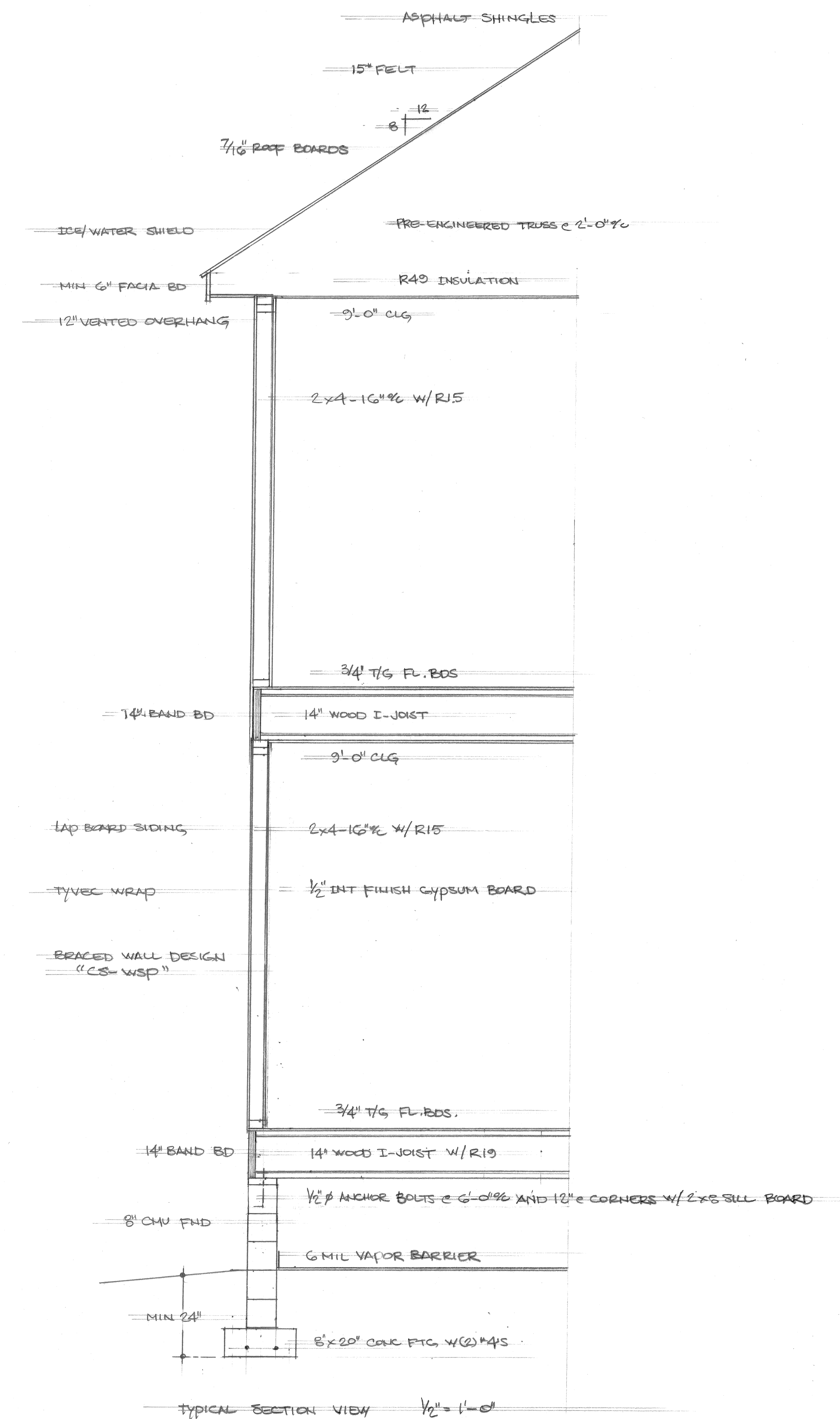


RIGHT ELEVATION SCALE: 1/4" = 1'-0"

THE MIRACLE III MODEL			
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: TRP	REVISED:
DATE: 7/10/2024			
DRAWING NUMBER			2 OF 4

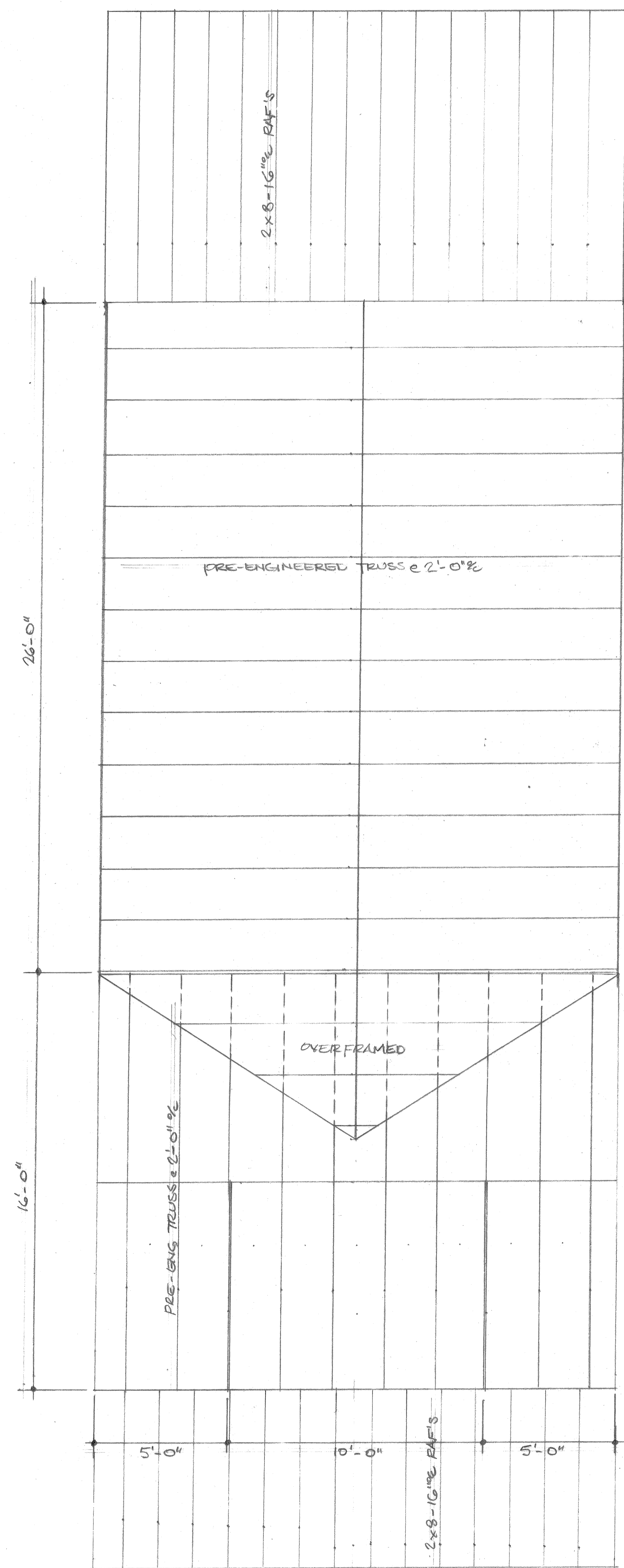


LEFT ELEVATION SCALE: 1/4" = 1'-0"

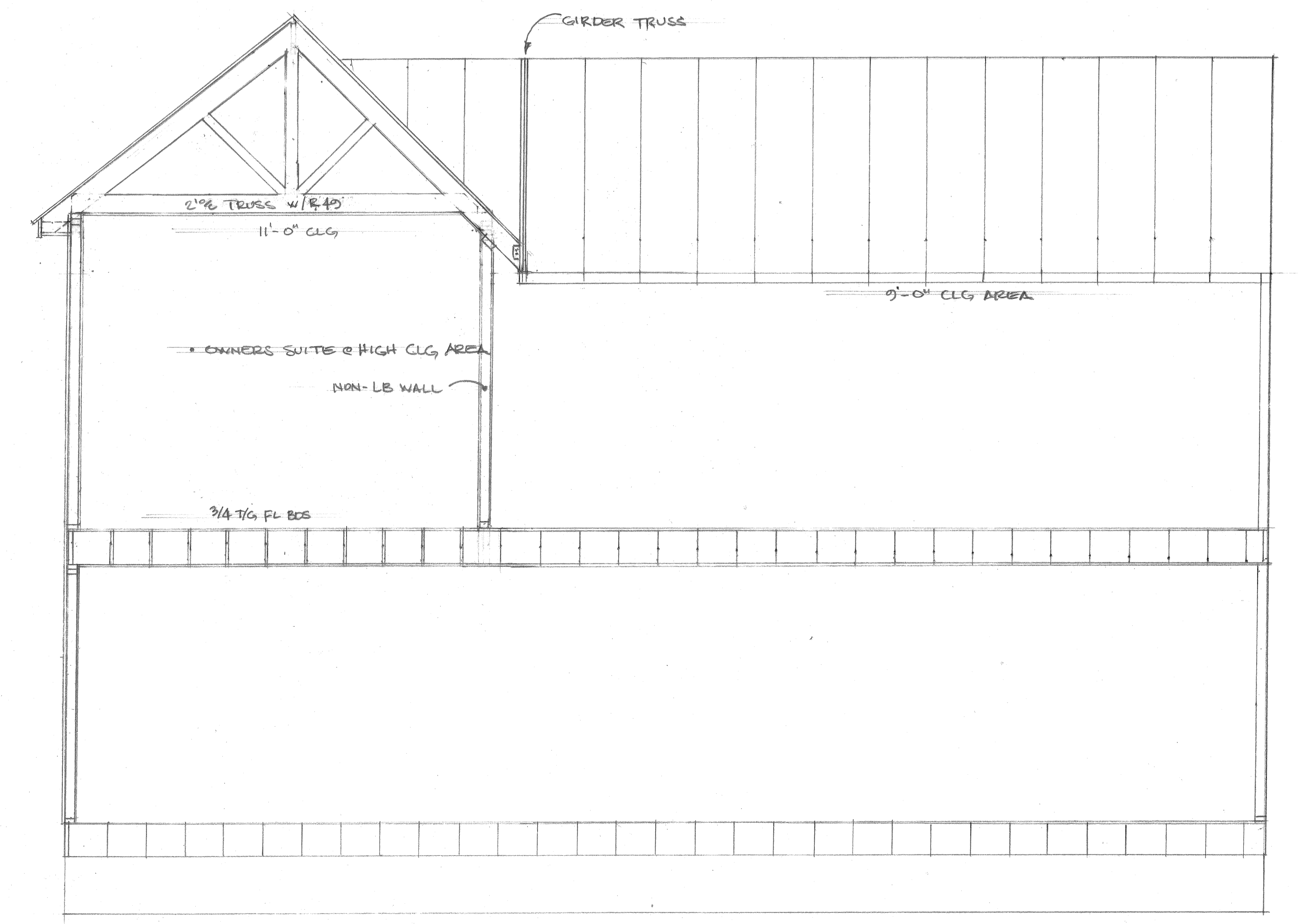


TYPICAL SECTION VIEW SCALE: 1/2" = 1'-0"

THE MARICLE III MODEL		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: TRP
DATE: 7/10/2024		REVISED:
		DRAWING NUMBER: 3 of 4



ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"



SECTION VIEW SCALE: 1/4" = 1'-0"

THE MIRACLE III MODEL		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: TEP
DATE: 7/10/2024	REVISION:	REVISION:
DRAWING NUMBER: 4 OF 4		

MOTION

To amend Ord. No. 2025-231, which authorizes the special use of the property known as 3219 Tuxedo Boulevard for the purpose of up to five single-family detached dwellings, upon certain terms and conditions, to modify the number of dwellings and the Plans.