



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 418 North 23rd Street

Historic district Union Hill

Date/time rec'd: 9:37 am 9/28/18
Rec'd by: AM
Application #: COA ~~042473~~ 042473-2018
Hearing date: 10-23-18

APPLICANT INFORMATION

Name Marion Cake

Phone 904-233-0991

Company project:HOMES

Email marion.cake@projecthomes.com

Mailing Address 88 Carnation Street

Applicant Type: Owner Agent

Richmond, VA 23225

Lessee Architect Contractor

Other (please specify):

OWNER INFORMATION (if different from above)

Name Maggie Walker Community Land Trust

Company _____

Mailing Address 1111 North 25th Street

Phone _____

Richmond, VA 23223

Email nikki@mwclt.org

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Build a new attached home per plans

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 09-27-2018



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 418 North 23rd Street

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

**418 North 23rd Street
Richmond, VA 23223**

Exterior Materials and Finishes description:

Siding: smooth unbeaded fiber cement siding "Montery Grey"

Exterior trim: Miratec/PVC 5/4 White

Exterior Rails: Fir Richmond Rail White

Windows: Legacy Pro Series vinyl 2 over 2 with simulated divided lites

Doors: Therma-tru fiberglass 2 panel half lite with transom

Cornice: Fypon # BKT11X20X6

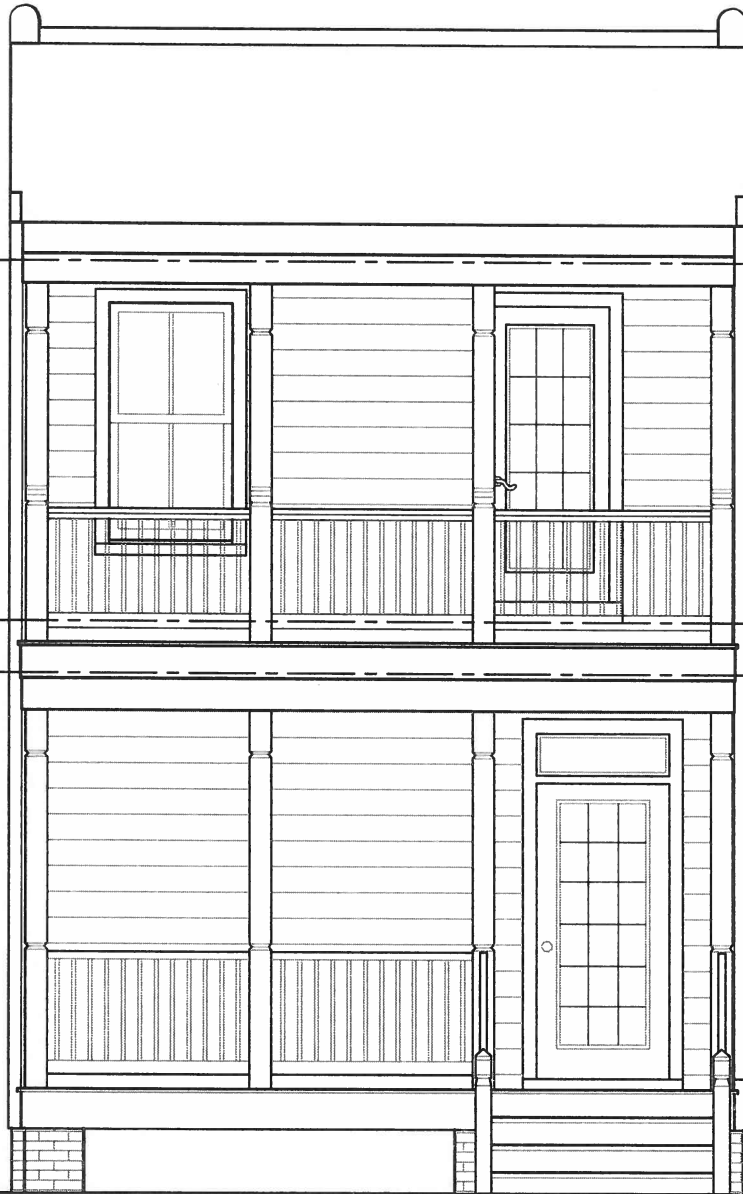
Dentil: Fypon # MLD310-8

Porch Floors: AZEK 3.25" tongue and groove composite, grey



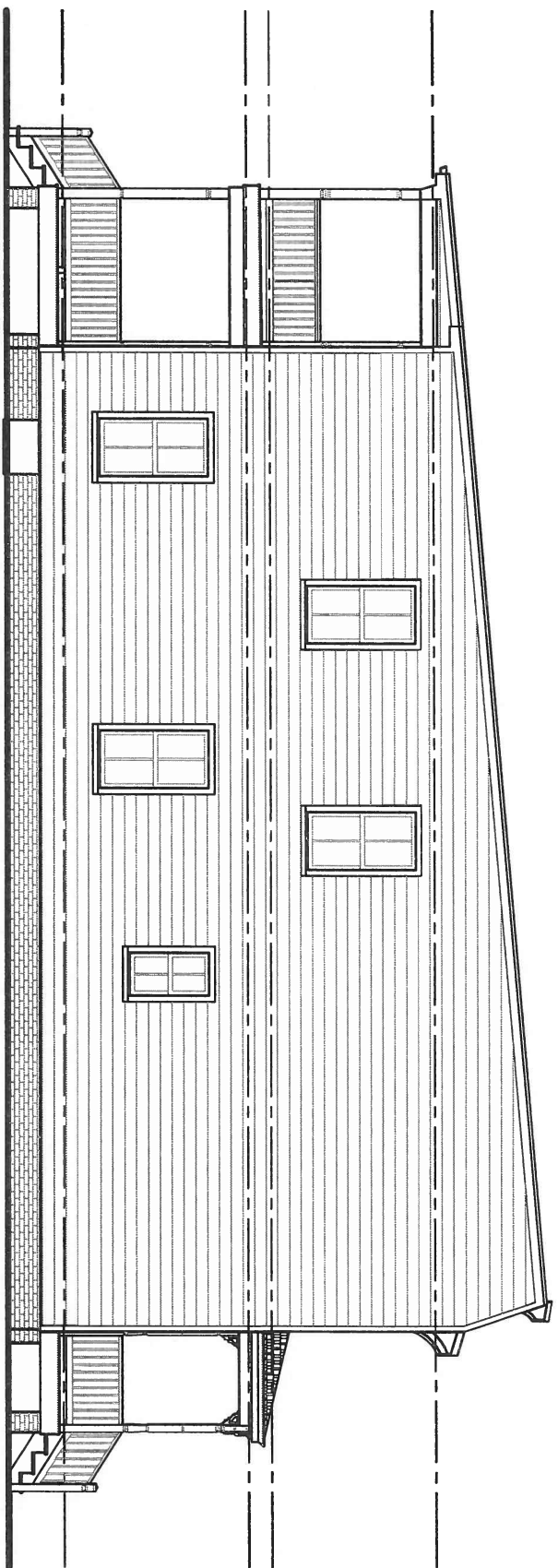
new one family residence
418 N. 23RD STREET

RICHMOND, VIRGINIA
PREPARED FOR PROJECT:HOMES



NORTH ELEVATION

new one family residence
418 N. 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

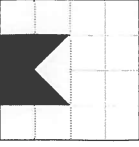


WEST ELEVATION

NEW SINGLE FAMILY RESIDENCE

418 NORTH 23RD STREET

RICHMOND, VIRGINIA



DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 232-6948

LIST OF DRAWINGS

| NO. | TITLE |
|-------|--------------------------------------|
| A-001 | COVER SHEET/BUILDING DATA |
| A-101 | FOUNDATION / FRAMING PLAN |
| A-102 | FIRST FLOOR PLAN |
| A-103 | 2ND FLOOR PLAN / ROOF FRAMING |
| A-201 | STRUCTURAL NOTES |
| A-202 | Bridged Wall Panel Diagrams / Detail |
| A-301 | Building Elevations / Schedules |
| E-101 | Wall Sections / U.L. Design |
| | Electrical Power and Lighting Plans |

BUILDING DATA - 418 N. 23RD STREET

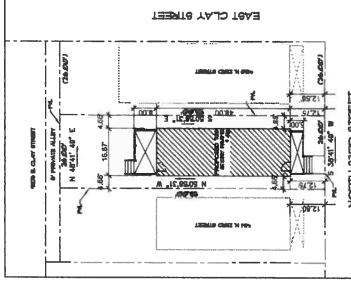
| | |
|------------------------------|--|
| SCOPE OF WORK: | NEW TWO-STORY, DETACHED, SINGLE-FAMILY DWELLING. |
| APPLICABLE CODES: | 2012 VIRGINIA RESIDENTIAL CODE, PART 1 V.A. USBC |
| ZONING DISTRICT: | R-8 (URBAN RESIDENTIAL DISTRICT) |
| SETBACKS - FRONT: | 5 FEET, 18 FEET |
| REAR: | 5 FEET |
| CONSTRUCTION TYPE: | VR WOOD FRAME, UNPROTECTED |
| USE GROUP: | R-3, SINGLE FAMILY RESIDENCE |
| BUILDING AREAS, FIRST FLOOR: | 800.00 SQ. FT. (32.38% OF LOT AREA) |
| SECOND FLOOR: | 800.00 SQ. FT. |
| TOTAL: | 1,600.00 SQ. FT. |
| LOT AREA: | 2,479 SQ. FT. |
| FIRE RATED ASSUMES: | (1) ONE HOUR FIRE SEPARATION ASSEMBLY AT ALL PARTIAL WALLS THAT ARE LESS THAN 5'-0" TO ANY LOT LINE. |
| | ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD. PERMIT DRAWINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE SUBMITTED BY THE DESIGNATED TRADE. |

GENERAL NOTES

- CONTRACTOR SHALL CONFORM TO THE 2012 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE VIRGUS AS ADOPTED BY THE CITY OF RICHMOND.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL CHALK FLASH OR OTHERWISE MARK THE BUILDING FOOTPRINT.
- CONTRACTOR SHALL CHALK ALL GAPS BETWEEN EXISTING MATERIALS.
- ALL WOOD SILLS THAT ARE WITHIN 4" OF BEING COVERED EARTH OR ON CONCRETE SHALL BE PROTECTED WITH AN APPROVED ROOF DRAIN.
- ALL ROOF DRAINS SHALL BE PROTECTED WITH AN APPROVED ROOF DRAIN.
- ALL ROOF DRAINS SHALL BE PROTECTED WITH AN APPROVED ROOF DRAIN.
- IF ANY MECHANICAL, ELECTRICAL OR PLUMBING WORK IS TO BE INSTALLED BY OTHER TRADES, ALL TRADES SHALL BE ADVISED IN WRITING AND SHALL BE COMPLETED BEFORE THE MECHANICAL, ELECTRICAL OR PLUMBING WORK IS TO BE INSTALLED.
- CONTRACTOR SHALL MAINTAIN PROTECTIVE COVERINGS OVER ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ALL UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN PROTECTIVE COVERINGS OVER ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ALL UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION.

GENERAL NOTES:

- THE GENERAL CONTRACTOR IS TO SECURE PERMISSION WITH ALL UTILITIES TO LOCATE AND CONSIDER ALL UTILITIES THAT MAY AFFECT THE NEW DIMENSIONS AND DETAILS OF THE NEW WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPLICATION OF ALL WORK AND TO VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD TO BE ALIGNED WITH THE GENERAL CONTRACTOR'S FIELD VERIFICATION.
- FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ALIGNED WITH THE GENERAL CONTRACTOR'S FIELD VERIFICATION.
- FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ALIGNED WITH THE GENERAL CONTRACTOR'S FIELD VERIFICATION.
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SCHEMATIC SITE PLAN
1" = 20'



LOCATION MAP
NOT TO SCALE

LEGEND

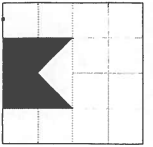
| | | | |
|---|-------------------------|----------|------------------------|
| 9 | DOOR NUMBER | ☐ | LUMBER (IN SECTION) |
| X | WINDOW TYPE | ☐ | CONCRETE (IN SECTION) |
| | SECTION | N. I. C. | NOT IN CONTRACT |
| | BATT INSULATION | U. N. O. | UNLESS NOTED OTHERWISE |
| | BRICK (IN SECTION) | | OUT TO OUT |
| | C. M. U. (PLAN/SECTION) | | |

COVER SHEET
BUILDING DATA
GEN NOTES

A-001
Sheet 1 of 7
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new single family residence
418 NORTH 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

| | |
|----------|-------------|
| DATE | DESCRIPTION |
| 04.15.18 | PROJECT SET |
| 05.02.18 | REVISED |
| 06.12.18 | REVISED |
| 07.12.18 | REVISED |



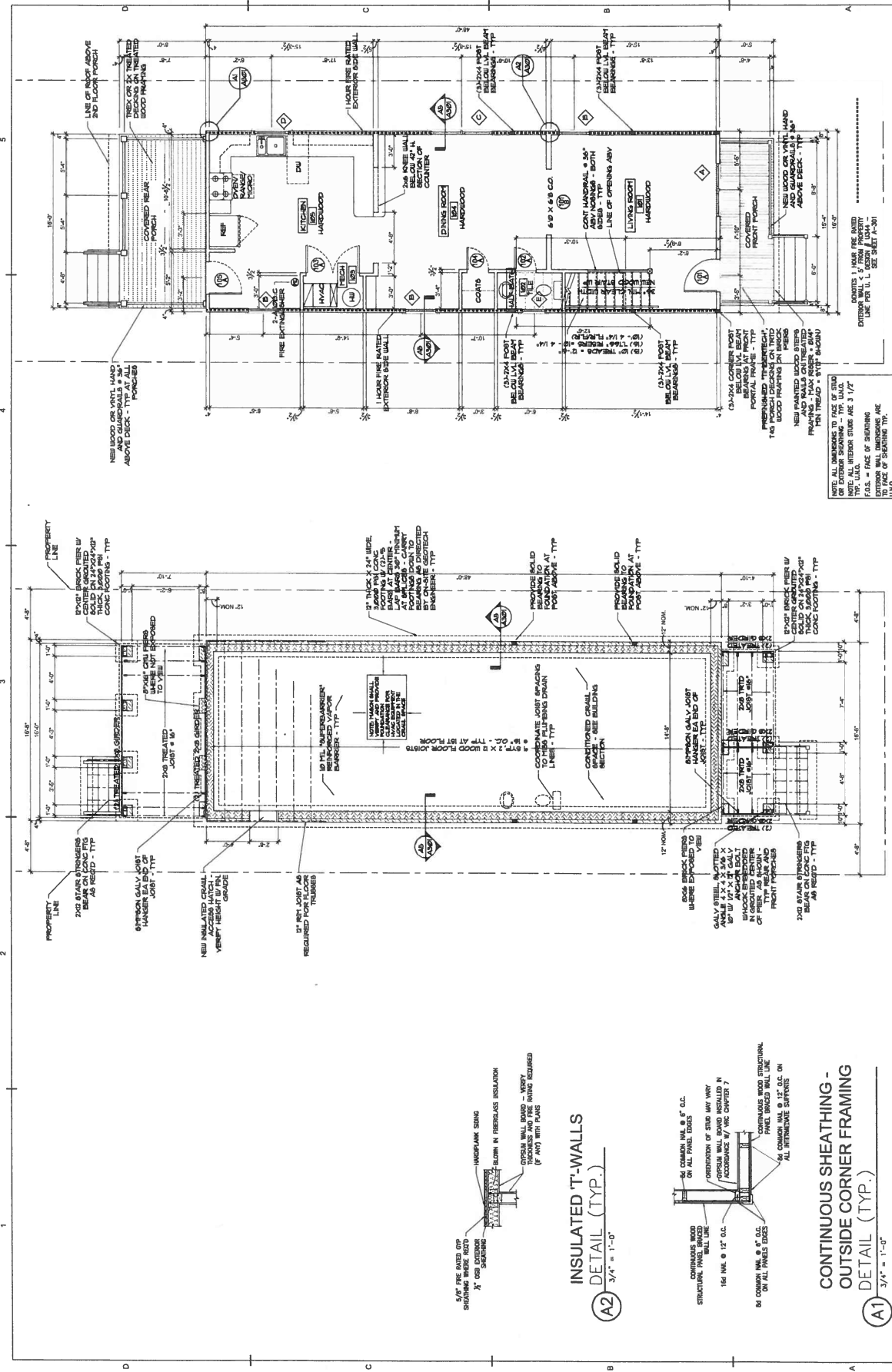
DAVID R. WINN, LLC
residential design
10132 BERRMEADE PLACE
GLENNVIEW, VA 22030
(804) 232-0948

new single family residence
418 NORTH 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT/HOMES

| mark | date | description |
|--------------|------------|-------------|
| DR. 05.15.18 | PERMIT SET | |
| DR. 05.15.18 | PERMIT SET | |

sheet **A-101**
2 of 7
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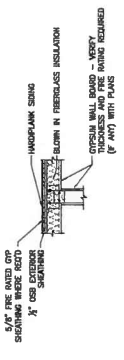
FOUNDATION / 1ST
FLR AND 1ST FLR
FRAMING PLANS



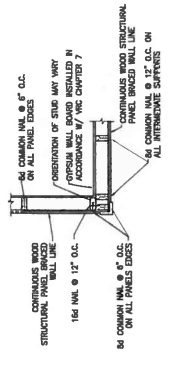
NOTE: ALL DIMENSIONS TO FACE OF STUDY UNLESS NOTED OTHERWISE.
NOTE: ALL INTERIOR STAIRS ARE 3 1/2\"/>

1ST FLOOR PLAN
PLAN NORTH
1/4" = 1'-0"

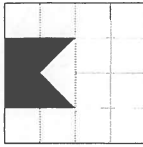
1ST FLOOR FRAMING AND FOUNDATION PLAN
PLAN NORTH
1/4" = 1'-0"



INSULATED T-WALLS
DETAIL (TYP.)
3/4" = 1'-0"



CONTINUOUS SHEATHING - OUTSIDE CORNER FRAMING
DETAIL (TYP.)
3/4" = 1'-0"



DAVID R. WINN, LLC
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CLYDE, VA 22619-1980
(804) 252-0948

new single family residence
418 NORTH 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

| mark. | date | description |
|-------|----------|-------------|
| 001 | 05.15.18 | PERMIT SET |

job # 2018-0018
date 05/15/18
sheet # 4 of 7
code # 41823000
sheet title

BRACED WALL
PANEL DIAGRAMS

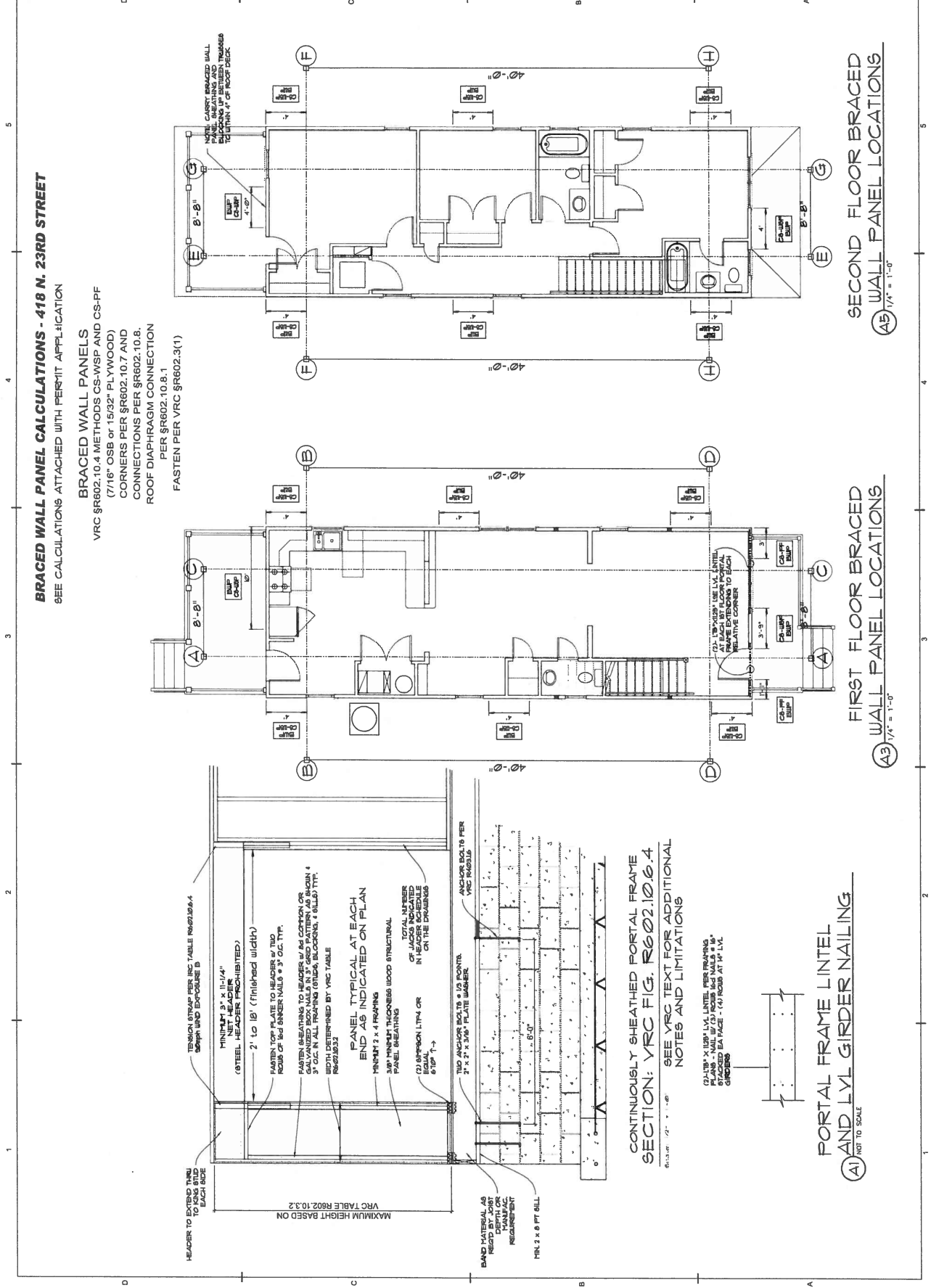
A-103
sheet 4 of 7
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BRACED WALL PANEL CALCULATIONS - 418 N. 23RD STREET

SEE CALCULATIONS ATTACHED WITH PERMIT APPLICATION

BRACED WALL PANELS

- VRC \$R602.10.4 METHODS CS-WSP AND CS-PF (7/16" OSB or 15/32" PLYWOOD)
- CORNERS PER \$R602.10.7 AND CONNECTIONS PER \$R602.10.8.
- ROOF DIAPHRAGM CONNECTION PER \$R602.10.8.1
- FASTEN PER VRC \$R602.3(1)

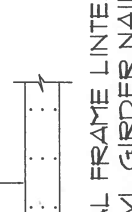


FIRST FLOOR BRACED WALL PANEL LOCATIONS
A3 14'-0"
A3' 17'-4" = 1'-0"

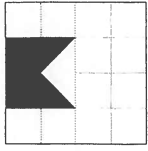
SECOND FLOOR BRACED WALL PANEL LOCATIONS
A5 14'-0"
A5' 17'-4" = 1'-0"

CONTINUOUSLY SHEATHED PORTAL FRAME SECTION: VRC FIG. R602.10.6.4

SEE VRC TEXT FOR ADDITIONAL NOTES AND LIMITATIONS



PORTAL FRAME LINTEL AND LVL GIRDER NAILING
A1 NOT TO SCALE



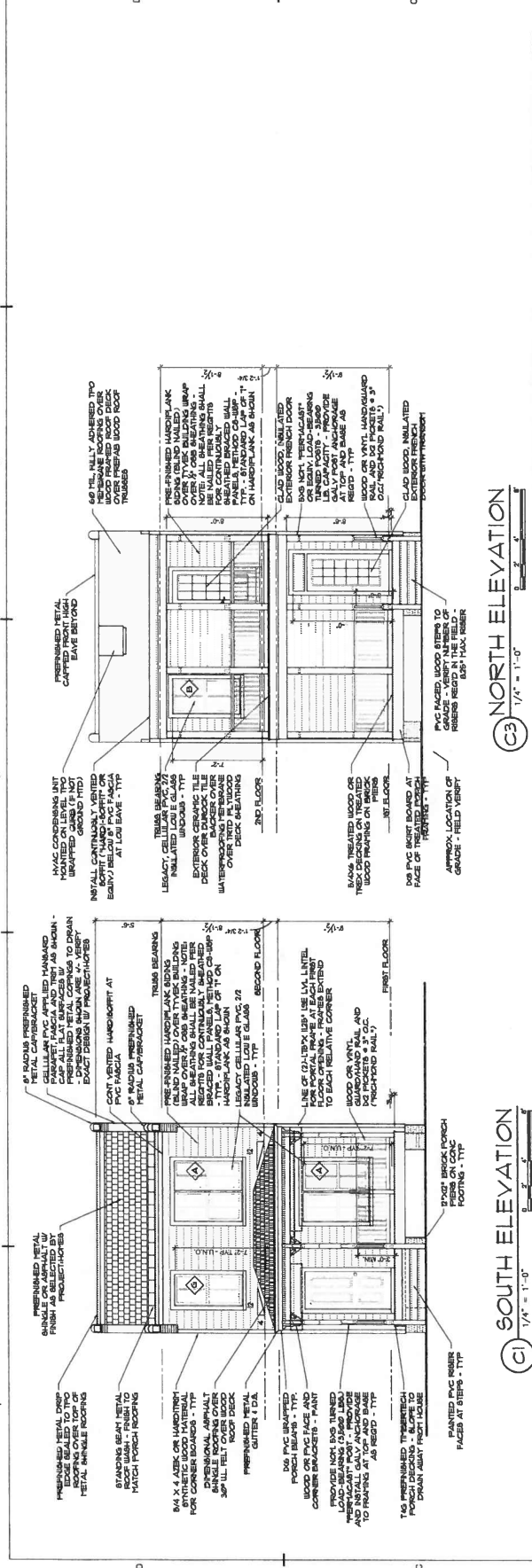
DAVID R. WINN, LLC
residential design
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RICHMOND, VA 23238
804 (804) 252-0948

new single family residence
418 NORTH 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT/HOMES

sheet title
**BUILDING
ELEVATIONS /
DOOR & WINDOW
SCHEDULES**

sheet #
A-201
sheet 5 of 7
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| MARK | DATE | DESCRIPTION |
|---------|----------|-------------|
| DR15A19 | 10/15/18 | POINT SET |
| DR15A19 | 10/15/18 | REVISED |
| DR15A19 | 10/15/18 | REVISED |

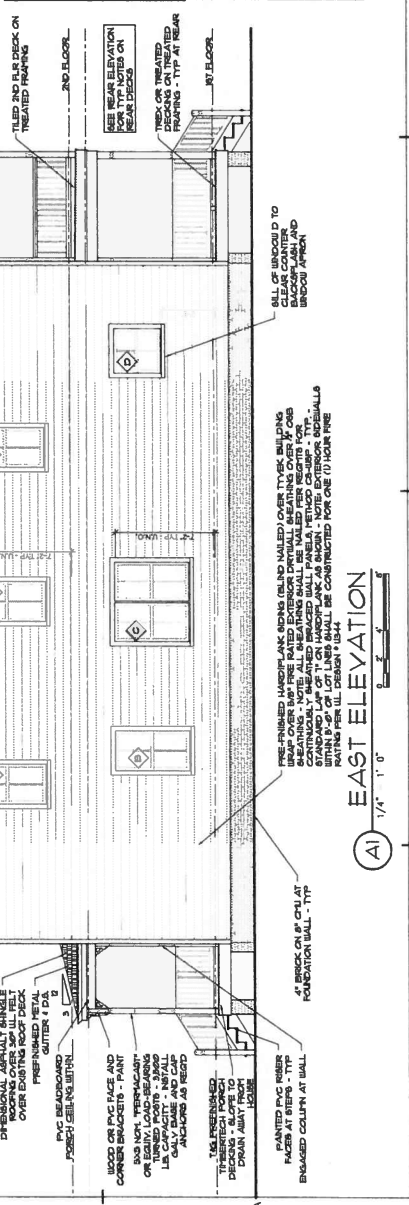
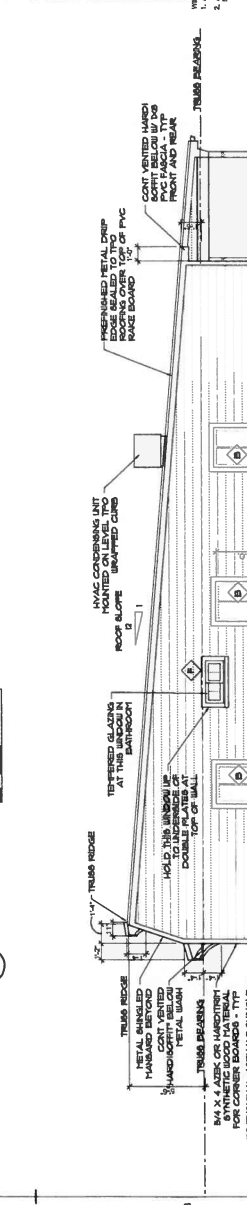


WINDOW SCHEDULE - 418 N. 23RD STREET

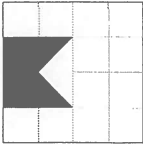
| MARK | NO. | UNIT | HT | WT | THK | MATL | TYPE | DEPTH | FINISH | NOTES |
|------|-----|-----------|-----|-----|--------|------|-------------|--------|--------|---|
| A | 2 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| B | 2 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| C | 2 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| D | 1 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| E | 1 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| F | 1 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| G | 1 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| H | 1 | 24" x 36" | 36" | 24" | 1 1/2" | WOOD | DOUBLE HUNG | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |

DOOR SCHEDULE - 418 N. 23RD STREET

| MARK | NO. | UNIT | HT | WT | THK | MATL | TYPE | DEPTH | FINISH | NOTES |
|------|-----|-----------|-----|-----|--------|------|--------------|--------|--------|---|
| 1 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 2 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 3 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 4 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 5 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 6 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 7 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 8 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 9 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |
| 10 | 1 | 36" x 60" | 60" | 36" | 1 1/2" | WOOD | PRE-FINISHED | 4 1/2" | WOOD | INSULATED LOW E WINDOW FILLED WITH ARGON GAS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. MUST HAVE LOW E REQUIREMENTS. |



1. ALL DOOR HARDWARE TO HAVE LEVER OPERATORS, OR ADA COMPLIANT
2. ALL WINDOW UNITS SHALL BE INSTALLED WITH 1/2" X 1/4" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.
3. PROVIDE TRIPLED GATED GLAZER PANEL WINDOW UNITS WITH 1/2" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.
4. THE WINDOW SCHEDULE ON THE DRAWINGS AND SCHEDULES ARE BASED ON THE WINDOW UNITS SHOWN. ANY WINDOW UNITS NOT SHOWN SHALL BE THE SAME AS THE WINDOW UNITS SHOWN.
5. ALL WINDOW UNITS SHALL BE INSTALLED WITH 1/2" X 1/4" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.
6. ALL WINDOW UNITS SHALL BE INSTALLED WITH 1/2" X 1/4" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.
7. ALL WINDOW UNITS SHALL BE INSTALLED WITH 1/2" X 1/4" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.
8. ALL WINDOW UNITS SHALL BE INSTALLED WITH 1/2" X 1/4" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.
9. ALL WINDOW UNITS SHALL BE INSTALLED WITH 1/2" X 1/4" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.
10. ALL WINDOW UNITS SHALL BE INSTALLED WITH 1/2" X 1/4" WOOD BRACKET ON EXTERIOR JAMB AND HEAD.



DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEYSIDE, VA 23060
(804) 252-0646

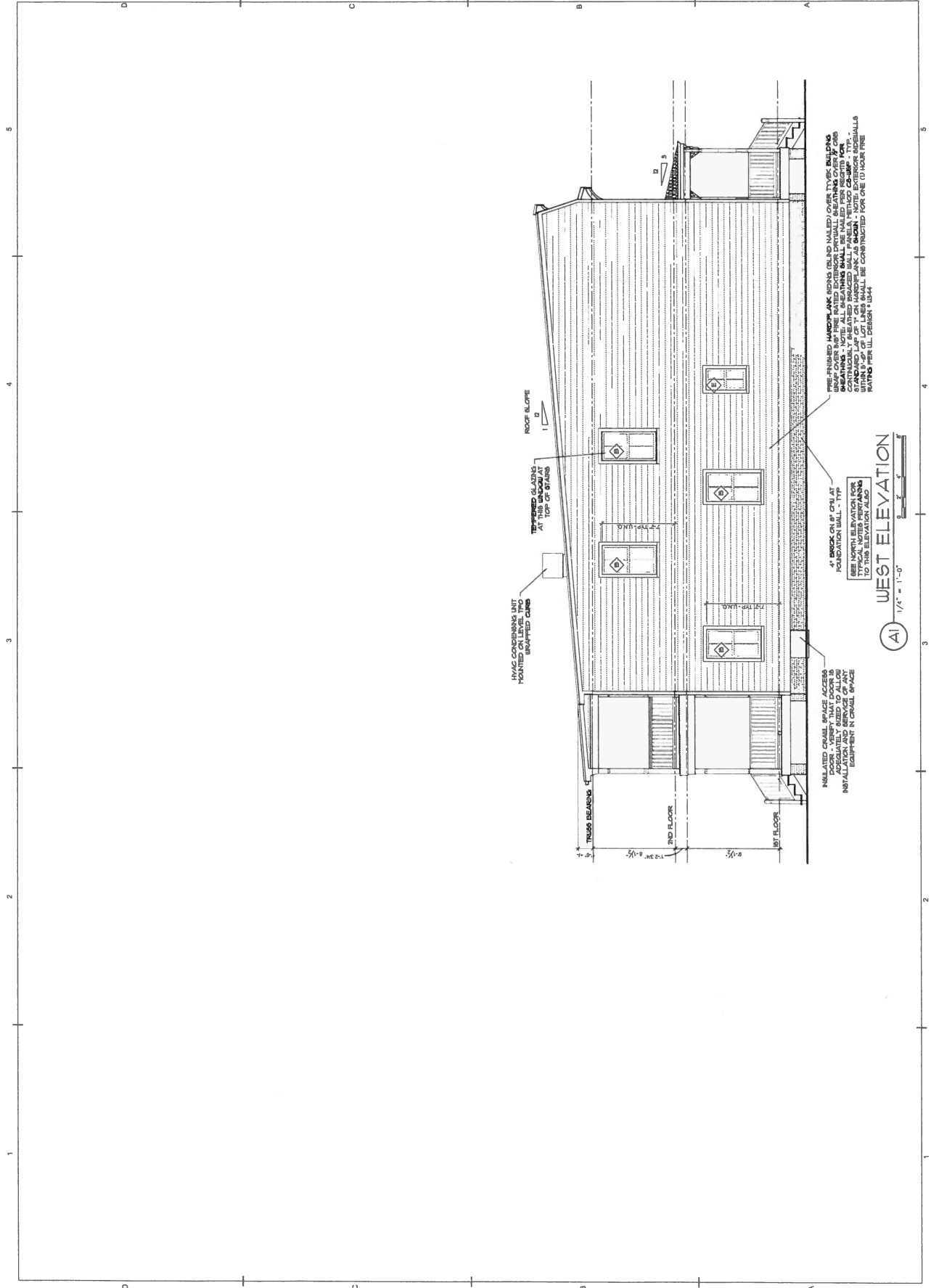
new single family residence
418 NORTH 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT/HOMES

| mark | date | description |
|----------|------|-------------|
| 06.15.19 | | PERMIT SET |

Job # 2018-0018
Job Name 418N
Client R. WINN
Architect DWG. # A-202A

sheet title
BUILDING
ELEVATION /

A-202
sheet 6 of 7
© DECEMBER 2018

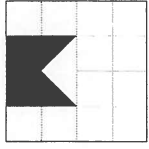


PRE-FINISHED HARDWARE FINISHES (BLIND NAILLED) OVER TYPE BUILDING SHEATHING. ALL SHEATHING SHALL BE NAILLED PER PERMITS FOR CONDENSATION. EXTERIOR FINISHES SHALL BE NAILLED PER PERMITS FOR CONDENSATION. ALL FINISHES SHALL BE NAILLED PER PERMITS FOR CONDENSATION. ALL FINISHES SHALL BE NAILLED PER PERMITS FOR CONDENSATION. ALL FINISHES SHALL BE NAILLED PER PERMITS FOR CONDENSATION.

4" BRICK ON 8" CMU AT FOUNDATION WALL - TYP (SEE NORTH ELEVATION FOR FINISHES) TO THIS ELEVATION ALSO

NEED TO VERIFY THAT DOOR IS ADAPTABLE TO ALLOW EQUIPMENT IN CRAWL SPACE

(A) WEST ELEVATION
1/4" = 1'-0"



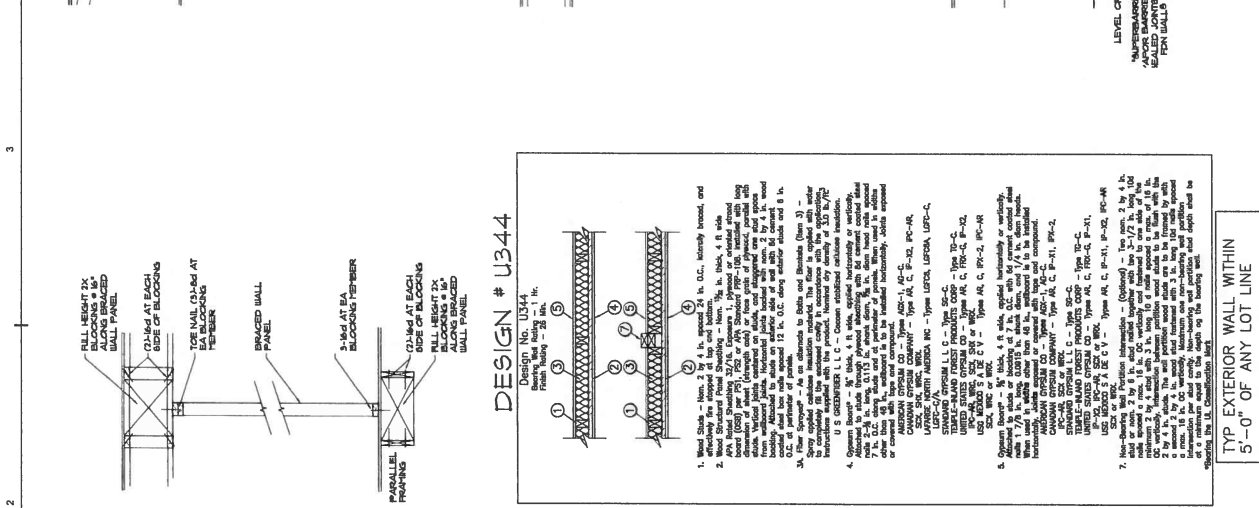
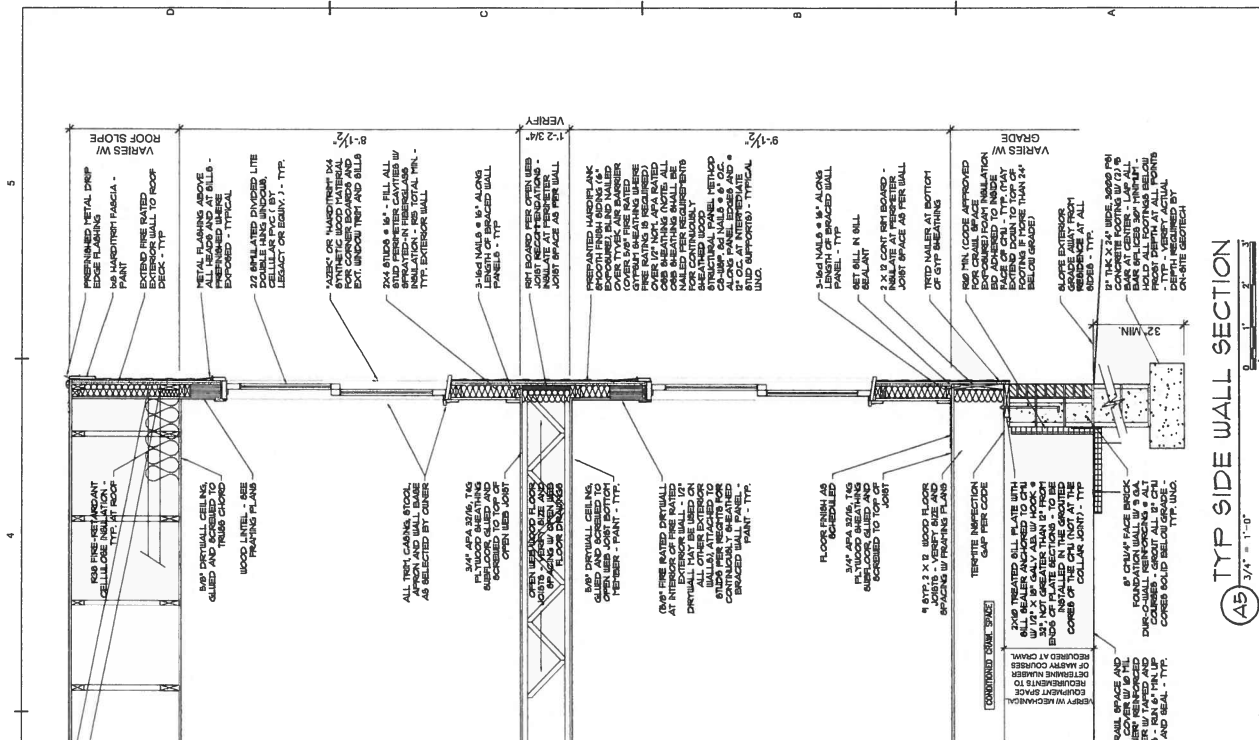
DAVID R. WINN, LLC
residential design
10132 BERRYMEAD PLACE
RICHMOND, VIRGINIA 23238
(804) 252-0848

new single family residence
418 NORTH 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT/HOMES

| mark | date | description |
|----------|------|-------------|
| 08.15.18 | | PERMIT SET |
| 08.15.18 | | 2018-08-18 |
| | | DRW |
| | | CON # |
| | | APP # |

sheet 118
AND U.L. DESIGNS

A-301
sheet 7 of 7
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DESIGN # U344
Bracing wall being 1 ft.
height.

BRACED WALL PANEL CONNECTIONS
C1 - NO SCALE

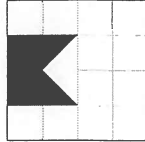
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TYP EXTERIOR WALL WITHIN 5'-0" OF ANY LOT LINE



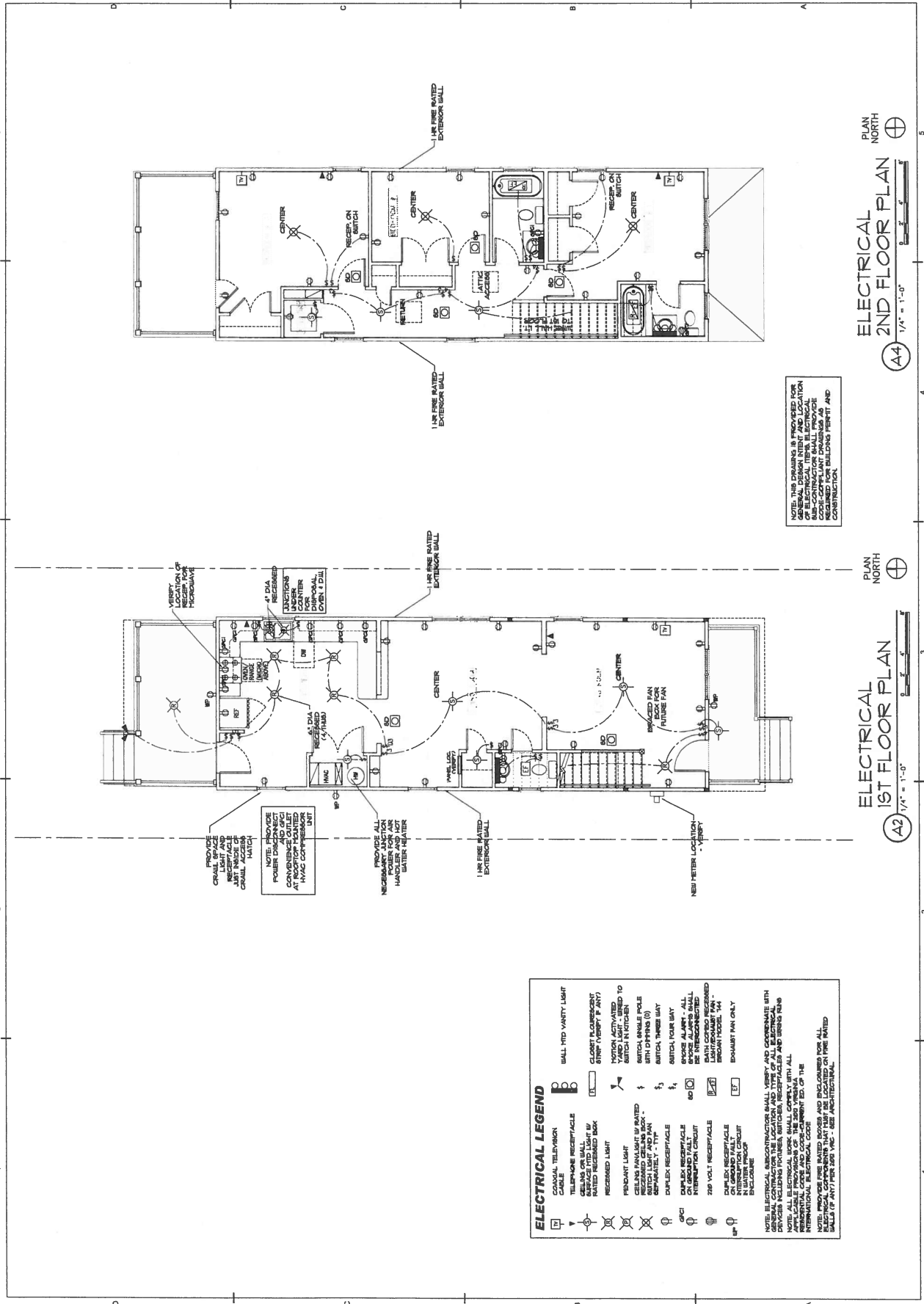
DAVID R. WINN, LLC
residential design
15132 HERVILLAGE PLACE
ELLENWOOD, VIRGINIA 22406
(804) 252-0948

new single family residence
418 NORTH 23RD STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT HOMES

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------|
| 01 | 10.15.18 | POINT SET |
| 02 | | REVISED |
| 03 | | REVISED |
| 04 | | REVISED |
| 05 | | REVISED |

sheet title
ELECTRICAL
PLANS

E-101
sheet 1 of 1
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NOTE: THIS DRAWING IS PROVIDED FOR INFORMATION ONLY. THE INSTALLATION OF ELECTRICAL ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. THIS DRAWING PROVIDES RECOMMENDATIONS FOR ELECTRICAL ITEMS AND CONSTRUCTION. REQUIREMENTS FOR BUILDING PERMIT AND CONSTRUCTION.

| SYMBOL | DESCRIPTION |
|--------|--|
| (TV) | TELEVISION |
| (T) | TELEPHONE RECEPTACLE |
| (C) | CEILING OR WALL RECEPTACLE |
| (R) | RATED RECEPTACLE BOX |
| (L) | RECESSED LIGHT |
| (PL) | PENDANT LIGHT |
| (S) | SWITCH, SINGLE POLE |
| (S2) | SWITCH, DOUBLE POLE |
| (S3) | SWITCH, THREE WAY |
| (S4) | SWITCH, FOUR WAY |
| (S5) | SWITCH, DIMMER |
| (S6) | SWITCH, DIMMER AND RECEPTACLE |
| (S7) | SWITCH, DIMMER AND RECEPTACLE WITH INTERMEDIARY CIRCUIT |
| (S8) | SWITCH, DIMMER AND RECEPTACLE WITH INTERMEDIARY CIRCUIT AND RECEPTACLE |
| (S9) | SWITCH, DIMMER AND RECEPTACLE WITH INTERMEDIARY CIRCUIT AND RECEPTACLE AND DIMMER |
| (S10) | SWITCH, DIMMER AND RECEPTACLE WITH INTERMEDIARY CIRCUIT AND RECEPTACLE AND DIMMER AND RECEPTACLE |
| (S11) | SWITCH, DIMMER AND RECEPTACLE WITH INTERMEDIARY CIRCUIT AND RECEPTACLE AND DIMMER AND RECEPTACLE AND DIMMER AND RECEPTACLE AND DIMMER AND RECEPTACLE |

PLAN NORTH

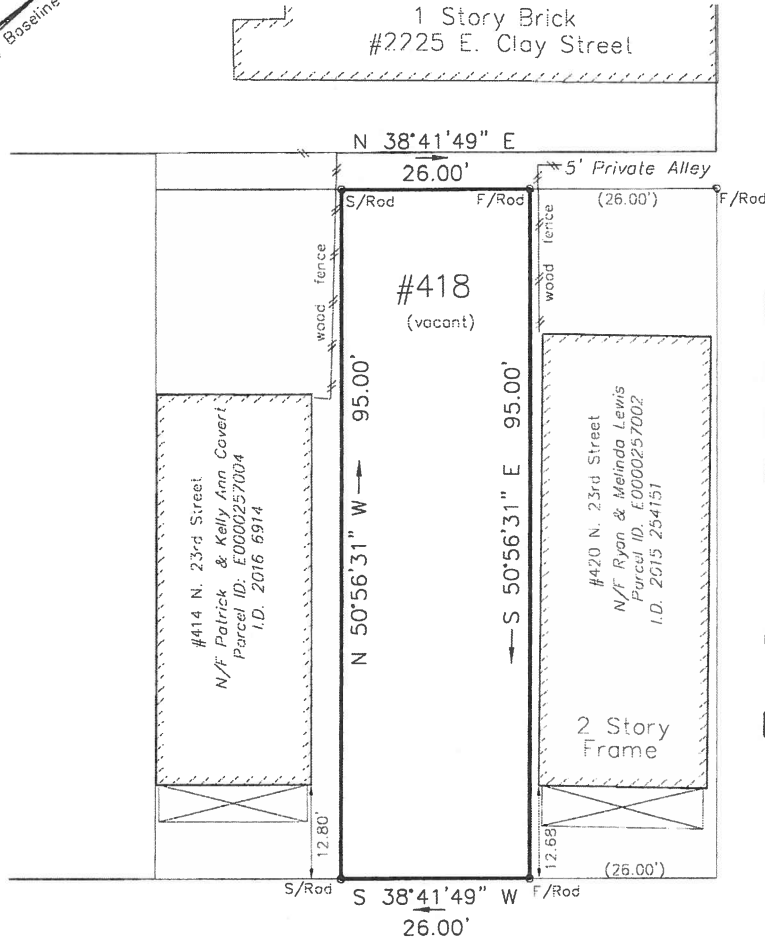
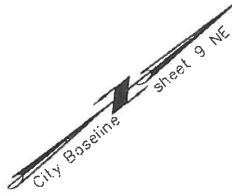
ELECTRICAL 2ND FLOOR PLAN
1/4" = 1'-0"

PLAN NORTH

ELECTRICAL 1ST FLOOR PLAN
1/4" = 1'-0"

Address: #418 N. 23rd Street
 Current Owner: Maggie Walker Community Land Trust
 Parcel ID: E0000257003
 I.D. 2018 8452

Note: Bearings protracted from City
 Baseline sheet 9 NE.



E. CLAY STREET

N. 23rd STREET



Survey and Plat of
**The Property Known as
 #418 N. 23rd Street in
 the City of Richmond, VA**

This is to certify that on 06/14/18 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 5101290041E effective date of 07/16/14. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.



Edwards, Kretz, Lohr & Associates, PLLC

Land Surveyors-Planners

Virginia-North Carolina

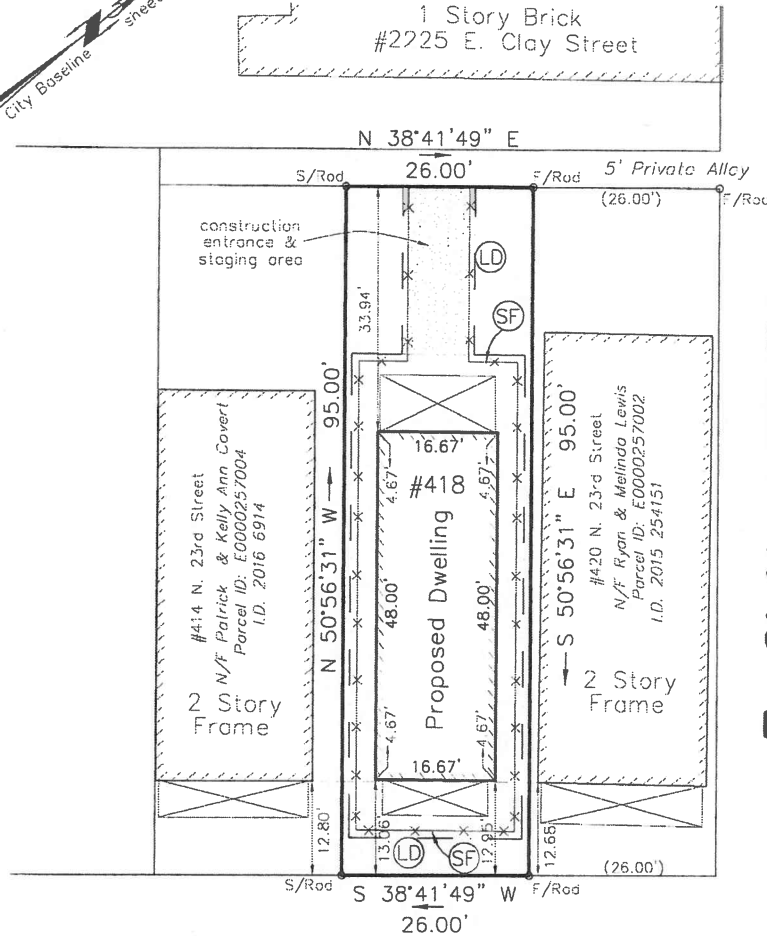
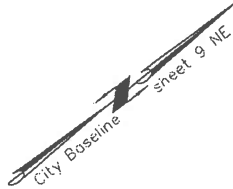
1900 Byrd Avenue, Suite 103
 Richmond, Virginia, 23230
 Phone (804) 673-9666
 Fax (804) 673-9990

Scale: 1"=20'
 Drawn: TCJ
 Job: 1327-18

Date: 06/29/18
 Checked: JAL

Address: #418 N. 23rd Street
 Current Owner: Maggie Wolker Community Land Trust
 Parcel ID: E0000257003
 I.D. 2018 8452
 Area: 0.057 Acre (2469.95 Sq.Ft.)

Notes: Bearings protracted from City
 Baseline sheet 9 NE.
 Offsets are to proposed foundation.
 Front offsets are non-conforming
 front yard.
 Area of Disturbance is
 0.042 ac. (1831.59 sq.ft.)



E. CLAY STREET

N. 23rd STREET

- (CE) Construction Entrance
- (SF) Silt Fence
- (LD) Limits of Disturbance

Building Permit Plat for
**The Property Known as
 #418 N. 23rd Street in
 the City of Richmond, VA**



Edwards, Kretz, Lohr & Associates, PLLC
 Land Surveyors-Planners
 Virginia-North Carolina
 1900 Byrd Avenue, Suite 103
 Richmond, Virginia, 23230
 Phone (804) 673-9666
 Fax (804) 673-9990

FLOOD INSURANCE NOTE: By graphics plotting only,
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 of the Flood Insurance Rate Map, Community Panel No.
 5101290041E effective date of 07/16/14
 Exact designations can only be determined by an Elevation
 Certificate. Based on the above information, this property
 IS NOT in a Special Flood Hazard Area.

Scale: 1"=20'
 Drawn: TCJ
 Job: 1327-18
 Date: 09/14/18
 Checked: JAL









