

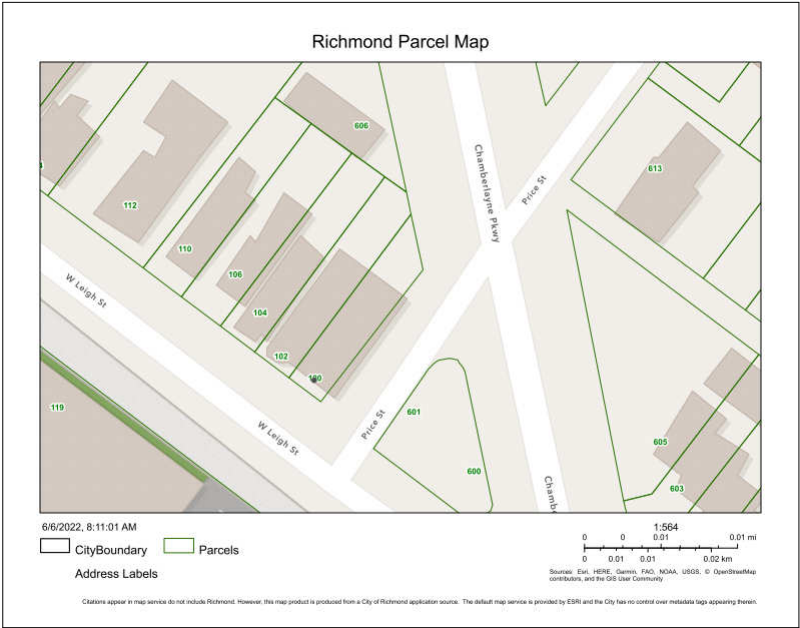
MEDVENE RESIDENCE

AREA CALCULATIONS

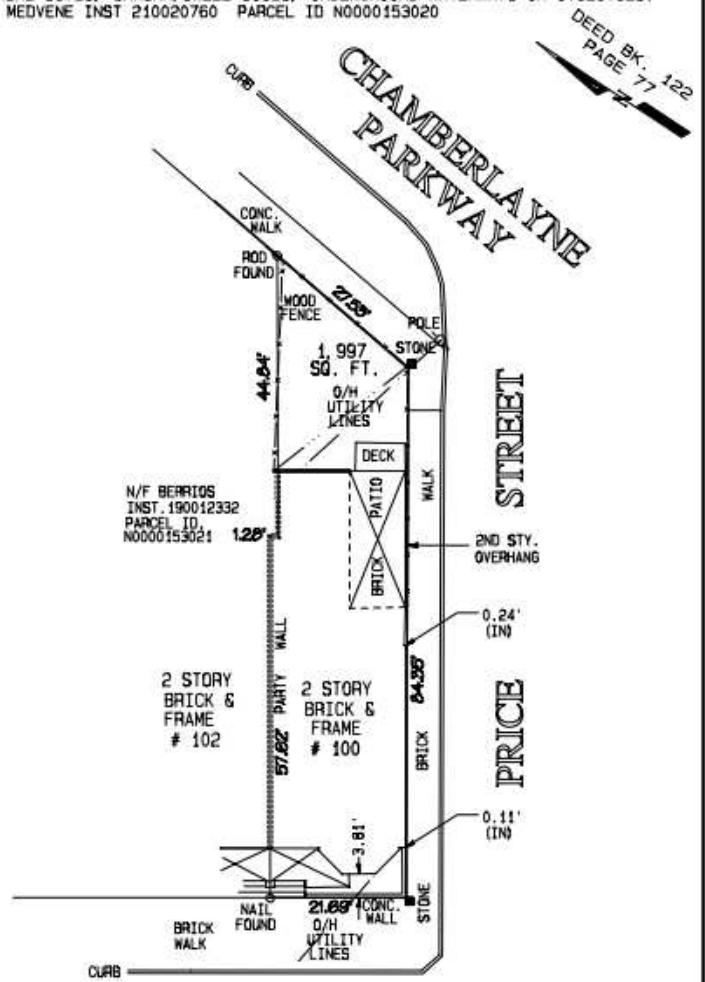
Heated Area	
1st Floor Livable	1316 SF
2nd Floor Livable	1318 SF
	2633 SF
Unheated Area	
Front Porch	53 SF
	53 SF
Total	2687 SF



100 W. LEIGH ST



NOTES: THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A F.E.M.A. DEFINED FLOOD HAZARD AREA. FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS, CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. CURRENT OWNER(S): SAMUEL MEDVENE INST 210020760 PARCEL ID N0000153020



W. LEIGH STREET

**SURVEY & PLAT OF No.100 W. LEIGH STREET,
IN THE CITY OF RICHMOND, VIRGINIA**

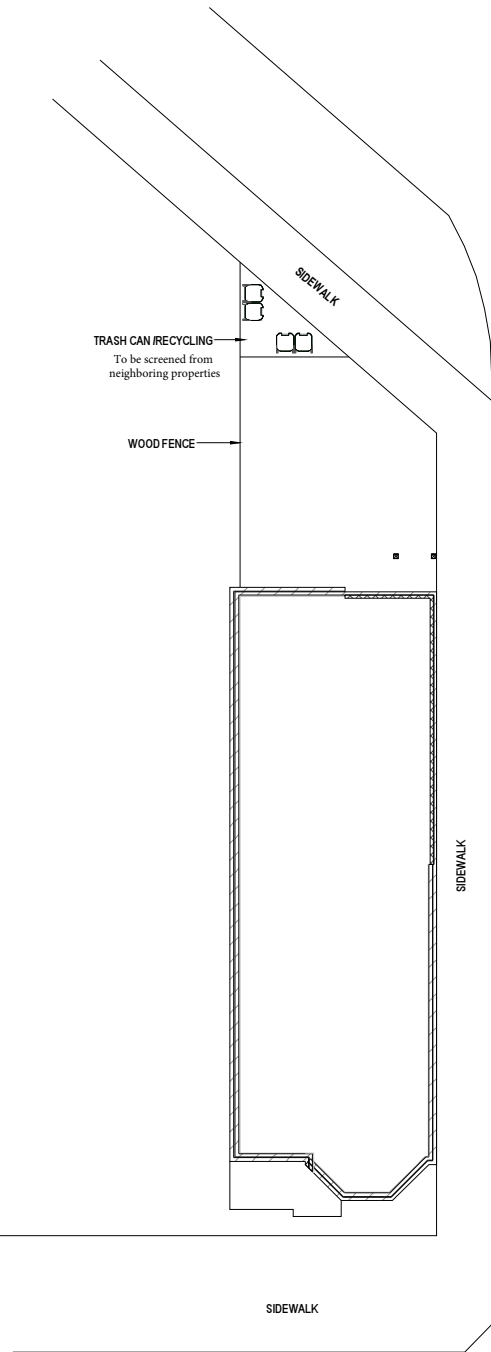
SCALE: 1" = 20'



THIS IS TO CERTIFY THAT ON AUGUST 4, 2022, I MADE A FIELD SURVEY OF THE PREMISES SHOWN HEREON THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS PLAT IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE, TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PLAT COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND CERTIFIED LANDSCAPE ARCHITECTS.

**FREDERICK A. GIBSON
& ASSOCIATES, P.C.**
LAND SURVEYORS
2361 JUDES FERRY ROAD
POWHATAN, VIRGINIA 23139
PHONE 804 378-4485 FAX 804 378-4487

LEGEND	
○	= IRON ROD FOUND
●	= IRON ROD SET
UNLESS OTHERWISE NOTED.	
PROJECT # 2208-01 PL	



1

SITE PLAN

A-0.10 1" = 20'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

CLIENT
MEDVENE RESIDENCE

ADDRESS
100 W. LEIGH ST

PROJECT
RENOVATION

SHEET
Site Plan

ISSUE DATE
9/21/22

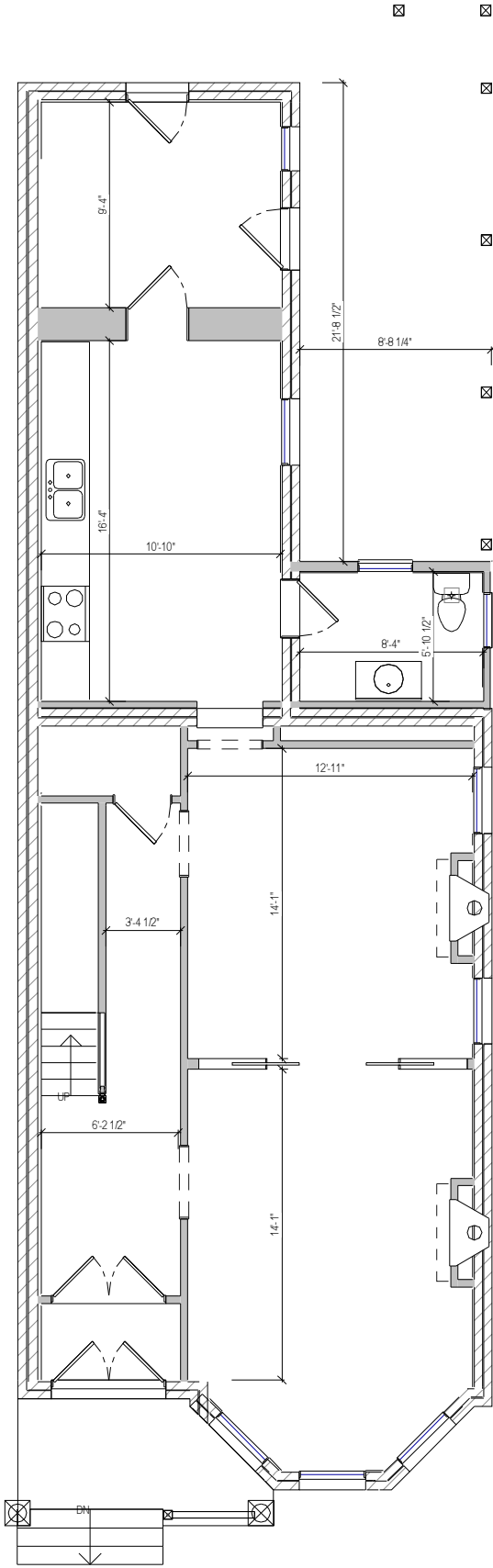
DRAWN BY

**PINNACLE
DESIGN**

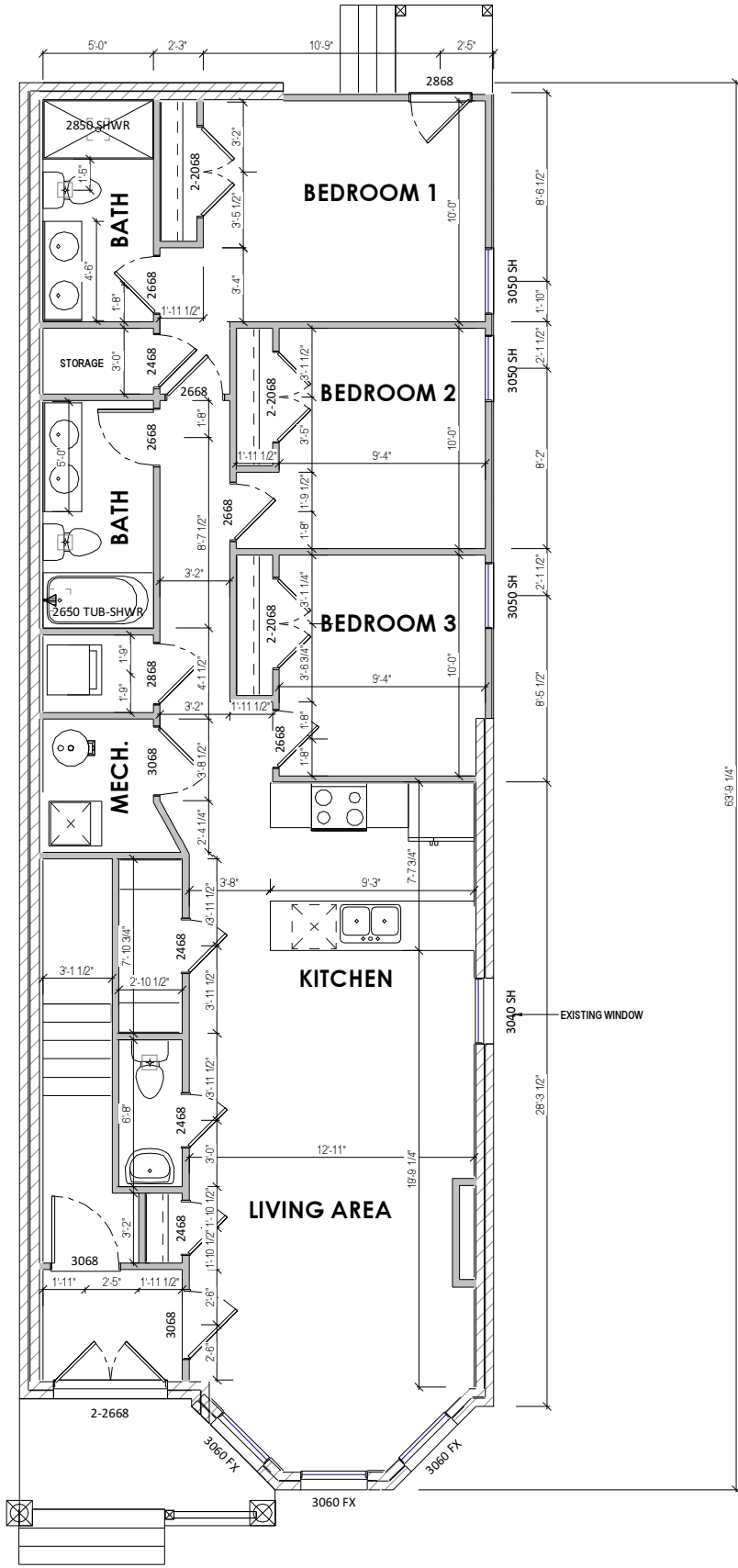
SHEET NUMBER

A-0.10

- NOTE:
- 1. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD, U.N.O.
 - 2. ALL DOOR & WINDOW HEADERS IN EXTERIOR WALLS TO BE (2) 2X8 U.N.O.
 - 3. ALL INTERIOR DOOR HEADERS TO BE (2) 2X4, U.N.O.
 - 4. PROVIDE PRESSURE TREATED LUMBER @ HOUSE BAND WHERE ALL DECK, PORCH & APPURTENANCES ARE CONNECTED.

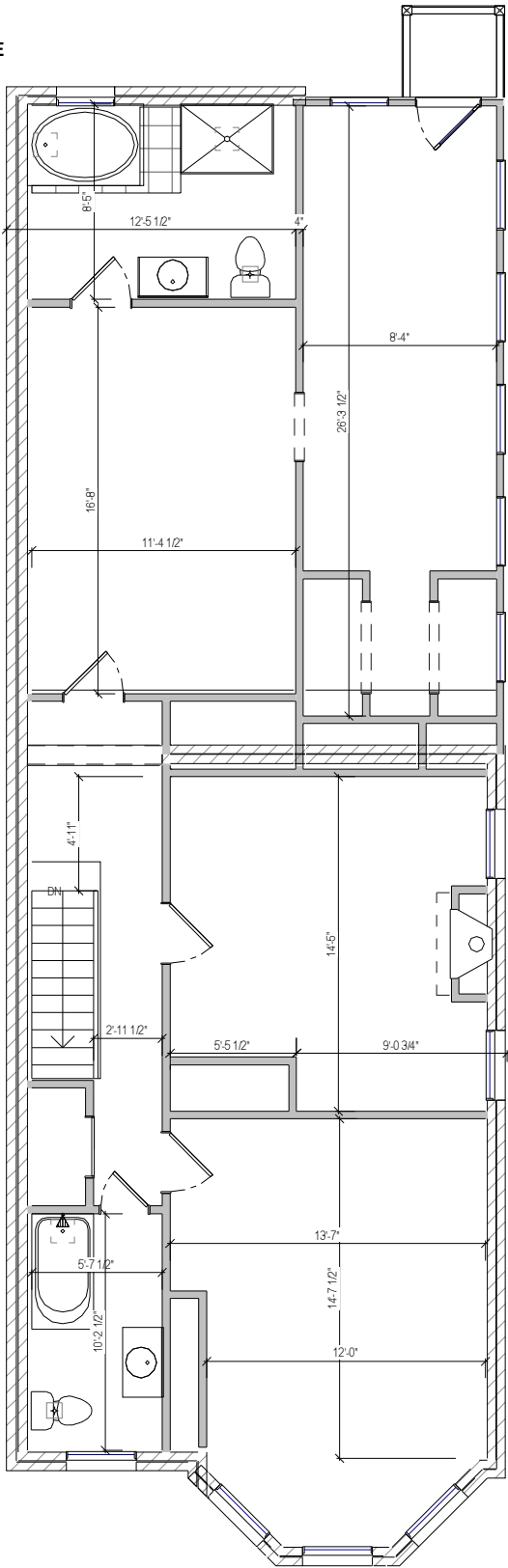


1 EXISTING 1ST FLOOR
A-2.20 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

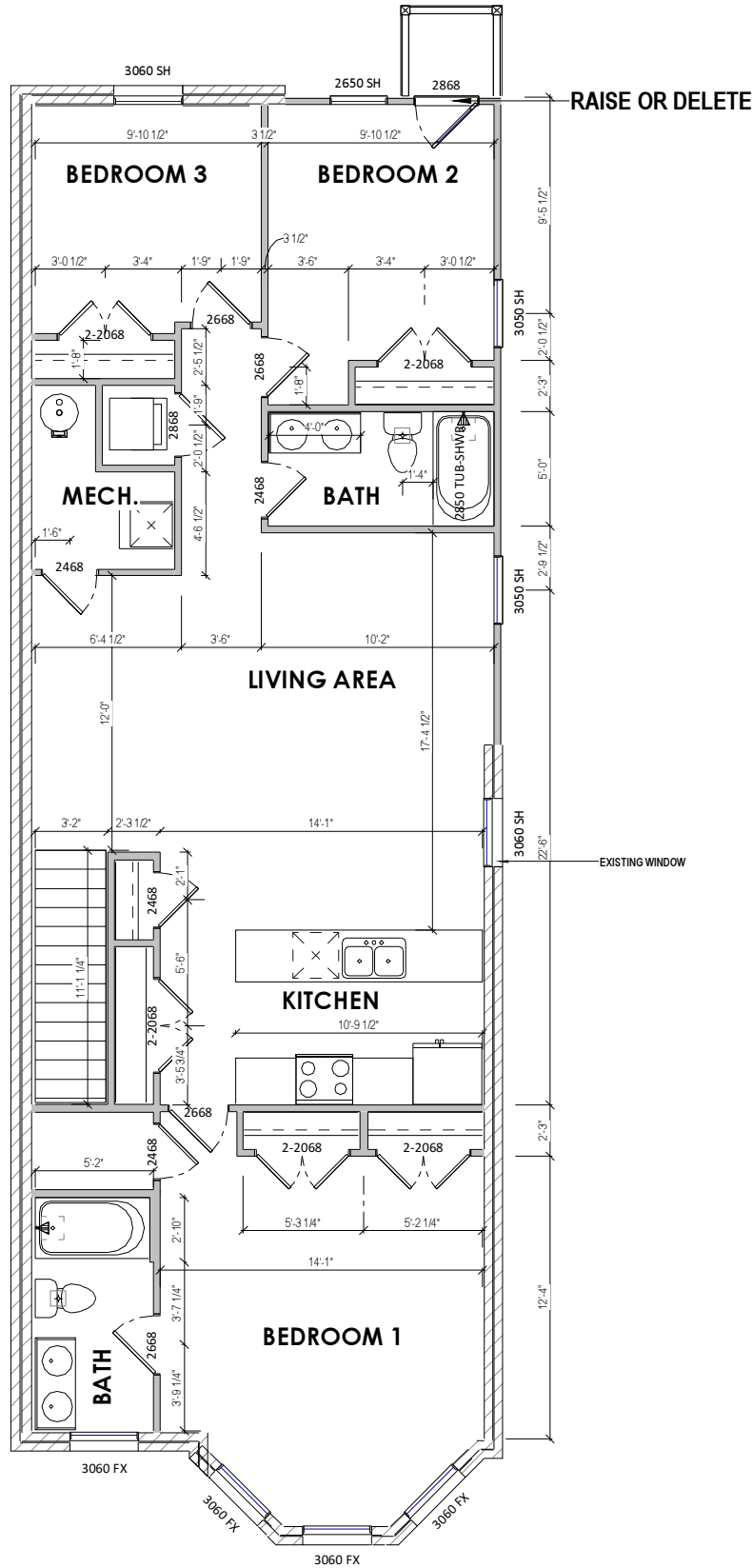


2 PROPOSED 1ST FLOOR PLAN
A-2.20 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

- NOTE:
- 1. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD, U.N.O.
 - 2. ALL DOOR & WINDOW HEADERS IN EXTERIOR WALLS TO BE (2) 2X8 U.N.O.
 - 3. ALL INTERIOR DOOR HEADERS TO BE (2) 2X4, U.N.O.
 - 4. PROVIDE PRESSURE TREATED LUMBER @ HOUSE BAND WHERE ALL DECK, PORCH & APPURTENANCES ARE CONNECTED.



1 EXISTING 2ND FLOOR PLAN
A-2.60 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



2 2ND FLOOR PLAN
A-2.60 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

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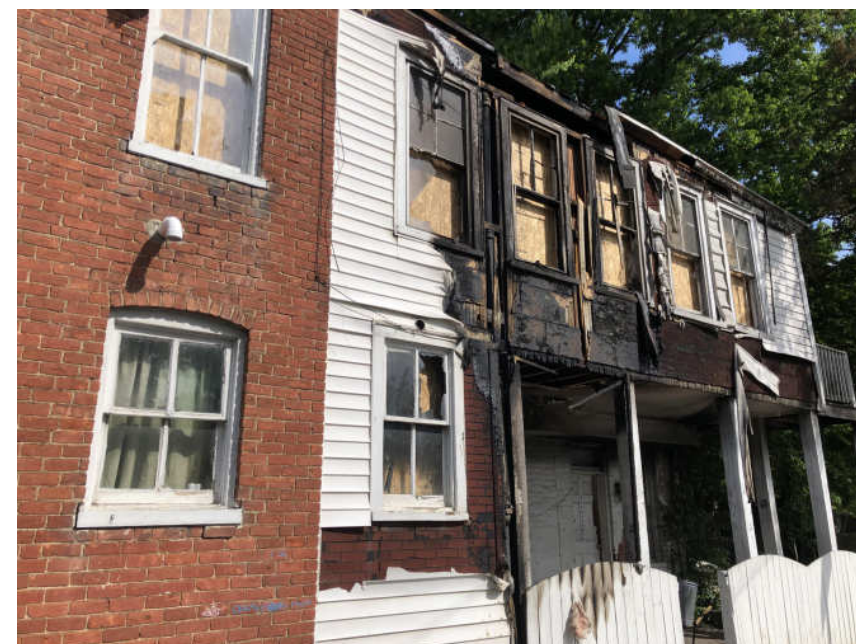
1 FRONT VIEW
A-3.00 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



2 REAR VIEW
A-3.00 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

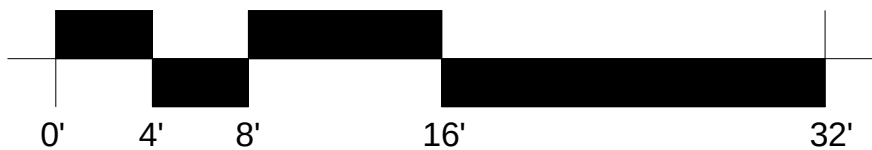


3 RIGHT VIEW
A-3.00 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



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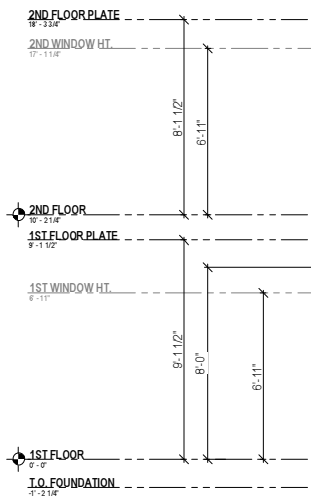
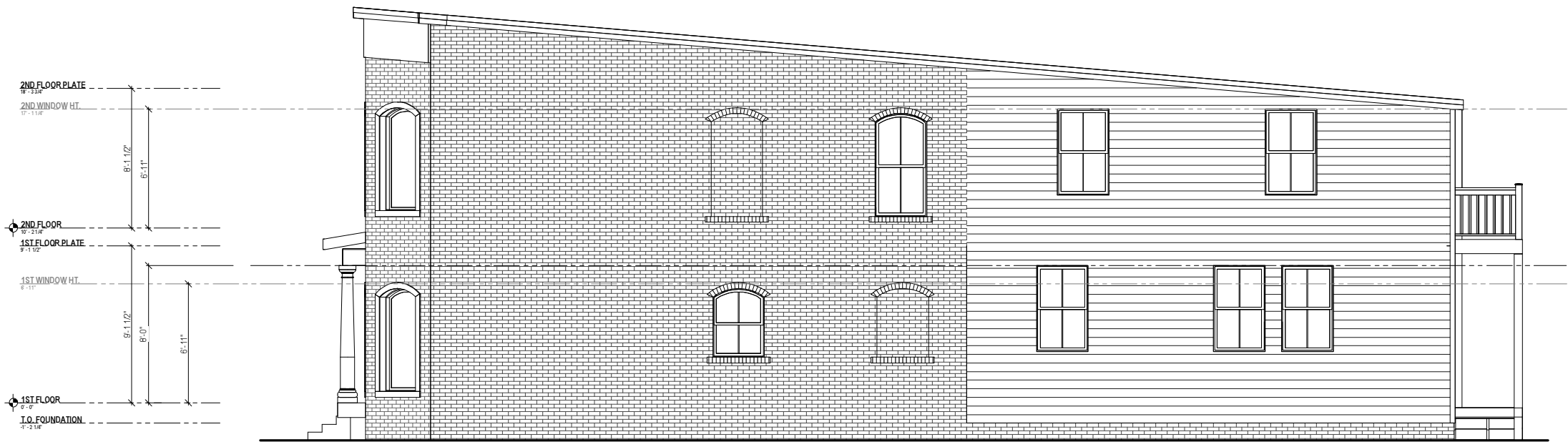
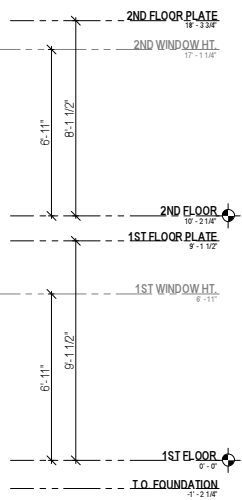
CLIENT	MEDVENE RESIDENCE	
	ADDRESS	100 W. LEIGH ST
PROJECT	RENOVATION	
	SHEET	Existing Elevations
ISSUE DATE		
9/21/22		
DRAWN BY		
PINNACLE DESIGN		
SHEET NUMBER		
A-3.00		



1 FRONT VIEW
A-3.10 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



2 REAR VIEW
A-3.10 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



3 RIGHT VIEW
A-3.10 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

*Exterior Building materials feature Cementitious Siding

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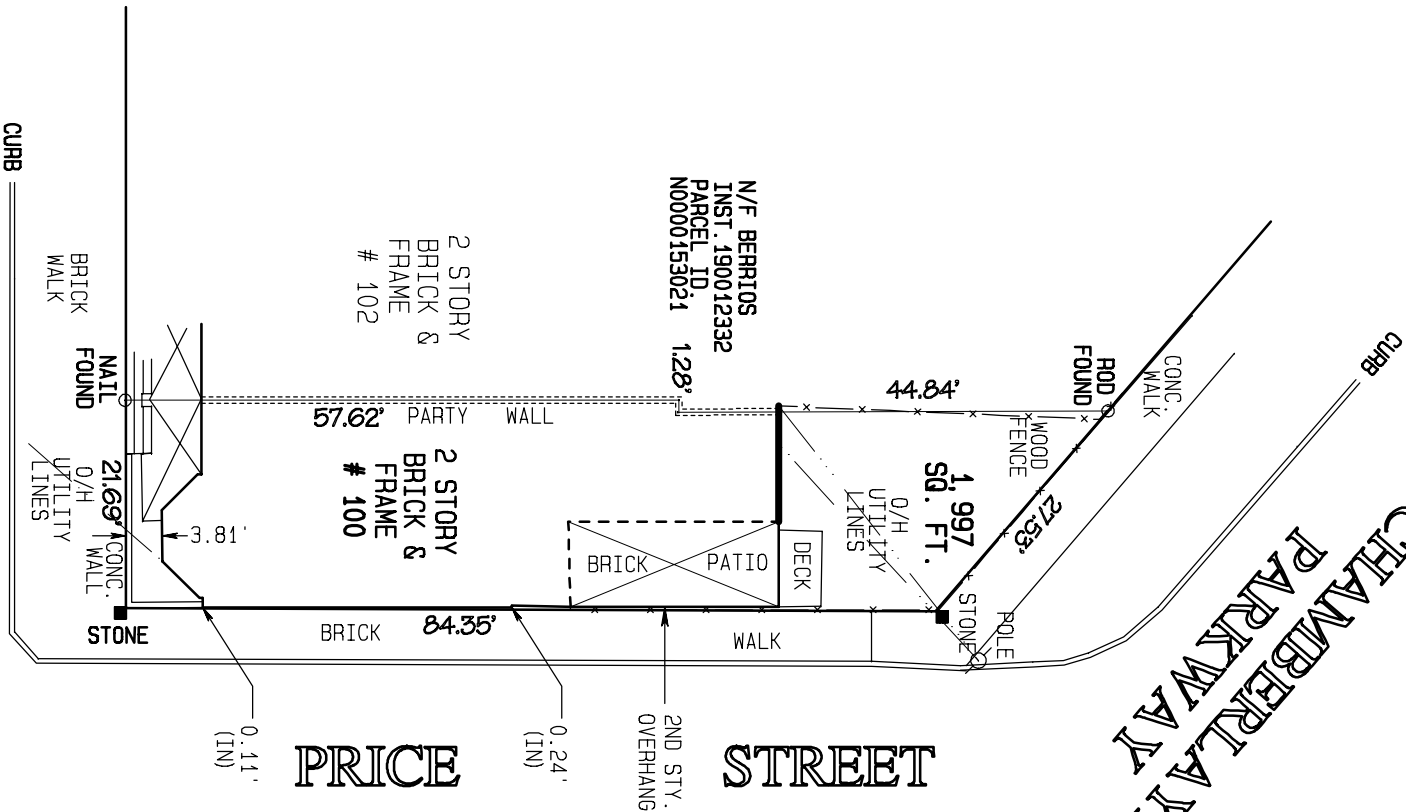
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CLIENT	MEDVENE RESIDENCE	
	ADDRESS	100 W. LEIGH ST
PROJECT	RENOVATION	
	SHEET	Proposed Elevations
ISSUE DATE		
9/21/22		
DRAWN BY		
PINNACLE DESIGN		
SHEET NUMBER		
A-3.10		

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DEED BK. 122
PAGE 77

CHAMBERLAINE
PARKWAY



W. LEIGH STREET

SURVEY & PLAT OF No.100 W. LEIGH STREET,
IN THE CITY OF RICHMOND, VIRGINIA

SCALE: 1" = 20'



Frederick A. Gibson
FREDERICK A. GIBSON
LIC.No.0403001561
08-04-2022

THIS IS TO CERTIFY THAT ON AUGUST 4, 2022 I MADE A FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS PLAT IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PLAT COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND CERTIFIED LANDSCAPE ARCHITECTS.

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PROJECT # 2208-01 PL