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GENERAL NOTES

- THE REQUIREMENTS OF THE CONTRACT DOCUMENTS INCLUDE FURNISHING ALL LABOR AND MATERIALS TO COMPLETE THE PROJECT AS DESCRIBED BY THE DOCUMENTS. THE CONTRACT DOCUMENTS SHALL INCLUDE THE OWNER/CONTRACTOR AGREEMENT, GENERAL CONDITIONS, THE DRAWINGS, SPECIFICATIONS, AND ALL ADDENDA AND REVISIONS. UNLESS OTHERWISE AGREED TO, THE GENERAL CONDITIONS SHALL BE AIA DOCUMENT A201, LATEST EDITION.
- ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, ETC. OF THE AUTHORITY HAVING JURISDICTION AND SHALL CONFORM WITH THE RULES AND REGULATIONS OF OSHA. UNLESS OTHERWISE AGREED TO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING, PURCHASING AND OBTAINING ALL REQUIRED PERMITS, INSPECTIONS, AND FINAL WRITE-OFFS AT THE PROJECT COMPLETION. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL VISIT AND EXAMINE THE PROJECT SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND VERIFY DIMENSIONS AND ACTUAL FIELD CONDITIONS. ANY CONFLICTS/OMISSIONS OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS, OR ANY DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS THEMSELVES, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN WRITING, THREE (3) BUSINESS DAYS BEFORE RETURN OF BID. DRAWINGS OF EXISTING CONDITIONS ARE BASED UPON EXISTING BUILDING DRAWINGS OBTAINED THROUGH THE OWNER.
- ANY CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS OR ANY APPARENT ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN INSTANCES OF CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS FOR LOCATIONS OF MATERIALS AND EQUIPMENT, THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE. FOR DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL VERIFY THAT ITS DRAWINGS AND SPECIFICATIONS ARE THE LATEST ISSUE.
- DO NOT SCALE DRAWINGS. IF ADDITIONAL INFORMATION OR DIMENSIONS ARE REQUIRED, CONTACT THE ARCHITECT. ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE FROM FACE OF FRAMING FOR NEW PARTITIONS / CONSTRUCTION AND FROM FINISH FACE FOR EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS (+) OR (-) ARE DIMENSIONS THAT MUST BE CONFIRMED IN THE FIELD. DIMENSIONS NOTED AS "CLEAR" ARE MINIMUM CLEAR DIMENSIONS TO FINAL FINISH FACE OF MATERIAL AT THE MOST CONSTRUCTIVE WIDTH OR HEIGHT.
- ALL EXISTING ITEMS NOT SHOWN OR NOT INDICATED AS PART OF THE WORK ARE TO REMAIN.
- ALLOW FOR PATCHING AND MISCELLANEOUS REPAIR WORK TO THE NEW WORK INTO OLD. PATCHED SURFACES SHALL MATCH EXISTING. WHERE EXISTING SURFACES ARE PATCHED, THE ENTIRE SURFACE - NOT ONLY THE PATCH - SHALL BE REFINISHED. PATCH, REPAIR AND PAINT ALL EXISTING WALLS TO REMAIN AS REQUIRED BY THE CONSTRUCTION, BY DAMAGE DURING CONSTRUCTION, AND BY THE SCOPE OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, PROCEDURES, AND COORDINATION OF ALL WORK PERFORMED UNDER ITS SUPERVISION INCLUDING WORK PERFORMED BY ITS SUBCONTRACTORS.
- ALL ITEMS REQUIRED BY THESE DRAWINGS BUT NOT SPECIFIED SHALL MATCH BUILDING STANDARD.
- PROVIDE METAL STUD AND POLYETHYLENE DUST BARRIERS AS REQUIRED TO PREVENT DUST CONTAMINATION OF OCCUPIED SPACE. REPLACE ALL MECHANICAL AIR FILTERS REGULARLY DURING DEMOLITION AND DRYWALL SANDING TO PREVENT CLOGGING. NEVER OPERATE SYSTEMS WITHOUT FILTERS. REPLACE FILTERS AS FINAL CLEANING PROCEDURES ARE COMPLETE. BAG AND PROTECT ALL EXISTING WINDOW BLINDS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE NECESSARY COVERINGS, BOARDS, TEMPORARY PARTITIONS, AND DOORS AS REQUIRED TO PROTECT NEW AND EXISTING WORK, MATERIALS, AND FINISHES ALREADY IN PLACE. ANY AREAS IN THE BUILDING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- NO WORK AND/OR CONSTRUCTION OPERATIONS SHALL BE PERFORMED THAT WILL UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING. THE CONTRACTOR WILL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING THE WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND/OR MISALIGNMENT IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND GOOD PRACTICE.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL FIELD CONDITIONS AND LAYOUT OF THE PROPOSED PARTITIONS FOR REVIEW BY THE ARCHITECT FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT. APPROVAL BY THE ARCHITECT DOES NOT RELEASE THE CONTRACTOR FROM THE RESPONSIBILITY TO MAINTAIN CRITICAL DIMENSIONS AND CLEARANCES.
- AFTER COMPLETION OF ALL WORK THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPLETE ARCHITECTURAL AND ENGINEERING AS-BUILT DRAWINGS.
- ALL ABANDONED OR UNUSED EXISTING SWITCHES, PLUGS, OUTLETS, AND JUNCTION BOXES SHALL BE REMOVED AND HOLES PATCHED WITH GYPSUM BOARD TO MATCH ADJACENT SURFACES. NO BLANK COVERS WILL BE ACCEPTED.
- SUBSTITUTIONS, REVISIONS, OR CHANGES MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL IN ACCORDANCE WITH SPECIFIED PROCEDURES PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION. REQUESTS FOR SUBSTITUTION OF SPECIFIED ITEMS SHALL BE SUBMITTED WITHIN TEN (10) DAYS OF CONTRACT AWARD AND WILL BE CONSIDERED ONLY IF THE SUBSTITUTION ITEM PROVIDES EQUAL OR BETTER PERFORMANCE, HAS A MORE ADVANTAGEOUS DELIVERY DATE, AND WHERE THERE IS NO SACRIFICE IN QUALITY, APPEARANCE, OR FUNCTIONALITY. IT IS THE SOLE DISCRETION OF THE ARCHITECT TO DETERMINE IF THE PROPOSED SUBSTITUTION IS ACCEPTABLE.
- FOR A PERIOD OF ONE YEAR FROM THE DATE OF CONSTRUCTION COMPLETION, AND ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL ADJUST, REPAIR, OR REPLACE, AT NO COST TO THE OWNER, ANY EQUIPMENT, MATERIALS, OR WORKMANSHIP UNDER THIS CONTRACT FOUND TO BE DEFECTIVE.
- THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK TO BE PERFORMED BY OTHERS AND SHALL COORDINATE EXACT LOCATIONS AND DO ALL NECESSARY CONSTRUCTION, CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO FACILITATE THE WORK PERFORMED BY OTHERS AS INDICATED IN THE CONTRACT DOCUMENTS.
- AT THE TIME OF BID SUBMISSION, THE CONTRACTOR SHALL IDENTIFY ALL LONG-LEAD ITEMS THAT MAY AFFECT THE PROJECT'S CONSTRUCTION SCHEDULE. BY TENDERING ITS BID THE CONTRACTOR WARRANTS THAT ALL OF THE ITEMS SPECIFIED IN THE CONTRACT DOCUMENTS WILL BE READILY AVAILABLE AND THAT NO SUBSTITUTIONS WILL BE ALLOWED FOR AN ITEM THAT WAS NOT IDENTIFIED BY THE CONTRACTOR AS "LONG-LEAD" AT THE TIME OF BID SUBMISSION.
- ALL WORK SHALL BE PERFORMED DURING NORMAL BUSINESS HOURS UNLESS AGREED TO OTHERWISE. WORK INVOLVING EXCESSIVE NOISE OR WORK THAT WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY AND/OR THE COMFORT OF OTHER BUILDING OCCUPANTS SHALL BE DONE DURING NON-REGULAR HOURS ON AN AS-REQUIRED BASIS. THIS SHALL BE IDENTIFIED IN THE BID AND BE COORDINATED THROUGH THE OWNER.
- THE FOLLOWING LIST OF WORK ITEMS SHALL BE COORDINATED WITH THE OWNER: SCHEDULING OF TIME AND LOCATIONS FOR DELIVERIES, COORDINATION OF BUILDING ACCESS, AND THE USE AND CLEARANCE OF AVAILABLE ELEVATORS. THE CONTRACTOR SHALL DETERMINE THE EXTENT OF MAKE ARRANGEMENTS FOR, AND INCLUDE IN ITS BID FOR: HOISTING, CARTING, ELEVATOR SERVICE STANDARD, AND OVERTIME SERVICES BY THE OWNER.
- WORK AREAS SHALL BE MAINTAINED IN A SECURE AND LOCKABLE CONDITION DURING CONSTRUCTION. PROVIDE, WHERE NECESSARY, TEMPORARY LOCKABLE DOORS AND KEYS TO MAINTAIN CONSTANT ACCESS AND SECURITY FOR THE TENANT TO SPACES NOT UNDER CONSTRUCTION.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND/OR EQUIPMENT SHALL BE INSTALLED CONNECTED, ERECTED, CLEANED, AND/OR CONDITIONED PER MANUFACTURER'S INSTRUCTIONS BY THE APPROPRIATE SUBCONTRACTOR UNDER THE GENERAL CONTRACTOR'S SUPERVISION. IN CASE OF A DISCREPANCY BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- IMMEDIATELY PRIOR TO THE OWNER'S OCCUPANCY THE CONTRACTOR SHALL THOROUGHLY CLEAN SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL, AND SHALL LEAVE FLOORS VACUUMED AND CLEAN. THE CONTRACTOR SHALL CLEAN WINDOWS, AND BLINDS (UNLESS PREVIOUSLY BAGGED) AND SHALL VACUUM THE INSIDE OF INDUCTION UNIT ENCLOSURES.
- UNLESS NOTED OTHERWISE ALL ROOF PENETRATIONS SHALL BE ADEQUATELY PATCHED, FLASHED, AND SEALED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTOR'S ASSOCIATION'S (NRCA) GUIDELINES AND DETAILS, MOST RECENT EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ATTAINING A COPY OF THE BUILDING OWNER'S RULES AND REGULATIONS. ALL CONTRACTORS, VENDORS, AND SUBCONTRACTORS ARE TO BE PROVIDED WITH AND ABIDE BY ALL OF THE BUILDING RULES.
- FOR THE DURATION OF THE PROJECT THE CONTRACTOR SHALL MAINTAIN EXITS, EGRESS LIGHTING, AND FIRE PROTECTION DEVICES AND ALARMS CONFORMING TO ALL LOCAL BUILDING CODE REQUIREMENTS.
- THE ELECTRICAL PLUMBING, MECHANICAL, FIRE PROTECTION WORK PRESENTED IN THESE DOCUMENTS IS INTENDED TO SHOW THE GENERAL ARRANGEMENT AND LOCATION OF EXISTING AND PROPOSED FIXTURES AND ACCESSORIES. THE CONTRACTOR SHALL MODIFY EXISTING ELECTRICAL, PLUMBING, MECHANICAL AND FIRE PROTECTIONS SYSTEMS AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT AND AS REQUIRED TO MEET ALL APPLICABLE BUILDING CODES.
- UPON AWARD OF THE CONTRACT, DETERMINE THE DELIVERY SCHEDULE OF MATERIALS NEEDED FOR THE COMPLETION OF THE WORK. IF THE DELIVERY TIME OF ANY PRODUCT IMPEDES THE CONSTRUCTION SCHEDULE, NOTIFY THE OWNER WITHIN (10) BUSINESS DAYS OF THE CONTRACT BEING AWARDED.

SUBMITTALS:

- SHOP DRAWINGS / SUBMITTALS ARE REQUIRED FOR BUT NOT LIMITED TO THE FOLLOWING: MILLWORK, DOORS/FRAME/HARDWARE, ALL FLOORING, PAINT AND WALL COVERING, ACOUSTICAL CEILING GRID / TILE, ALL SPECIALTY ITEMS.
- WITHIN TEN (10) DAYS OF THE AWARD OF THE CONTRACT THE CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE INCLUDING MAJOR TASKS AND DEADLINES WITH START AND COMPLETION DATES.
- SUBMITTALS SHALL INCLUDE THREE (3) SETS OF ALL APPLICABLE, DRAWINGS, CUT-SHEETS, TECHNICAL DATA, AND SAMPLES.
- CONTRACTOR SHALL REVIEW REQUIRED SHOP DRAWINGS TO ASSURE THEY ARE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CORRELATING AND CONFIRMING DIMENSIONS AND QUANTITIES, CHOOSING THE FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES, COORDINATING RELATED TRADES, AND PERFORMING THE WORK IN A SAFE AND SATISFACTORY MANNER.
- WHEN APPLICABLE, DESIGN/BUILD DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ARCHITECT FOR REVIEW. DESIGN, COORDINATION, AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

MECHANICAL:

- ALL RETURN GRILLES LOCATED WITHIN THE CONSTRUCTION ZONE THAT WILL REMAIN OPERABLE DURING CONSTRUCTION ARE TO BE COVERED WITH AN APPROPRIATE FILTER MEDIA AND MAINTAINED ON A WEEKLY BASIS FOR THE DURATION OF THE PROJECT.
- A NON-CERTIFIED AIR BALANCE REPORT IS REQUIRED AS PART OF THE CLOSE-OUT DOCUMENTS FOR THE PROJECT.

ELECTRICAL:

- DATA AND TELEPHONE OUTLETS SHALL CONSIST OF A TRIM RING WITH PULL STRING TO BE LOCATED ABOVE THE CEILING.

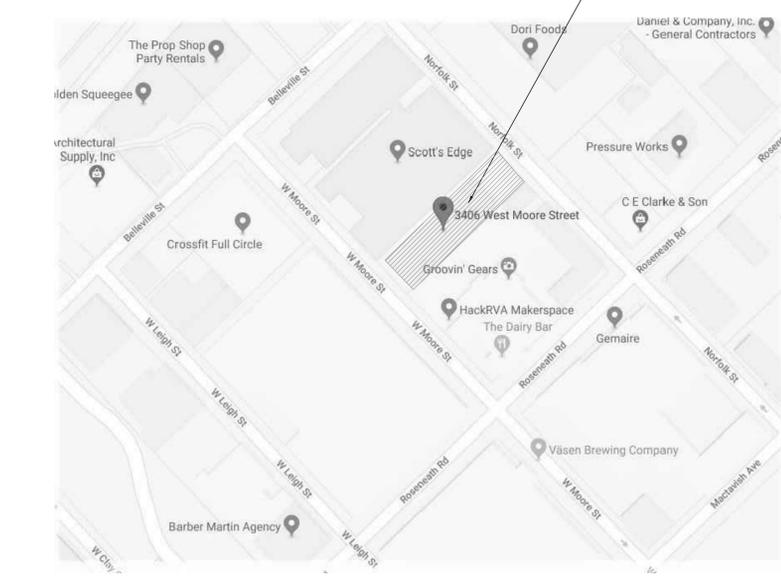
ABBREVIATIONS

A	AMP	FF	FINISHED FLOOR	OPNG	OPENING
A/C	AIR CONDITIONING	FL	FLOOR(ING)	OPP	OPPOSITE
ACM	ALUMINUM COMPOSITE MATERIAL	FLUOR	FLOURESCENT	PBD	PARTICLE BOARD
ACT	ACOUSTIC CEILING TILE	F.O.W.	FACE OF WALL	PH	PHASE
ADJ	ADJUSTABLE	FRP	FIBER-REINFORCED PLASTIC	P-LAM	PLASTER LAMINATE
AFF	ABOVE FINISHED FLOOR	FRT	FIRE RETARDANT TREATED	PLAS	PLASTER
ALUM	ALUMINUM	FTG	FOOTING	PLYWD	PLYWOOD
ALT	ALTERNATE	GA	GAGE (GAUGE)	PT	PRESSURE TREATED
ANOD	ANODIZED	GA	GAGE (GAUGE)	PNTD OR PTD	PAINTED
ARCH	ARCHITECT(URAL)	GALV	GALVANIZED	PVC	POLYVINYL CHLORIDE
AWG	AMERICAN WIRE GAUGE	GB	GRAB BAR	QT	QUARRY TILE
BD	BOARD	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	QS	QUARTZ SURFACE RISER
BITUM	BITUMINOUS	GLAZ	GLASS, GLAZING	R	RAIL & STILE
BLDG	BUILDING	GOVT	GOVERNMENT	RAF	RAISED ACCESS FLOORING
BLK(IG)	BLOCK(ING)	GWB	GYPSUM WALL BOARD	R.D.	ROOF DRAIN
B.O.	BOTTOM OF	GYP BD	GYPSUM WALL BOARD	REF	REFERENCE
BRKR	BREAKER	HB	HOSE BIBB	REINF	REINFORCE(D), (ING)
BRNG	BEARING	HC	HOLLOW CORE	REQD	REQUIRED
BS	BOTH SIDES	HDR	HEADER	RM	ROOM
BW/EW	BOTH WAYS / EACH WAY	HRDW	HARDWARE	R.O.	ROUGH OPENING
CL	CENTER LINE	HORIZ	HORIZONTAL	SC	SOLID CORE
CF	CUBIC FOOT	HPL	HIGH PRESSURE LAMINATE	SF	STOREFRONT
CFM	CUBIC FEET PER MINUTE	HT	HEIGHT	SHT	SHEET
CJ	CONTROL JOINT	HVAC	HEATING, VENTILATING & AIR CONDITIONING	SIM	SIMILAR
CLG	CEILING	I.D.	INSIDE DIAMETER	SOG	SLAB ON GRADE
CLR	CLEAR	INSUL	INSULATE(D), (ING)	SPEC	SPECIFICATION(S)
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	SQ	SQUARE
COL	COLUMN	KD	KNOCK DOWN FRAME	SS	STAINLESS STEEL
CONC	CONCRETE	LAM	LAMINATE(D)	STC	SOUND TRANSMISSION COEFFICIENT
CONT	CONTINUOUS, CONTINUE	LAV	LAVATORY	STD	STANDARD
CPT	CARPET	LVT	LUXURY VINYL TILE	STL	STEEL
CRS	COURSES	M	METER	STRUCT	STRUCTURAL
CT	CERAMIC TILE	MAS	MASONRY	T	TREAD
CY	CUBIC YARD	MATL	MATERIAL	TBD	TO BE DETERMINED
DEMO	DEMOLISH, DEMOLITION	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
DF	DRINKING FOUNTAIN	MCB	MAIN CIRCUIT BREAKER	T.O.	TOP OF
DR	DOOR	MECH	MECHANIC(AL)	TEL	TELEPHONE
DS	DOWN SPOUT	MED	MEDIUM	TMPR	TEMPERED
DTL	DETAIL	MFG	MANUFACTURE(R)	THK	THICK(NESS)
DWG	DRAWING	MIN	MINIMUM	TYP	TYPICAL
EXIST OR (E)	EXISTING	MISC	MISCELLANEOUS	UL	UNDERWRITER'S LAB
EA	EACH	MM	MILLIMETER	UON	UNLESS OTHERWISE NOTED
EL	ELEVATION	M.O.	MASONRY OPENING	VCT	VINYL COMPOSITE TILE
ELEC	ELECTRIC(AL)	MR	MOISTURE RESISTANT	VERT	VERTICAL
EQ	EQUAL	MTG	MEETING OR MOUNTING	VIF	VERIFY IN FIELD
ES	EACH SIDE	MTL	METAL	W	WIRE
ETR	EXISTING TO REMAIN	NAT	NATURAL	WJ	WITH
EWC	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	WC	WATER CLOSET
EXH	EXHAUST	NOM	NOMINAL	WD	WOOD
EXT	EXTERIOR	NRC	NOISE REDUCTION COEFFICIENT	WDW	WINDOW
FIN	FINISHED	NTS	NOT TO SCALE	WH	WATER HEATER
FD	FLOOR DRAIN	O.C.	ON CENTER(S)	WRB	WATER RESISTANT BARRIER
FOUND	FOUNDATION	OCC	OCCUPANTS	WWF	WELDED WIRE FABRIC
FE	FIRE EXTINGUISHER	O.D.	OUTSIDE DIAMETER		

SYMBOLS

	EXISTING WALL OR PARTITION		ELEVATION
	NEW WALL OR PARTITION		CENTERLINE
	ITEM TO BE DEMOLISHED		COLUMN GRID
	WORK ABOVE OR BEYOND AS NOTED		CUTLINE
	BUILDING SECTION MARKER DRAWING NUMBER, TYP SHEET NUMBER, TYP		EXTERIOR WALL / CONSTRUCTION TYPE
	WALL SECTION MARKER		PARTITION TYPE
	EXTERIOR ELEVATION MARKER		ROOM NAME
	DETAIL/ENLARGED PLAN MARKER		ROOM TAG
	DETAIL SECTION MARKER		WINDOW TAG
	CASEWORK SECTION / DETAIL MARKER		FINISH TAG
	INTERIOR ELEVATION MARKER		REVISION TAG
	NORTH ARROW		DIAMETER
			PLUS OR MINUS
	ALIGN FINISHED FACE		EXISTING DOOR TO REMAIN
	NEW DOOR / SWING		

LOCATION MAP



BUILDING DATA

PROJECT LOCATION: 3406 WEST MOORE STREET RICHMOND, VIRGINIA 23230

JURISDICTION: CITY OF RICHMOND

DESCRIPTION OF WORK: SCOPE TO INCLUDE LIMITED DEMOLITION, EXTERIOR COVERED PATIO, INTERIOR PARTITIONS, FINISHES AND POWER / LIGHTING / PLUMBING / HVAC AND KITCHEN EQUIPMENT AS REQUIRED FOR LAYOUT.

NOTE REGARDING ACCESSIBILITY

THE ARCHITECT HAS USED ITS REASONABLE PROFESSIONAL EFFORTS AND JUDGMENT TO INTERPRET APPLICABLE ACCESSIBILITY REQUIREMENTS IN EFFECT AS OF THE DATE OF SUBMISSION TO BUILDING AUTHORITIES AND AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, CANNOT AND DOES NOT WARRANT OR GUARANTEE THAT THE CLIENT'S PROJECT WILL COMPLY WITH ALL INTERPRETATIONS OF THE ACCESSIBILITY REQUIREMENTS AND/OR THE REQUIREMENTS OF OTHER FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS AS THEY APPLY TO THE PROJECT.

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- A4.7 SERVER STATION #2 & CHECK-OUT ENLARGED PLANS & INTERIOR ELEVATIONS
- A4.8 BENCHES & DRINK RAIL DETAILS
- A4.9 SHUFFLEBOARD COURT ENLARGED PLANS & SECTIONS, SOCIAL TABLE DETAILS

PROJECT TEAM

<p>ARCHITECT 510 architects</p> <p>3330 W LEIGH STREET, SUITE A RICHMOND, VA 23230 804.353.1576 CONTACT: HEATHER GRUTZIOUS</p>	<p>GENERAL CONTRACTOR COMMONWEALTH CONSTRUCTION MANAGEMENT</p> <p>4900 AUGUSTA AVENUE, SUITE 120 RICHMOND, VA 23229 804.365.0015 CONTACT: ROB McCANN</p>	<p>STRUCTURAL ENGINEER LYNCH MYKINS</p> <p>1503 SANTA ROSA ROAD, SUITE 210 RICHMOND, VA 23229 804.346.9935 CONTACT: GARRETT BRAUN</p>
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TANG & BISCUIT SHUFFLEBOARD CLUB

DATE	ISSUE
02.14.18	PERMIT SET
03.06.18	REVISION
03.13.18	REVISION
06.15.18	REVISION
07.03.18	REVISION

COVER SHEET & PROJECT INFORMATION

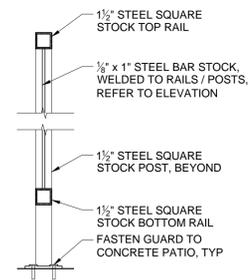
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ARCHITECTURAL SITE PLAN KEYNOTES

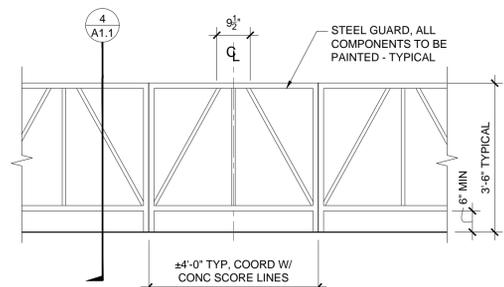
1. EXISTING TREE TO REMAIN. REFER TO ENLARGED PLAN
2. CLEAN PATCH / REPAIR AND REPAINT EXTERIOR AND INTERIOR OF EXISTING AWNING
3. EXISTING GUARD AT EXISTING LOADING DOCK EDGE TO BE REMOVED
4. CLEAN EXISTING SHIPPING / RECEIVING SIGNS TO REMAIN BELOW EXISTING AWNING. DO NOT PAINT
5. PATIO. REFER TO ENLARGED PLAN
6. DEPRESSED LOADING DOCK TO BE INFILLED WITH BACKFILL MATERIAL CONSISTING OF LEAN CLAYS (CL), NON-ELASTIC, SANDY SILTS (ML) WITH A LIQUID LIMIT LESS THAN 40 AND NO MORE THAN 70% PASSING THE 200 SIEVE OR BETTER, IE SC, SM, SP, SW, GC, GM, GP, GW. THE BACKFILL MATERIAL SHALL NOT CONTAIN ORGANICS OR ANY ROCK PIECES, INCLUDING CRUSHED CONCRETE OR MASONRY, GREATER THAN FOUR INCHES IN ANY DIMENSION; THE BACKFILL SHOULD BE PLACED IN MAXIMUM LOOSE LIFTS OF EIGHT INCHES AND SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY BASED ON THE STANDARD PROCTOR TEST (ASTM D698); WHERE THE MATERIAL VARIES FROM THE SAMPLE TESTED IN THE LABORATORY, THE DEGREE OF COMPACTION SHOULD BE COMPARED TO THE MAXIMUM DRY DENSITY BASED ON THE ONE-POINT PROCTOR TEST (VTM-12)
7. EXISTING CONCRETE SLAB TO REMAIN, FLUSH WITH INTERIOR SLAB, AT REAR EGRESS DOOR. REFER TO LIFE SAFETY PLAN FOR ADDITIONAL INFORMATION
8. EXISTING CURB AT LOADING DOCK TO BE CUT BACK TO ALLOW FOR LEVEL FINISH SLAB, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
9. EXISTING STEEL LEVELERS TO BE REMOVED AND INFILLED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
10. VERIFY IF EXISTING DRAINAGE AT DEPRESSION IS CONNECTED TO ADDITIONAL BUILDING DRAINAGE SYSTEM(S), REROUTE AS REQUIRED THEN CUT AND CAP PLUMBING AS NECESSARY
11. ACCESSORY STORAGE SHIPPING CONTAINER ±40' LONG X 48' WIDE
12. DEMOLISH EXISTING WOOD DUMPSTER ENCLOSURE THIS LOCATION AND REPLACE WITH NEW ACO PRESSURE TREATED WOOD & GALVANIZED STEEL DUMPSTER ENCLOSURE. REFER TO ENLARGED PLAN FOR ADDITIONAL INFORMATION
13. NEW PRIVACY FENCE AT EDGE OF PROPERTY LINE, 10'-0" HIGH, CONSTRUCTED OF ACO PRESSURE TREATED LUMBER

ARCHITECTURAL SITE PLAN GENERAL NOTES

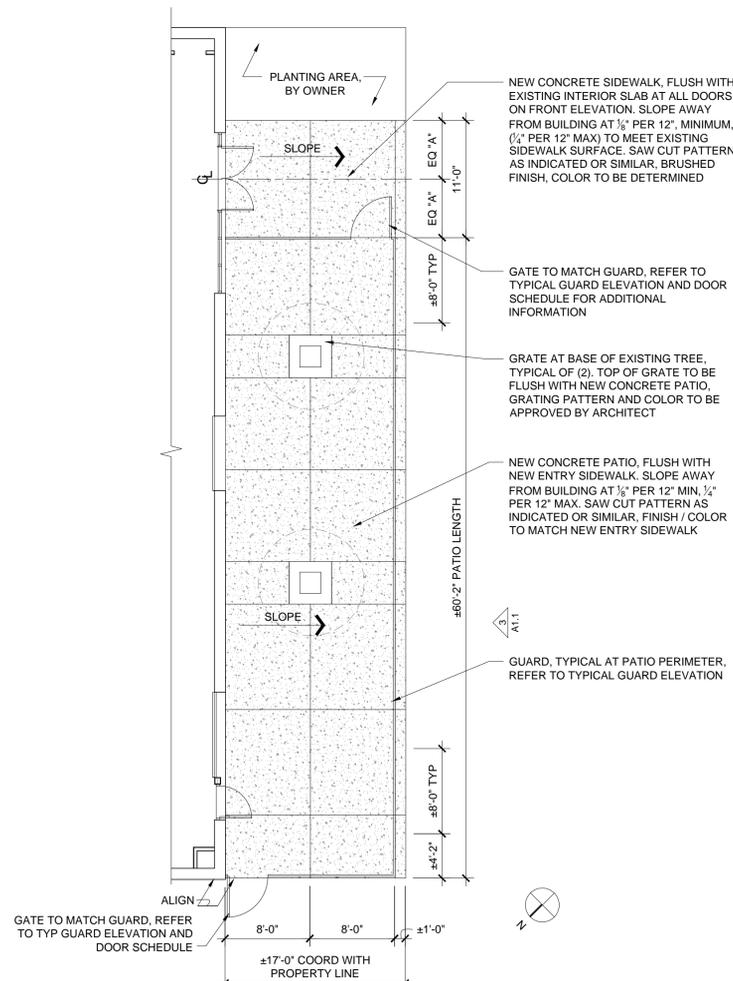
- A. PROTECT ALL EXISTING HARDSCAPING, LANDSCAPING & TREES TO REMAIN THROUGHOUT CONSTRUCTION ACTIVITIES.
- B. REAR LOT AND LOADING DOCK TO REMAIN, UNLESS OTHERWISE NOTED
- C. NEW LANDSCAPING BY OWNER, TYPICAL
- D. CLEAN / PATCH / REPAIR BRICK FACADE AND EXISTING OPENINGS WHERE EIFS AND STOREFRONT HAVE BEEN REMOVED, TYPICAL



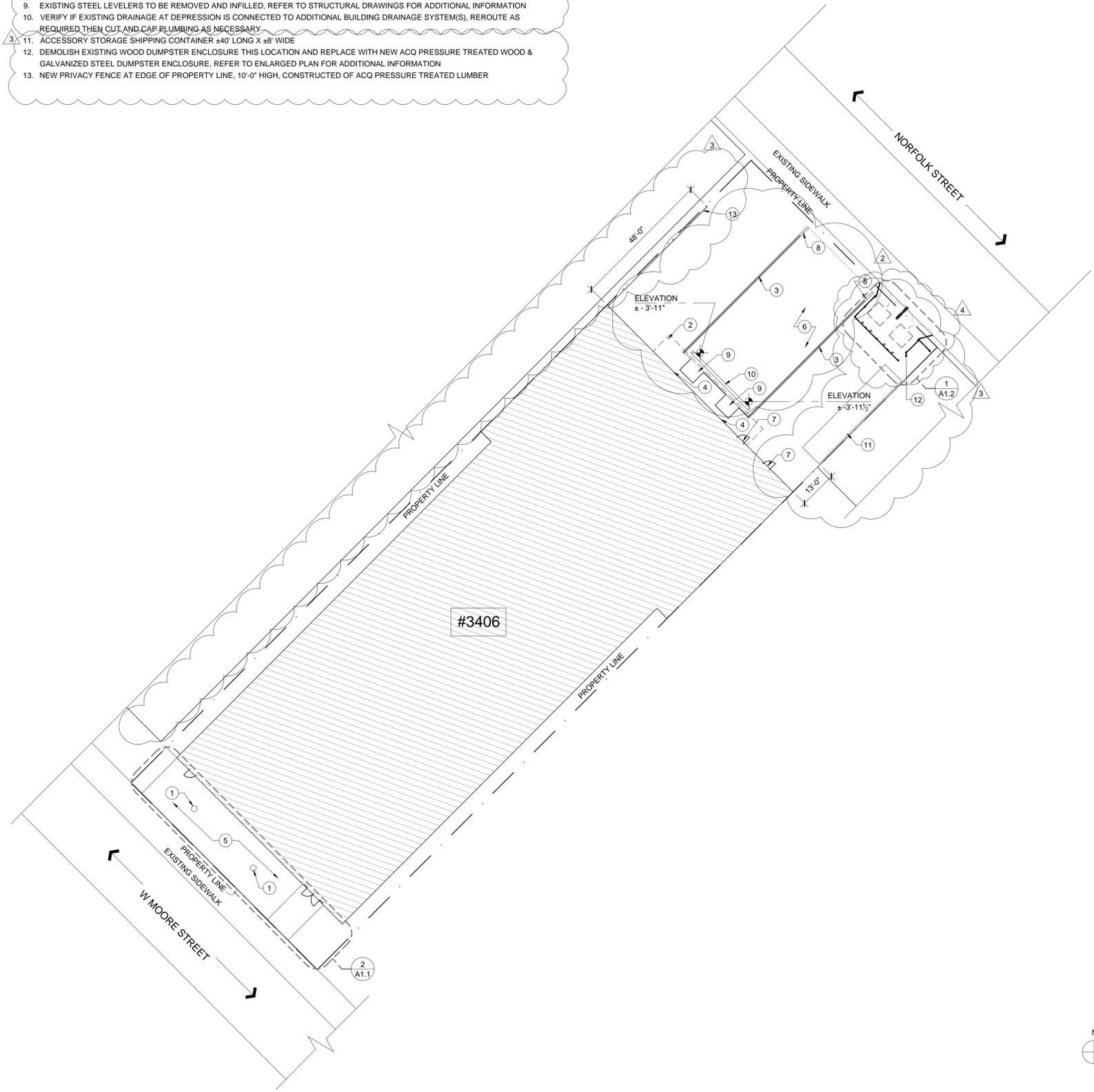
GUARD SECTION 4
1 1/2" = 1'-0"



TYPICAL PATIO GUARD ELEVATION 3
1/2" = 1'-0"



ENLARGED PATIO PLAN 2
1/8" = 1'-0"



ARCHITECTURAL SITE PLAN 1
1" = 20'

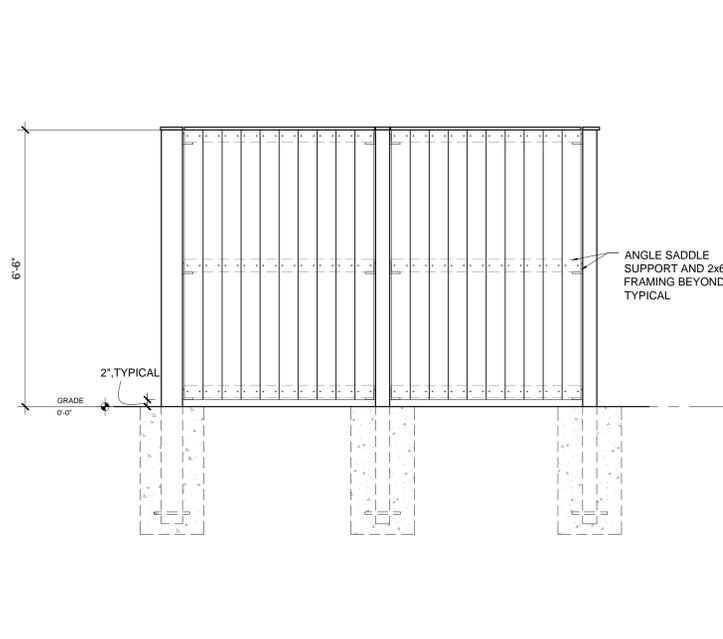


**TANG & BISCUIT
SHUFFLEBOARD CLUB**

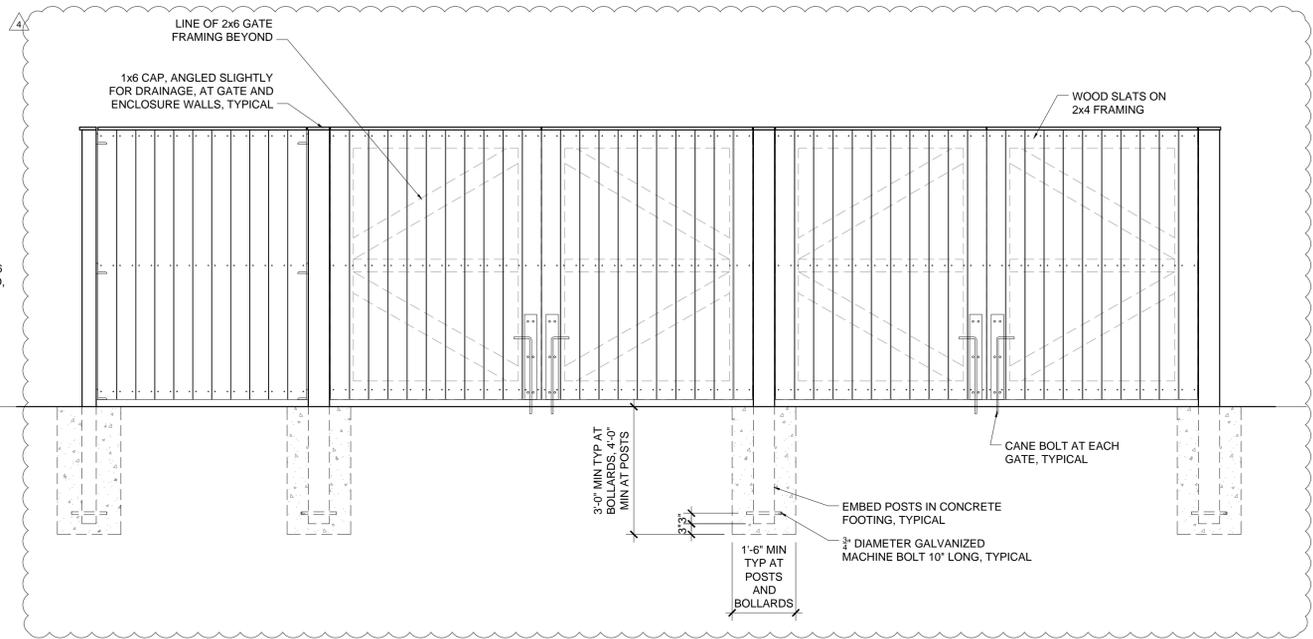
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03.13.18	REVISION Δ 2
06.15.18	REVISION Δ 3
07.03.18	REVISION Δ 4

**ARCHITECTURAL
SITE &
ENLARGED
PATIO PLAN
A1.1**

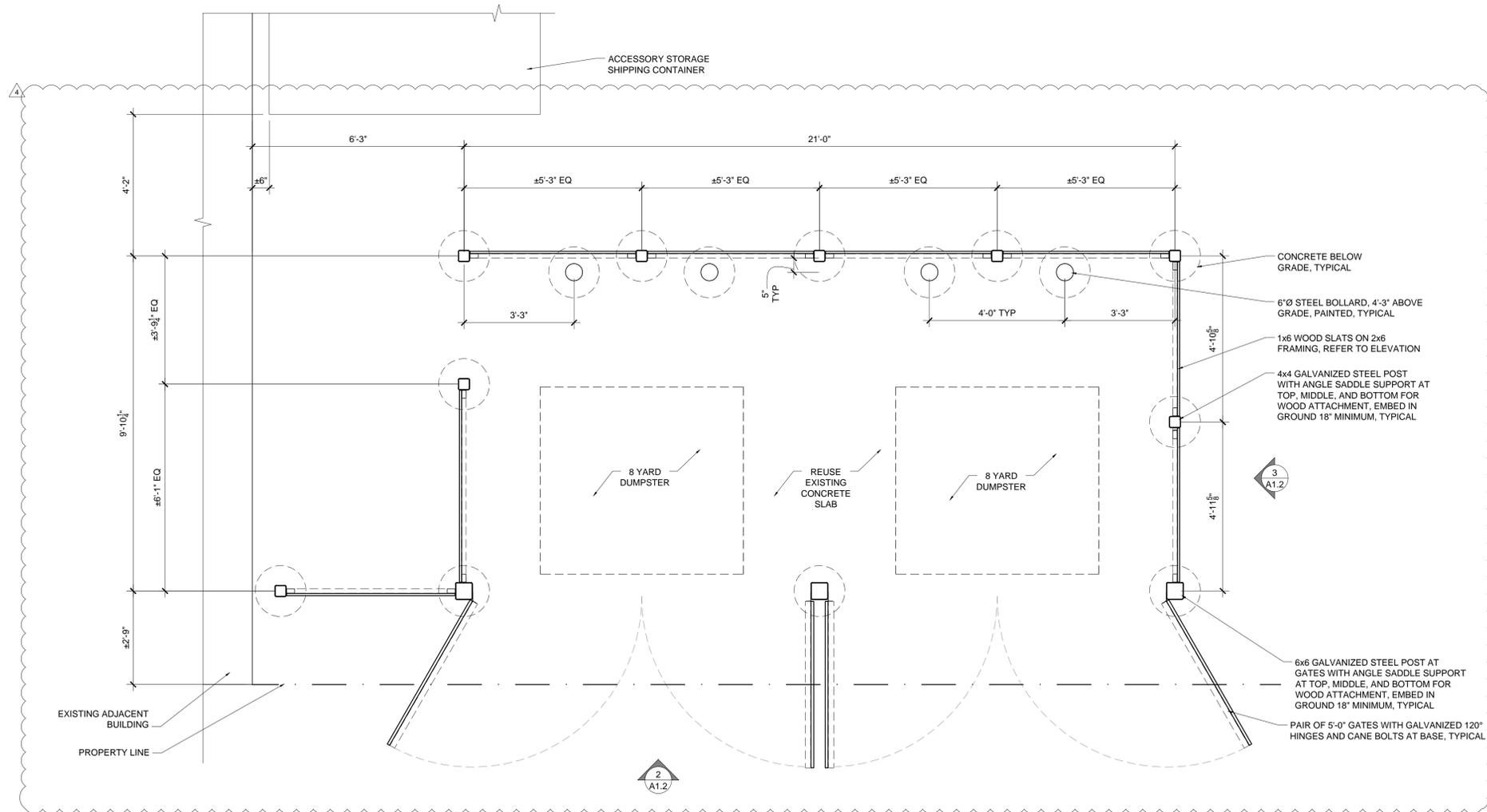
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DUMPSTER ENCLOSURE | SIDE ELEVATION
 $\frac{1}{2}'' = 1'-0''$ **3**



DUMPSTER ENCLOSURE | FRONT ELEVATION
 $\frac{1}{2}'' = 1'-0''$ **2**



DUMPSTER ENCLOSURE | ENLARGED PLAN
 $\frac{1}{2}'' = 1'-0''$ **1**



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TANG & BISCUIT SHUFFLEBOARD CLUB

DATE	ISSUE
02.14.18	PERMIT SET
06.15.18	REVISION 3
07.03.18	REVISION A

ARCHITECTURAL
 SITE
 DETAILS
A1.2

PLUMBING FIXTURES ANALYSIS:											
SQ. FT	LOAD FACTOR	OCC	1/2 OCC	WC (REQ - MF)	WC (M)	WC (F)	LAV (REQ)	LAV (M)	LAV (F)	DRINKING FOUNTAIN	SERVICE SINK
BUSINESS (OFFICE)	100	100 G	1	0.5	25/25	0.02	0.02	40	0.01	0.01	1
COMMERCIAL KITCHEN	1725	200 G	8.53	4.31	75/75	0.06	0.06	200	0.02	0.02	1
BOWLING CENTERS (8-COURT)	5778 / 10CT	SCT	50	25	125/65	0.2	0.38	200	0.13	0.13	1
ASSEMBLY STANDING	1774	5/N	354.8	177.4	40/40	4.43	4.43	75	2.36	2.36	0.71
ASSEMBLY, CONCENTRATED	414	7/N	59.14	29.14	75/75	0.39	0.39	200	0.14	0.14	0.11
ASSEMBLY, UNCONCENTRATED	3129	15/N	208.6	104.3	75/75	1.39	1.39	200	0.52	0.52	0.41
TOTAL			683			6.49	6.67	3.18	3.18	1.36	1
TOTAL REQUIRED PROVIDED						7	7	4	4	2	1

NOTE: FEMALE WATER CLOSET AND LAVATORY COUNTS INCLUDE THE FAMILY-ASSISTED TOILET ROOM

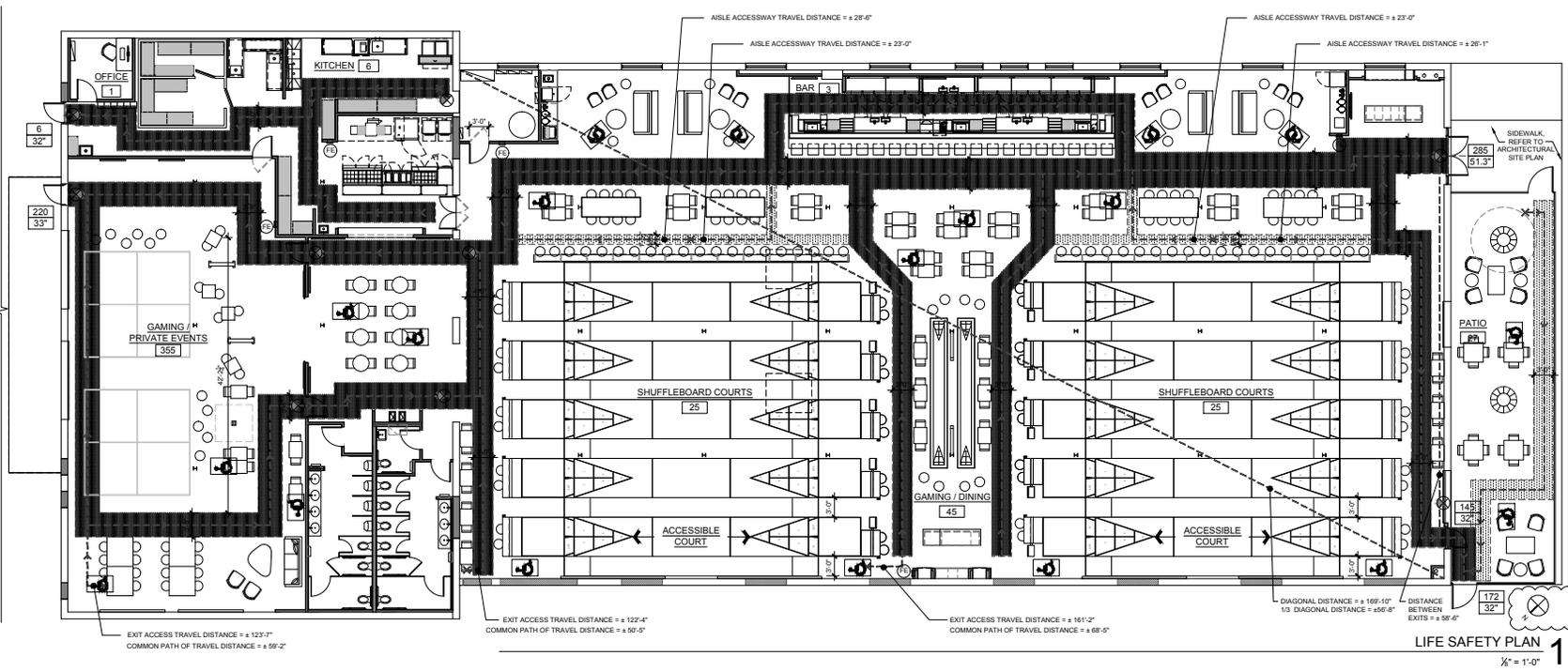
ACCESSIBLE SEATING REQUIREMENTS:				
	QTY	LF	REQUIRED ACCESSIBLE SEATS	PROVIDED ACCESSIBLE SEATS
INTERIOR SEATS	251	0.05	12.55	13
EXTERIOR SEATS	27	0.05	1.35	2
SHUFFLEBOARD LANE SEATS	50	0.05	2.5	4

ACCESSIBLE SHUFFLEBOARD REQUIREMENTS:				
	LANE QTY	LF	REQUIRED ACCESSIBLE COURTS	PROVIDED ACCESSIBLE COURTS
SHUFFLEBOARD LANES	10	.05	1	2

BUILDING DATA		
APPLICABLE CODE:	VA REHABILITATION CODE 2012	OCCUPANT LOAD: 683 OCCUPANTS
SPRINKLER CLASSIFICATION:	1-500/10	NUMBER OF EXITS REQUIRED: 3
CONSTRUCTION TYPE:	III-B*	NUMBER OF EXITS PROVIDED: 4
SPRINKLERED:	YES	
USE / OCCUPANCY:	MIXED USE	
CLASSIFICATION:		
OVERALL BUILDING AREA:	±17,025 SF	
AREA OF WORK:	±17,025 SF ENTERTAINMENT / ASSEMBLY A-2 & KITCHEN	
	±975 SF A-2 - ASSEMBLY PATIO	

*EXISTING EXTERIOR WALLS - 12" THICK NOMINAL MASONRY. EXISTING ROOF DECK AND JOISTS - WOOD. REPLACEMENT WINDOWS AT EXISTING OPENINGS ALONG EXTERIOR EAST WALL. LESS THAN 15% OF WALL SURFACE AREA

EGRESS PLAN LEGEND		
	EXIT SIGN	
	EXIT LOCATION	
	NUMBER OF OCCUPANTS SERVED	
	MINIMUM REQUIRED EXIT WIDTH	
	TRAVEL DISTANCE = 0'-0"	
	DIRECTION OF TRAVEL	
	EGRESS PATH, 36" MINIMUM OR AS NOTED	
	AISLE ACCESSWAY	
	2-A FIRE EXTINGUISHER IN METAL CABINET, POTTER ROEMER FIRE PRO # 7021 TRAILLESS, WITH TOP OF EXTINGUISHER HANDLE AT NO MORE THAN 48" AFF. SEE INTERIOR ELEVATIONS FOR ADDITIONAL HEIGHT INFORMATION. PAINT COLOR TBD. VERIFY WITH TENANT.	



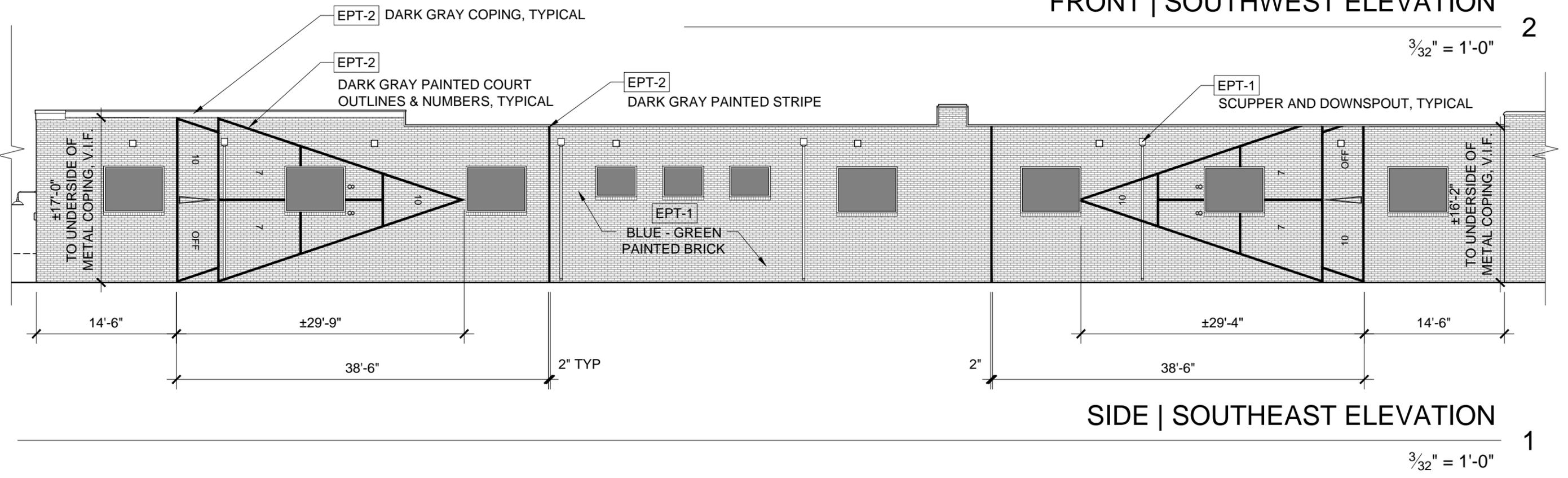
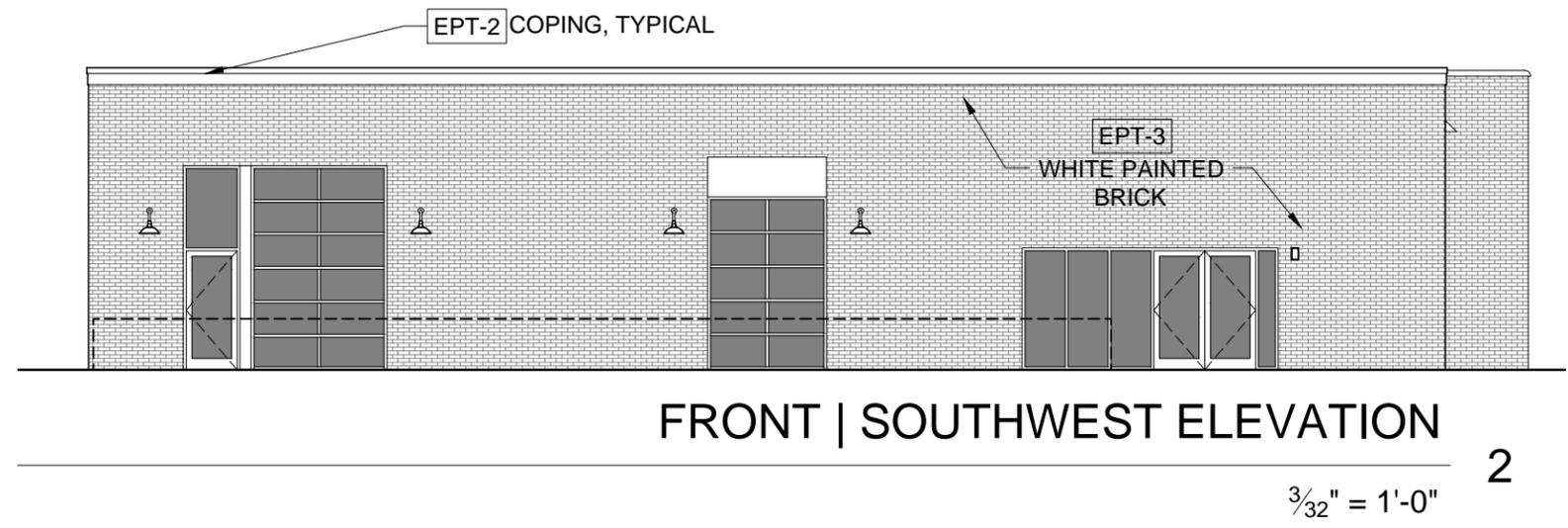
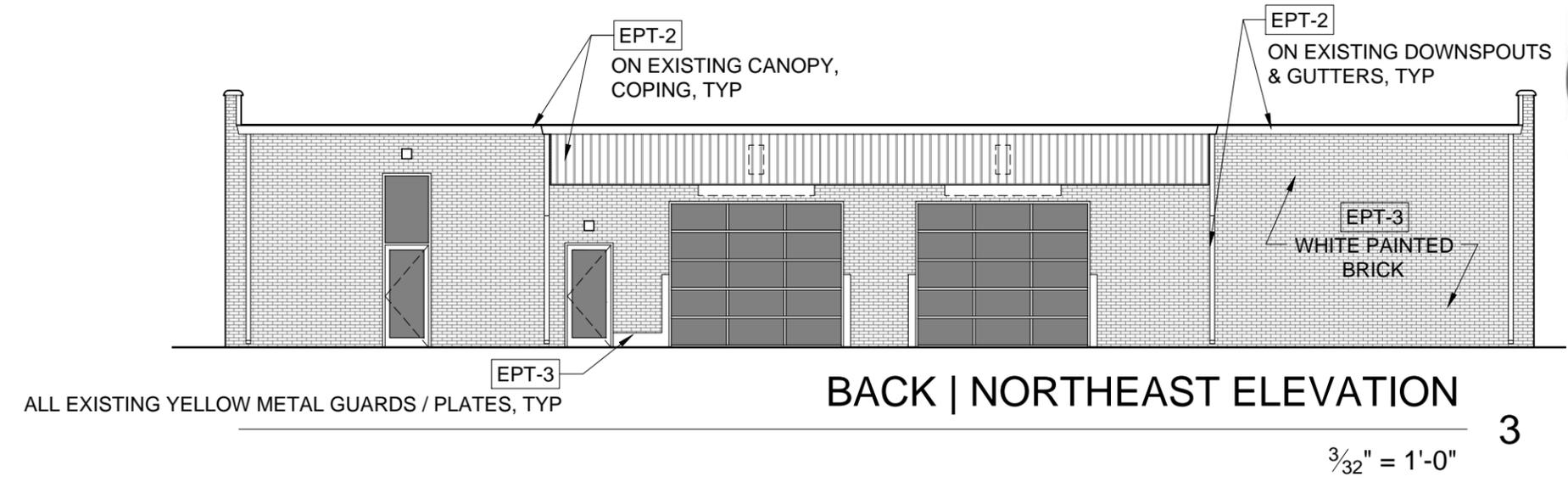
TANG & BISCUIT SHUFFLEBOARD CLUB

DATE	ISSUE
02.14.18	PERMIT SET
03.06.18	REVISION

LIFE SAFETY PLAN & CODE ANALYSIS
A1.0

LIFE SAFETY PLAN 1
1/8" = 1'-0"

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Project: **6968**
Client: **Tang & Biscuit**
Job: **Building Sign**

LOCATION

3200 Rockbridge Street, Suite 300
Richmond, VA 23230

DESCRIPTION

Internally illuminated building sign

Square footage: 129.9

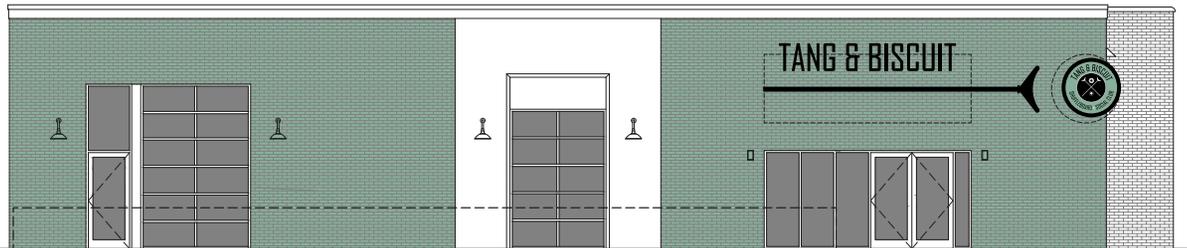
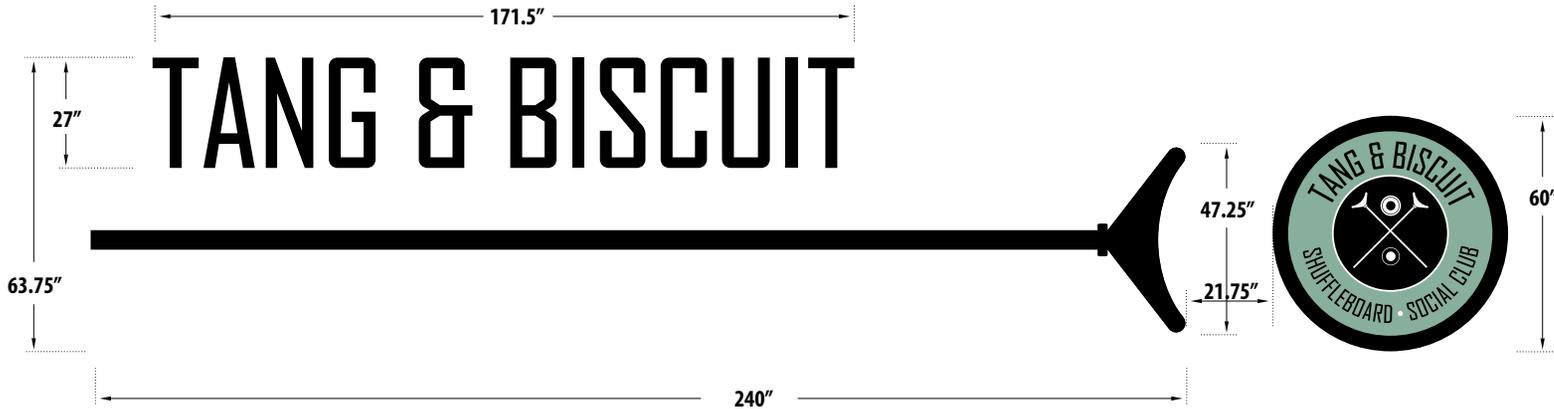
COLORS / VINYL

- PMS 557 C
- Black

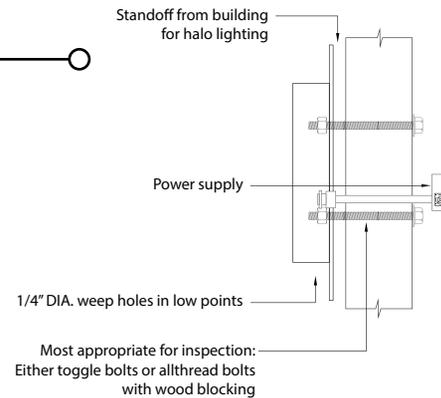
TERMS

PROOF IS USED FOR FINAL PRODUCTION. PLEASE LOOK OVER CAREFULLY. IF ART IS APPROVED, Please PRINT, SIGN and/Or FAX proof back to 540.899.9554 or EMAIL confirmation of approval.

NOTICE: Customer is solely responsible for proof reading and content of proof once it is approved. Color can vary slightly from rendering as every screen displays differently. Signs are also not set to scale and may vary in size once installed. You must review the proof and sign prior to our production of this order. Reproduction of designs without written consent from Sign Enterprise is strictly prohibited.



Elevation Detail: Not to Scale



Side View

Building Permit - Approved Construction Documents
Under general authority of the Building Code, this approved set of construction documents shall be kept on the job site at all times and shall not be altered without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from complying with manufacturer instructions, Virginia Uniform Statewide Building Code and City of Richmond regulations whether noted, implied or omitted.
07/19/2018 11:55:59 AM BMB
PLANS APPROVED 20180719 3406 MOORE ST. SIGN-038683-2018

MOUNTING SPECS

Sign Enterprise will build all signs to withstand 90 mph, 3-second wind gusts.

All signs are installed with ALL THREAD Rod with nuts and washers on both ends. If 6" does not clear the wall, the All Thread will be cut to the length required to penetrate the wall. In the event that we do not have access to the back wall a 3/8" toggle with 3" grip radius will be used.

Customer Approval Signature: _____

I hereby approve the artwork as shown on this proof.

Date: _____



PAINTED BRICK

PAINTED BRICK

EXTERIOR SIGNAGE
WITH LIGHTING

SHUFFLEBOARD MURAL /
PAINTED BRICK

METAL
RAILINGS, TYP

LANDSCAPING

