



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 607-609 N 29TH DATE: _____

OWNER'S NAME: Patterson Ave LLC TEL NO.: 804-441-1847
AND ADDRESS: 4 E Clay St EMAIL: jashromano@va@gmail.com
CITY, STATE AND ZIPCODE: Richmond VA 23219

ARCHITECT/CONTRACTOR'S NAME: Felling Water Construction TEL NO.: 804-441-1847
AND ADDRESS: 4 E Clay St EMAIL: jashromano@va@gmail.com
CITY, STATE AND ZIPCODE: Richmond VA 23219

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

NO

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

SEE ATTACHED

Signature of Owner or Authorized Agent:

Name of Owner or Authorized Agent (please print legibly): Josh Romano

(Space below for staff use only)

Received by Commission Secretary

APPLICATION NO. _____

DATE _____

SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

DETAILED DESCRIPTION OF PROPOSED WORK AT 607 & 609 N 29TH Street:

The applicant proposes to construct a new duplex on vacant lots located at 607 & 609 N 29th Street located in the Church Hill North Old and Historic District.

SITING:

It is impossible to match the setback of the one historic property (617 N 29th Street Ca. 1860) for two reasons. The existing structure at 617 N 29th St. lacks a setback from the sidewalk and the particularly high berm of the proposed site insures that a retaining wall and stair are necessary to access the site. The proposed dwelling is more closely aligned in setback to the only other existing dwelling on the block (621 N. 29th Street.) The proposed setback is 16'-2". Please see sheets A10 and AS10 for more information regarding the site.

FORM:

The form of the proposed dwelling is indicative of several historic dwellings located within the Church Hill North District. Particularly, the proposed form is very similar to 602-604 North 28th Street (see fig. 1), located just one block west of the proposed duplex. The proposed form also shares similar characteristics to the duplex located at 2908-2910 East Leigh Street, just around the corner from the proposed project. (see fig. 2.) Another historic duplex that is located nearby in the district is 521-523 North 28th St. (see fig. 3)



Fig. 1: 602-604 North 28th St. (image from bing maps)



Fig.2: 2908-2910 East Leigh St. (Image from bing maps)



Fig.3: 521-523 N 28th St. (Image from bing maps)

SCALE:

The proposed dwellings maintain the existing human scale of the neighborhood and do not overwhelm pedestrians at the street level.

HEIGHT, WIDTH, PROPORTION & MASSING:

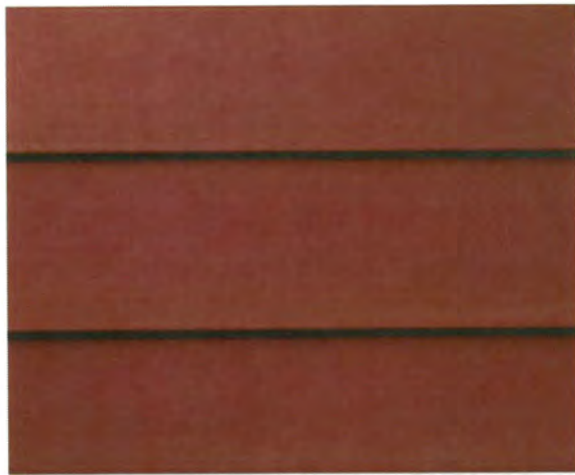
The proposed dwelling respects the typical height of the houses on the 600 block of North 29th Street. The existing dwelling at 617 N 29th Street is unusually short for two story dwellings in the Church Hill North District. The grade is also slightly above the first floor level of the existing building (see View B on sheet AS10.) The proposed duplex reduces a potential height differential by eliminating the traditional crawl space and instead opting for a slab on grade construction to reduce the overall height of the building.

The proposed dwellings respects the vertical orientation and massing pattern typically found in the neighborhood.

MATERIALS, COLORS, & DETAILS:

Exterior Cladding

The proposed dwellings will be clad in Hardie Plank fiber cement smooth lap siding with a 7" reveal. House 607 will be Iron Gray which is similar to the CAR color palette Black Fox, SW#7020. House 609 will be Cobblestone which is similar to the CAR color palette Silver Gray, SW#0049.



SMOOTH

Countrylane Red

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3

Available Colors



● Plank, Panel, Batten and Shingle Colors

Trim and Soffit Colors

Color Selection


Explore our color palettes and differentiate your homes with stunning curb appeal. These distinctive tones are drawn from natural environments, complementing your design with the look of America's idyllic neighborhoods.




ARCTIC WHITE



NAVAJO BEIGE



COBBLE STONE



SOFT GREEN




LIGHT MIST




BOOTHBAY BLUE



SAIL CLOTH



SANDSTONE BEIGE



MONTEREY TAUPE




HEATHERED MOSS



EVENING BLUE




TUSCAN GOLD




WOODLAND CREAM



AUTUMN TAN



WOODSTOCK BROWN



MOUNTAIN SAGE



IRON GRAY



CHESTNUT BROWN



HARRIS CREAM



KHAKI BROWN



TIMBER BARK



PARKSIDE PINE




COUNTRYLANE RED

Selecting a color? Request a product sample at jameshardie.com/samples

Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.

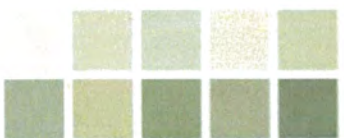
All of the window and door trim will be Hardie trim prefinished 4.5" prefinished smooth in the color arctic white.



5/4 NT3[®] SMOOTH
Arctic White

Thickness	1 in.				
Length	12 ft. boards				
Width	3.5 in.	4.5 in.	5.5 in.	7.25 in.	11.25 in.
Pcs./Pallet	240	200	160	120	80

Available Colors



The soffit at the rear of the dwelling will be Hardie vented prefinished smooth in the color arctic white.

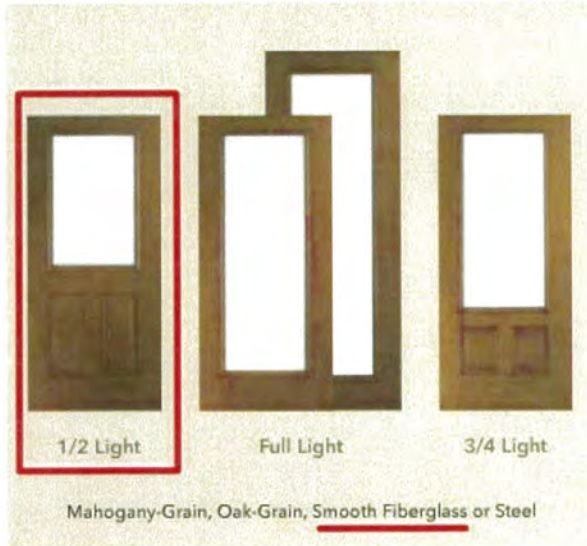
VENTED SMOOTH

Sail Cloth



Doors and Windows

The front doors will be Pella Smooth Fiberglass ½ Light, clear glass.



The Front door of 607 will be painted the color #SW6478 Watery.



SW 6478 Watery

Interior / Exterior

Color Collections

CW 8, Color Washing, Coastal
Cool, Precious Baby, Teen
Space, Softer Side, Voyage,
Coastal Calm

Color Family

Blues

Color Strip

69

RGB Value

R-180 | G-204 | B-202

The front door of 609 painted the color #SW0033 Rembrandt Ruby.



SW 0033 Rembrandt Ruby

Interior / Exterior

Color Collection

Arts & Crafts

Color Family

Reds

RGB Value

R-154 | G-81 | B-74

Hexadecimal Value

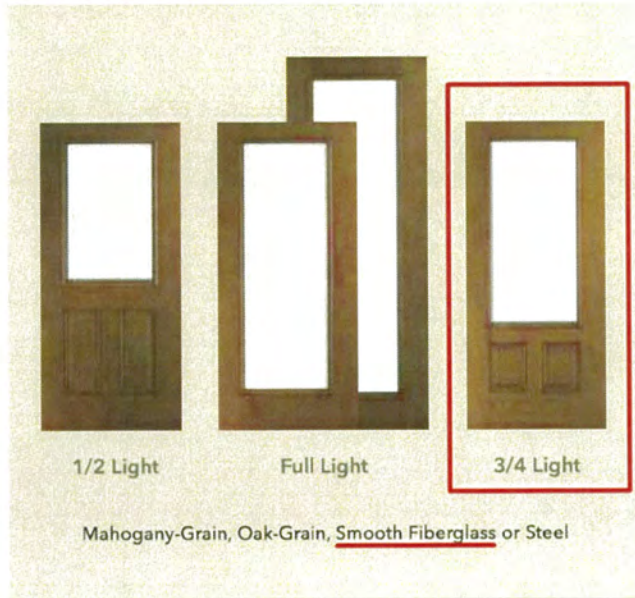
#9A514A

LRV

15

The front door will have a single light transom the same width as the door. The top of the transom will be aligned to the top of the first floor windows at 8'-0".

The rear doors will be Pella Smooth Fiberglass 3/4" Light Clear Glass in pre-painted white.



The windows will be the MW Jefferson 300 series cellular PVC double-hung 2/2 simulated divided light. See floor plans for window sizes. All window heads to be at 8'-0" above finished floor.

MW JEFFERSON®
300 DOUBLE HUNG

CARRYING ON THE TRADITION

Historically accurate, the Jefferson 300 Double Hung Wood Window provides a look that harkens back 100 years. But make no mistake, this window has features planted firmly in the 21st century. Like a low-maintenance cellular PVC exterior, fully welded all-vinyl sash that tilt-in, energy-efficient glass and multiple exterior casing options. At MW, we're also carrying on our long tradition of service to the builder, with on-time delivery, on-site field support and a commitment to make sure your windows keep you on schedule.

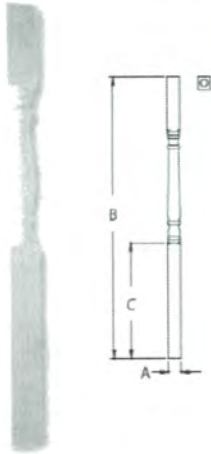
Trim

The front porch columns and trim will be Fypon cellular polyurethane in the color white.

Columns: Fypon PP5x102

Colonial Porch Post

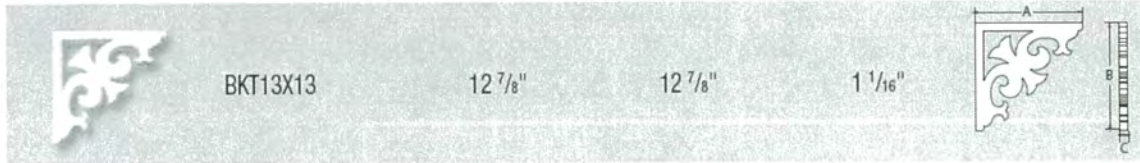
Structural



Part Number	Width (A)	Overall Height (B)	Bottom Block Height (C)	Load Bearing Capacity	Bakegrade System
PP5X102	4 3/4"	101 5/16"	41 7/16"	6,000#	5" System
PP6X96	5 1/2"	96"	44 7/16"	6,000#	5" System
PP6X108	5 1/2"	108"	44 1/2"	6,000#	5" System
PP6X120	5 1/2"	120"	44 1/2"	6,000#	5" System
PP8X96	7 1/2"	96"	44 7/16"	12,000#	7" System

NOTE: Installation kit included. Porch posts can be field trimmed to various heights without losing load rating.

Brackets: Fypon BKT13x13



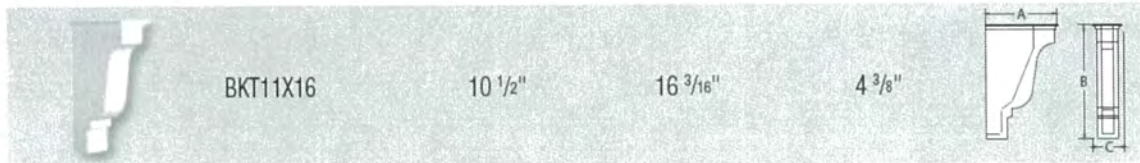
BKT13X13

12 7/8"

12 7/8"

1 1/16"

Brackets: Fypon BKT11x16



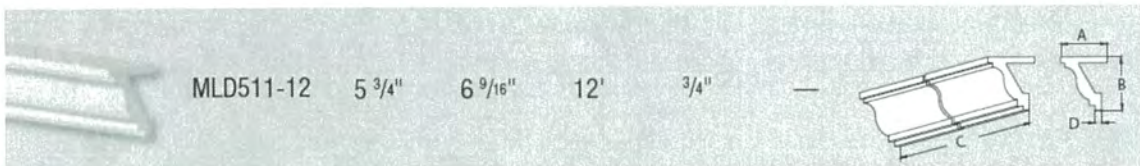
BKT11X16

10 1/2"

16 3/16"

4 3/8"

Low Cornice: Fypon MLD511-12



MLD511-12

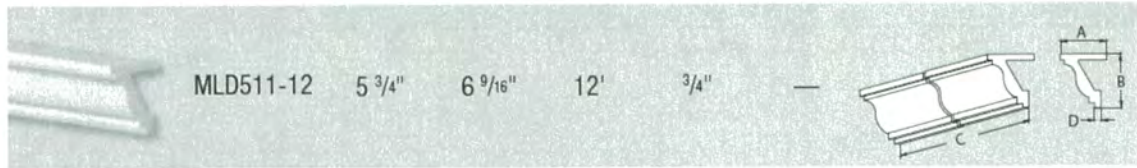
5 3/4"

6 9/16"

12'

3/4"

Low Cornice: Fypon MLD511-12



The railing will be Richmond Rail in white.

Decking

The front porch will be Azek tongue and groove cellular PVC in the color oyster. The porch will be constructed on brick piers. A wood lattice panel will be located between the piers.



The rear deck will be pressure treated wood on brick piers. A wood lattice panel will be located between the piers.

Roofing

Front Porch Roof and tower roof: Architectural Shingles

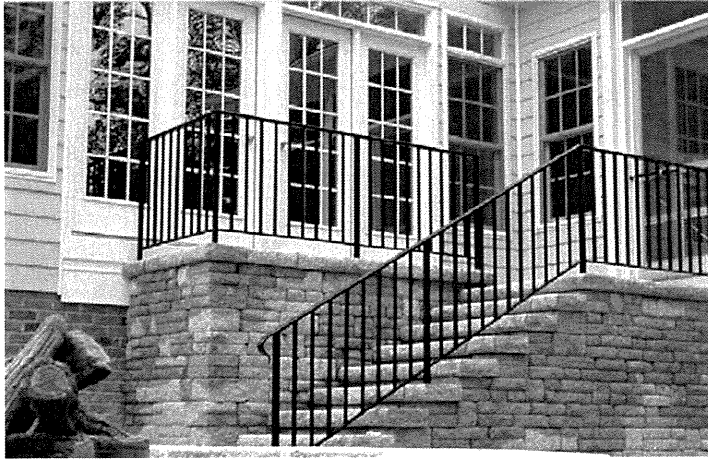
Color: Dark Grey

Main Roof: TPO Roof Membrane (white)

Site Construction

Site stair railing (required to satisfy building code): Painted Metal

Color: Black

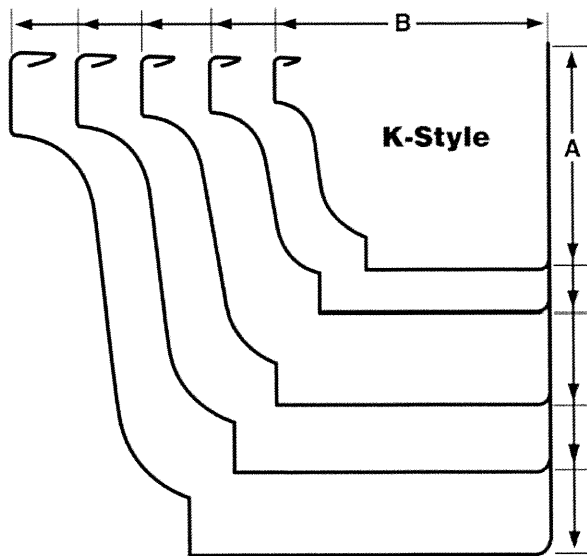


Stairs: Poured concrete

Retaining Wall: Brick in a running bond with a rowlock course at the top.

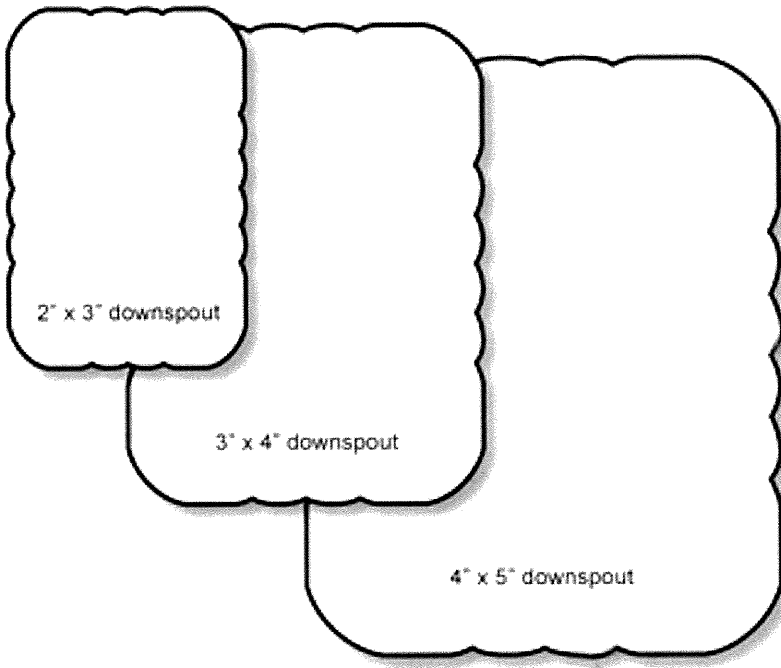
Privacy Screen at rear decks: Pressure treated lumber to match the proposed fence and deck.

Gutters: White Aluminum K-Style Gutters



K-STYLE GUTTER					
A (BACK HEIGHT)	3 1/8"	3 5/8"	4 7/8"	5 7/8"	7 1/4"
B (TOP WIDTH)	4"	5"	6"	7"	8"

Downspouts: Rectangular White Aluminum





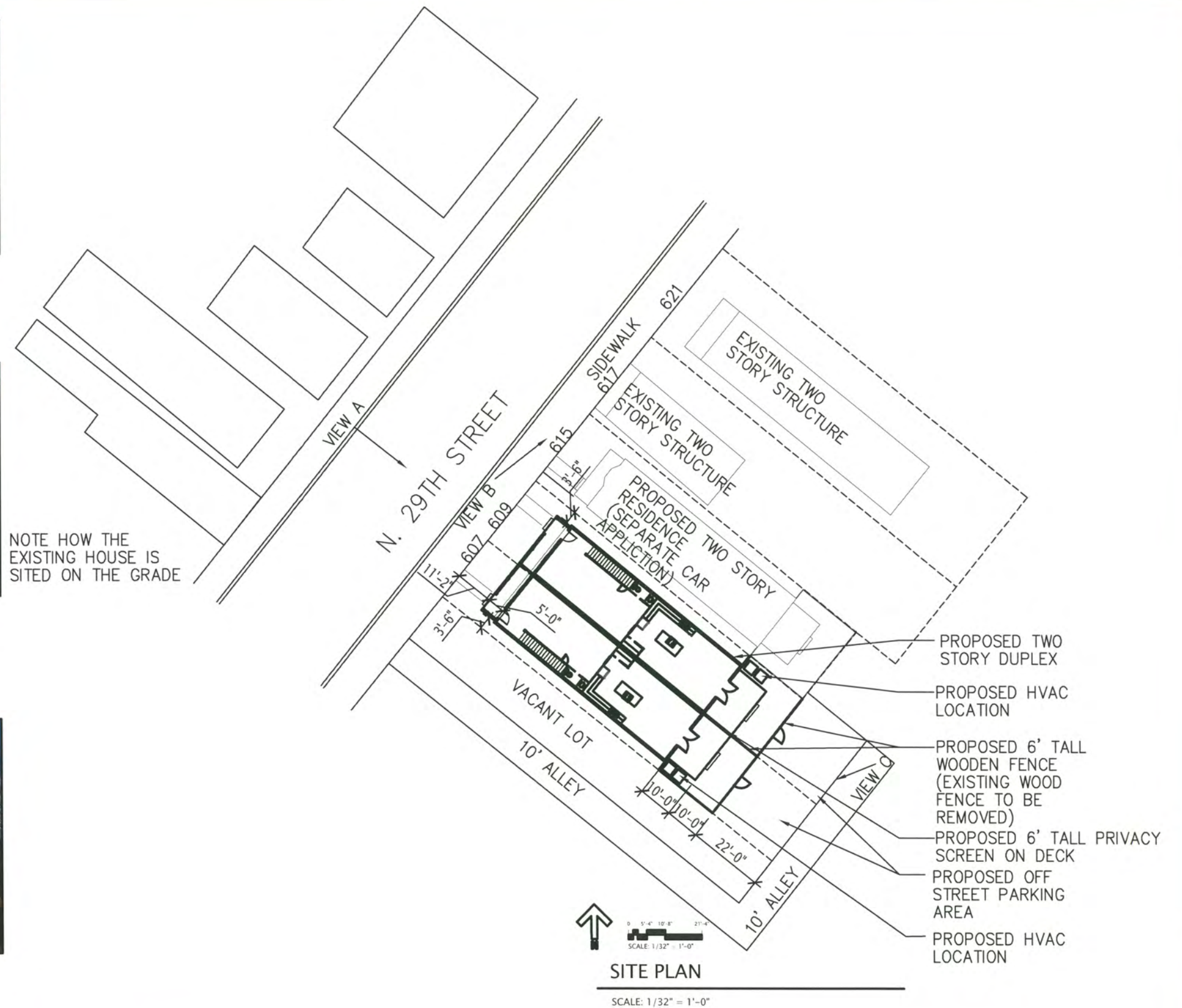
VIEW A- FROM
ACROSS N. 29TH

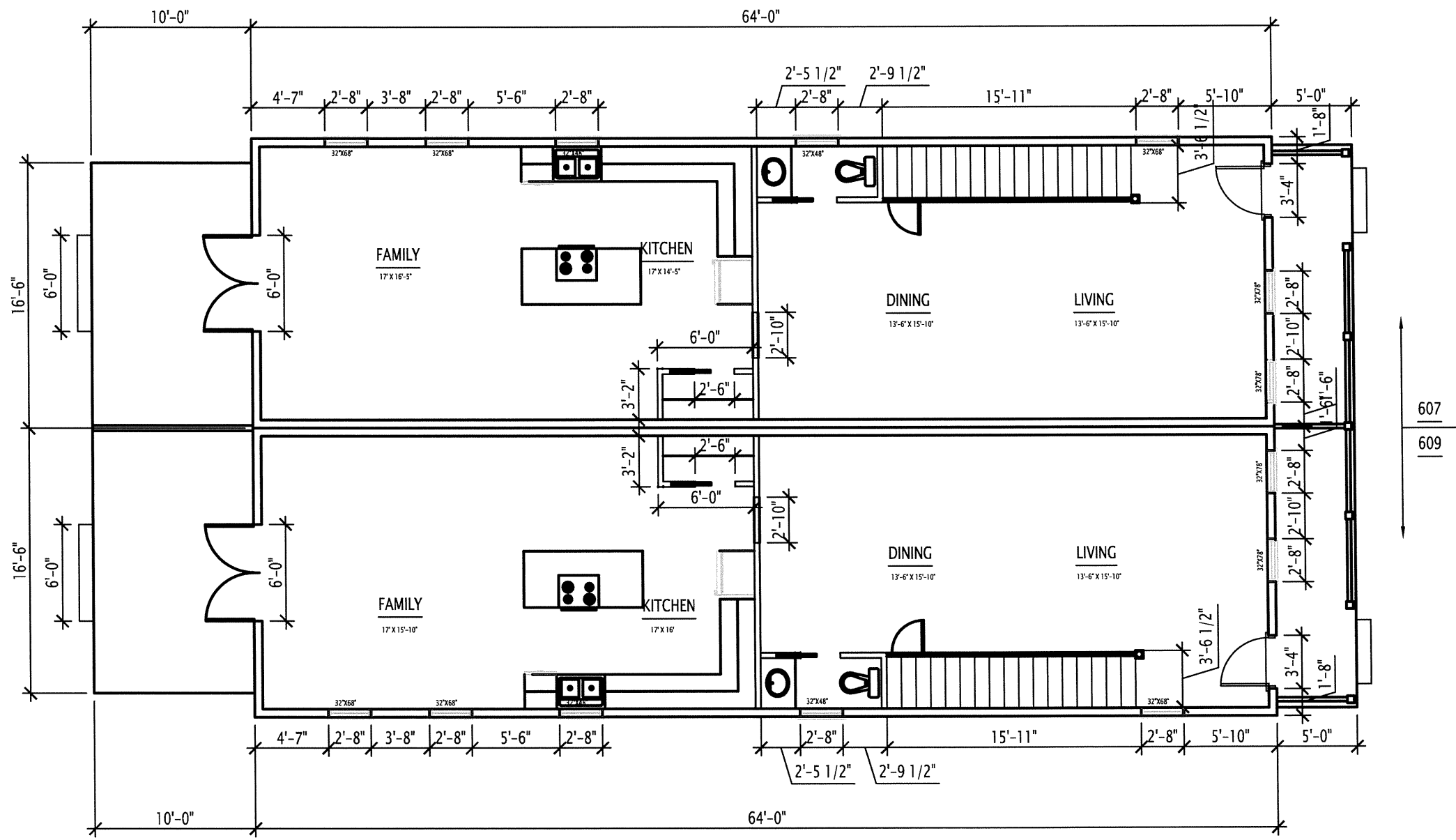


VIEW B- NORTHEAST
FROM ADJACENT SIDEWALK



VIEW C- SOUTHWEST
FROM ALLEY





FIRST FLOOR PLAN

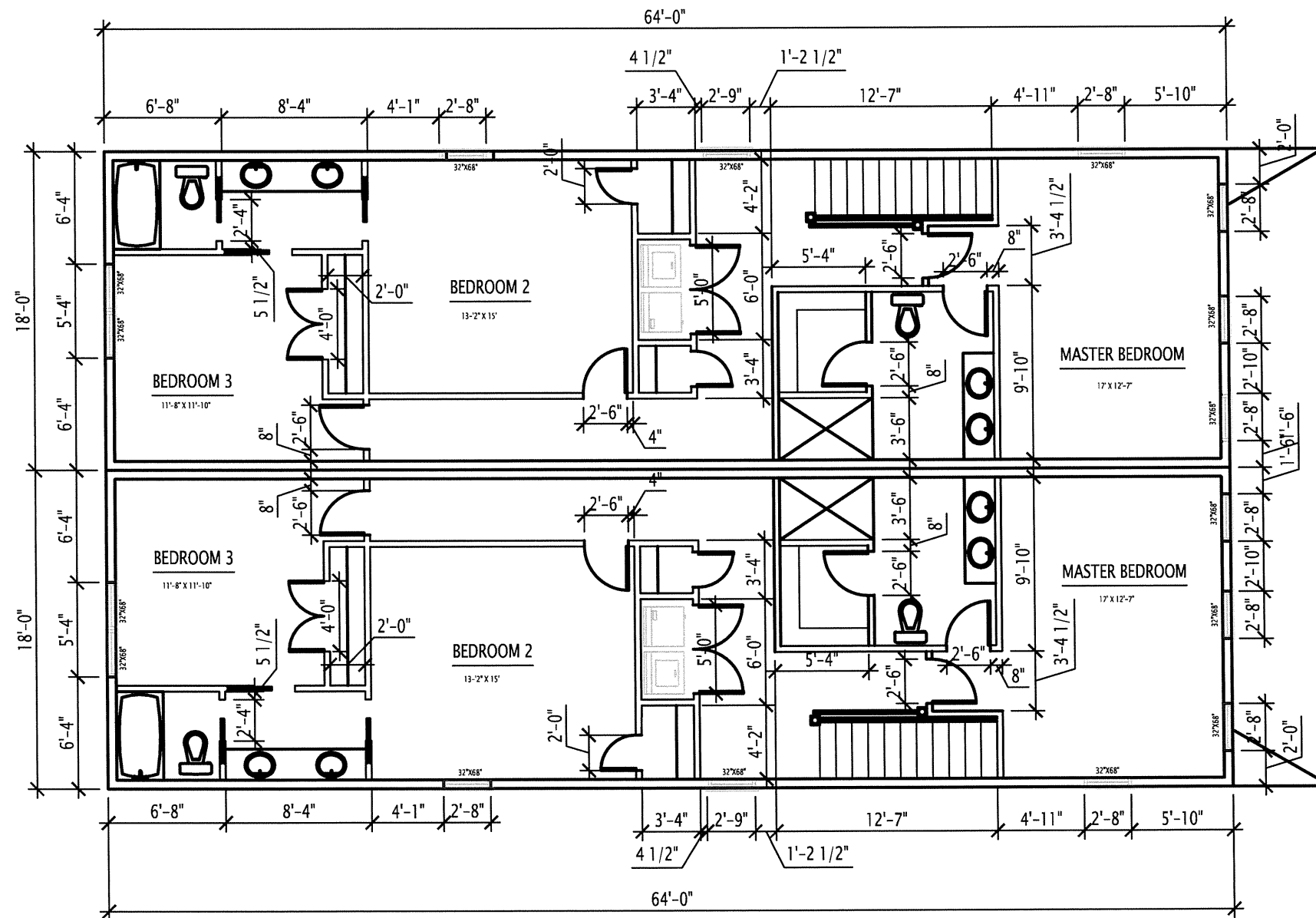
SCALE: 1/8" = 1'-0"

A20

FIRST FLOOR PLAN

607-609 N 29TH STREET

COBBLESTONE DEVELOPMENT
RICHMOND, VA



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

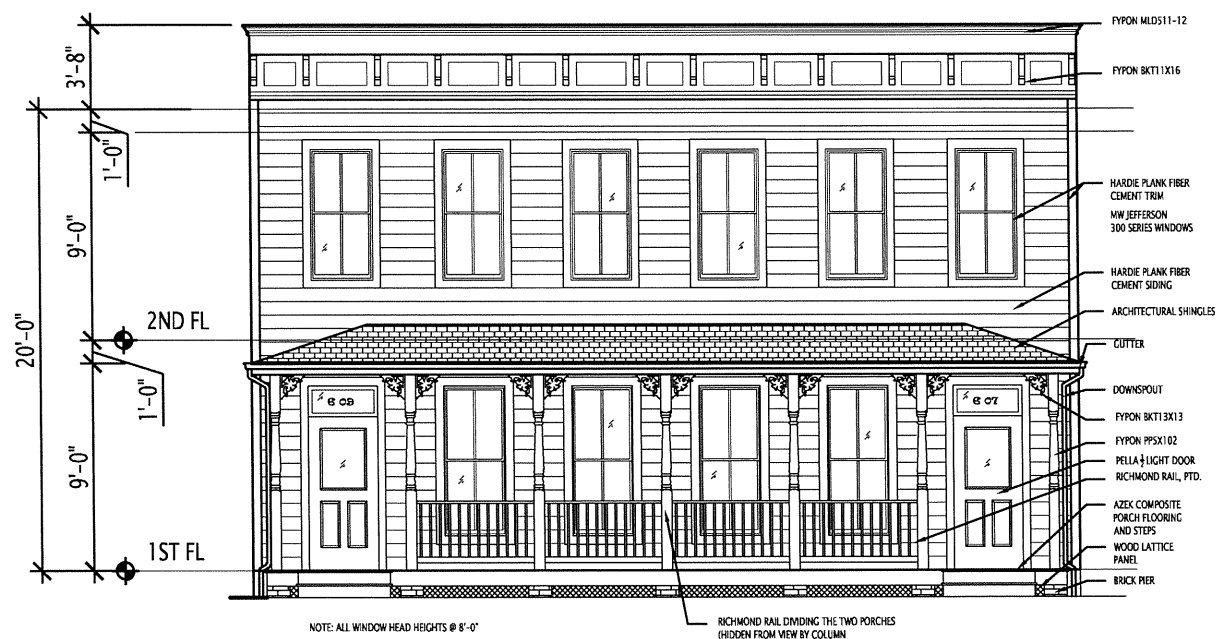
A21

SECOND FLOOR PLAN

607-609 N 29TH STREET

COBBLESTONE DEVELOPMENT

RICHMOND, VA



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

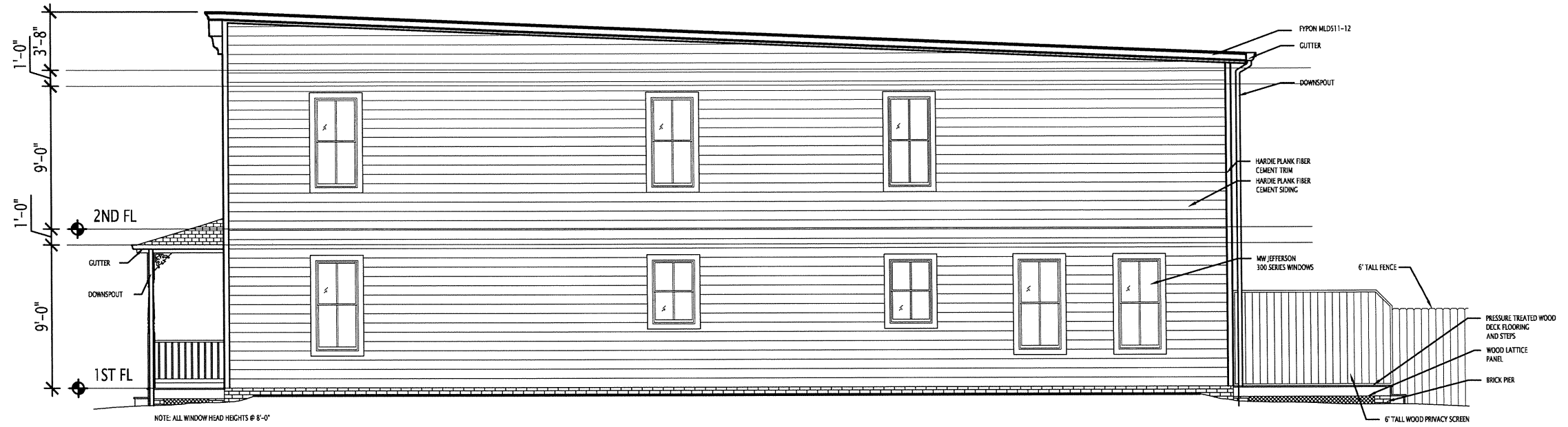
A30

BUILDING ELEVATIONS

607-609 N 29TH STREET

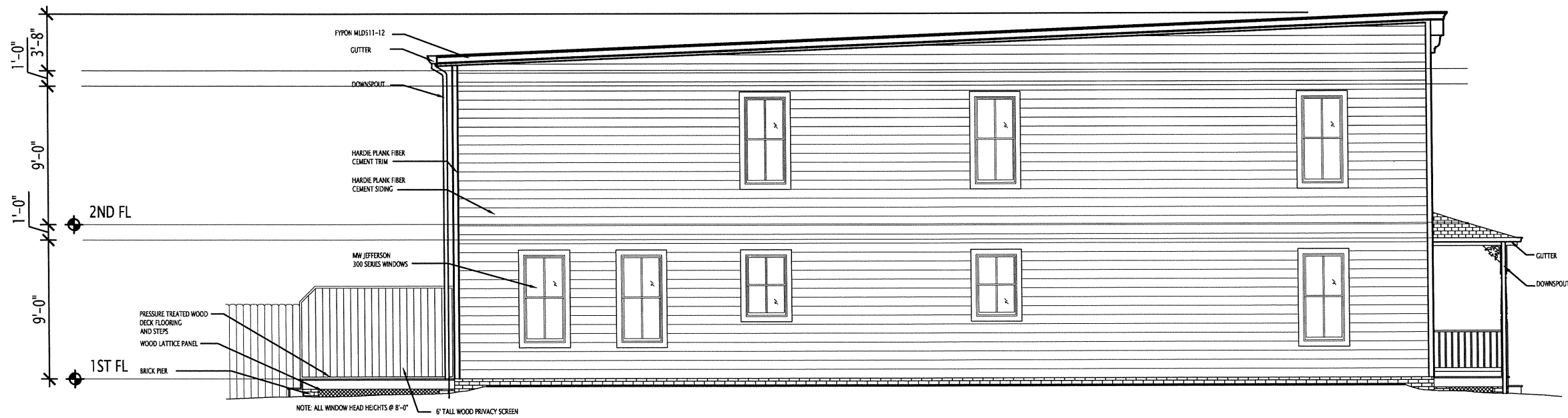
COBBLESTONE DEVELOPMENT

RICHMOND, VA



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

A31

BUILDING ELEVATIONS

607-609 N 29TH STREET

COBBLESTONE DEVELOPMENT

RICHMOND, VA