



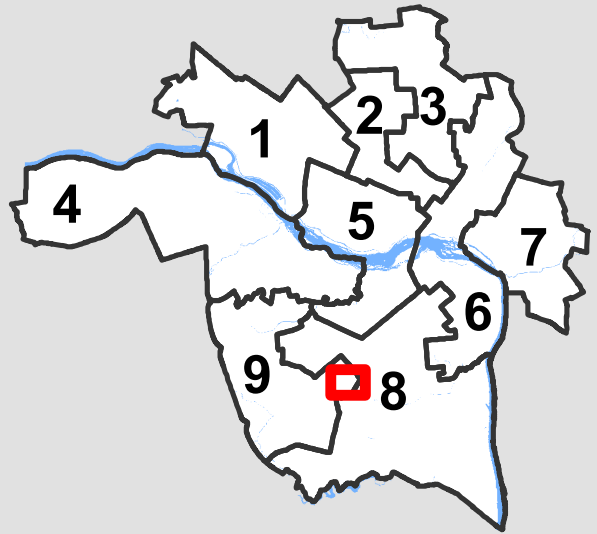
City of Richmond Department of Planning & Development Review

Location, Character, and Extent

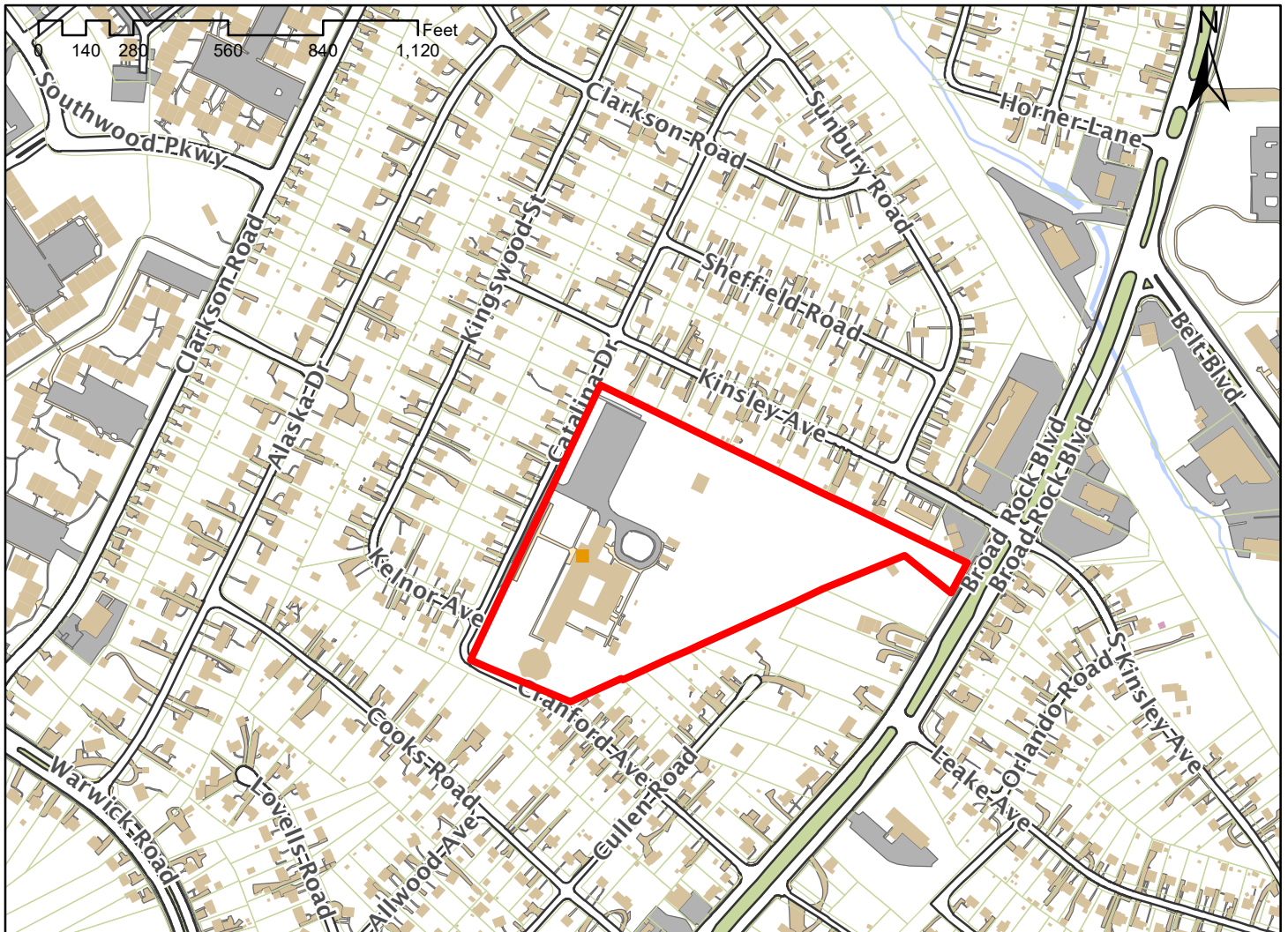
LOCATION: 1745 Catalina Drive

COUNCIL DISTRICT: 9

PROPOSAL: Location, Character, and Extent review of new signage for ESH Greene elementary school



For questions, please contact Josh Son
at 646-3741 or joshua.son@richmondgov.com





Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

Application Type

- Addition/Alteration to Existing Structure
- New Construction
- Streetscape
- Site Amenity

- Encroachment
- Master Plan
- Sign
- Other

Review Type

- Conceptual
- Final

Project Name: E.S.H. Greene Elementary School

Project Address: 1745 Catalina Drive, Richmond, Virginia 23224

Brief Project Description (this is not a replacement for the required detailed narrative) : _____

Monument road signage for ESH Greene ES.

Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: Robert Stone  Email: Robert.Stone@richmondgov.com

City Agency: DPW - Special Capital Projects Group Phone: 804-646-6614

Address: 900 E. Broad Street, Room 602, Richmond, VA 23219

Main Contact (if different from Applicant): Dan Weigand

Company: RRMM Architects Phone: 804-277-2633

Email: dweigand@rrmm.com

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

Submission Requirements

- 10 copies of the application cover sheet and all support materials (see below), unless the application is for an encroachment, in which case only 6 copies are required. Plan sheets should be 11" x 17", folded to 8 1/2" x 11". If it is not possible to scale plans to these dimensions, please provide one set of larger, scaled plans.
- An electronic copy (PDF preferred) of all application materials, which can be burned to disc, emailed, or delivered by FTP.

All applications must include the attached cover sheet and the following support materials, as applicable to the project:

For Conceptual Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan which shows the general location and character of plant materials and notes any existing tree to be removed.

For Final Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan that includes a complete plant schedule, the precise location of all plant materials, and a landscape maintenance analysis. The plant schedule must show number, size and type of each planting proposed. If existing trees are to be removed, their size, type and location must be noted on the landscape plan.
- The location of all lighting units should be noted on a site plan, including wall-mounted, site and parking lot lighting. Other site details, such as benches, trash containers and special paving materials, should also be located. Include specification sheets for each item.
- Samples of all proposed exterior building materials, including but not limited to brick, mortar, shingles, siding, glass, paint and stain colors. When an actual sample cannot be provided, a product information sheet that shows the item or a photo of an existing item may be substituted.

Review and Processing

Once an application is received, it is reviewed by staff, who compiles a report that is sent to the UDC. A copy of the report and the meeting agenda will be sent to the applicant prior to the meeting. The applicant or a representative should be present at the UDC meeting or the application may be deferred to the next regularly scheduled meeting. It is also strongly suggested that a representative of the City Agency which will have final responsibility for the item be present at the meeting (if the applicant and the representative are not the same). Once the UDC recommends action on the application, it is automatically placed on the agenda for the next City Planning Commission (CPC) meeting. An exception to this is encroachment applications, recommendations for which are forwarded to the Department of Public Works. The applicant or a representative must be present at the CPC meeting or the application may be deferred to the next regularly scheduled meeting.

CITY OF RICHMOND URBAN DESIGN COMMITTEE (UDC)

MEETING SCHEDULE 2019

UDC Meetings	UDC Submission Deadlines	Anticipated Date of Planning Commission Following the UDC Meeting
December 6, 2018	November 15, 2018	December 17, 2018
January 10, 2019	December 13, 2018	January 22, 2019 ¹
February 7, 2019	January 17, 2019	February 19, 2019 ²
March 7, 2019	February 14, 2019	March 18, 2019
April 4, 2019	March 14, 2019	April 15, 2019
May 9, 2019	April 11, 2019	May 20, 2019
June 6, 2019	May 16, 2019	June 17, 2019
July 3, 2019**	June 13, 2019	July 15, 2019
August 8, 2019	July 11, 2019	August 19, 2019 ³
September 5, 2019	August 15, 2019	September 16, 2019
October 10, 2019	September 12, 2019	October 21, 2019
November 7, 2019	October 17, 2019	November 18, 2019
December 5, 2019	November 14, 2019	December 16, 2019

¹ Monday, January 21, 2019 is a City of Richmond Holiday.

² Monday, February 18, 2019 is a City of Richmond Holiday.

³ This August CPC Meeting may be canceled. If so, Planning Commission hearing would be Tuesday, September 3, 2019.

** Moved forward to account for Independence Day

The Richmond Urban Design Committee (UDC) is a ten member advisory committee created by City Council in 1968. Its purpose is to advise the City Planning Commission on the design of City projects. The UDC reviews projects for appropriateness in "location, character and extent" and for consistency with the City's Master Plan and forwards recommendations to the Planning Commission. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

Regular meetings are scheduled for the Thursday after the first Monday of each month at 10:00 a.m. in the 5th floor conference room of City Hall. Special meetings are scheduled as needed.

For additional information, please contact the Planning and Preservation Division staff at (804) 646-6736 or the Secretary to the Urban Design Committee at (804) 646-3741 or at joshua.son@richmondgov.com.



ESH GREENE ELEMENTARY SCHOOL

RICHMOND, VIRGINIA

Project Narrative

For

Urban Design Committee Final Review

APRIL 29, 2019

Purpose

The Building One Richmond Program currently includes a five-year, \$150 million plus program focused on the new construction of public elementary, middle and high schools in the city. The school Board of the City of Richmond, has updated its 2002 Facilities Master Plan, and the update identifies ESH Greene Elementary School as a prioritized “Phase 1” project. The Owner has identified \$150 million in funding for those projects identified in the updated 2002 Facilities Master Plan as “Phase 1” projects. The design and construction of these projects is a collaborative effort between the City of Richmond, which is the owner of the schools, and the School Board, which will operate the schools once they open.

Project Background

E.S.H. Greene Elementary School was named for Edwin Stonewall Hunter Greene, a former superintendent of schools for Chesterfield County and the City of Colonial Heights. The school was built in 1954. In 1970, the city of Richmond annexed the area including E.S.H. Greene School from Chesterfield County and the school then became a part of the Richmond Public School System. E.S.H. Greene School is located at 1745 Catalina Drive on the constantly growing and culturally changing south side of Richmond, Virginia. It has a main building which houses grades K-2 and 2 modular buildings with an additional cafeteria to house grades 3-5.

Construction Program Description

During the construction of the new ESH Greene Elementary School, the existing elementary school and modular buildings must remain operational. This constraint gives us only one area of the property to build the new school, behind the existing building.

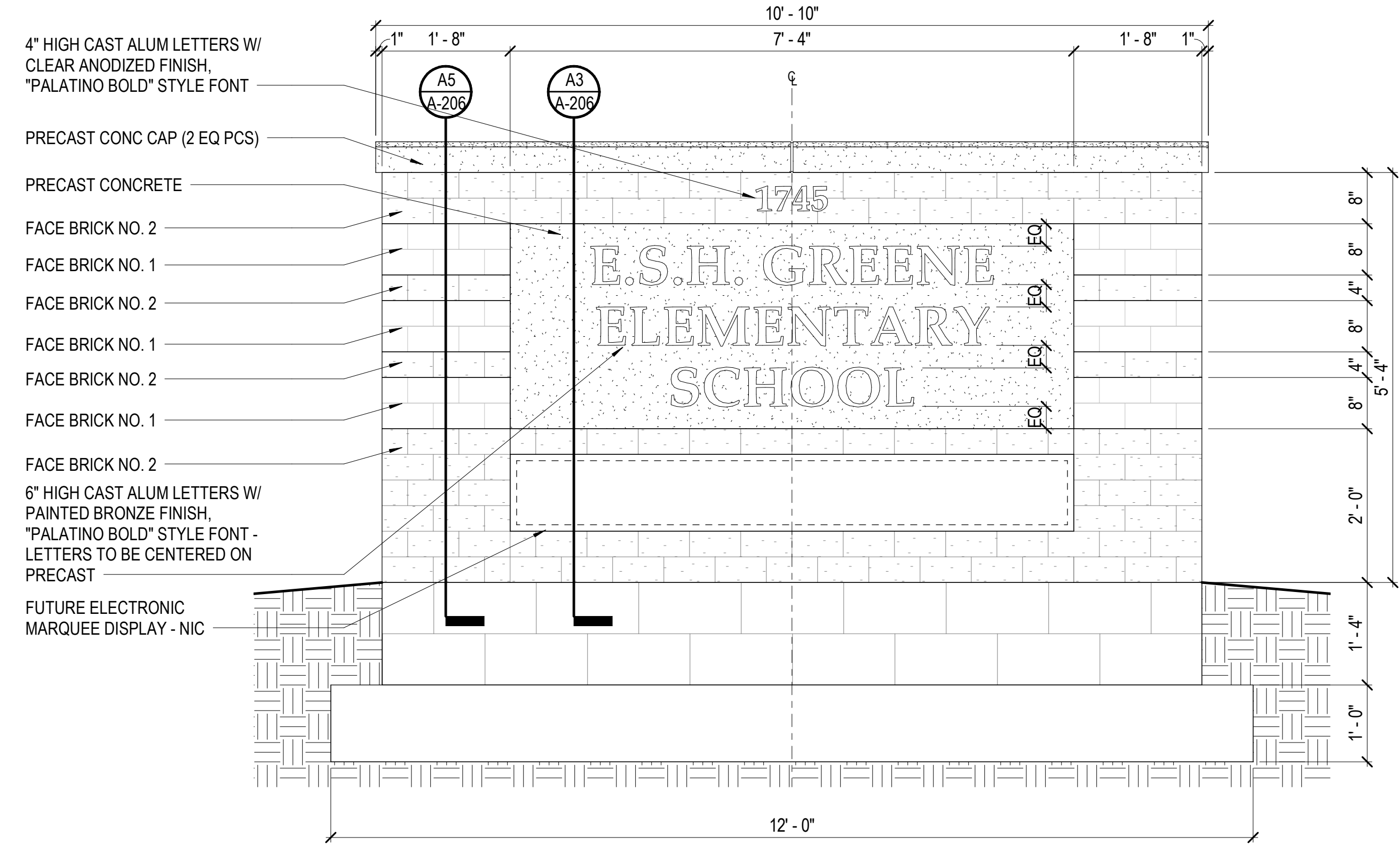
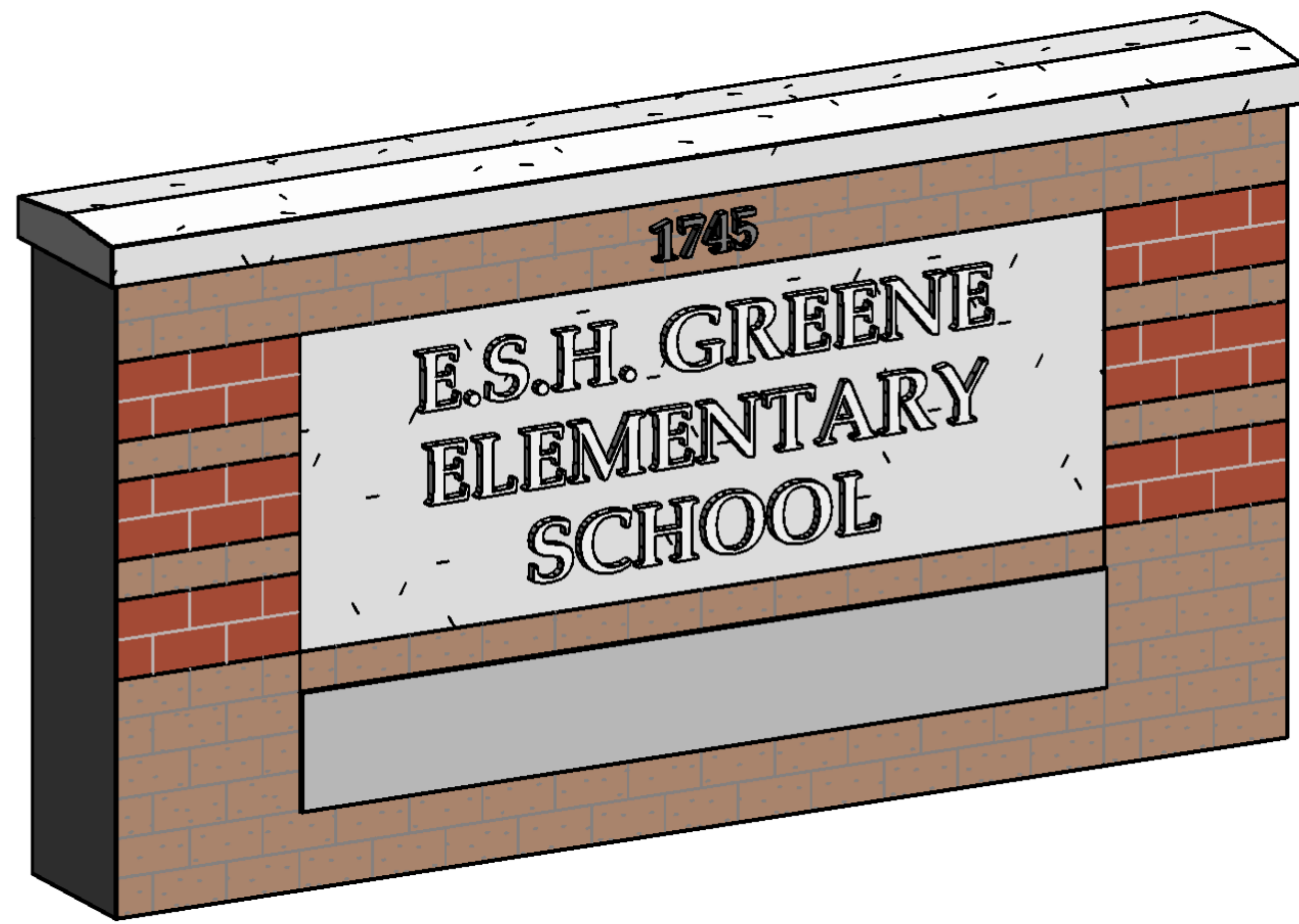
The new ESH Greene Elementary School will be approximately 116,000 SF facility with a capacity for approximately 1,000 students. The building will be construction type IIB and fully sprinklered. It will have CMU bearing walls with brick veneer and a combination of sloped standing seam metal roof and flat PVC roofing.

Sustainability is a key component to this project. The project will achieve a minimum LEED Silver Certification.

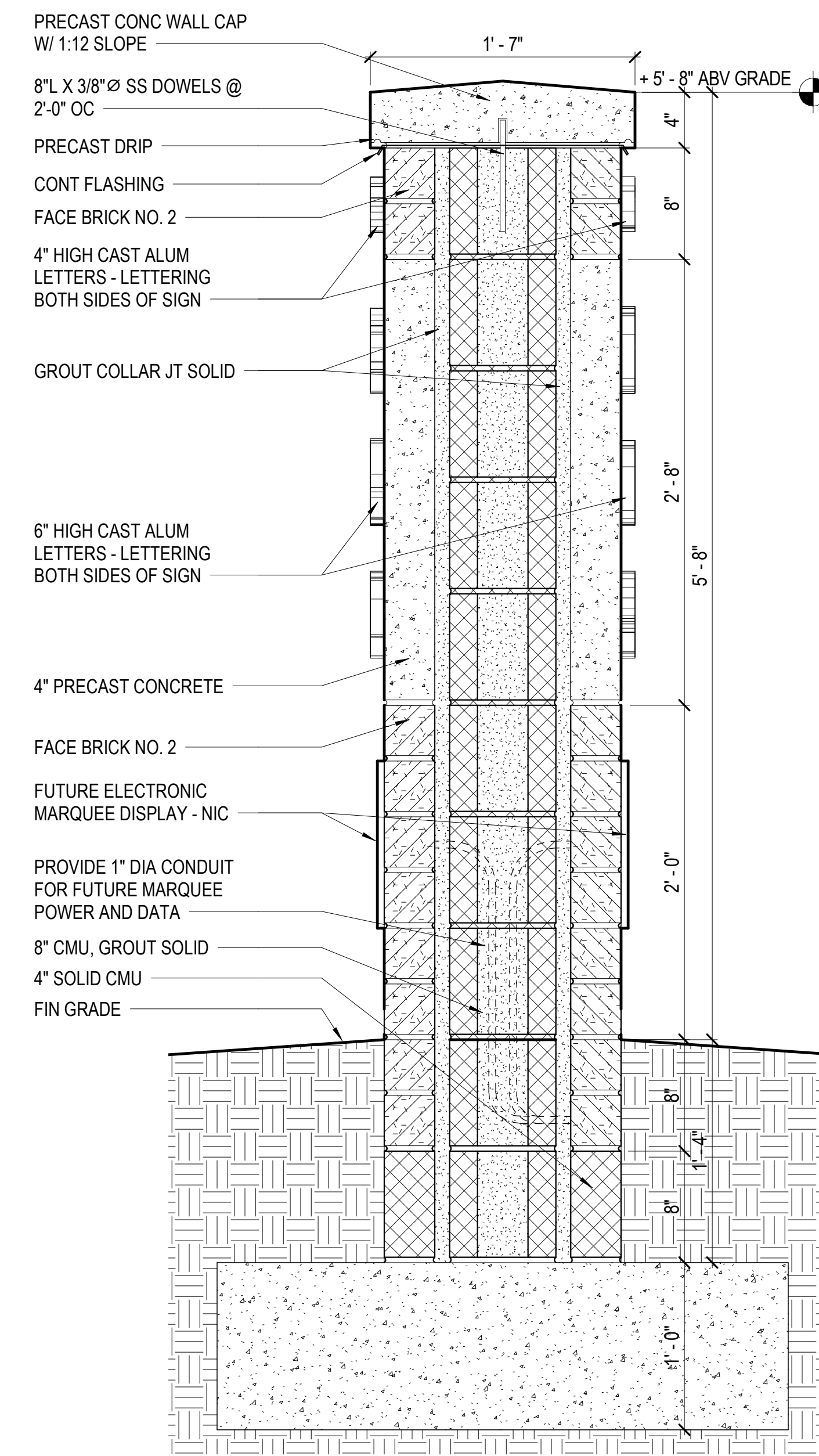
The site plan will allow for complete separation of car and bus traffic. It will provide parking for staff and visitors as well as a drop-off lane for parents that choose to drive their children to school. There will be playground areas behind the school that will be fenced for safety purposes. There will also be playground and athletic field areas at the front of the site that will be used by the school during the day and by the community after school hours.

Construction is scheduled to begin in the early Spring of 2019. Occupation of the new ESH Greene Elementary School is planned for the Fall of 2020 with the demolition of the existing school planned for Fall of 2020 and potentially into the Spring of 2021.

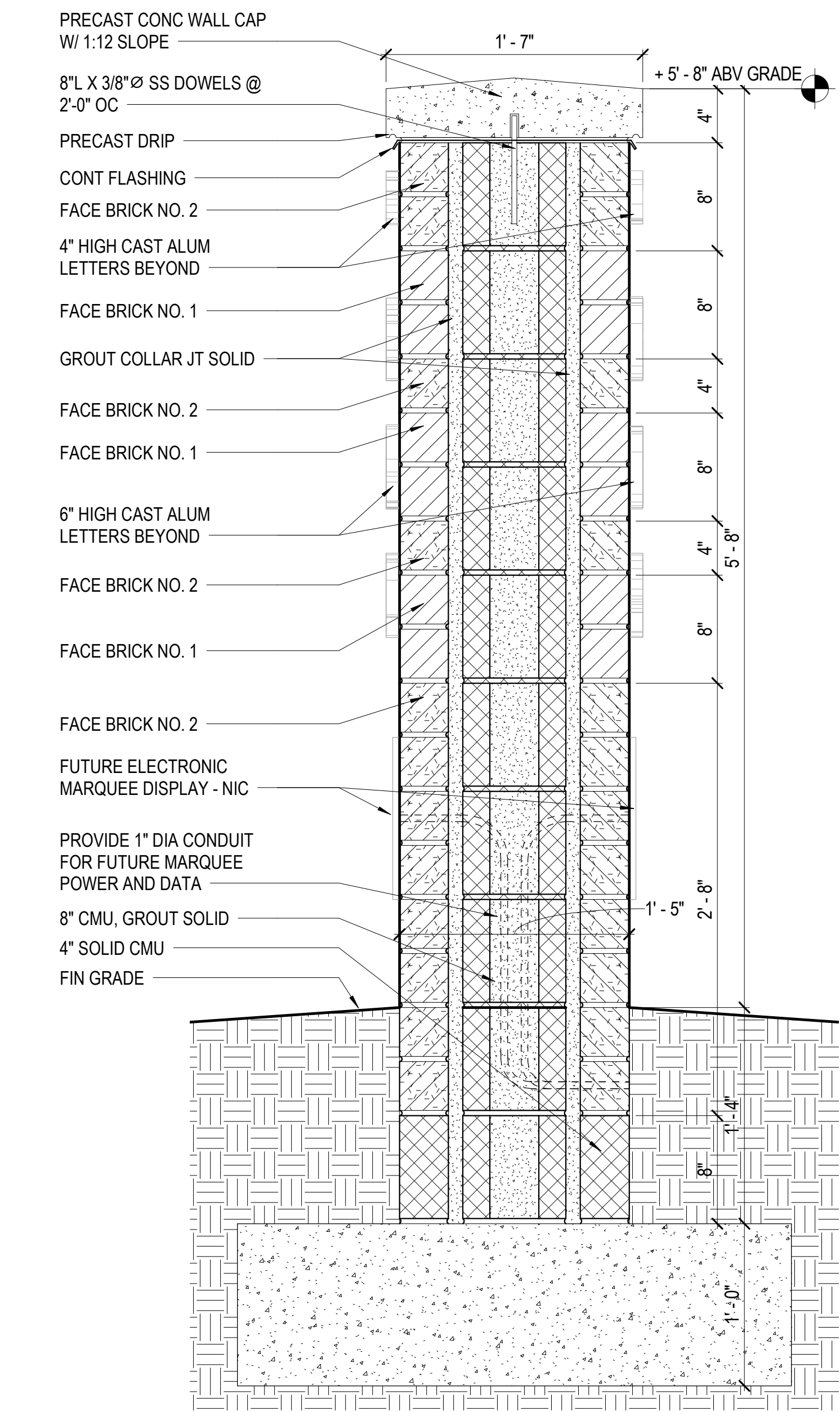
ESH Greene Elementary School is bordered by residential properties. The surrounding streets are Catalina Drive, Cranford Avenue, Kinsley Avenue, and Broad Rock Boulevard. It is located east of the intersection of Hull Street Road and Warwick Road, and northeast of the Broad Rock Sports Complex.



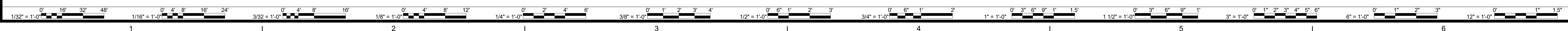
A1 ROAD SIGN ELEVATION
SCALE: 3/4" = 1'-0"



A3 ROAD SIGNAGE SECTION
SCALE: 1 1/2" = 1'-0"



A5 ROAD SIGNAGE SECTION
SCALE: 1 1/2" = 1'-0"



C:\Users\jshank\OneDrive\Documents\18218-00-19 ESH GREENE ES - Central_jshank\mxd\A1

3/29/2019 09:39:35

DATE	DESCRIPTION

MARK	DATE	BY	DESCRIPTION

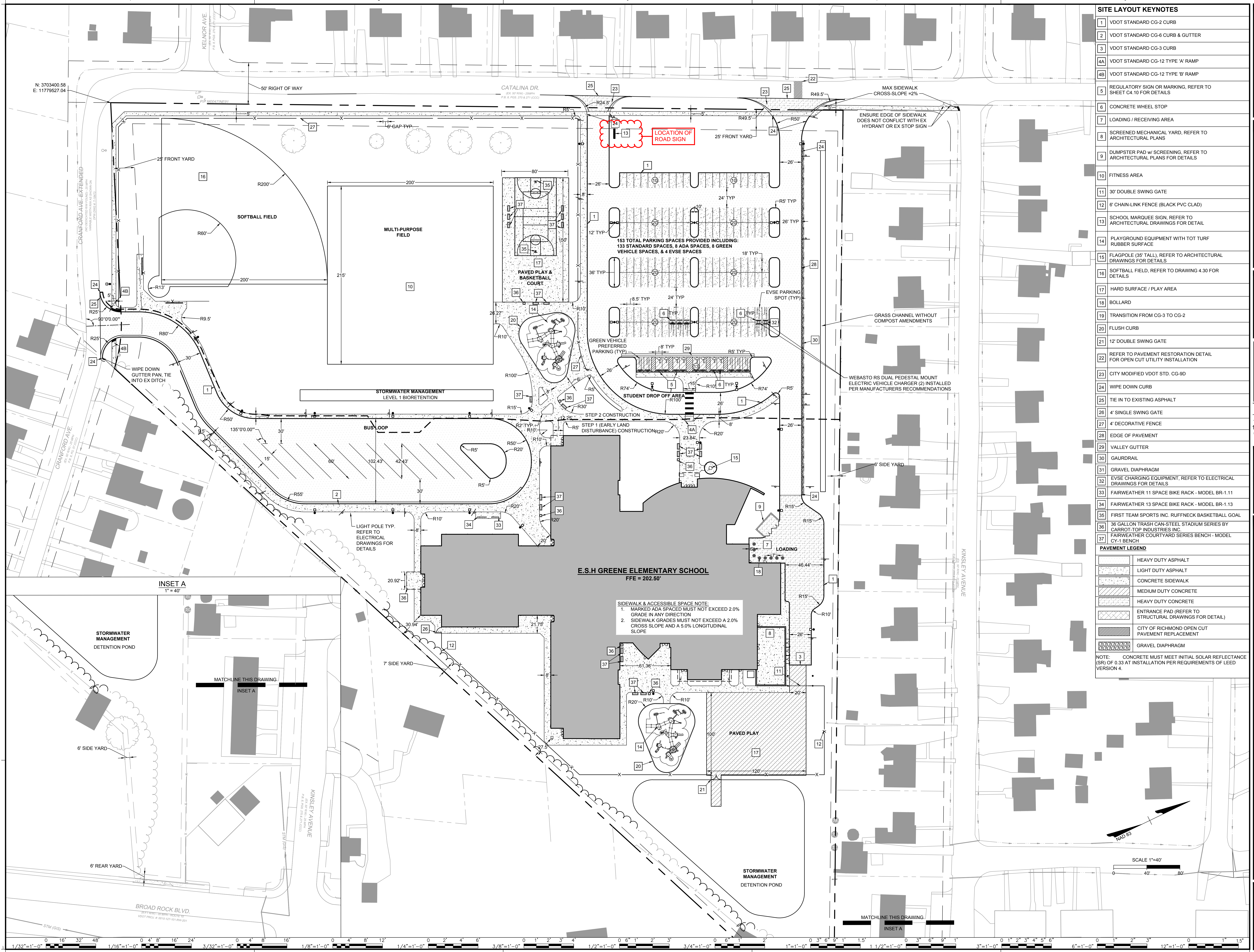
DATE	PROJECT	DESIGNED	DRAWN	CHECKED	DATE	BY	DESCRIPTION
02.22.2019	18218-00	RRMM	RRMM	RRMM			

RRMM ARCHITECTS, PC
115 South 15th Street, Suite 202
Richmond, Virginia 23219
(804)277-8987



PROJECT: E.S.H. GREENE ELEMENTARY SCHOOL
 RICHMOND PUBLIC SCHOOLS
 1745 CATALINA DRIVE
 RICHMOND, VIRGINIA 23224
 DRAWING: ROAD SIGNAGE ELEVATION AND SECTIONS

SHEET
A-206



SITE LAYOUT KEYNOTES

1	VDOT STANDARD CG-6 CURB
2	VDOT STANDARD CG-6 CURB & GUTTER
3	VDOT STANDARD CG-3 CURB
4A	VDOT STANDARD CG-12 TYPE 'A' RAMP
4B	VDOT STANDARD CG-12 TYPE 'B' RAMP
5	REGULATORY SIGN OR MARKING. REFER TO SHEET C4.10 FOR DETAILS
6	CONCRETE WHEEL STOP
7	LOADING / RECEIVING AREA
8	SCREENED MECHANICAL YARD. REFER TO ARCHITECTURAL PLANS
9	DUMPSTER PAD w/ SCREENING. REFER TO ARCHITECTURAL PLANS FOR DETAILS
10	FITNESS AREA
11	30' DOUBLE SWING GATE
12	6' CHAIN-LINK FENCE (BLACK PVC CLAD)
13	SCHOOL MARQUEE SIGN. REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL
14	PLAYGROUND EQUIPMENT WITH TOT TURF RUBBER SURFACE
15	FLAGPOLE (35' TALL). REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
16	SOFTBALL FIELD. REFER TO DRAWING 4.30 FOR DETAILS
17	HARD SURFACE / PLAY AREA
18	BOLLARD
19	TRANSITION FROM CG-3 TO CG-2
20	FLUSH CURB
21	12' DOUBLE SWING GATE
22	REFER TO PAVEMENT RESTORATION DETAIL FOR OPEN CUT UTILITY INSTALLATION
23	CITY MODIFIED VDOT STD. CG-9D
24	WIPE DOWN CURB
25	TIE IN TO EXISTING ASPHALT
26	4' SINGLE SWING GATE
27	4' DECORATIVE FENCE
28	EDGE OF PAVEMENT
29	VALLEY GUTTER
30	GAURDRAIL
31	GRAVEL DIAPHRAGM
32	EVSE CHARGING EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR DETAILS
33	FAIRWEATHER 11 SPACE BIKE RACK - MODEL BR-1.11
34	FAIRWEATHER 13 SPACE BIKE RACK - MODEL BR-1.13
35	FIRST TEAM SPORTS INC. RUFFNECK BASKETBALL GOAL
36	36 GALLON TRASH CAN-STEEL STADIUM SERIES BY CARROT-TOP INDUSTRIES INC.
37	FAIRWEATHER COURTYARD SERIES BENCH - MODEL CY-1 BENCH

PAVEMENT LEGEND

[Symbol]	HEAVY DUTY ASPHALT
[Symbol]	LIGHT DUTY ASPHALT
[Symbol]	CONCRETE SIDEWALK
[Symbol]	MEDIUM DUTY CONCRETE
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	ENTRANCE PAD (REFER TO STRUCTURAL DRAWINGS FOR DETAIL)
[Symbol]	CITY OF RICHMOND OPEN CUT PAVEMENT REPLACEMENT
[Symbol]	GRAVEL DIAPHRAGM

NOTE: CONCRETE MUST MEET INITIAL SOLAR REFLECTANCE (SR) OF 0.33 AT INSTALLATION PER REQUIREMENTS OF LEED VERSION 4.

SIDEWALK & ACCESSIBLE SPACE NOTE:
 1. MARKED ADA SPACES MUST NOT EXCEED 2.0% GRADE IN ANY DIRECTION
 2. SIDEWALK GRADES MUST NOT EXCEED A 2.0% CROSS SLOPE AND A 5.0% LONGITUDINAL SLOPE

REVISIONS

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
02/15/19	4289	TO D.L.T.S.	TO D.L.T.S.	SM

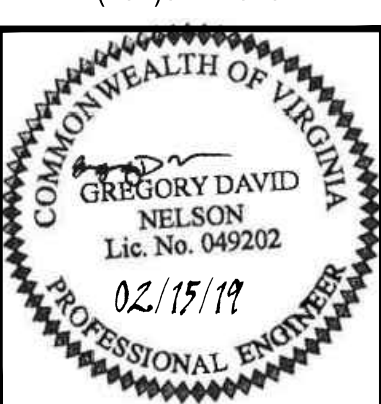


DESCRIPTION

BY _____

MARK DATE _____

REVISIONS _____



VIRGINIA DEPARTMENT OF EDUCATION: 000-00-00-000

PROJECT: NEW ESH GREENE ELEMENTARY SCHOOL
 CITY OF RICHMOND PUBLIC SCHOOLS
 1745 CATALINA DRIVE
 RICHMOND, VIRGINIA 23224
 DRAWING: LAYOUT PLAN

SHEET: C4.01

FILE NAME: S:\014\2019\ESH_Greene_ESH\Drawings\C4.01-LAYOUT.dwg LAYOUT NAME: C4.01 PLOTTED: Thursday, February 14, 2019 7:48am