



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2307 E. CLAY ST. DATE: 9/26/14

OWNER'S NAME: MAURICE E. MORGAN TEL NO.: 804-437-8773

AND ADDRESS: 3412 MORNINGMIST CIR. EMAIL: \_\_\_\_\_

CITY, STATE AND ZIP CODE RICHMOND, VA 23234

ARCHITECT/CONTRACTOR'S NAME: DAVID CLINGER TEL. NO. 804-683-5718

AND ADDRESS: 300 W. FRANKLIN ST #905E EMAIL: cclinger47@gmail.com

CITY, STATE AND ZIP CODE RICHMOND, VA 23220

Would you like to receive your staff report via email? Yes  No

### REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

### DETAILED DESCRIPTION OF PROPOSED WORK (Required):

#### STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

**PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

SEE DRAWINGS FOR PROJECT DESCRIPTION.

Signature of Owner or Authorized Agent: [Signature]

Name of Owner or Authorized Agent (please print legibly): DAVID M. CLINGER, JR.

(Space below for staff use only)

Received by Commission Secretary

APPLICATION NO. \_\_\_\_\_

DATE 9/26/2014 3:45

SCHEDULED FOR \_\_\_\_\_

Note: CAR reviews all applications on a case-by-case basis.

DAVID M. CLINGER, JR.

300 West Franklin Street, 905E Richmond, Virginia 23220

804.683.5718

cclinger47@gmail.com

26 September 2014

Department of Planning & Development Review

Attn: Catherine Easterling

900 E. Broad St., Room 510

Richmond, VA 23219

**Re: Application for Certificate of Appropriateness  
for 2307 E. Clay St.**

### PROJECT DESCRIPTION

Mr. Maurice Morgan, owner of the property located at 2301 E. Clay, desires to construct a new single-family home on the property. There had been a home on the site that was demolished several years ago. The proposed new residence will contain 3-stories, with the upper two being fully above ground on the street side, and the basement level being mostly below grade at the street side with walk-out at the rear.

The attached exhibits show the proposed plat, floor plans and elevations for the new house. The last exhibit shows a streetscape elevation to demonstrate that the heights of elements for the proposed new house are complimentary to the adjacent existing houses, and demonstrates that the proposed setback for the front of the house is complimentary to that of adjacent properties.

In a Conceptual Review in December 2013 there was concern that the house was set too far back from the property line. In the attached plan the house has been brought forward two (2) feet, the maximum amount allowed by zoning regulations. Additionally, the revised setback is consistent with most properties in the area, and is even closer to the property line than houses on adjacent 23<sup>rd</sup> Street.

The front façade of the house, while still reflective of the Queen-Anne Style, has been revised to contain only one turret, and the overall frontage width has been reduced. The front will be all brick veneer and this brick will be carried around along the visible alley side, and around the stair tower on the right side. Above the basement level on the rear and on back half of the left side the proposed material would be painted or prefinished smooth cement board lap siding. We propose that the most visible roof on the front façade be an architectural style asphalt shingle. If this is not permissible then we propose to mimic slate. The originally proposed two-story covered front porch has also been eliminated further reducing the mass of the house. A more typical covered porch is proposed.

As it is not feasible to provide the multiple copies of color and material samples, I intend to provide these at the time of the review meeting. If samples are required prior to this I may be able to provide at least one sample of brick, paint chip(s), roofing, siding, etc. for board members to review.

If there is more information or clarification I can provide, please contact me.

Sincerely,  
David M. Clinger, Jr.

# Proposed New Residence at 2307 E. CLAY STREET

Richmond, Virginia 23223

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.

## DRAWING INDEX:

- A-0 COVER SHEET / PROJECT DESCRIPTION
- A-1 PLAT PLAN
- A-2 BASEMENT PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 FRONT ELEVATION
- A-6 LEFT SIDE ELEVATION
- A-7 REAR ELEVATION
- A-8 RIGHT SIDE ELEVATION
- A-9 STREETScape

DAVID  
CLINGER, JR.

Architectural  
Design &  
Planning

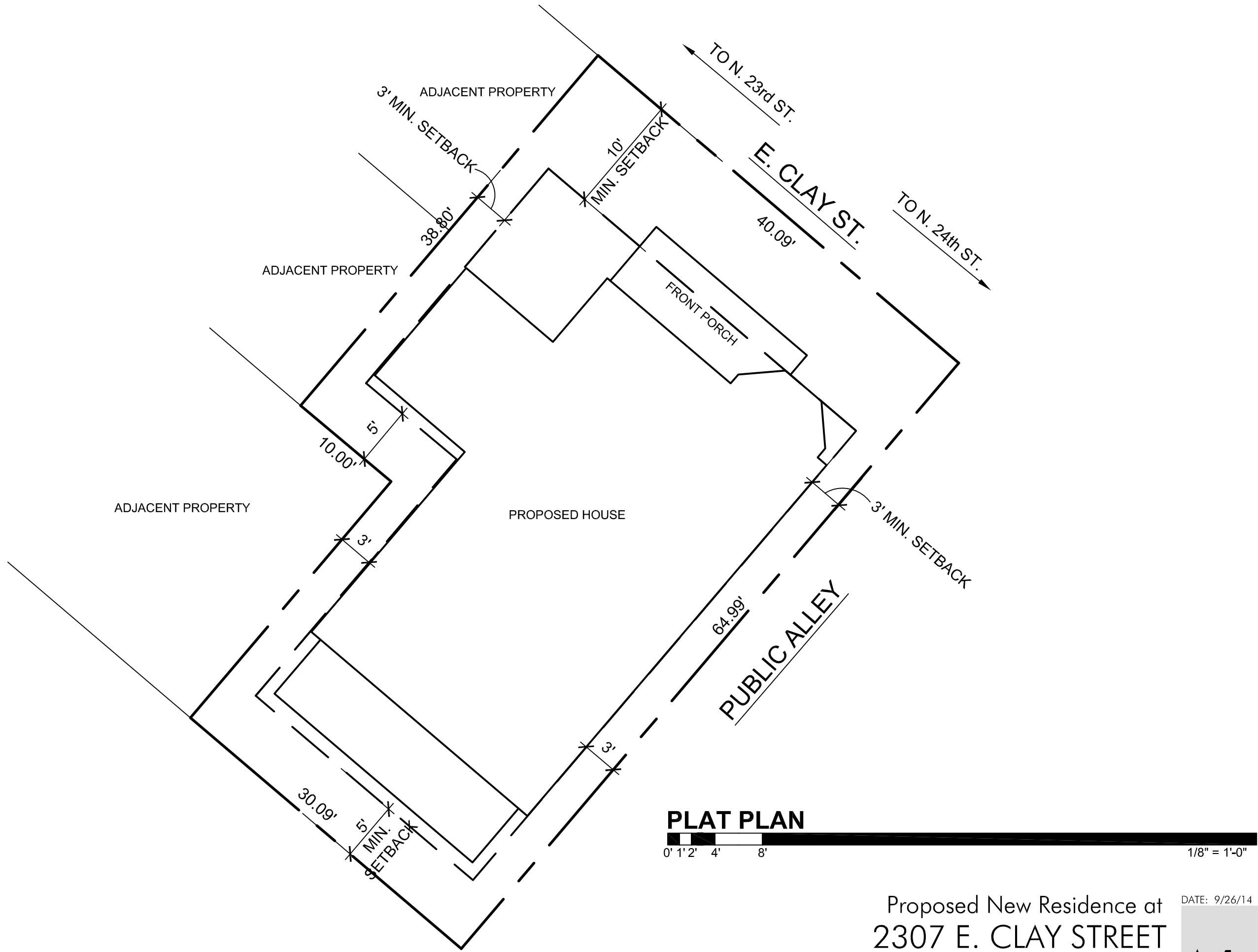
300 West Franklin Street  
Suite 905E  
Richmond, Va. 23220

cclinger47@gmail.com  
804.683.5718

DATE: 9/26/14

A-0

COVER SHEET,  
PROJECT DESCRIPT.



**PLAT PLAN**



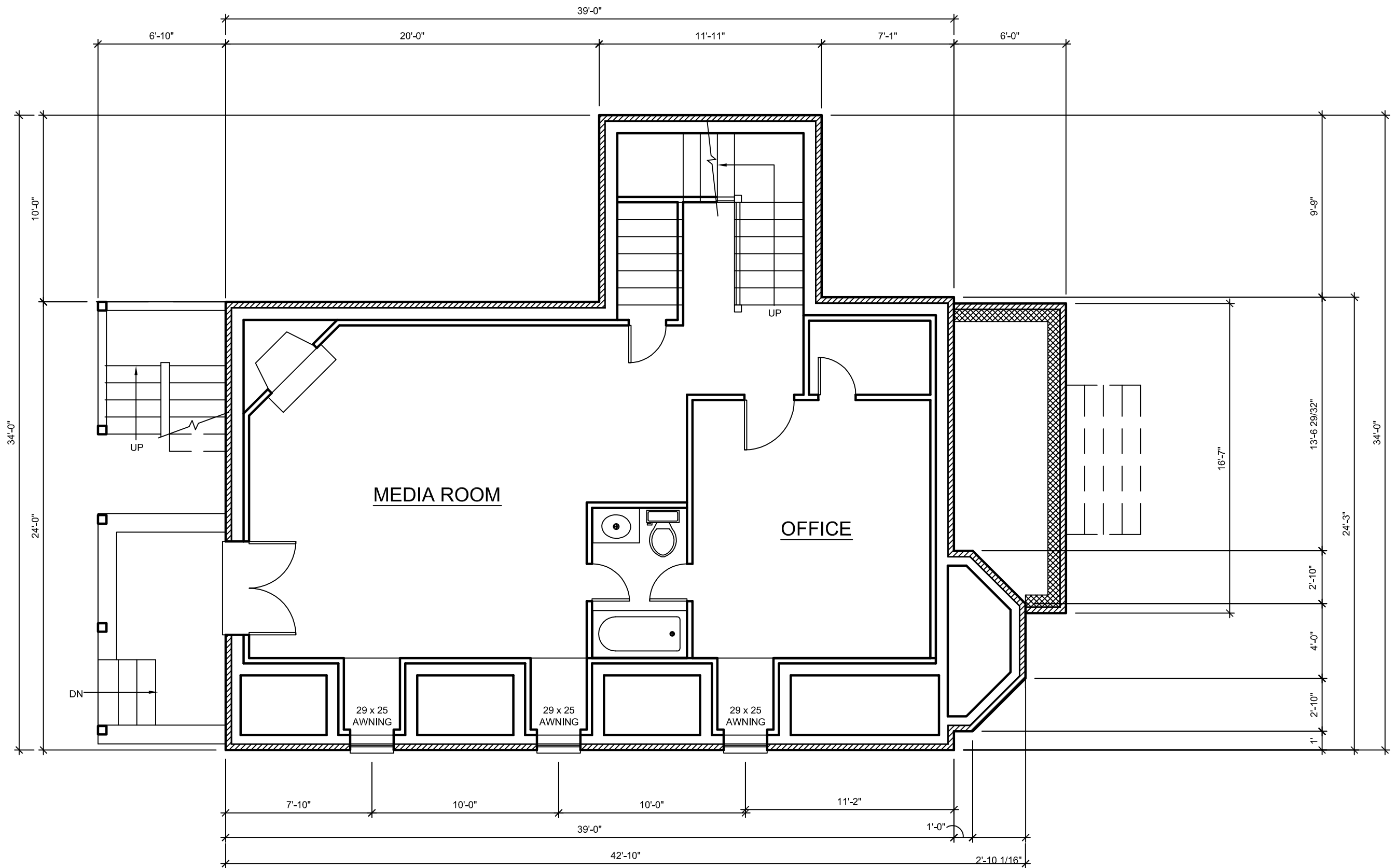
**DAVID CLINGER, JR.**  
 Architectural Design & Planning  
 300 West Franklin Street Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

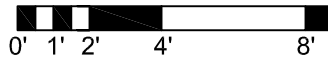
**A-1**  
 PLAT PLAN

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.



**BASEMENT FLOOR PLAN**

**870 S.F.**



3/16" = 1'-0"

**DAVID CLINGER, JR.**  
 Architectural Design & Planning  
 300 West Franklin Street Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

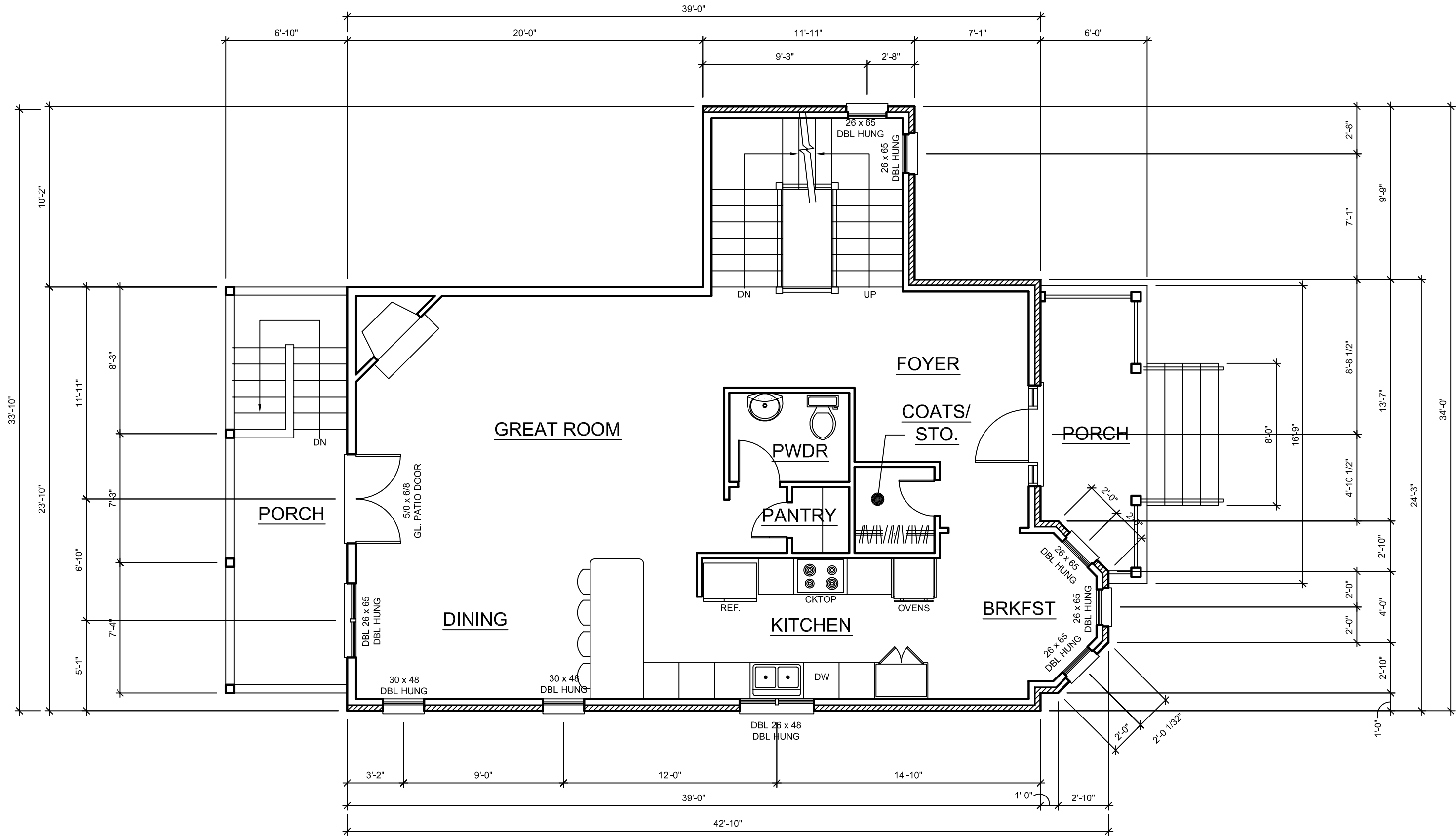
Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.

**A-2**

**BASEMENT FLOOR PLAN**



**PROPOSED FIRST FLOOR PLAN**

**1,083 S.F.**



3/16" = 1'-0"

**DAVID CLINGER, JR.**  
 Architectural Design & Planning  
 300 West Franklin Street Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

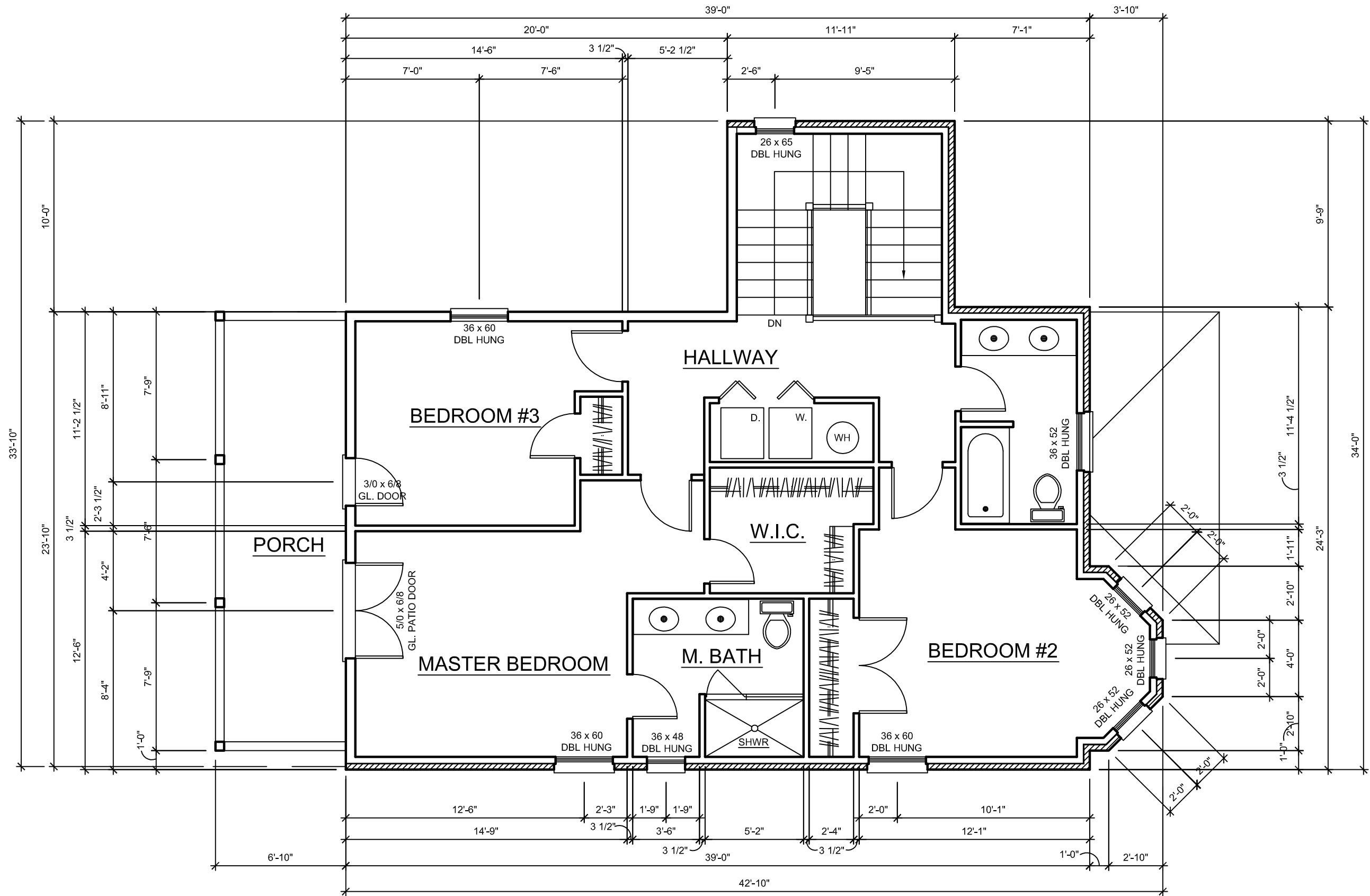
Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

**A-3**

FIRST FLOOR PLAN

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.



**PROPOSED SECOND FLOOR PLAN**

**1,083 S.F.**



3/16" = 1'-0"

**DAVID CLINGER, JR.**  
 Architectural Design & Planning  
 300 West Franklin Street  
 Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

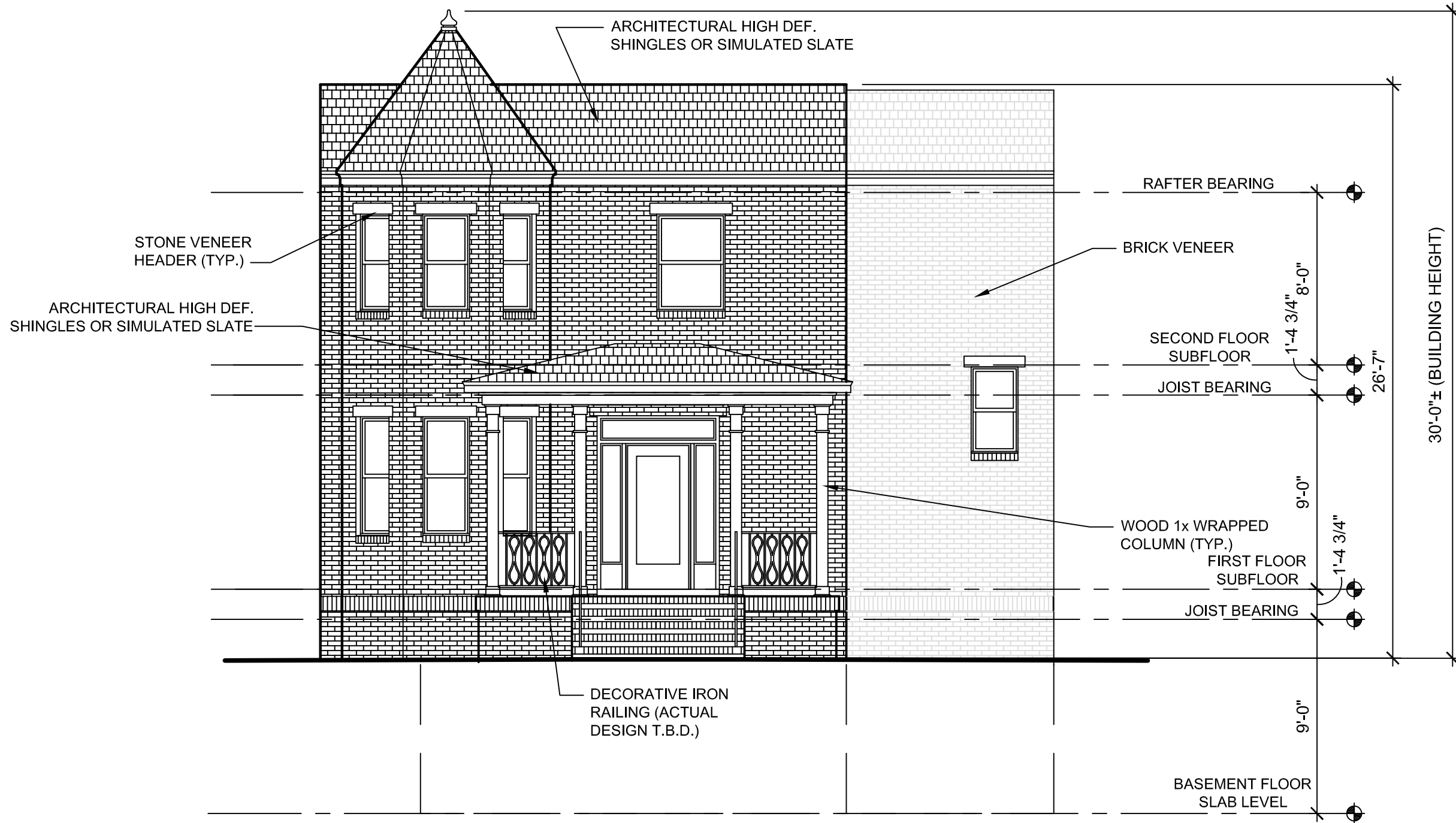
Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

**A-4**

**SECOND FLOOR PLAN**

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.



**FRONT ELEVATION**



**DAVID CLINGER, JR.**  
 Architectural Design & Planning  
 300 West Franklin Street Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

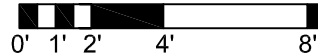
**A-5**

FRONT ELEVATION

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.



**LEFT SIDE ELEVATION**



3/16" = 1'-0"

**DAVID CLINGER, JR.**  
 Architectural Design & Planning  
 300 West Franklin Street Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

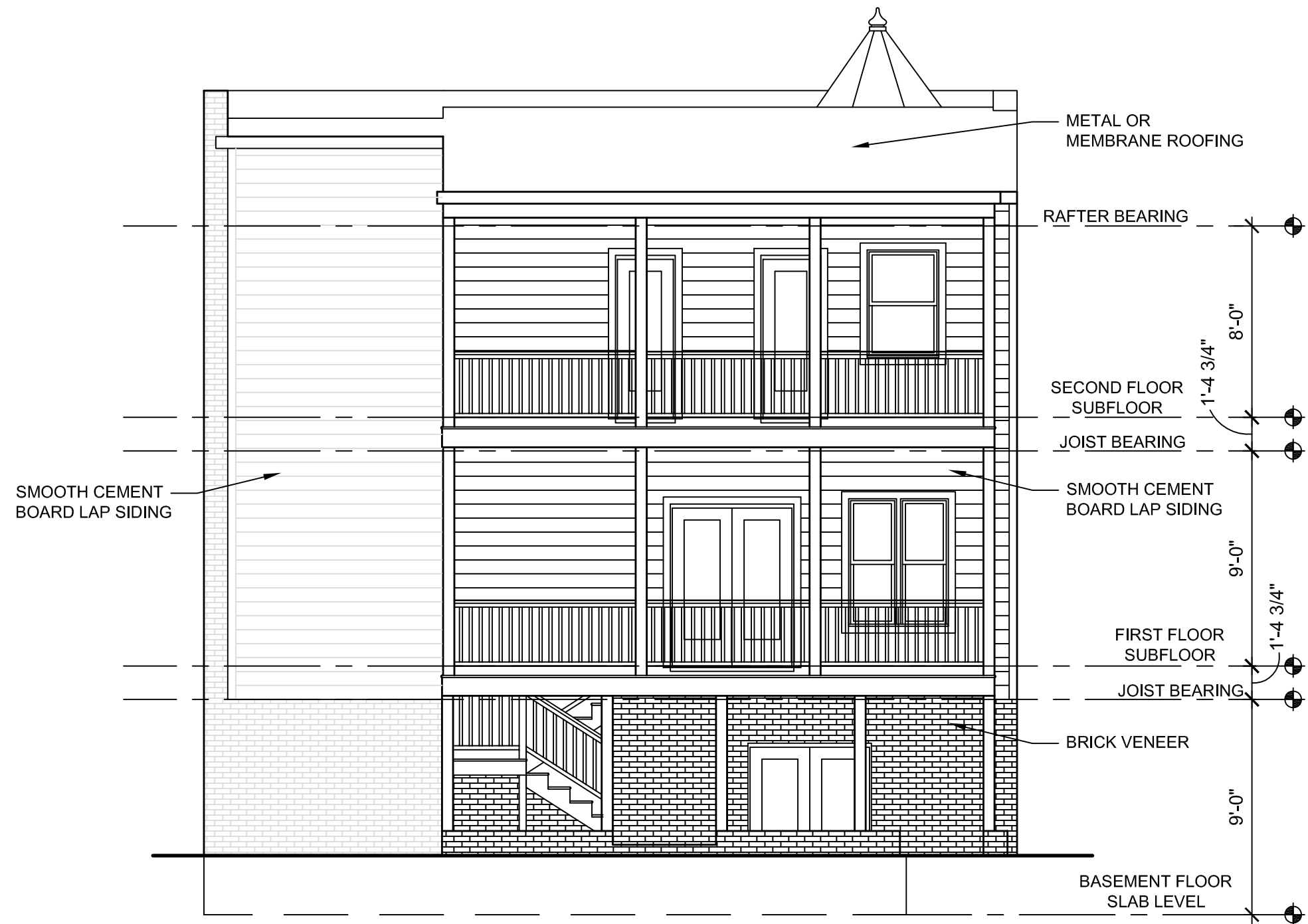
DATE: 9/26/14

**A-6**

**LEFT SIDE ELEVATION**

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.





**REAR ELEVATION**



**DAVID CLINGER, JR.**  
 Architectural  
 Design &  
 Planning  
 300 West Franklin Street  
 Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

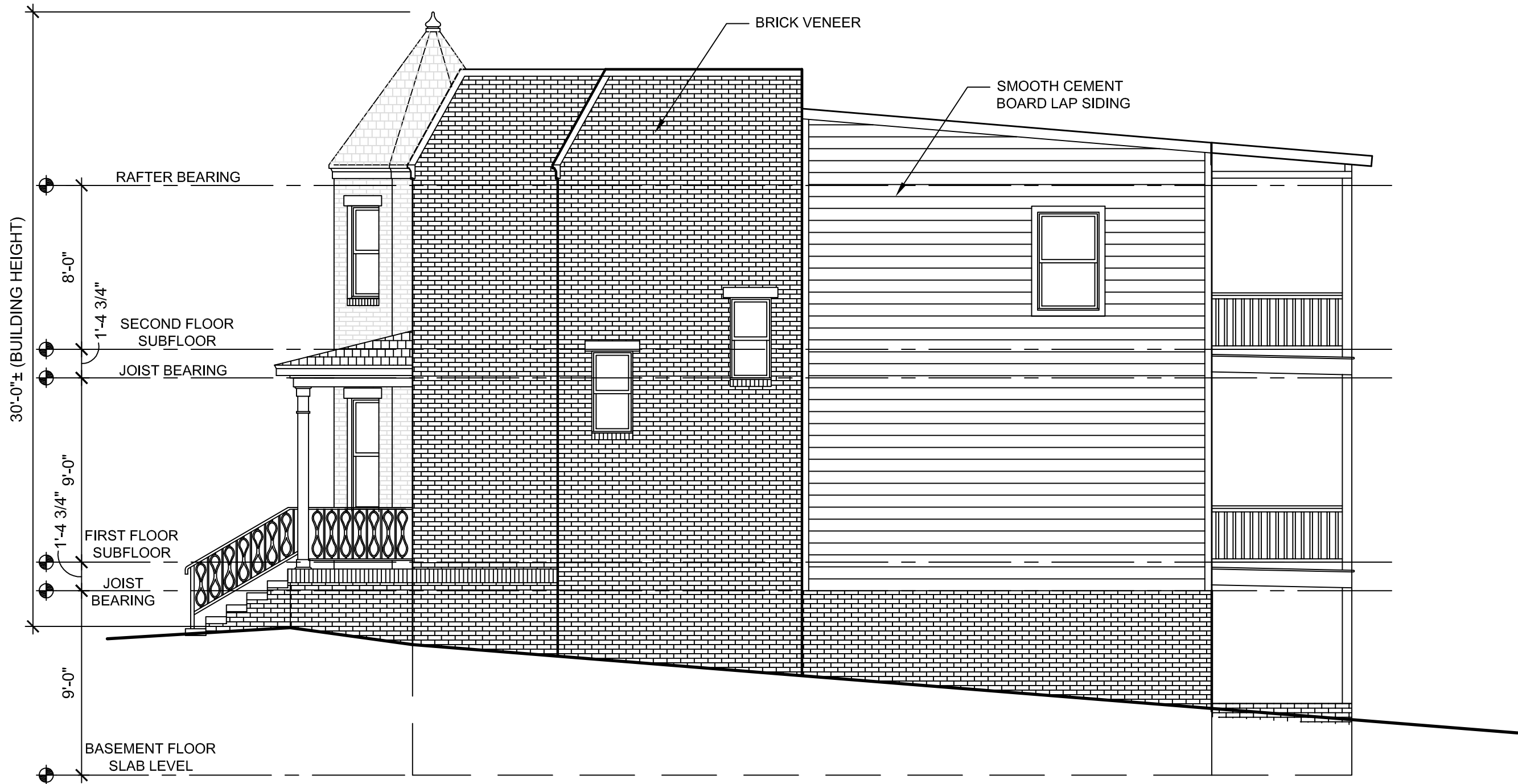
Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

**A-7**

REAR ELEVATION

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.



**RIGHT SIDE ELEVATION**



**DAVID CLINGER, JR.**  
 Architectural Design & Planning  
 300 West Franklin Street Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

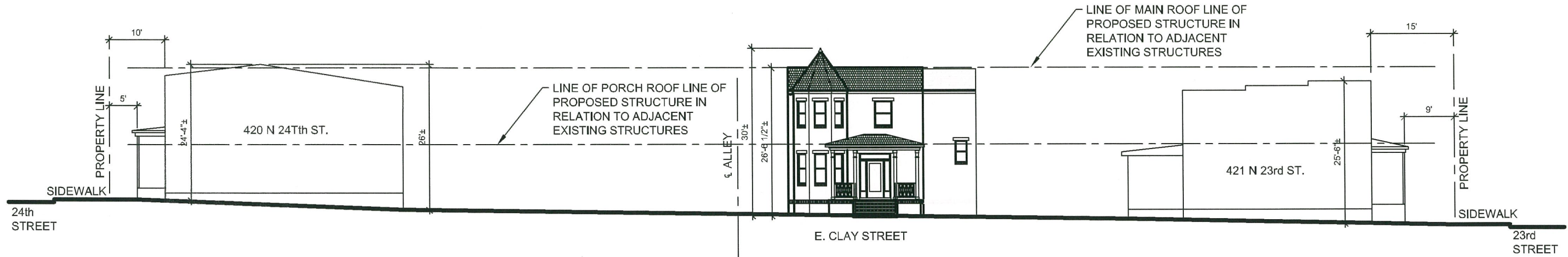
Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

**A-8**

RIGHT SIDE ELEVATION

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.



**GENERALIZED STREETSCAPE ELEVATION** SHOWING PROJECT PROPERTY HEIGHT IN RELATION TO ADJACENT PROPERTIES & FRONT SETBACKS OF ADJACENT PROPERTIES



**PHOTOGRAPHIC DOCUMENTATION OF EXISTING STREETSCAPE**

**DAVID**  
**CLINGER, JR.**  
 Architectural  
 Design &  
 Planning  
 300 West Franklin Street  
 Suite 905E  
 Richmond, Va. 23220  
 cclinger47@gmail.com  
 804.683.5718

Proposed New Residence at  
**2307 E. CLAY STREET**  
 Richmond, Virginia 23223

DATE: 9/26/14

**A-9**

**STREETSCAPE**

OWNER: Maurice E. & Sabrina E. Morgan, Jr., et. al.