



PROJECT DESCRIPTION			
SPECIAL USE APPLICATION FOR CONSTRUCTION OF A NEW 3-STORY MULTI-FAMILY RESIDENTIAL STRUCTURE WITH 53 DWELLING UNITS.			
CODE INFORMATION			
APPLICABLE CODES:	2015 VIRGINIA CONSTRUCTION CODE		
CONSTRUCTION TYPE:	V-A		
USE GROUP:	R-2 [MULTIFAMILY RESIDENTIAL]		
FIRE SUPPRESSION:	FULLY SPRINKLERED PER NFPA 13R [SECTION 903.3.1.1]		
ALLOWABLE BUILDING AREAS:			
LEVEL	ACTUAL AREA [SF]	ALLOWABLE AREA [SF] [PER VCC TABLE 506.2]	
1ST LEVEL	12,567 SF [ENCLOSED BUILDING AREA] + 3,840 SF [COVERED BY ENCLOSED AREA]	12,000 SF / LEVEL [2-HR FIRE WALL TO BE ESTABLISHED AS NECESSARY TO MEET BUILDING AREA REQUIREMENT]	
2ND & 3RD LEVELS	16,542 SF		
ALLOWABLE BUILDING HEIGHTS:			
ALLOWABLE # OF STORIES ABOVE GRADE [VCC TABLE 504.4]	ACTUAL # OF STORIES ABOVE GRADE	ALLOWABLE BLDG HEIGHT [FT] [VCC TABLE 504.3]	ACTUAL BUILDING HEIGHT [FT] [ABOVE GRADE PLANE]
4	3	60'	35'-40' DEPENDANT ON FINAL GRADE
ZONING INFORMATION			
ZONING DISTRICT:	R-6		
ECONOMIC ZONES:	N/A		
PARCEL AREA:	1.023 ACRES [44,562 SF]		
REQUIRED YARDS:	FRONT	REAR	SIDE
ALLOWED:	≥15'	≥5'	≥3'
STREET SIDE	≥3'		
ACTUAL:	REFER TO SITE PLAN ON THIS SHEET		
	ALLOWED	ACTUAL	
LOT COVERAGE:	≤55%	±37%	
USABLE OPEN SPACE RATIO:	N/A	±37.5% [16,928 SF OPEN SPACE / 44,562 SF TOTAL AREA]	
BUILDING HEIGHT:	≤35'	35'-40' DEPENDANT ON FINAL GRADE	
PARKING SPACES:	52 [1 PER DWELLING UNIT]	53 SPACES	
BICYCLE PARKING [LONG TERM]:	13 [1 SPACE FOR EVERY 4 DWELLING UNITS]	13 SPACES	
BICYCLE PARKING [SHORT TERM]:	3 [2 SPACES FOR EVERY 50 DWELLING UNITS]	3 SPACES	
VICINITY MAP			



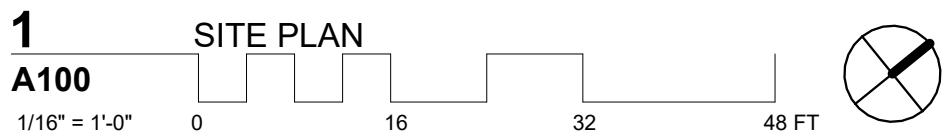
DRAWING INDEX		SPECIAL USE PERMIT	
SHEET NUMBER	SHEET NAME		
3.5 ARCH			
A100	SITE PLAN	X	
A101	FLOOR PLANS	X	
A102	FLOOR PLANS	X	
A201	ENLARGED FLOOR PLANS	X	
A202	ENLARGED FLOOR PLANS	X	
A301	EXTERIOR ELEVATIONS	X	
A401	RENDER VIEWS	X	
SHEET COUNT: 7			

SPECIAL USE PERMIT
11.17.2021

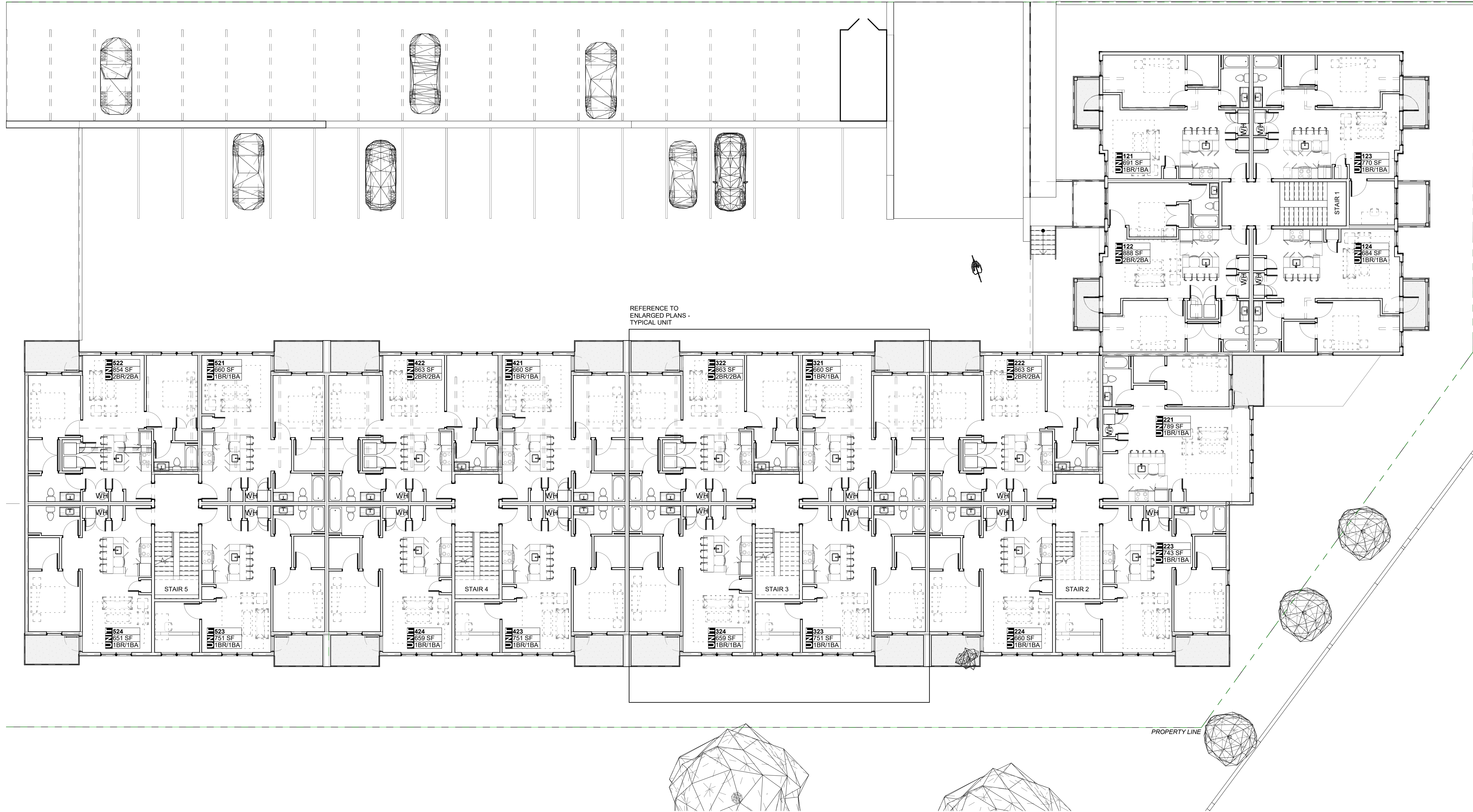
ARCHITECT
ADO Architecture Design Office
728 E Main Street
Richmond, Virginia 23219
804 343 1212

2906 5TH AVE
Richmond, VA 23222
SITE PLAN

PROJECT NUMBER: 21-2906



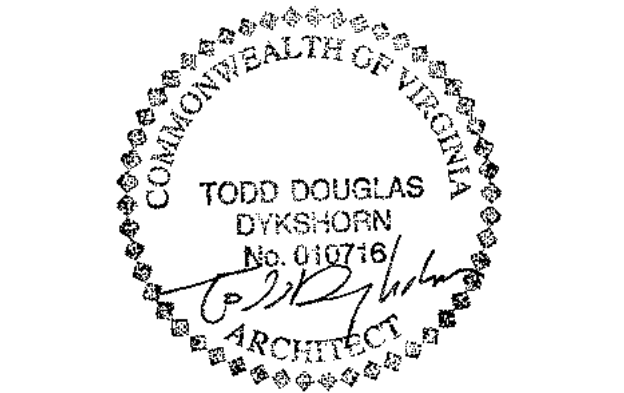
A100



Name	Area	Comments
1ST LEVEL		
101	685 SF	1BR/1BA
102	685 SF	1BR/1BA
103	685 SF	1BR/1BA
104	685 SF	1BR/1BA
201	650 SF	1BR/1BA
202	698 SF	2BR/2BA
301	899 SF	2BR/2BA
302	899 SF	2BR/2BA
401	901 SF	2BR/2BA
402	899 SF	2BR/2BA
501	899 SF	2BR/2BA
502	650 SF	2BR/2BA
12	9435 SF	
2ND LEVEL		
121	691 SF	1BR/1BA
122	888 SF	2BR/2BA
123	770 SF	1BR/1BA
124	684 SF	1BR/1BA
221	789 SF	1BR/1BA
222	863 SF	2BR/2BA
223	743 SF	1BR/1BA
224	660 SF	1BR/1BA
321	660 SF	1BR/1BA
322	863 SF	2BR/2BA
323	751 SF	1BR/1BA
324	659 SF	1BR/1BA
421	660 SF	1BR/1BA
422	863 SF	2BR/2BA
423	751 SF	1BR/1BA
424	659 SF	1BR/1BA
521	660 SF	1BR/1BA
522	854 SF	2BR/2BA
523	751 SF	1BR/1BA
524	651 SF	1BR/1BA
20	14871 SF	
3RD LEVEL		
131	691 SF	1BR/1BA
132	888 SF	2BR/2BA
133	770 SF	1BR/1BA
134	684 SF	1BR/1BA
231	789 SF	1BR/1BA
232	863 SF	2BR/2BA
233	743 SF	1BR/1BA
234	660 SF	1BR/1BA
331	660 SF	1BR/1BA
332	863 SF	2BR/2BA
333	751 SF	1BR/1BA
334	659 SF	1BR/1BA
431	660 SF	1BR/1BA
432	863 SF	2BR/2BA
433	751 SF	1BR/1BA
434	659 SF	1BR/1BA
531	660 SF	1BR/1BA
532	854 SF	2BR/2BA
533	751 SF	1BR/1BA
534	651 SF	1BR/1BA
20	14871 SF	
Grand total: 52	39177 SF	

RESPONSE TO CITY OF RICHMOND REVIEW
COMMENTS 03.04.22

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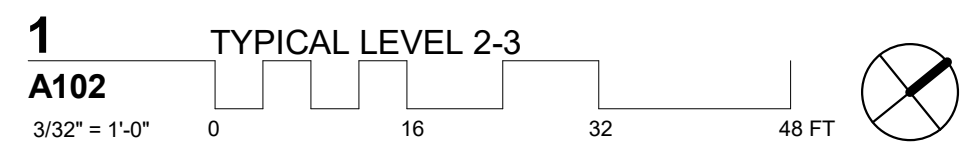


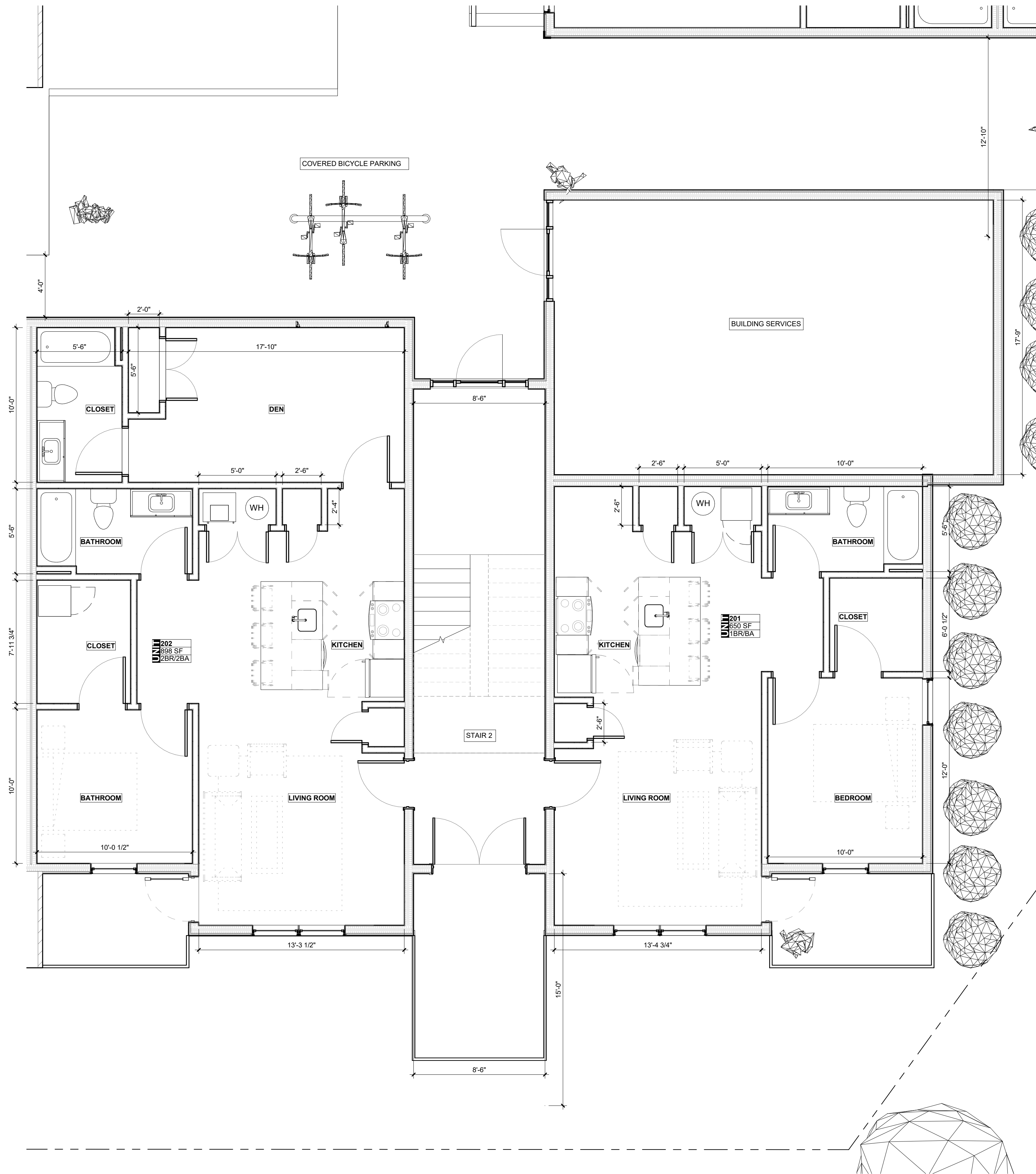
ARCHITECT
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Richmond, VA 23222
FLOOR PLANS

PROJECT
NUMBER
21-2906

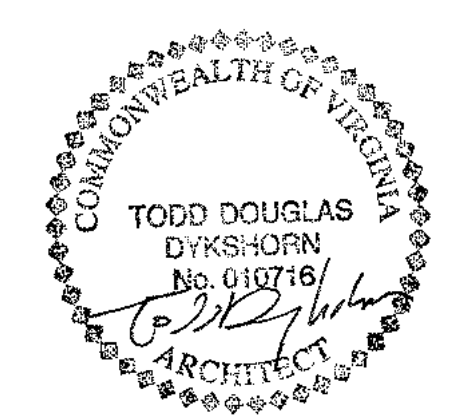
A102





RESPONSE TO CITY OF RICHMOND REVIEW
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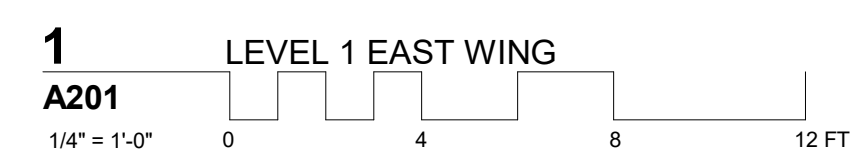


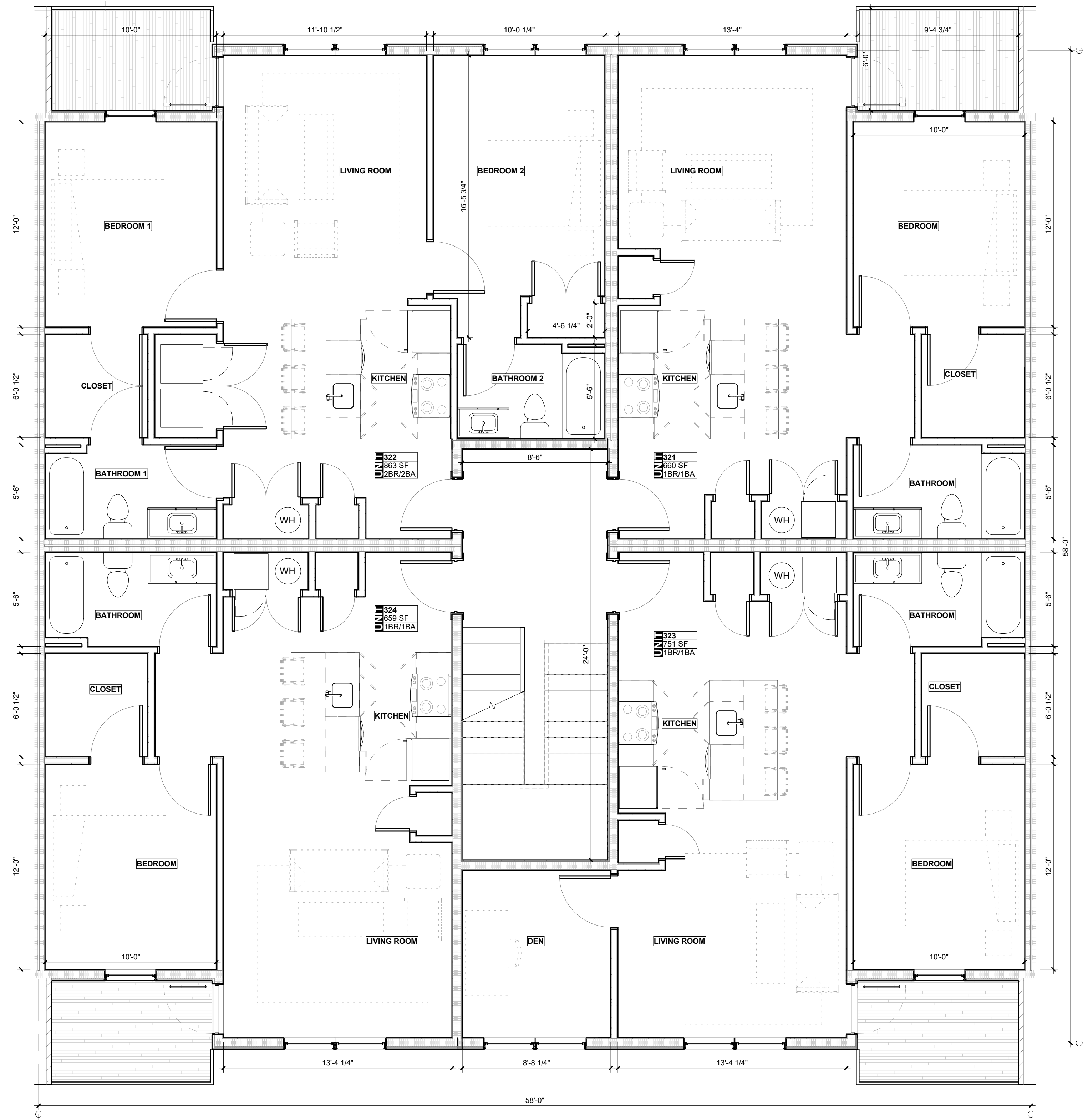
ARCHITECT
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728 E Main Street
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804 343 1212

2906 5TH AVE
Richmond, VA 23222
ENLARGED FLOOR PLANS

PROJECT
NUMBER
21-2906

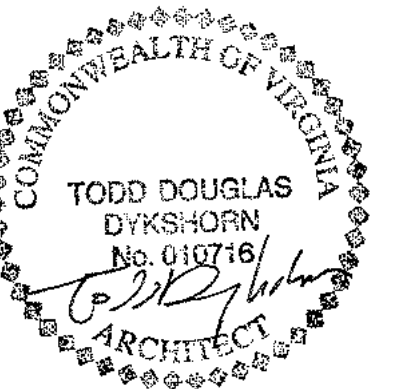
A201





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11.17.2021



ad ARCHITECT
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Richmond, VA 23222
ENLARGED FLOOR PLANS

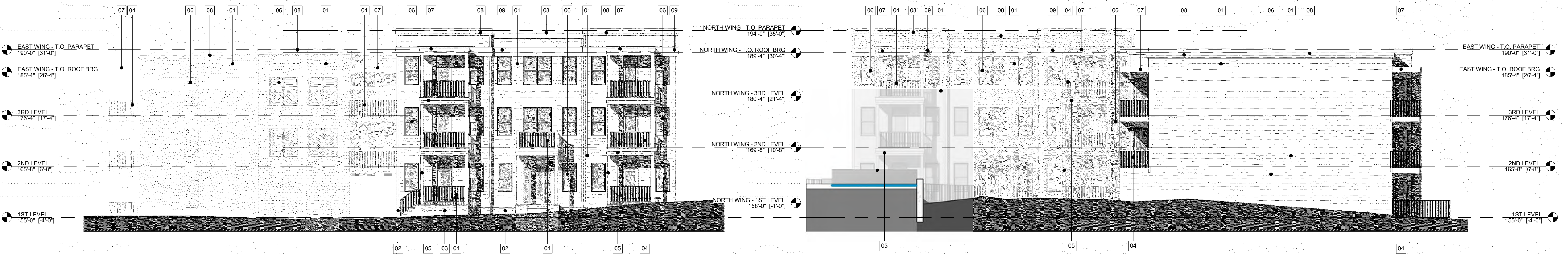
PROJECT
NUMBER
21-2906

1 TYPICAL UPPER LEVEL UNIT QUAD
A202
1/4" = 1'-0"
0 4 8 12 FT

A202

KEYNOTES - BUILDING ELEVATIONS

MARK	DESCRIPTION
01	FIBER CEMENT LAP SIDING, COLOR TBD
02	BRICK FOUNDATION WALL
03	BRICK PORCH WALLS WITH CONCRETE PORCH SLAB
04	PICKET GUARDRAIL, PAINT FINISH, COLOR TBD
05	WOOD OR COMPOSITE PORCH FASCIA AND COLUMNS
06	PREFINISHED CLAD DOUBLE-HUNG WINDOW
07	PORCH ROOF WITH FLAT MEMBRANE ROOFING AND COMPOSITE TRIM SURROUND
08	PARAPET WITH COMPOSITE OR WOOD TRIM AND PREFINISHED METAL WALL CAP WITH DRIP EDGE
09	PAINTED CORNICE TRIM, COLOR TBD
10	STEEL COLUMN, PAINT FINISH, COLOR TBD
11	BUILDING ENTRY
12	BRICK DEMISING WALL AT BALCONIES



1 NORTH / BROOKLAND PARK ELEVATION
A301
3/32" = 1'-0"

2 SOUTH ELEVATION
A301
3/32" = 1'-0"



4 WEST / ALLEY ELEVATION - NORTH WING
A301
3/32" = 1'-0"

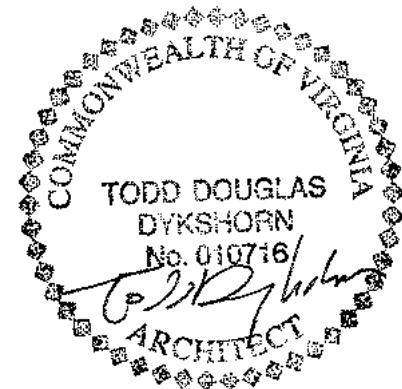
3 EAST / 5TH AVE ELEVATION
A301
3/32" = 1'-0"



5 WEST / ALLEY ELEVATION - EAST WING
A301
3/32" = 1'-0"

RESPONSE TO CITY OF RICHMOND REVIEW
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ad ARCHITECT
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2906 5TH AVE
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EXTERIOR ELEVATIONS

PROJECT
NUMBER
21-2906

A301



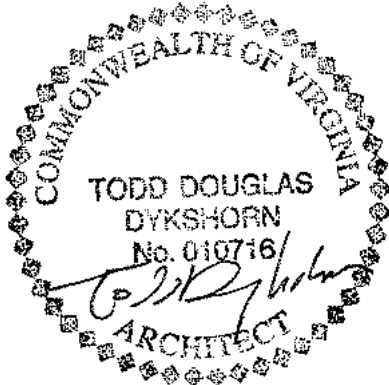
1 VIEW FROM ACROSS BROOKLAND PARK BLVD
A401
NOT TO SCALE



2 VIEW FROM ACROSS RADY ST
A401
NOT TO SCALE

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728 E Main Street
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2906 5TH AVE
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RENDER VIEWS

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A401

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
CURRENT OWNER: CLEAN LIVIN LLC ID 2021-8206

CUSTER STREET
60' +/- PUBLIC R/W

4TH STREET

60' +/- PUBLIC R/W

JEANETTE L JOHNSON
& MARBLE L WHITE
DB 742 PG 649
TM# N0000923011

CHAIN LINK FENCE
ON LINE

LILLIAN L THOMAS
ID 95-19233
TM# N0000923005

5TH AVENUE

60' PUBLIC R/W (NOT IMPROVED)

20' +/- PUBLIC ALLEY

VACANT
No. 2906

329.81
N31°43'40"E

T.M.# N0000923001
44297.54 SQ FT
1.0169 ACRES

277.55
S31°44'34"W

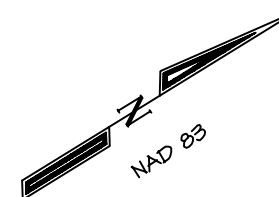
EDGE OF
PAVEMENT
MAN
HOLE

POWER
POLE

GRAVEL

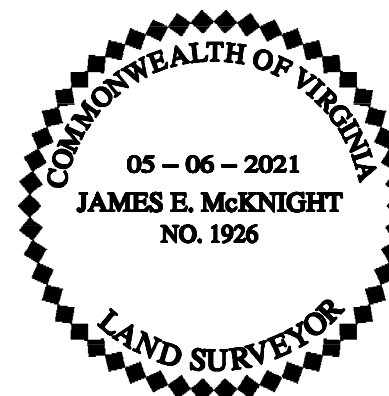
E. BROOKLAND PARK BOULEVARD
60' +/- PUBLIC R/W

RADY STREET
50' +/- PUBLIC R/W



PLAT SHOWING IMPROVEMENTS ON
LOT 5-15, BLOCK "D", PLAN OF
"HIGHLAND PARK ADDITION",
IN THE CITY OF RICHMOND, VIRGINIA.

RADY STREET
50' PUBLIC R/W



THIS IS TO CERTIFY THAT ON MAY 06, 2021, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS.

SCALE: 1" = 60'



McKNIGHT
& ASSOCIATES, P.C.

LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE
RICHMOND, VIRGINIA 23235
TELEPHONE (804) 320-2646

JOB NUMBER: 89121106