INTRODUCED: May 28, 2024

AN ORDINANCE No. 2024-147

To authorize the special use of the property known as 1105 Apperson Street for the purpose of a single-family detached dwelling, upon certain terms and conditions. (7th District)

Patron – Mayor Stoney (By Request)

Approved as to form and legality by the City Attorney

PUBLIC HEARING: JUNE 24 2024 AT 6 P.M.

WHEREAS, the owner of the property known as 1105 Apperson Street, which is situated in a R-5 Single-Family Residential District, desires to use such property for a single-family detached dwelling, which use, among other things, is not currently allowed by section 30-410.4, concerning lot area and width, of the Code of the City of Richmond (2020), as amended, and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES:	/	NOES:	0	ABSTAIN:	
ADOPTED:	JUN 24 2024	REJECTED:		STRICKEN:	
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create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known

as 1105 Apperson Street and identified as Tax Parcel No. E000-2176/003 in the 2024 records of the City Assessor, being more particularly shown on a survey entitled "Proposed Improvements on #1105 Apperson Street, City of Richmond, Virginia," prepared by Youngblood, Tyler & Associates, P.C., dated September 22, 2023, and last revised November 9, 2023, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as "the Property," is hereby permitted to be used for the purpose of a single-family detached dwelling, hereinafter referred to as "the Special Use," substantially as shown on the plans entitled "Proposed Improvements on #1105 Apperson Street, City of Richmond, Virginia," prepared by Youngblood, Tyler & Associated, P.C., dated September 22, 2023, and last revised November 9, 2023, and "1105 Apperson ST.," prepared by TM VAVRA Associates, P.C., dated July 25, 2023, and last revised September 5, 2023, hereinafter referred to, collectively, as "the Plans," copies of which are attached to and made a part of this ordinance.

- (b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as "the Owner." The conditions contained in this ordinance shall be binding on the Owner.
- § 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:
- (a) The Special Use of the Property shall be as a single-family detached dwelling, substantially as shown on the Plans.
- (b) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

- (c) All elevations, materials, and site improvements shall be substantially as shown on the Plans. Brick, stone, stone veneer, masonry, vinyl, fiber cement, and engineered wood shall be permitted siding materials. Vinyl siding shall have a minimum wall thickness of 0.044 inches, as evidenced by the manufacturer's printed literature.
- (d) All mechanical equipment, including, but not limited to, transformers, serving the Property shall be located or screened so as not to be visible from any public right-of-way.
- § 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:
- (a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.
- (b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.
- (c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.
- (d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.
- (e) The Owner shall make improvements within the right-of-way, including the installation of a new street tree along Apperson Street, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works.

All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works or the designee thereof, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvement and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

- (f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.
- § 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:
- (a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.
- (b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.
- (c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.
- (d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto;

consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

- (e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.
- (f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.
- § 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.
 - § 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

ATRUE COPY:
TESTE:

City Clerk





City of Richmond

900 East Broad Street 2nd Floor of City Hall Richmond, VA 23219 www.rva.gov

Master

File Number: Admin-2023-2083

File ID: Admin-2023-2083 Type: Request for Ordinance or Status: Regular Agenda

Resolution

Version: 2 Reference: In Control: City Clerk Waiting

Room

Department: Cost: File Created: 12/20/2023

Subject: Final Action:

Title:

Internal Notes:

Code Sections: Agenda Date: 05/28/2024

Indexes: Agenda Number:

Patron(s): Enactment Date:

Attachments: ADMIN-2023-2083_Supporting documents_1105 Enactment Number:

Apperson.pdf, Scanned SUP - 1105 Apperson

AATF.pdf

Contact: Introduction Date:

Drafter: David.Watson@rva.gov **Effective Date:**

Related Files:

Approval History

Version	Seq#	Action Date	Approver	Action	Due Date
2	1	5/3/2024	Jonathan Brown	Approve	5/7/2024
2	2	5/3/2024	Kris Daniel-Thiem - FYI	Notified - FYI	
2	3	5/3/2024	Kevin Vonck	Approve	5/10/2024
2	4	5/3/2024	Alecia Blackwell - FYI	Notified - FYI	
2	5	5/3/2024	Sharon Ebert	Approve	5/7/2024
2	6	5/3/2024	Caitlin Sedano - FYI	Notified - FYI	
2	7	5/13/2024	Jeff Gray	Approve	5/7/2024
2	8	5/15/2024	Lincoln Saunders	Approve	5/15/2024
2	9	5/16/2024	Mayor Stoney	Approve	5/17/2024

History of Legislative File

Master Continued (Admin-2023-2083)

 Ver- Acting Body:
 Date:
 Action:
 Sent To:
 Due Date:
 Return
 Result:

 sion:
 Date:

Text of Legislative File Admin-2023-2083

City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: December 18, 2023

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the property known as 1105 Apperson Street for the purpose of a single-family detached dwelling, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 1105 Apperson Street for the purpose of a single-family detached dwelling, upon certain terms and conditions

BACKGROUND: The subject property is in the R-5 Single-Family Residential District where the minimum lot area is 6,000 square feet and the minimum lot width is 50 feet. It consists of approximately 2,690 square feet and has a width of 30.6 feet. The lot in its present form was configured in 1960 and is therefore not a buildable lot of record. In order to build the proposed new single-family dwelling constructed on the property a special use permit is requested.

COMMUNITY ENGAGEMENT: The property is located within the territory of the Greater Fulton Civic Association. Letters of notification have been sent to the civic association and shall be sent to

Master Continued (Admin-2023-2083)

nearby property owners, and a sign noting this request shall be placed on the property once the ordinance is introduced to City Council.

STRATEGIC INITATIVES AND OTHER GOVERNMENTAL: The City's Richmond 300 Master Plan designates the property for Residential. Primary uses are primarily of single-family houses and accessory dwelling. Secondary uses are duplexes and small multi-family buildings.

FISCAL IMPACT: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: May 28, 2024

CITY COUNCIL PUBLIC HEARING DATE: June 24, 2024

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

AFFECTED AGENCIES: Office of Chief Administrative Officer, Law Department

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Application Supporting Documents

STAFF: Matthew J. Ebinger, Planning Supervisor - Land Use Administration 804-646-6308 David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for SPECIAL USE PERMIT

Department of Planning and Development Review Land Use Administration Division 900 E. Broad Street, Room 511 Richmond, Virginia 23219 (804) 646-6304 http://www.richmondgov.com/

Application is hereby submitted for: (check one) special use permit, new	
special use permit, plan amendment	
□ special use permit, text only amendment	
and politic, text only differentiality	
Project Name/Location	
Property Address: 1105 Apperson St. Richmond, VA 23231	Date: 7/1/23
Tax Map #: <u>E0002176003</u> Fee: <u>\$300</u>	
Total area of affected site in acres: .062	
(See <i>page 6</i> for fee schedule, please make check payable to the "City of Richmond")
Zoning	
Current Zoning: R-5 Residential (Single Family)	
Existing Use: unimproved lot	
Proposed Use	
(Please include a detailed description of the proposed use in the required applicant's repo	ort)
We would like to build the attached home plan on this lot.	
Existing Use: unimproved lot	
Is this property subject to any previous land use cases?	
Yes No	
If Yes, please list the Ordinance Number:	
Applicant/Contact Boson, Scott Dearpley	
Applicant/Contact Person: Scott Dearnley Company: NSD Investments LLC	
Mailing Address: 2518 Founders Bridge Rd	
City: Midlothian State: VA	Zip Code: 23113
Telephone: _(804)938-5277 Fax: _()
Email: scott.dearnley@joynerfineproperties.com	
Property Owner: NSD Investments LLC	
If Business Entity, name and title of authorized signee: Scott Dearnley	
(The person or persons executing or attesting the execution of this Application on behalf she has or have been duly authorized and empowered to so execute or attest.)	of the Company certifies that he or
Mailing Address: 2518 Founders Bridge Rd	
City: Midlothian State: VA	Zip Code: 23113
Telephone: (804)938-5277 Fax: _()
Email: scott.dearnley@joynerfineproperties.com	
Property Owner Signature: Signature: Deanley Ma	my G. Dearnley
The name and discount to local and a supplication of the second of the s	

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Applicant's Report

I am submitting this request for a special use permit to build a single-family home on a lot that I own at 1105 Apperson St. Richmond, VA 23231. The lot currently does not have enough square feet to qualify as a buildable lot. There are lots of these narrow homes in the City of Richmond that have 5 foot side setbacks so this home would be similar to those.

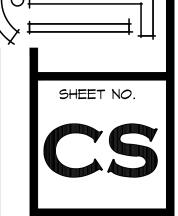
In my opinion, one additional home would not be detrimental to the safety, health, morals and general welfare of the community, would not create additional congestion, would not create fire or other hazards, would not cause overcrowding or an undue concentration of population, would not adversely affect the school system and other public services, and would not interfere with adequate light and air.

I feel that a new home on this lot would be a positive for the City and the area. It would provide much needed housing in a real estate climate that has very little inventory and it would provide additional tax revenue for the City.

I appreciate your consideration of my application. If you have any questions or concerns, please contact me at 804-938-5277.

Scott Dearnley
Member, NSD Investments LLC

0.00





1105 APPERSON ST. TM VAVRA ASSOCIATES, P.C.

GENERAL REQUIREMENTS:

CONTRACTOR IS RESPONSIBLE TO VERIFY PLAN, EXISTING DIMENSIONS AND CONDITIONS OF THIS PROPOSED DESIGN. DISCREPANCIES SHALL BE PROVIDED TO THE BUILDER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH THE 2018 IRC WITH VRC AMENDMENTS. ITEMS NOT ADDRESSED HEREIN ARE SUBJECT TO 2018 IRC AND VRC. IT IS ASSUMED THAT THE CONTRACTOR/ BUILDER IS VERSED IN THE AFOREMENTIONED CODES AND THAT ALL CONSTRUCTION PRACTICES WILL BE EXECUTED IN A MANNER CONSISTENT WITH THESE STANDARDS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, MATERIALS AND METHODS, ENSURING THAT PROJECT COORDINATION IS IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

STRUCTURAL SPECIFICATIONS:

THE CONDITIONS AND ASSUMPTIONS STATED IN THESE SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR FOR CONFORMANCE TO ALL CODES AND CONDITIONS. IN THE EVENT OF ANY DISCREPANCY BETWEEN THESE SPECIFICATIONS AND CODES AND CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE BUILDER IN WRITING OF THE DISCREPANCY AND ALTERNATE PRESCRIPTIVE MEASURES OR ENGINEERED SOLUTIONS SHALL BE APPLIED TO ENSURE STRUCTURAL ADEQUACY.

WHERE A CONFLICT BETWEEN THESE DRAWINGS EXISTS WITH AFOREMENTIONED CODE OR DESIGN PRINCIPALS, THE MORE STRINGENT REQUIREMENT SHALL BE FOLLOWED.

DESIGN CRITERIA		
GROUND SNOW LOAD	25	
EXPOSURE CATEGORY (WALL BRACING)	В	
SEISMIC DESIGN CATEGORY	В	
WEATHERING PROBABILITY	SEVERE	
FROST DEPTH	JURISDICTIONAL	
UNDERLAYMENT REQUIRED	YES	

LIVE LOADING			
LIVING AREAS	40		
SLEEPING AREAS	30		
ATTICS WITH STORAGE	20		
HABITABLE ATTICS	30		
BALCONIES AND DECKS	40		
PASSENGER VEHICLE GARAGES	50		
STAIRS	40		

SOILS SHALL PROVIDE AN ASSUMED 1500 LBS. ALLOWABLE BEARING. THE WATER TABLE (SEASONAL OR OTHERWISE) SHALL NOT EXTEND TO WITHIN 2' OF THE BOTTOM OF CONCRETE SLABS, FOOTINGS AND WALLS.

FOOTINGS MUST EXTEND TO FROST DEPTH DESIGNATED BY THE AUTHORITY HAVING JURISDICTION.

FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS.

BACKFILL FOR SLABS MUST BE IN ACCORDANCE WITH IRC R506.

CONCRETE COMPRESSIVE STRENGTH	
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE WALLS NOT EXPOSED TO WEATHER	25 <i>00</i> PSI
BASEMENT SLABS AND INTERIOR SLABS ON GROUND (NOT GARAGES)	25 <i>00</i> PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE EXPOSED TO WEATHER	35 <i>00</i> PSI
PORCHES, CARPORT SLABS, STEPS EXPOSED TO WEATHER AND OTHER VERTICAL CONCRETE EXPOSED TO WEATHER.	3500 PSI

ALL STRUCTURAL WALL SHEATHING SHALL BE 1/2" O.S.B AND FASTENED IN ACCORDANCE WITH TABLE 602.10.4.

STRUCTURAL FLOOR SHEATHING SHALL BE MINIMUM $^3\!4$ " O.S.B TONGUE AND GROOVE OR BLOCKED AT ALL EDGES. FASTEN WITH 8D COMMON NAILS FASTENED 6" AT EDGES 12" AT INTERMEDIATE SUPPORT.

ALL SOLID SAWN HEADERS, BEAMS AND GIRDERS SHALL BE MINIMUM SYP #2. APPLY WET FACTOR FOR WEATHER EXPOSED MEMBERS.

WOOD TRUSSES SHALL BE DESIGNED INSTALLED AND MANUFACTURED IN ACCORDANCE WITH ANSI TPI I. MANUFACTURER SHALL PROVIDE SEALED TRUSS DRAWINGS FOR REVIEW AND INSPECTION.

ALL WOODEN MEMBERS SHALL BE PROTECTED FROM DECAY AND TERMITE INFESTATION IN ACCORDANCE WITH R317 AND R318 OF THE IRC.

PROVIDE A CONTINUOUS DOUBLE TOP PLATE ACROSS ALL BEARING STUD WALLS.

MINIMUM COLUMN SUPPORT UNDER ANY BEAM OR HEADER UNLESS OTHERWISE NOTED IS A SINGLE 2X4 SPF #2. HEADERS MUST HAVE A MINIMUM OF I JACK STUD AND I KING STUD.

FOUNDATION ANCHORAGE SHALL BE IN ACCORDANCE WITH R403.1.6.

ALL POSTS SHOWN ON FLOOR OR FRAMING PLAN SHALL TERMINATE TO FOOTING AT GROUND OR TRANSFERRED TO A BEAM BELOW.

ALL STRUCTURAL COMPOSITE LUMBER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND MUST BE ACCOMPANIED BY BOTH A LAYOUT AND BEAM SHEETS PRODUCED BY THE DESIGNER.

BORING AND NOTCHING LIMITS SHALL EXCEED NEITHER MANUFACTURER'S SPECS FOR STRUCTURAL COMPOSITE NOR IRC LIMITS FOR SOLID SAWN LUMBER.

ALL WALLS TO BE ASSEMBLED IN ACCORDANCE WITH FLOOR PLAN AND FRAMING PLANS REFERENCED HERE.

MASONRY:

MORTAR USED SHALL BE TYPE "S". ANY ADDITIVES SHALL BE PROPORTIONED IN ACCORDANCE WITH ASTM C-270.

BRICK VENEER SHALL BE ATTACHED TO FRAMING WITH MINIMUM 22 GAUGE GALVANIZED CORRUGATED STEEL TIES $\frac{1}{6}$ " WIDE 24" O.C VERTICALLY AND 32" O.C. HORIZONTALLY.

WEEP HOLES SHALL BE WITHIN THE FIRST COURSE ABOVE GRADE AND WITHIN THE FIRST COURSE ABOVE STEEL LINTELS. WEEP HOLES SHALL BE NO LESS THAN 3/16" DIAMETER AND NO MORE THAN 33" O.C.

VENEER FLASHING SHALL BE IN ACCORDANCE WITH IRC R703.7.5

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER			
ANGLE SIZE	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE
3 × 3 × 1/4	6'	4'-6"	3'
4 × 3 × 1/4	8'	6'	4'-6"
5 × 3 ½ × %	10'	8'	6'
6 × 3 ½ × %	14'	9'-6"	7'
2-6×3½× 1/6	20'	12'	9'-6"

ALL MASONRY FOUNDATION CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH TMS 402, ACI 530, ASCE 5 NCMA TR68-A. THE IRC PRESCRIPTIVE CODE MAY BE USED AS AN ALTERNATIVE.

ENERGY, THERMAL & MOISTURE

WHERE REQUIRED, WALLS SHALL BE DAMPROOFED/ WATERPROOFED IN ACCORDANCE WITH IRC R405 & R406.

A 6 MIL. POLYETHYLENE VAPOR RETARDER SHALL BE PLACED BENEATH ALL INTERIOR SLABS.

THE EARTH ENCLOSED BY CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER IN ACCORDANCE WITH IRC R408.

FLASHING SHALL BE INSTALLED ON ALL EXTERIOR WALLS TO ENSURE AGAINST WATER INFILTRATION. ALL AREAS SPECIFIED IN IRC R703.8 SHALL BE ADDRESSED AS SPECIFIED.

AN APPROVED WATER RESISTIVE BARRIER SHALL BE APPLIED TO ALL EXTERIOR SHEATHING. EITHER TYPE I #15 ROOF FELT OR OTHER LISTED AND APPROVED HOUSEWRAP WILL SATISFY THIS REQUIREMENT. INSTALLATION, LAPS, JOINTS AND SEAMS SHALL BE INSTALLED IN ACCORDANCE WITH IRC R703.2 OR MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THE BUILDING THERMAL ENVELOPE IN THESE DRAWINGS ARE ASSUMED TO BE CLIMATE ZONE 4. THE THERMAL ENVELOPE SHALL BE SEALED IN ACCORDANCE WITH IRC IIO2.4.I.I. INSULATION R-VALUES (WHEN INSTALLED PRESCRIPTIVELY) SHALL BE INSTALLED IN ACCORDANCE WITH THE TABLE BELOW. WHEN PRESCRIPTIVE INSTALLATION IS NOT PRACTICAL A RESCHECK MAY ACCOMPANY THESE PLANS AS AN ALTERNATIVE FOR THE BUILDING OFFICIAL'S APPROVAL.

INSULATION AND FENESTRATION REQUIREMENTS			
CLIMATE ZONE	4 EXCEPT MARINE		
FENESTRATION U-FACTOR	0.32		
SKYLIGHT U-FACTOR	0.55		
GLAZED FENESTRATION SHGC	0.40		
CEILING R-VALUE	49		
WOOD FRAME WALL R-VALUE	15 OR 13+1		
MASS WALL R-VALUE	8 -I3		
FLOOR R-VALUE	19		
BASEMENT WALL R-VALUE	10 CONTINUOUS OR 13 CAVITY		
SLAB R-VALUE AND DEPTH	IO, 2FT		
CRAWL SPACE WALL R-VALUE	10-13		

SAFETY:

ALL HANDRAILS AND GUARDRAILS ARE TO BE INSTALLED IN ACCORDANCE WITH R3II AND R3I2.

SMOKE ALARMS SHALL BE LOCATED AND INSTALLED ACCORDING TO IRC. R3I4.

CARBON MONOXIDE ALARMS, WHEN REQUIRED, SHALL BE LOCATED AND INSTALLED IN ACCORDANCE WITH IRC R315.

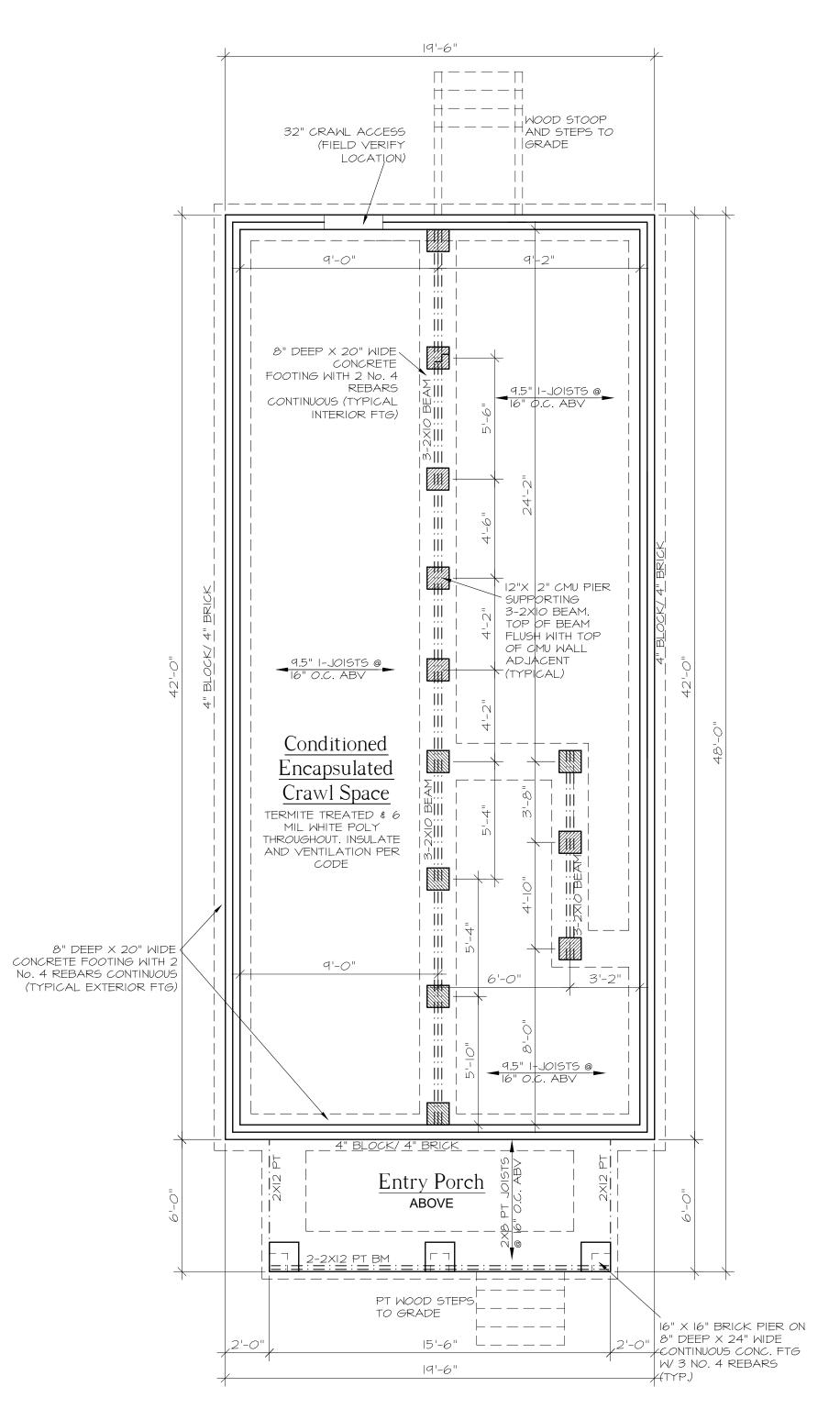
GLAZING IN HAZARDOUS LOCATIONS, AS SPECIFIED IN IRC R308, SHALL BE ASSEMBLED AND IDENTIFIED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION AND THE STANDARD WITH WHICH IT COMPLIES, ALTERNATIVE CERTIFICATION MAY BE CONSIDERED BY THE BUILDING OFFICIAL.

DWELLING/ GARAGE FIRE SEPARATION		
FROM RESIDENCE AND ATTICS	½" GYP APPLIED TO GARAGE SIDE	
FROM ALL HABITABLE ROOMS ABOVE GARAGE	%" TYPE X GYP BOARD	
STRUCTURES SUPPORTING FLOOR/ CEILING ASSEMBLIES USED FOR SEPARATION	½" GYP BOARD	
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	½" GYP BOARD APPLIED TO INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.	

THE INFORMATION, PLANS, AND SPECIFICATIONS APPEARING IN THESE DRAWINGS ARE THE PROPERTY OF T.M. VAVRA AND ASSOCIATES. DUPLICATION IN WHOLE OR PART IS PROHIBITED.

COPYRIGHT NOTICE:

THIS HOME PLAN IS PROTECTED UNDER THE UNITED STATES COPYRIGHT LAW. WHEN PURCHASING A HOME PLAN FROM US, YOU HAVE BEEN LICENSED THE RIGHT TO BUILD ONE RESIDENCE. THIS PLAN MAY NOT BE COPIED, RESOLD, OR USED FOR THE CONSTRUCTION OF MORE THAN ONE RESIDENCE WITHOUT THE EXPRESS WRITTEN PERMISSION OF TMVAVRA ASSOCIATES P.C.. TMVAVRA ASSOCIATES P.C. RETAINS ALL RIGHTS, TITLE, AND OWNERSHIP OF THE ORIGINAL DESIGN AND DOCUMENTS, AS WELL AS ANY DERIVATIVE VERSION OF THE PLANS.

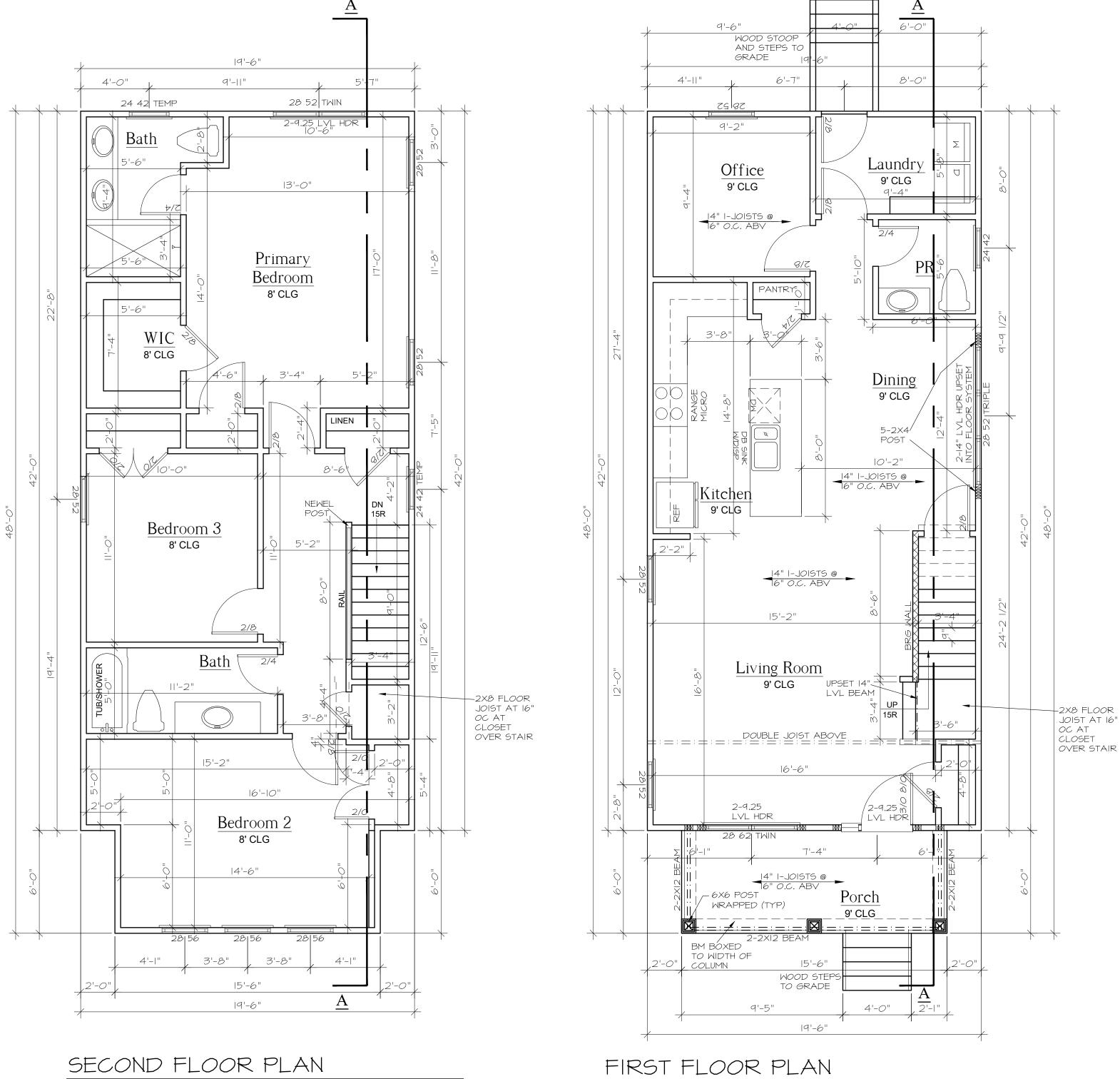


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE: VERIFY FOOTING SIZE AND FOUNDATION REINFORCEMENT WITH SOILS ANALYSIS, UNBALANCED FILL DEPTH, AND HEIGHT OF MASONRY PER CODES.

COMPOSITE MASONRY FOUNDATION: 4" BRICK WITH CMU BACKER. STRUCTURAL BRICK TIES AT 16" OC VERTICAL, 32" OC HORIZONTAL, FULL BED, HEAD AND COLLAR



SCALE: 1/4" = 1'-0"

ALL HEADERS 2-2X8 UNLESS OTHERWISE NOTED
 ALL EXTERIOR WALLS 2X4 AT 16" O.C., ALL INTERIOR WALLS 2X4 AT 16"

O.C. UNLESS NOTED.

3. ALL STRUCTURAL WOOD MEMBERS (I.E. JOISTS, RAFTERS, BEAMS, ETC.) TO BE SOUTHERN YELLOW PINE #2 UNLESS OTHERWISE NOTED

4. ALL ELEVATION REFERENCES ARE RELATIVE TO INTERIOR FINISHED

5. ALL STRUCTURAL COLUMNS MUST EXTEND CONTINUOUS TO FOUNDATION. 6. BUILDER TO VERIFY ALL WINDOWS MEET EGRESS REQUIREMENTS PER

MANUFACTURERS SPECS PRIOR TO ORDERING OR PLACING WINDOWS. 7. ALL WALLS DRAWN AT NOMINAL 4"/6" WIDTH. BEARING AND EXTERIOR WALL TO BE PLACED AS SHOWN, ADJUST INTERMEDIATE WALLS AS REQUIRED FOR 3.5" WIDTH.

TOTAL AREA OF STRUCTURE: 912 SF LOT SIZE: 2625.57 SF LOT COVERAGE = 34.7%

SCALE: 1/4" = 1'-0"

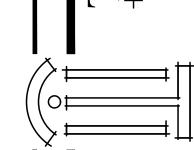
INTERIOR DOOR HEIGHTS FIRST FLOOR 6'-8" SECOND FLOOR 6'-8" UNLESS NOTED OTHERWISE

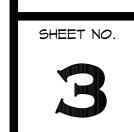
AREA CALCULATIONS FIRST FL. LIVING: SECOND FL. LIVING: 866 SF TOTAL COND. AREA: 1685 SF ENTRY PORCH: 93 SF 1778 SF AREA UNDER ROOF:

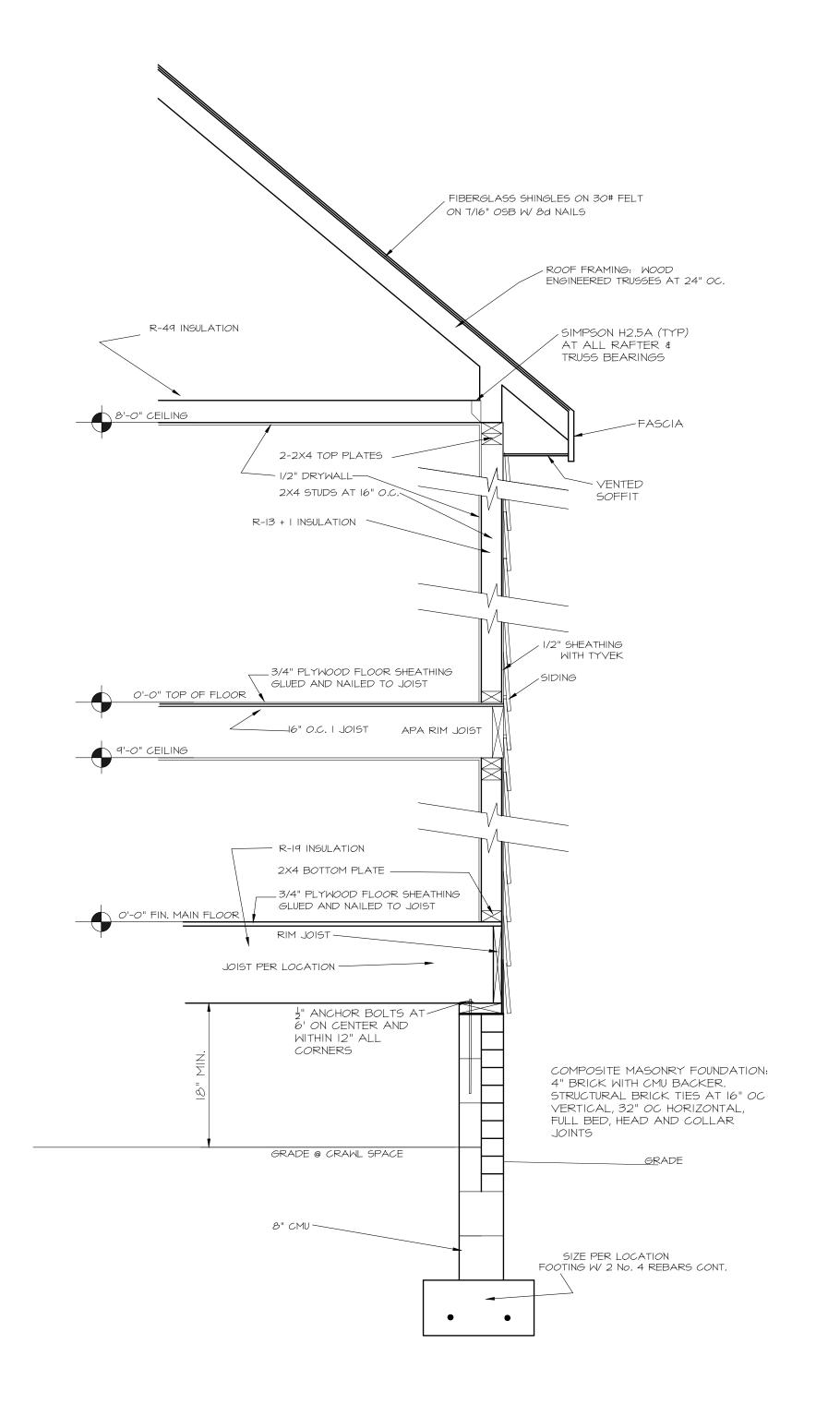
SHEET NO.

YOUNGBLOOD I 1105 APPERSON FOUNDATION PI



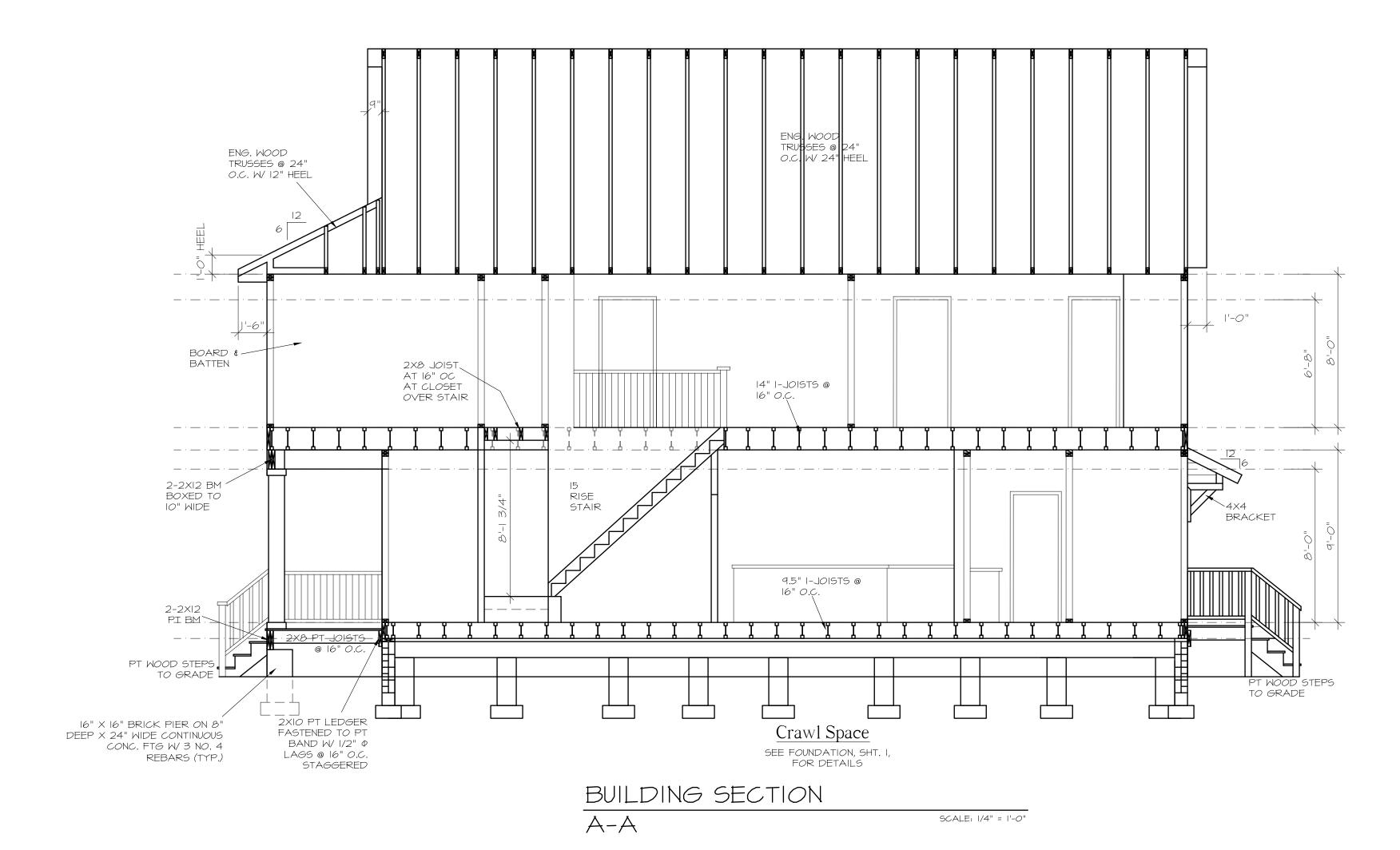






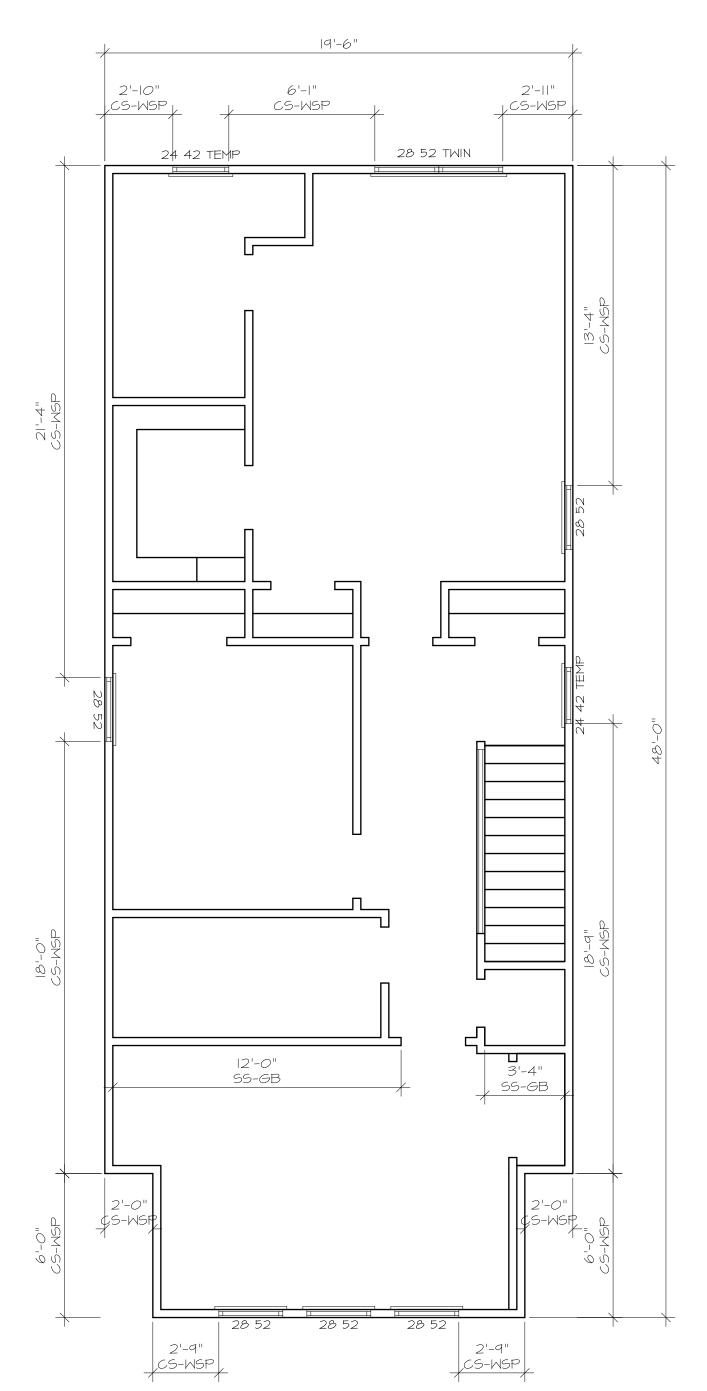
WALL SECTION 2 STORY

SCALE: 3/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SHEET NO.



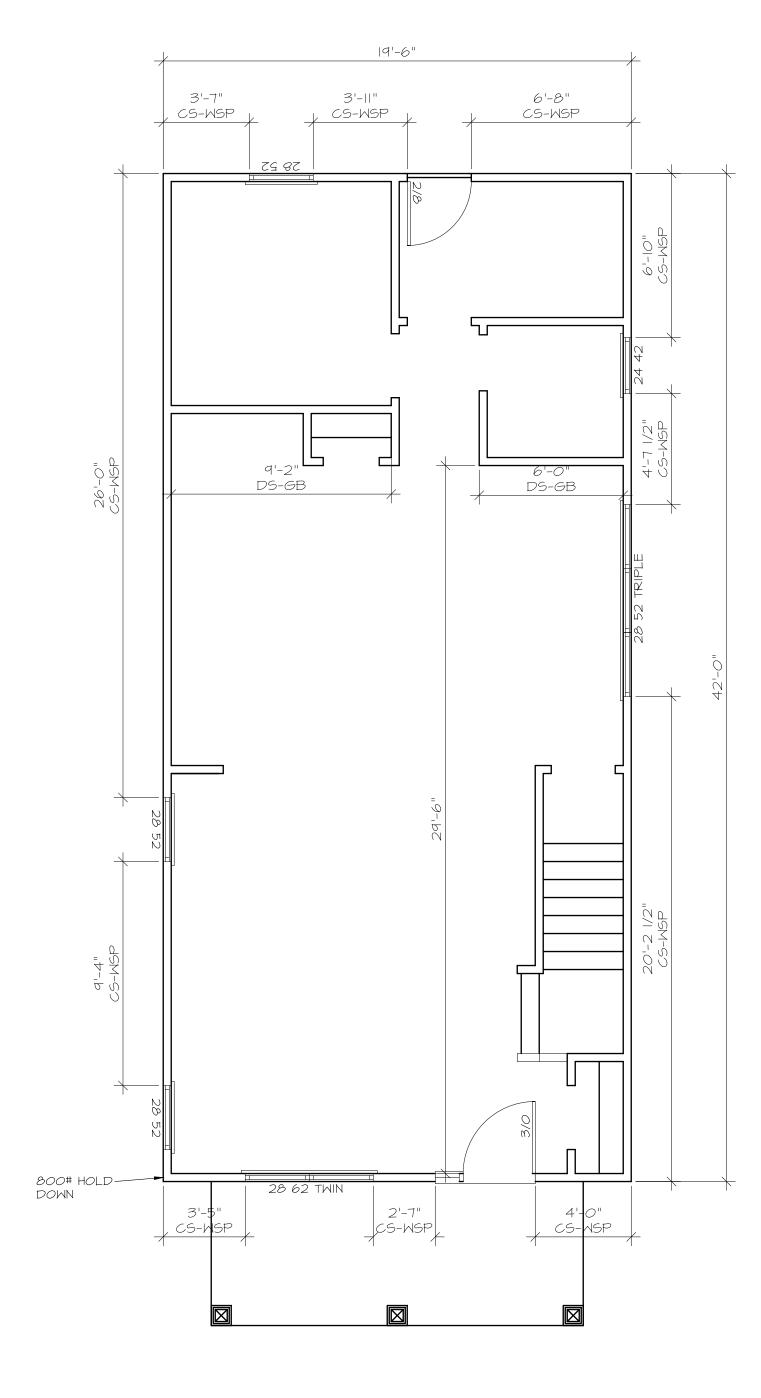
SECOND FLOOR BRACE WALL PLAN SCALE: 1/4" = 1'-0"

WIND BRACING PANEL REQUIREMENTS:

ALL EXTERIOR WALL SHEATHING SHALL BE BRACED IN ACCORDANCE WITH R602.10.4 IRC 2018 AS FOLLOWS:

- UNO. EXTERIOR SHEATHING SHALL BE AS FOLLOWS: 2X4 MIN. SPF (STUD GRADE) SPACED @ 16"
 O.C. MAX. EXTERIOR WALL SHEATHING 7/16" OSB OR PLYWOOD. FASTENERS 8d X 2.5" LONG NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. @ INTERMEDIATE SUPPORTS.
 WOOD STRUCTURAL PANEL (WSP) SHALL BE CONSTRUCTED THE SAME AS ABOVE, AND ALL
- EDGES OF BRACED WALL PANELS (WSP OR CS-WSP) SHALL BE BLOCKED WITH 2X4(6)
 BLOCKING AND THE SAME NAILING AS ABOVE.

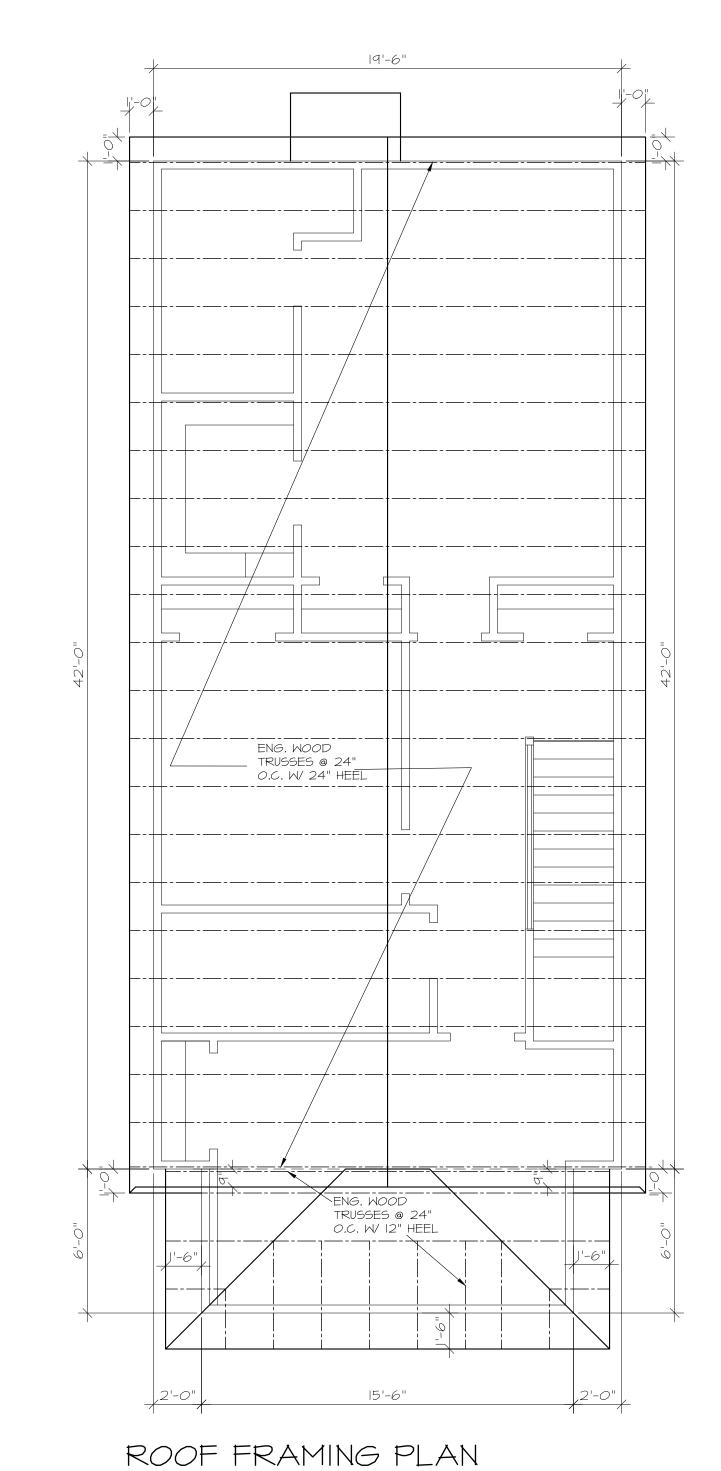
 3. WHEN CONTINUOUS SHEATHING METHODS (CS-WSP OR CS-PF) ARE SPECIFIED ON THE PLANS,
 ALL EXTERIOR SHEATHABLE SURFACES ON THE SPECIFIED BRACED WALL LINE SHALL BE
 SHEATHED THE SAME AS NOTE I & SHALL BE BLOCKED WITH 2X4 BLOCKING.
- 4. GYPSUM BOARD (GB) BRACED WALL, WHEN INSTALLED VERTICALLY, SHALL BE BLOCKED WITH 2X4 BLOCKING & FINISHED AS FOLLOWS: INTERIOR WALL FINISH 1/2" GYPSUM BOARD. FASTENERS 6d X 2" COMMON NAIL @ 7" O.C. @ EDGES & 7" IN FIELD OR No 6 1-1/4" SCREWS @ 4" O.C. @ EDGES & IN FIELD.
- 5. MINIMUM BRACED WALL PANEL LENGTH IS IN ACCORDANCE WITH TABLE R602.10.5
- 6. ABBREVIATIONS & LEGEND:
 CS-WSP -CONTINUOUS SHEATHING
 WSP -WOOD STRUCTURAL PANEL
 CS-PF -CONTINUOUSLY SHEATHED PORTAL FRAME
 GB -GYPSUM BOARD



FIRST FLOOR BRACE WALL PLAN

BLOCKING REQUIREMENTS: STRUCTURAL PANELS ALL INTERIOR BRACED WALL PANELS SHALL HAVE CONTINUOUS FULL DEPTH BLOCKING OR ADDITIONAL JOIST IN FLOOR AND CEILING. PANEL SHALL BE NAILED TO BLOCKING/JOIST WITH 3-16d NAILS AT 16" O.C. TO FLOOR MEMBER, 3-8d NAILS TO CEILING MEMBER.

800# HOLD DOWN ANCHOR: SIMPSON LSTA24 WALL TO RIM JOIST AND 2- SIMPSON A35 ANCHORS RIM JOIST TO 2X8 SILL PLATE





City of Richmond Department of Planning & Development Review

Special Use Permit

LOCATION: 1105 Apperson Street

APPLICANT: NSD Investments, LLC

COUNCIL DISTRICT: 7

PROPOSAL: To authorize the special use of the property known as 1105 Apperson Street for the purpose of a single family detached dwelling upon certain terms and conditions.

For questions, please contact David Watson at 804-646-1036 or David.Watson@RVA.gov

