



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

August 11, 2023

Asset Properties LLC
4929 Nine Mile Road
Richmond, Virginia 23229
Attn: Dawoud Adeyola

To Whom It May Concern:

RE: BZA 32-2023

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, September 6, 2023 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a lot split and building permit to construct a new single-family (detached) dwelling at 3304 TUXEDO BOULEVARD (Tax Parcel Number E000-3313/011), located in an R-5 (Single-Family Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **977 783 632#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2023 drop-down, click meeting details for September 6, 2023 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 32-2023
Page 2
August 11, 2023

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in dark ink, reading "Roy W. Benbow". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Alexander Joseph L
3310 Tuxedo Blvd
Richmond, VA 23233

Bradley Jacquelyne
8381 Cardova Rd
Richmond, VA 23227

Bryant Tatiana
3300 Tuxedo Blvd
Richmond, VA 23223

City Of Richmond Recreation & Parks
1209 Admiral St
Richmond, VA 23220

Edward Lisbet Holdings Llc
501 N 31st St
Richmond, VA 23223

H & M Real Estate Investors Llc
2807 Rudwick Rd
Glen Allen, VA 23060

Holmes Louis
409 Evanrude Lane
Sandston, VA 23150

Holmes Louis W Jr
3307 Tuxedo Blvd
Richmond, VA 23223

Ihsan Zahra
3301 Tuxedo Blvd
Richmond, VA 23223

Jones Gregory Dean
3308 Tuxedo Blvd
Richmond, VA 23223

Jones Willie B & pinkie B
1406 Wentbridge Rd.
Richmond, VA 23227

Lawson Mccloud Carlene
3212 Tuxedo Blvd
Richmond, VA 23223

Marzouk Suzan And Diana
5002 Timber Pl
Glen Allen, VA 23060

Miller Andrew
3221 Tuxedo Blvd
Richmond, VA 23223

Spivey Christian And Chuky
3306 Tuxedo Blvd
Richmond, VA 23223

Property: 3304 Tuxedo Blvd Parcel ID: E0003313011**Parcel**

Street Address: 3304 Tuxedo Blvd Richmond, VA 23223-
Owner: ASSET PROPERTIES LLC
Mailing Address: 1806 CREIGHTON RD, RICHMOND, VA 23223
Subdivision Name : TUXEDO PARK
Parent Parcel ID:
Assessment Area: 328 - Fairfield
Property Class: 110 - R One Story
Zoning District: R-5 - Residential (Single Family)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2023
Land Value: \$88,000
Improvement Value: \$41,000
Total Value: \$129,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 10000
Acreage: 0.23
Property Description 1: L15-18
Property Description 2: 0100.00X0100.00 0000.000
State Plane Coords(?): X= 11803252.430701 Y= 3722983.512090
Latitude: 37.54267721 , **Longitude:** -77.39501954

Description

Land Type: Residential Lot B
Topology:
Front Size: 100
Rear Size: 100
Parcel Square Feet: 10000
Acreage: 0.23
Property Description 1: L15-18
Property Description 2: 0100.00X0100.00 0000.000
Subdivision Name : TUXEDO PARK
State Plane Coords(?): X= 11803252.430701 Y= 3722983.512090
Latitude: 37.54267721 , **Longitude:** -77.39501954

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2023	\$88,000	\$41,000	\$129,000	Reassessment
2022	\$59,000	\$39,000	\$98,000	Reassessment
2021	\$45,000	\$37,000	\$82,000	Reassessment
2020	\$30,000	\$36,000	\$66,000	Reassessment
2019	\$20,000	\$30,000	\$50,000	Reassessment
2018	\$20,000	\$28,000	\$48,000	Reassessment
2017	\$20,000	\$28,000	\$48,000	Reassessment
2016	\$20,000	\$28,000	\$48,000	Reassessment
2015	\$19,000	\$14,000	\$33,000	Reassessment
2014	\$19,000	\$14,000	\$33,000	Reassessment
2013	\$19,000	\$14,000	\$33,000	Reassessment
2012	\$19,000	\$15,000	\$34,000	Reassessment
2011	\$19,000	\$16,000	\$35,000	CarryOver
2010	\$19,000	\$16,000	\$35,000	Reassessment
2009	\$19,000	\$16,000	\$35,000	Reassessment
2008	\$19,000	\$16,000	\$35,000	Reassessment
2007	\$18,000	\$15,500	\$33,500	Reassessment
2006	\$15,300	\$15,500	\$30,800	Reassessment
2005	\$9,800	\$12,300	\$22,100	Reassessment
2004	\$7,800	\$9,800	\$17,600	Reassessment
2003	\$8,200	\$10,300	\$18,500	Reassessment
2002	\$8,000	\$10,000	\$18,000	Reassessment
1998	\$8,000	\$10,000	\$18,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
06/30/2009	\$11,000	F & M INVESTMENTS INC	ID2009-14129	2 - INVALID SALE-DO NOT USE
06/11/2001	\$0	MORRIS GEORGE L	ID2001-14813	
07/29/1999	\$17,000	POMPHAY VERONICA S	ID9900-21222	
01/22/1998	\$0	Not Available	09800-1880	

Planning

Master Plan Future Land Use: NH-MU
Zoning District: R-5 - Residential (Single Family)
Planning District: East
Traffic Zone: 1061
City Neighborhood Code: CRGT
City Neighborhood Name: Creighton
Civic Code:
Civic Association Name:
Subdivision Name: TUXEDO PARK
City Old and Historic District:
National historic District:
Neighborhoods in Bloom:
Redevelopment Conservation Area: Woodville/Creighton Conservation Area

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	1002	0209001	020900
1990	901	0209009	020900

Schools

Elementary School: Marsh
Middle School: Martin Luther King Jr
High School: Armstrong

Public Safety

Police Precinct: 1
Police Sector: 111
Fire District: 11
Dispatch Zone: 109A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Thursday
Bulk Collection: TBD

Government Districts

Council District: 7
Voter Precinct: 703
State House District: 79
State Senate District: 14
Congressional District: 4

Extension 1 Details

Extension Name: R01 - Residential record #01
Year Built: 1910
Stories: 1
Units: 0
Number Of Rooms: 5
Number Of Bed Rooms: 3
Number Of Full Baths: 1
Number Of Half Baths: 0
Condition: fair for age
Foundation Type: Full Crawl
1st Predominant Exterior: Alum/Vinyl
2nd Predominant Exterior: N/A
Roof Style: Flat or Shed
Roof Material: Metal
Interior Wall: Plaster
Floor Finish: Softwood-standard
Heating Type: Heat pump
Central Air: Y
Basement Garage Car #: 0
Fireplace: N
Building Description (Out Building and Yard Items) :

Extension 1 Dimensions

Finished Living Area: 744 Sqft
Attic: 0 Sqft
Finished Attic: 0 Sqft
Basement: 0 Sqft
Finished Basement: 0 Sqft
Attached Garage: 0 Sqft
Detached Garage: 0 Sqft
Attached Carport: 0 Sqft
Enclosed Porch: 0 Sqft
Open Porch: 85 Sqft
Deck: 0 Sqft

Property Images

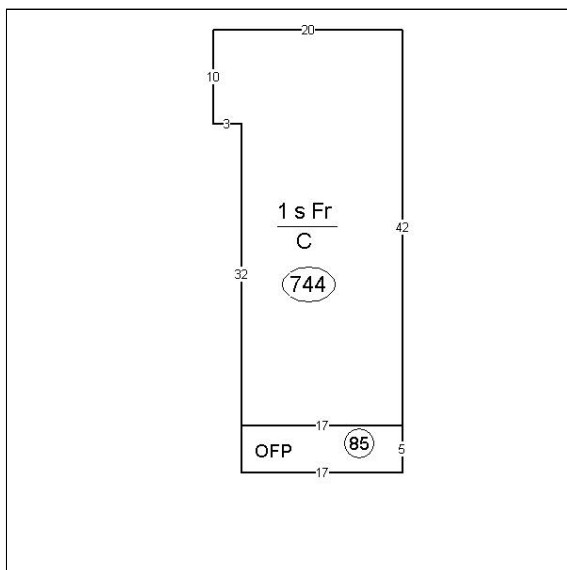
Name:E0003313011 Desc:R01



[Click here for Larger Image](#)

Sketch Images

Name:E0003313011 Desc:R01



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY OWNER: Asset Properties LLC PHONE: (Home): () _____ (Mobile) (804) 256-8300
ADDRESS 4929 Nine Mile Road FAX: () _____ (Work) () _____
Richmond, Virginia 23229 E-mail Address: _____

PROPERTY OWNER'S

REPRESENTATIVE: Dawoud Adeyola PHONE: (Home) () _____ (Mobile) (804) 256-8300
(Name/Address) 4929 Nine Mile Road FAX: () _____ (Work) () _____
Richmond, Virginia 23229 E-mail Address: dadeyola@gmail.com

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 3304 Tuxedo Boulevard

TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-410.4

APPLICATION REQUIRED FOR: A lot split and a building permit to construct a new single-family detached dwelling.

TAX PARCEL NUMBER(S): E000-3313/011 ZONING DISTRICT: R-5 (Single-Family Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The lot area requirement is not met. Lot areas of six thousand square feet (6,000 SF) are required. For zoning purposes, one (1) lot having a lot area of 10,000 square feet currently exists; lot areas of 5,000 square feet are proposed for #3302 & 3304.

DATE REQUEST DISAPPROVED: July 18, 2023

FEE WAIVER: YES ☐ NO: ☒

DATE FILED: July 14, 2023 TIME FILED: 8:00 a.m. PREPARED BY: David Duckhardt RECEIPT NO. BZAR-132755-2023

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND

SECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]

SECTION 1040.3 PARAGRAPH(S) (2) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter ☒

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature]

DATE: 7/26/23

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 32-2023 HEARING DATE: September 6, 2023 AT 1:00 P.M.

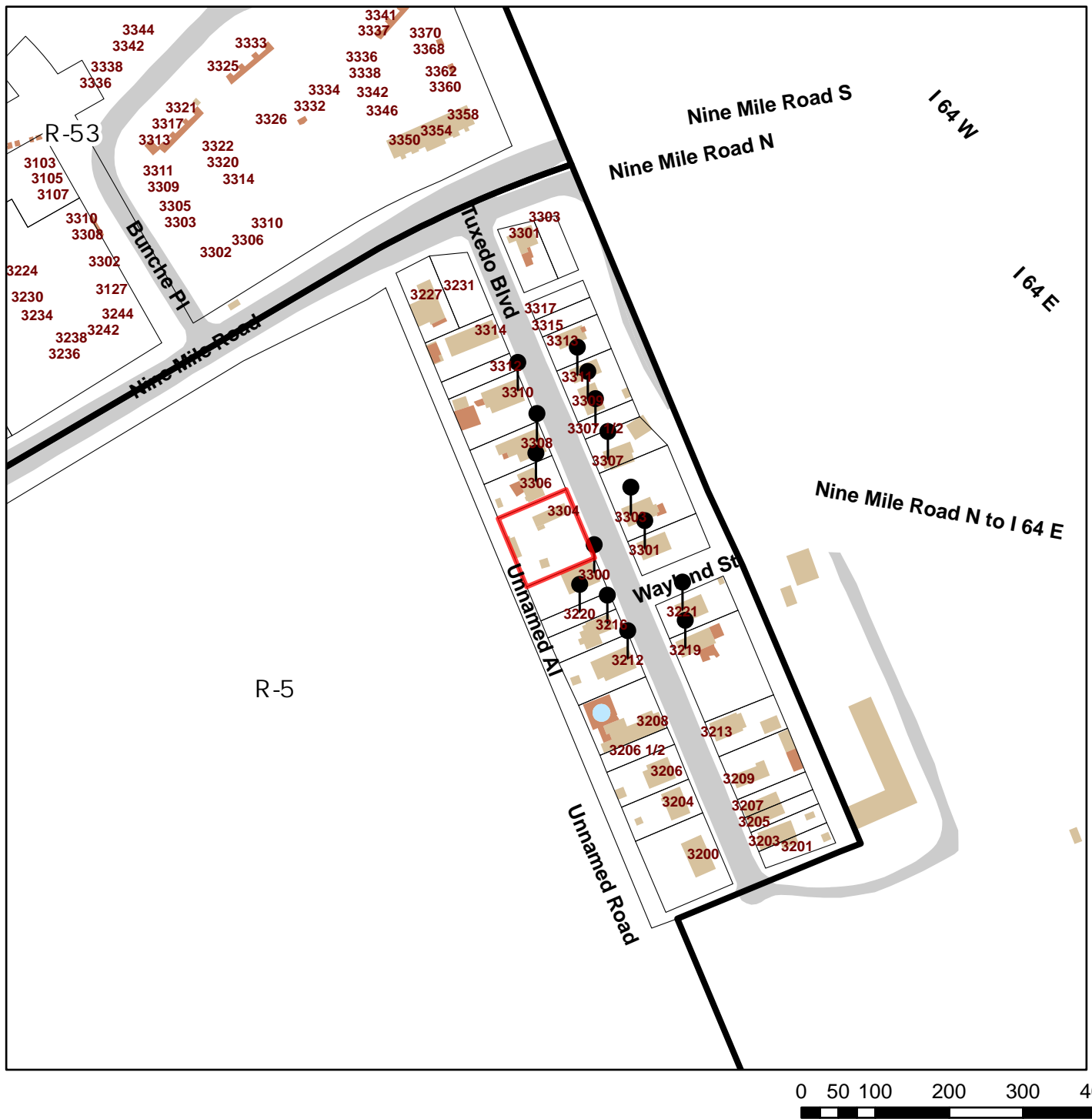
BOARD OF ZONING APPEALS CASE BZA 32-2023
150' Buffer

APPLICANT(S): Asset Properties LLC

PREMISES: 3304 Tuxedo Boulevard
(Tax Parcel Number E000-3313/011)

SUBJECT: A lot split and building permit to construct a new single-family (detached) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-408.5(1) & 30-408.6
of the Zoning Ordinance for the reason that:
The lot area requirement is not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340/6701). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained here. Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a \$175.00 continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

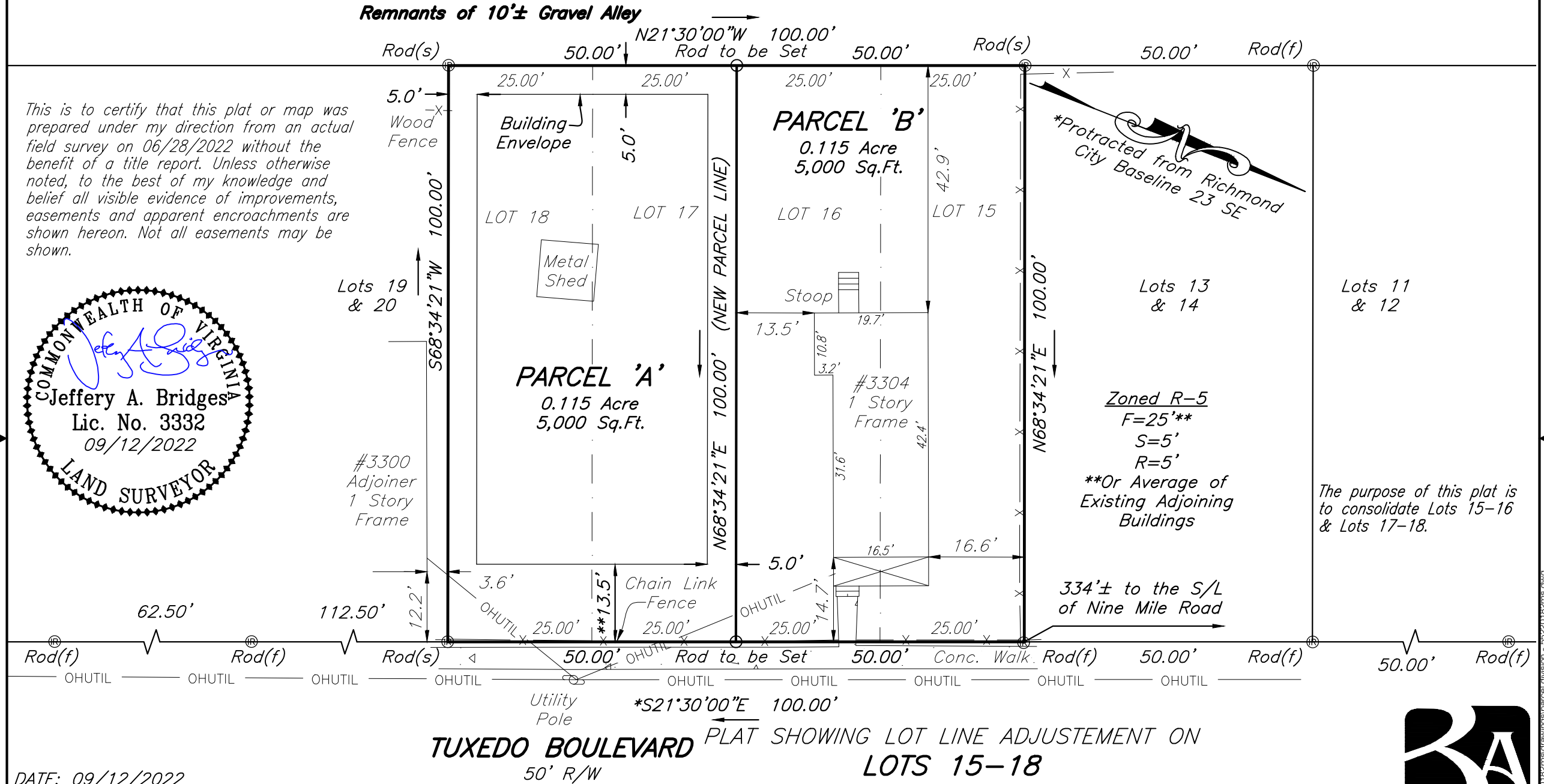
4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent:

A handwritten signature in black ink, appearing to read "David D. F. Jh", written over a horizontal line.

Revised: November 4, 2020

The seal is circular with a black border. The text "COMMONWEALTH OF VIRGINIA" is written in a semi-circle along the top. In the center, there is a blue ink signature of "Jeffery A. Bridges". Below the signature, the text "Jeffery A. Bridges" is printed in a serif font. Underneath that, "Lic. No. 3332" is printed. Below the license number, the date "09/12/2022" is printed. Along the bottom, the text "LAND SURVEYOR" is written in a semi-circle.



Current Owner(s):
Asset Properties, LLC.
PID: E000-3313/011
ID: 0900-14129

TUXEDO BOULEVARD
50' R/W

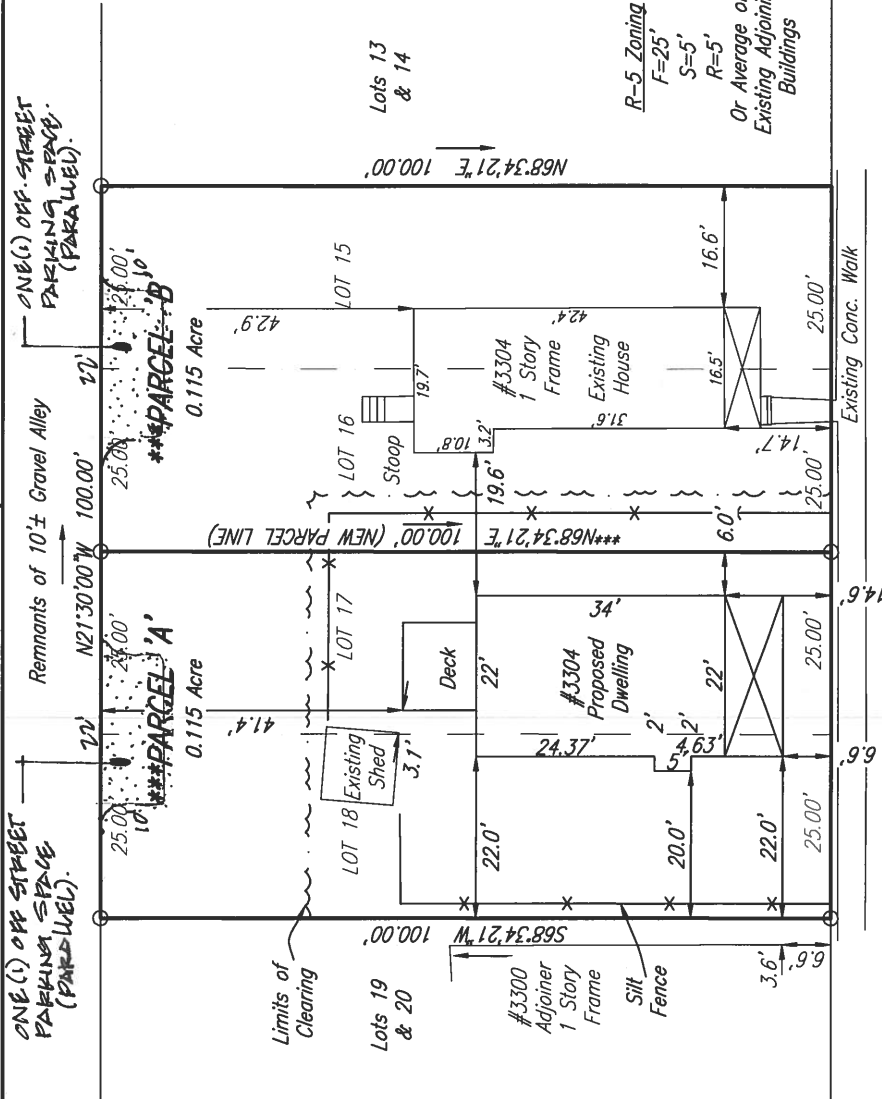
PLAT SHOWING LOT LINE ADJUSTEMENT ON
LOTS 15-18
TUXEDO PARK

CITY OF RICHMOND, VIRGINIA
PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
 ROANOKE / RICHMOND / NEW RIVER VALLEY / SHENANDOAH VALLEY
 15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.cc



The purpose of this plat is to consolidate Lots 15-16 & Lots 17-18.

SAR-011761-07700 10010101011761-0770001010106177



*PROTRACTED FROM RICHMOND
CITY BASELINE 23 SE
(UNRECORDED)

1. The intent of this plat is to show the location of a proposed dwelling for building permit purposes and is not intended to represent an actual field survey.
2. This plat is compiled from plats of record and without the benefit of a title report. No improvements and not all easements may be shown.
3. Contours and elevations are unregulated topographic information obtained from Construction Plans and is for general information only. Topographic information should be field verified and certified by an appropriate professional prior to its use in the design, modification or construction of improvements or flood plain determination.
4. Utility and drainage structures are general information obtained from Construction Plans and should be field verified.
5. Silt Fence, Limits of Clearing, Drive and Stone Construction Entrance as shown are approximate and should be adjusted per field conditions or as directed by the County Inspector.

R-5 Zoning
F=25'
S=5'
R=5'
Or Average of Existing Adjoining Buildings

***As Shown on Unrecorded Plat Showing Lot Line Adjustments on Lots 15-18 Per Balzer & Associates Dated 09/12/2022 Protracted from Richmond City

TUXEDO BOULEVARD
50' R/W

PROPOSED IMPROVEMENTS ON
***PARCEL 'A'
TUXEDO PARK
CITY OF RICHMOND, VIRGINIA

DATE: 07/10/2023
SCALE: 1"=20'
JOB NO.: 55230877.HS
DRAWN BY: RLW
CHECKED BY: JAB



PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / SHENANDOAH VALLEY
15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.cc

Sheet	O 1 Cover
	Drawing Index
Sheet	O 2 Crawl Foundation
	Crawl Foundation Plan
	_Fdn8b1k
	_F11b1k8-4
	_crawl notes
	_ledgerb1k8-4
Sheet	O 3 Floor Plans
	Floor 1 Plan
	Floor 2 Plan
Sheet	O 4 Elevations
	Door List RT
	Front Elevation
	Right Side Elevation
	Window List RT
Sheet	O 5 Elevations
	Left Side Elevation
	Rear Elevation
	_porch3_5EaveDn18
Sheet	O 6 Details
	-eaveSid9box18-4
	-porch8"col
	-rakeAttic12boxed
	Building Section
	_insulation chart
Sheet	O 7 Electrical
	Electrical 1 Floor Plan
	Electrical 2 Floor Plan
	Kitchen Cabinets
	Kitchen Cabinets
	Kitchen Cabinets
	Roof Plan

#2 southern yellow pine (# 1 syp) floor joist				
		12" o.c.	16"o.c.	24"o.c.
40 psf live load	2x10	16'-2" @#2 (18'-0" @#1)	14'-0" @#2 (16'-1" @#1)	11'-5" @#2 (13'-3" @#1)
10 psf dead load (all rooms except sleeping)	2x12	14'-1" @#2 (21'-11" @#1)	16'-6" @#2 (118'-1" @#1)	13'-6" @#2 (135'-7" @#1)
30 psf live load	2x10	18'-1" @#2 (14'-10" @#1)	15'-8" @#2 (18'-0" @#1)	12'-10" @#2 (14'-8" @#1)
10 psf dead load (sleeping rooms @ L/360)	2x12	21'-4" @#2 (24'-2" @#1)	18'-6" @#2 (21'-4" @#1)	15'-1" @#2 (17'-5" @#1)
ceiling joist				
(GWB ceiling @ 10 psf dead load L/240)	2x6	13'-11" @#2 (15'-6" @#1)	12'-0" @#2 (14'-0" @#1)	9'-10" @#2 (11'-5" @#1)
	2x8	17'-7" @#2 (20'-5" @#1)	15'-3" @#2 (17'-4" @#1)	12'-6" @#2 (14'-6" @#1)
rafters				
20 psf live load	2x6	15'-7"	13'-6"	12'-3"
10 psf dead load	2x8	14'-8"	17'-1"	15'-7"
30 psf live load	2x6	12'-11"	11'-2"	9'-2"
10 psf dead load	2x8	16'-4"	14'-2"	11'-7"
50 psf live load	2x6	10'-6"	9'-2"	7'-5"
10 psf dead load (slope over 3/12 no finished clg @ L/240)	2x8	13'-4"	11'-7"	9'-5"
#2 S-P-F (spruce-pine-fir)				
floor joist				
		12" o.c.	16"o.c.	24"o.c.
40 psf live load	2x10	17'-3"	15'-5"	12'-7"
10 psf dead load (all rooms except sleeping)	2x12	20'-7"	17'-10"	14'-7"
30 psf live load	2x10	14'-0"	17'-2"	14'-1"
10 psf dead load (sleeping rooms @ L/360)	2x12	23'-0"	14'-11"	16'-3"
ceiling joist				
(GWB ceiling @ 10 psf dead load L/240)	2x6	14'-4"	12'-10"	10'-6"
	2x8	18'-4"	16'-3"	13'-3"
	2x10	22'-11"	14'-10"	16'-3"
rafters				
20 psf live load	2x6	16'-3"	14'-4"	11'-4"
10 psf dead load	2x8	21'-0"	18'-2"	14'-10"
30 psf live load	2x6	13'-4"	11'-11"	14'-4"
10 psf dead load	2x8	17'-5"	15'-1"	12'-4"
50 psf live load	2x6	11'-3"	9'-4"	7'-11"
10 psf dead load (slope over 3/12 no finished clg @ L/180)	2x8	14'-3"	12'-4"	10'-1"

2015 IRC and the 2018 NRC

abbreviations

c.j	ceiling joist
clg	ceiling
CMU	concrete masonry unit
C.O	cased opening
conc.	concrete
CT.	ceramic tile
dbl.	double
dj	double joist
ew.	each way
f.j	floor joist
ftg.	footing
HVAC	heating/ventilating/air conditioning
jst.	joist
LVL	laminated veneer lumber - ie. Parallam
mech.	mechanical
mil	.001 inch
min.	minimum
N.T.S.	not to scale
oc	on center
pc	pull cord
pt.	pressure treated
psf	pounds per square foot
R/A	return air
reqd.	required
reinf.	reinforcing
Rm.	room
ro.	rough opening
sf	square feet
syp	southern yellow pine
shw.	shower
T&G	tongue and groove
vif	verify in field
W.H.	water heater
WWM	welded wire mesh
yp	yellow pine

The Small Print - These house plans are not licensed to anyone other than the party listed on each sheet. They are not transferable to any builder, or subcontractor who is hired to build the house, nor their friends nor their family. If any modifications are made to these plans with a PDF editor, they must include the persons name who is changing these plans, and the date of the changes. If the type font anywhere on these drawings is different than 'this', it has been altered. PDF's are now the industry standard. I appreciate the plan reviewers who have given me feedback on this issue. I try to provide very good house plans and they are very reasonably and fairly priced. I am happy to sell them, and appreciate those who do not steal them, but rather purchase them legally. Thank you, Rick Thompson

Thank you for your purchase of these house plans.

These plans are designed to conform to the 2015 IRC and the 2018 NRC including local state amendments. National and local building codes vary with location and change from time to time. Therefore it is impossible to warrant compliance to your specific location. It is the responsibility of the purchaser and/or the builder to adapt these plans to the requirements of the individual locale.

Structural Notes

These plans are designed for roof loads of 20 psf live load and 10 psi dead load. The chart to the left can be used to adjust for different requirements. All beams are labeled 'LVL' and should be sized locally. Roof loads can vary and have a big impact on the beams carrying accumulated loads. Most Lumber suppliers can have this engineered for their product.

Wall Header Notes

Headers 3' or less to be 2-2x6 with 1 jack each side
Headers 4' - 6' to be 2-2x8 with 2 jacks on each side
Beams 4' to 6' to be 2-2x12 with 2 jacks on each side
or 3" min bearing and footing under point loads.

Wall bracing notes

Continuous 7/16" osh sheathing - typical

Wall bracing shall be in accordance to IRC/NRC Section 602.10.3. The required length of bracing for each side of a rectangle circumscribed around the plan or a portion of the plan at each story level shall be determined using Table R602.10.3 and Figure R602.10.3(1). The cumulative contributing length of braced wall panels assigned to a rectangle side shall be greater than or equal to the required length of bracing specified in Table R602.10.3. The following additional requirements shall apply.

Limitations - The continuous sheathing requirements of Section R602.10.3 shall be limited to bracing method CS-WSP in accordance with Table R602.10.1 with the following conditions of use:

1. Basic design wind speed shall not exceed 115 mph.
2. Wall height at each story level shall not exceed 12 feet.
3. Eave to ridge height shall not exceed 20 feet.
4. Exterior walls shall be sheathed on all sheathable surfaces including Infill areas between braced wall panels, above and below wall openings, and on gable end walls.
5. Except when used for the interior side of exterior walls and both sides of interior walls shall be sheathed continuously with minimum 1/2-inch-thick gypsum wall board interior finish fastened in accordance with Table R702.3.5, or approved interior finish of equivalent or greater shear resistance unless required for fire separation by Section R302.6, gypsum board shall be permitted to be omitted where the required length of bracing as determined in Table R602.10.3, is multiplied by 1.40.
6. Floors shall not cantilever more than 24 inches (607 mm) beyond the foundation or bearing wall below.

Requirements - The required length of bracing for each side of a rectangle circumscribed around the plan or a portion of the plan at each story level shall be determined using Table R602.10.3 and Figure R602.10.3(1). The cumulative contributing length of braced wall panels assigned to a rectangle side shall be greater than or equal to the required length of bracing specified in Table R602.10.3. The following additional requirements shall apply.

1. Braced wall panels on exterior or interior walls shall be assigned to the nearest rectangle side as shown in Figure R602.10.3(2) for each story level floor plan.
2. Braced wall panels shall be distributed and installed in accordance with Figure R602.10.3(3).
3. A minimum of one-half the required bracing amount for each rectangle side should be located on exterior walls within 8 feet of the location of the rectangle side.
4. Interior braced wall panels using Method GB shall be assigned to the closest parallel rectangle side and shall contribute 0.5 times their actual length. The narrowest width of braced wall panels allowed for GB is 48", and the 0.5 accounts for GB being half the strength of other methods except LTB.
5. The bracing amount provided on an upper story building side shall be deemed to comply where it equals or exceeds the amount of bracing required for the story immediately below.
6. Where the bracing amount provided on an upper story equals or exceeds the amount of bracing required for the story below, an angle of bracing shall not be required for the upper story.
7. CS-WSP Continuous sheathed WSP method to have - Minimum braced material thickness or size 7/16". Minimum brac panel length or brace angle 24" adjacent to window not more than 6 1/4" of wall height; 30" adjacent to door or window greater than 6 1/4" and less than 8 5/8" of wall height; 48" for taller openings. Fasteners Ed common nail or Ed (2 1/2" long x 0.113" diameter) nails. See table R602.3(3). Space 6" edges and 12" field.

General Notes

- Square footages are for heated floor areas. This does not include fireplace projection or vaulted space. Stairs are counted on the main floor only.

- Dimensions are from the face of the stud wall. Contractor to verify all dimensions and please contact us if an error is present..

- All footings shall be on firm undisturbed soil of no less than 2000 psf and be below frost depth. The exact size and reinforcement of concrete footings must be determined by local soil conditions.

- HVAC design to be sized according to the local climate conditions including compass direction.

Energy Notes

- Caulk all exterior toe plates with latex caulk.

- Caulk all wire and pipe holes where they penetrate all upper and lower exterior plates.

- Use blown-in wall insulation if at all possible. If batt insulation is used pack behind all electrical boxes.

- Seal all joints in HVAC ducts, with leakage no more than 3%. Three inch fiber mesh tape should be used on all collar to plenum connections and all gaps that are 1/4" or wider. Insulate ducts with R-6.5 or greater.

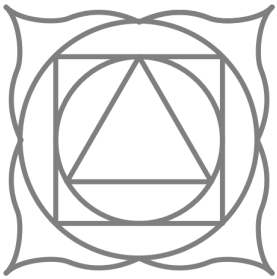
- Foam insulate between all exterior window and door edges and rough opening frame. Use non-expanding foam.

- Provide back draft damper on kitchen hood vent, dryer vent, and bathroom vents.

- Insulate all hot water pipes.

- Install wrap kit on water heater.

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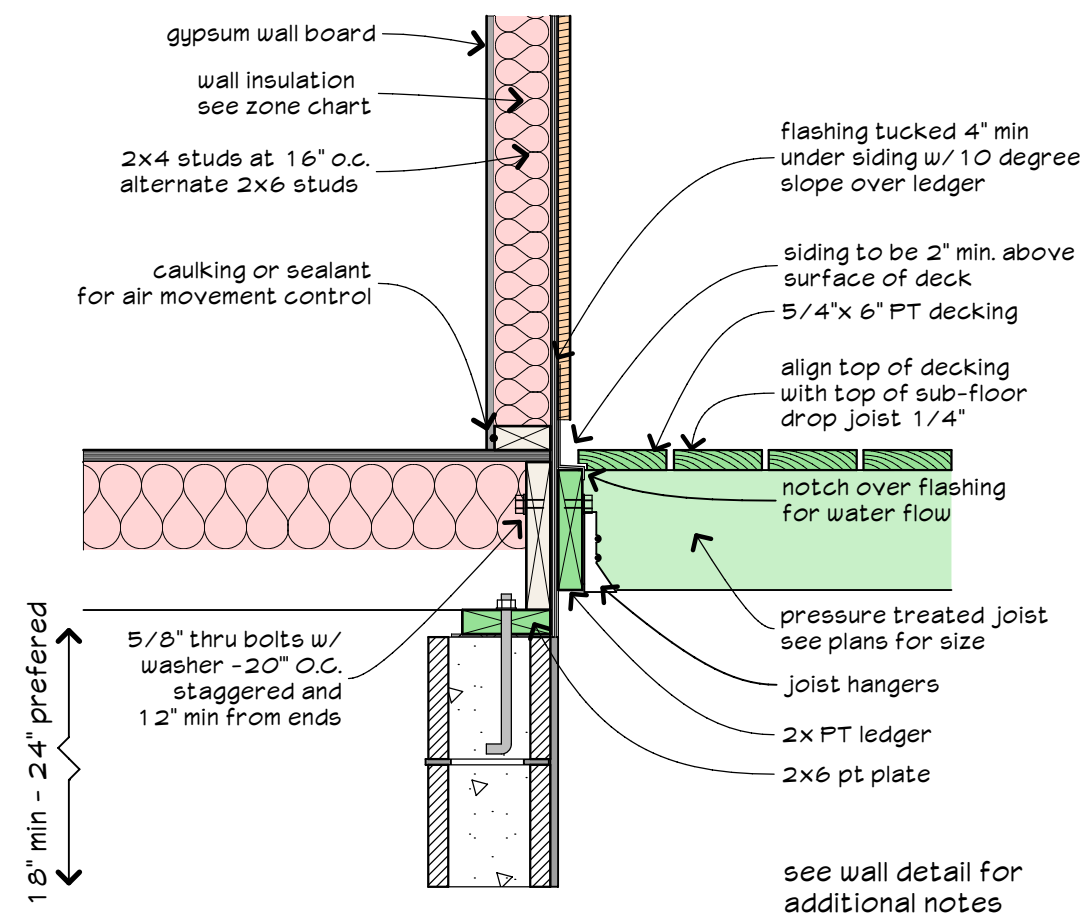
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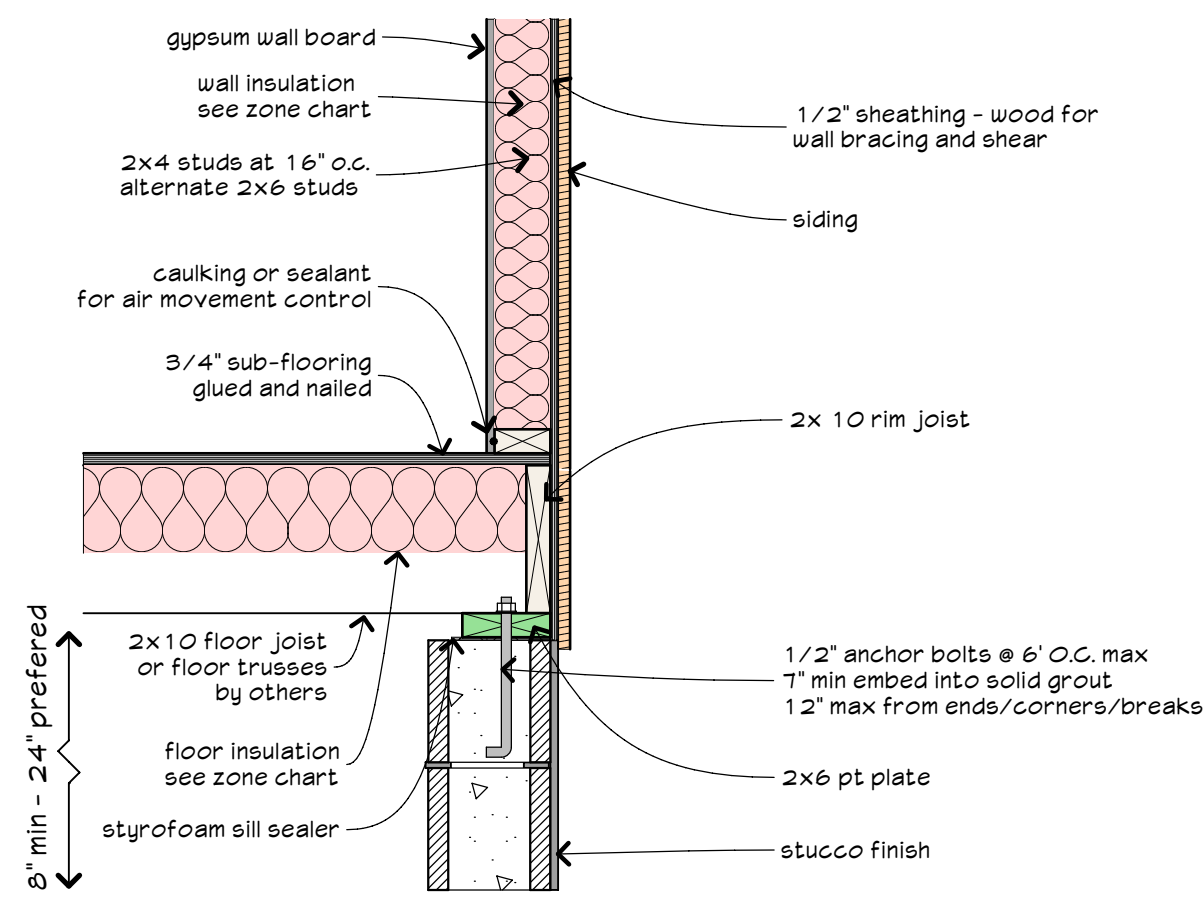


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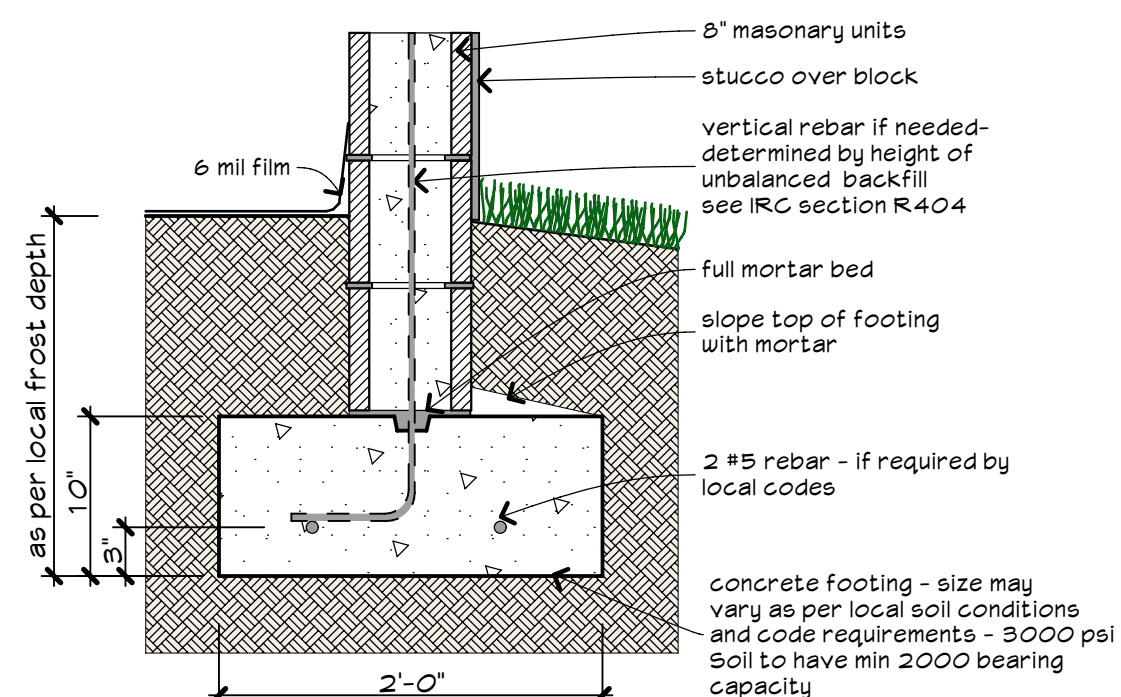
Plan 1403D



W5 Wall detail FI 1
scale 1"= 1'-0"



W1 Wall detail FI 1
scale 1"= 1'-0"



F4 Foundation - block wall
scale 1"= 1'-0"

General crawl notes

Provide 18"x24" min. access door.
Location as per field conditions - side preferred.

Provide foundation vents not less than 1 sqft per 150 sqft under floor space. One vent within 3 feet of each corner. IRC - R408.1

Unvented where exposed earth is covered and and air supplied as per IRC - R409

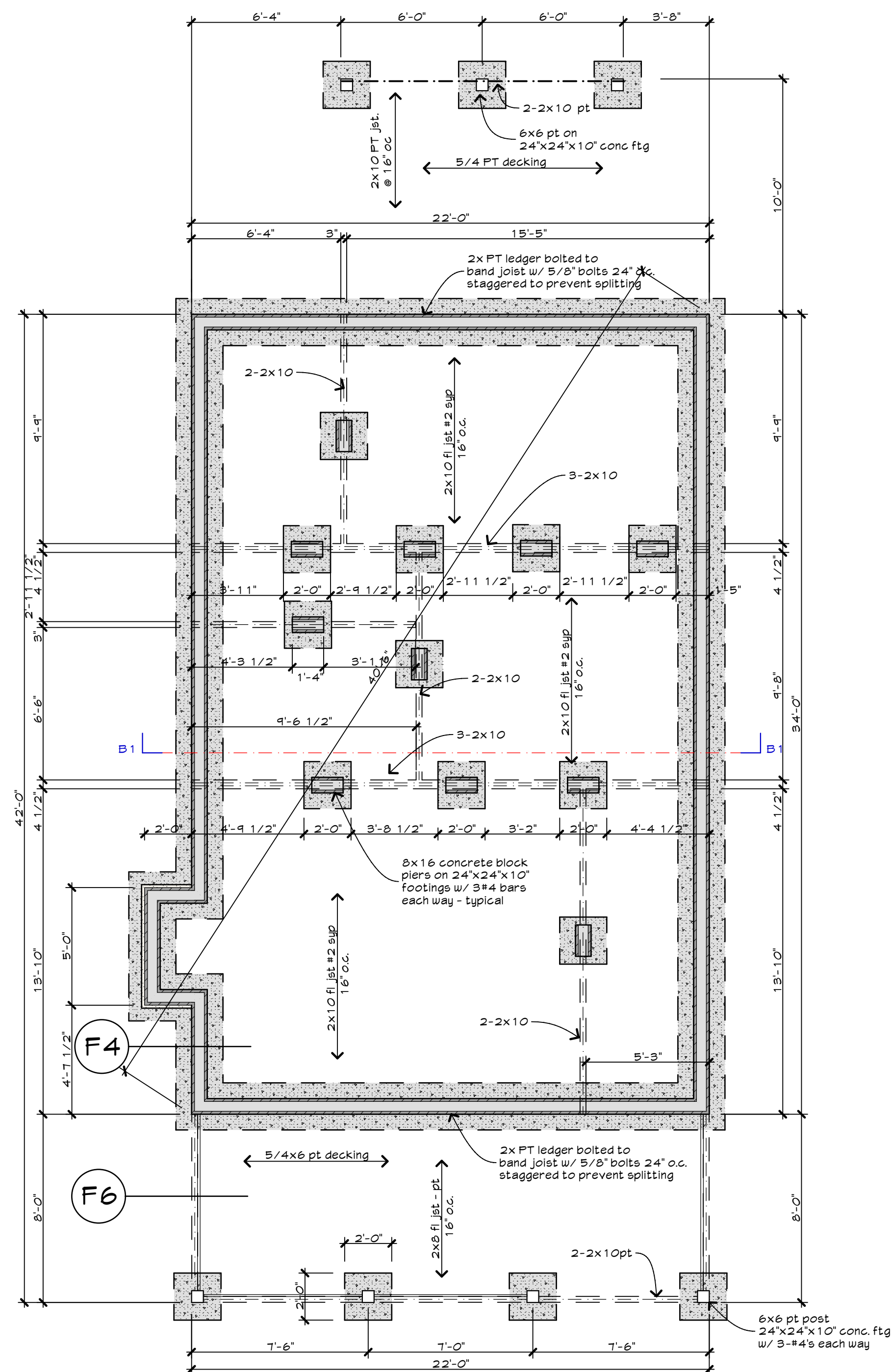
Fill piers solid with grout. Pier block size shown is minimum. May vary as per foundation height.

Pier spacing may vary dependant on local snow loads, soil bearing capacity and the use of roof trusses.

Footing sizes and reinforcement are assumed. Soil conditions vary and must be taken into account. Inspectors can allow builders to adjust the use of rebar and footing sizes as per local conditions.

Girders may be sized with LVL's to reduce piers. up size footing accordingly (30"x30"x10" min w/ 4-#4's each way) and 16"x16" filled piers. See separate drawing for LVL's

Separate double joist under plumbing walls 3 1/2"

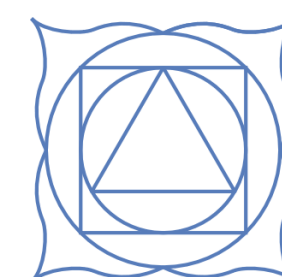


Crawl Foundation Plan
scale 1/4"= 1'-0"

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plan # 1403D



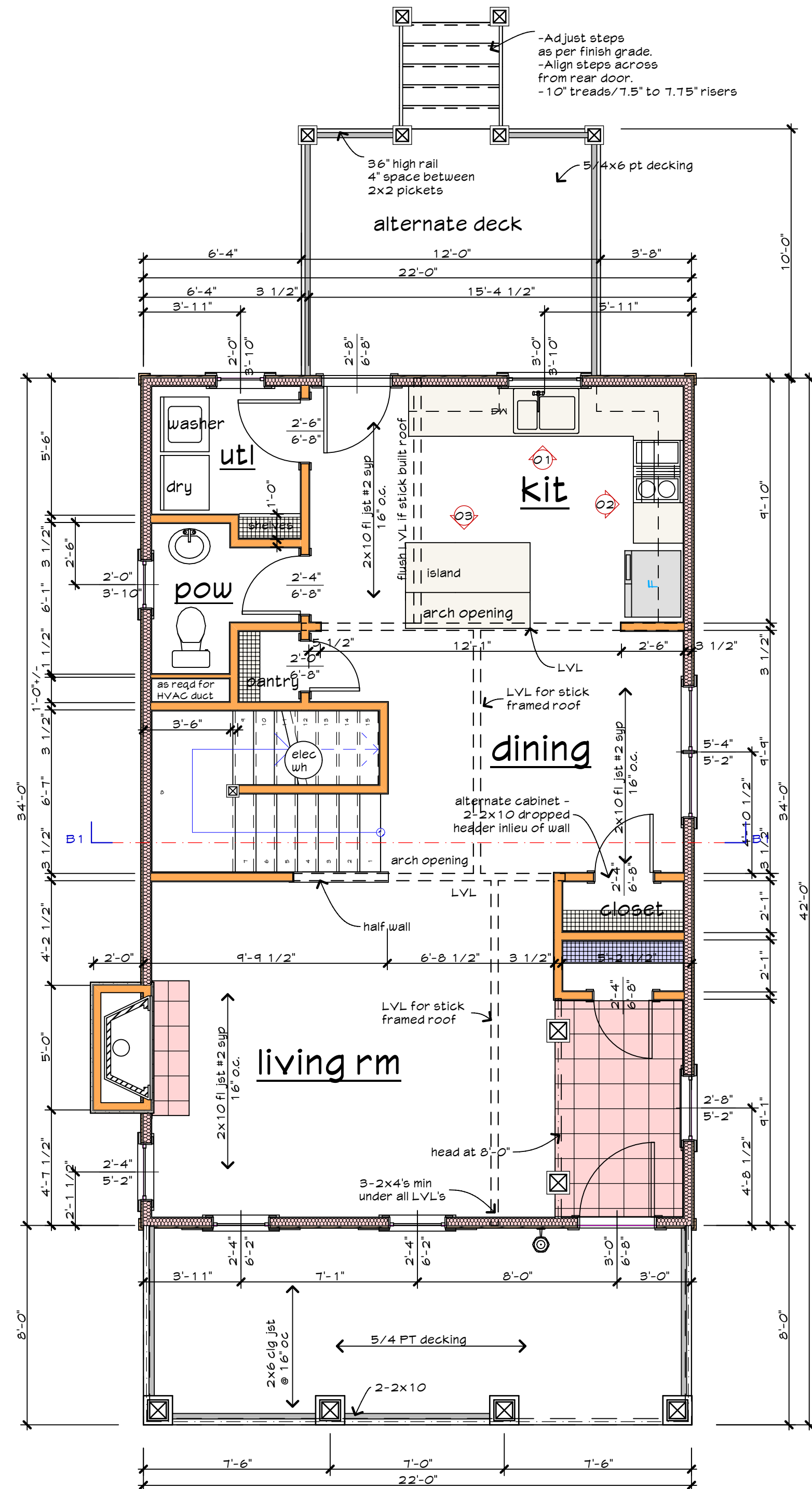
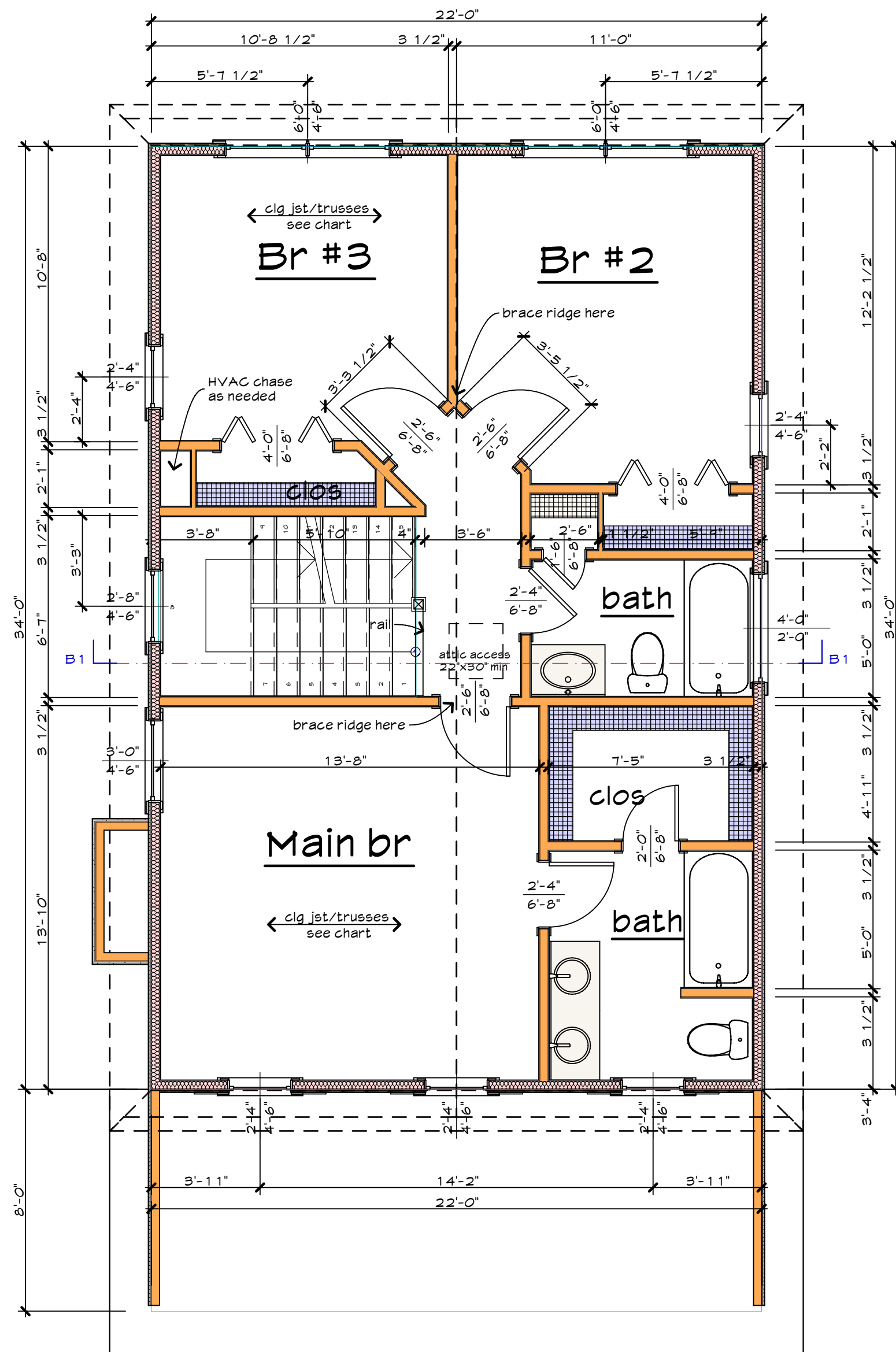
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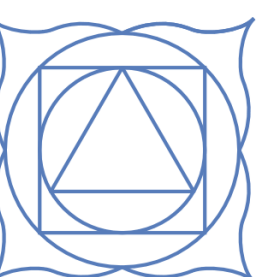
standard contract document



Floor 2 plan
 scale 1/4" = 1'-0"

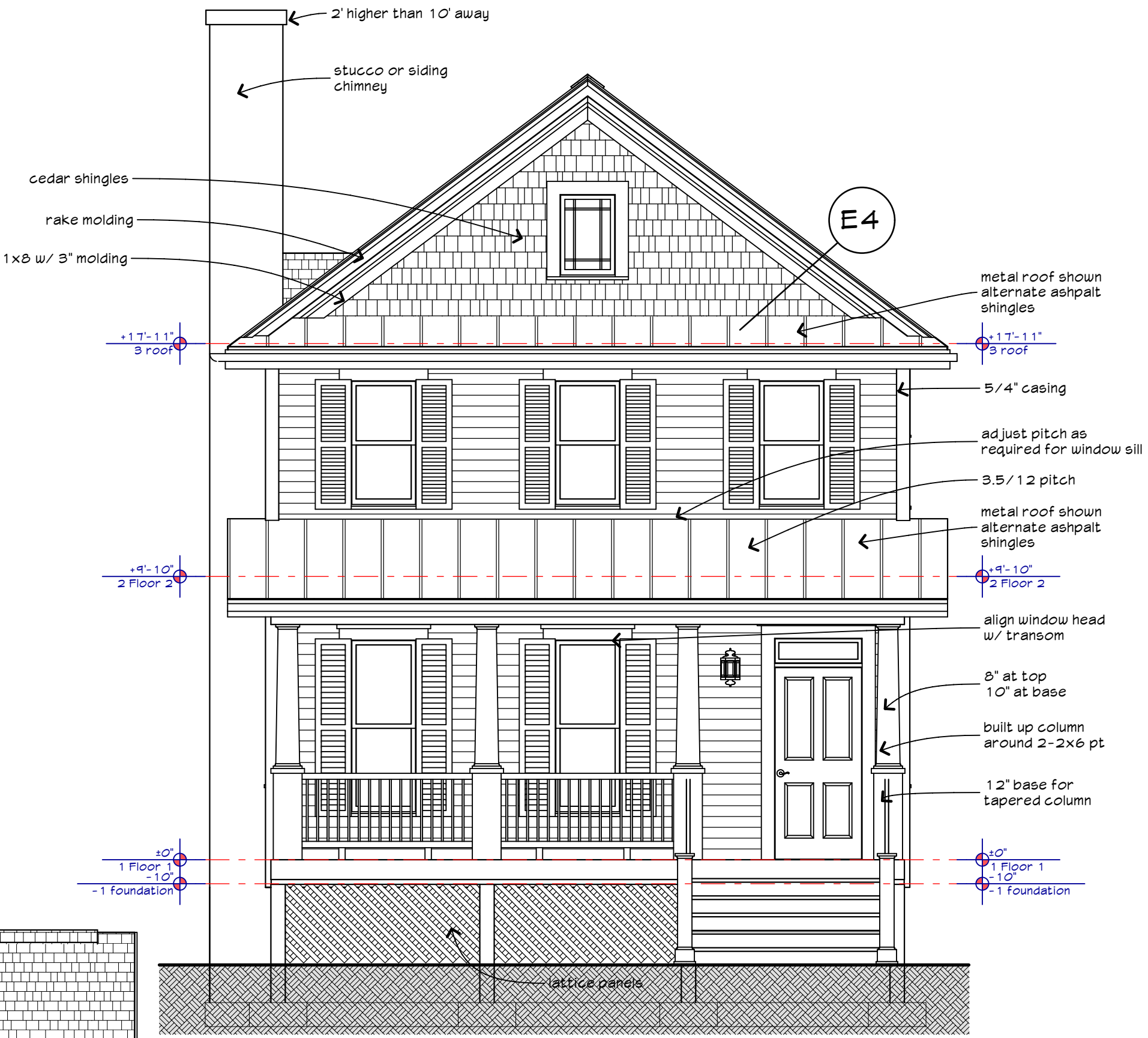
Floor 1 plan
 scale 1/4" = 1'-0"

Floor 1 plan	748 sq.ft.
Floor 2 plan	687 sq.ft.
total	1435 sq.ft.

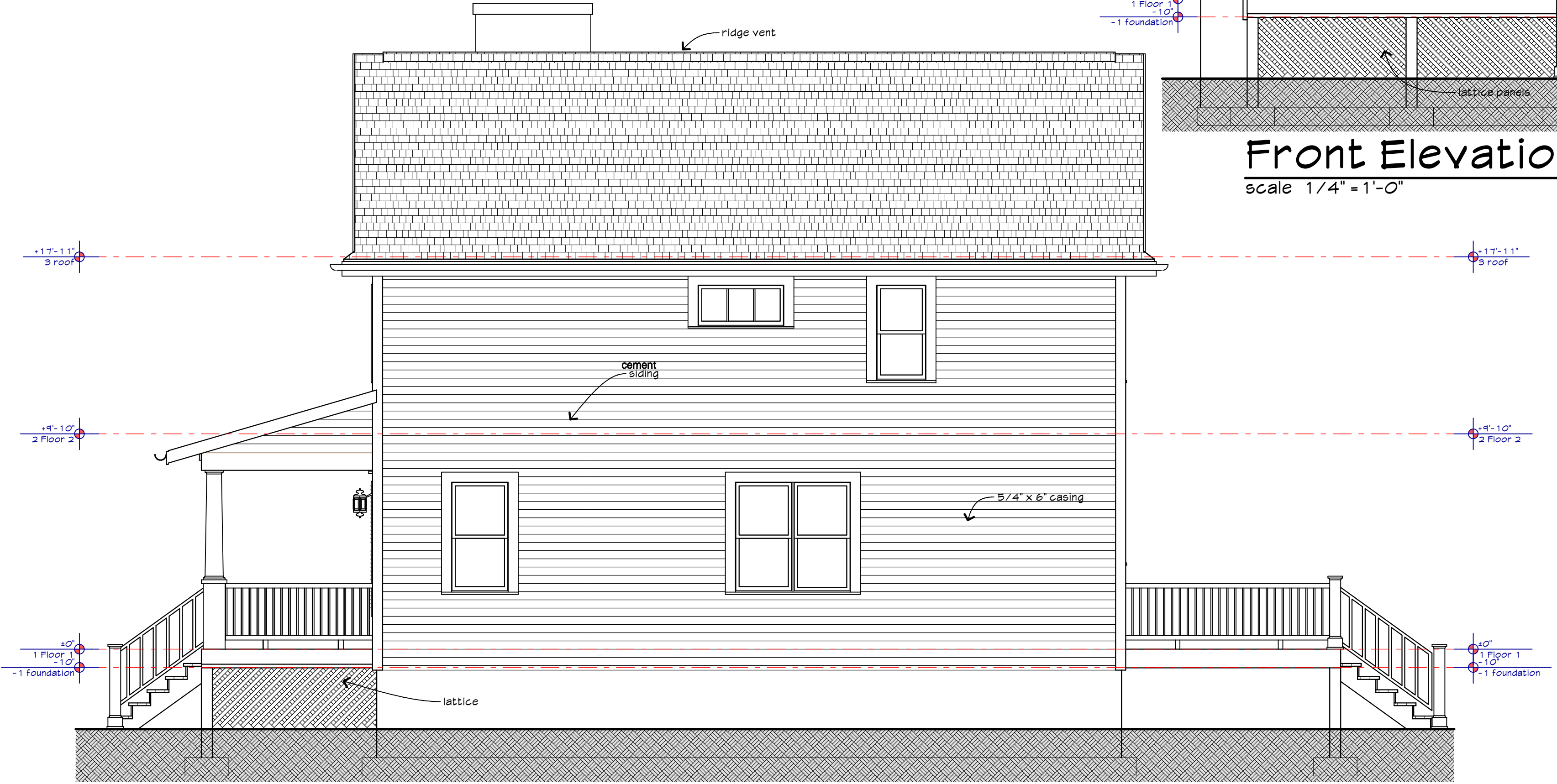


Door List				
Quantity	Width	Height	Type	Name
1	1'-6"	6'-8"	Interior	RDO2 Swing
1	2'-8"	6'-8"	Exterior	RDO1 Door ST
1	3'-0"	6'-8"	Exterior	RDO1 Door ST
2	2'-0"	6'-8"	Interior	RDO2 Swing
2	4'-0"	6'-8"	Interior	RDO5 Bifold
4	2'-6"	6'-8"	Interior	RDO2 Swing
5	2'-4"	6'-8"	Interior	RDO2 Swing
16				

Window List			
Quantity	W x H Size	ID	Window Type
1	2'-0"x3'-0"	Attic	RW1-1 Stationary
1	2'-4"x5'-2"	Single	RW1-4 Doublehung
1	2'-8"x4'-6"	Single	RW1-4 Doublehung
1	2'-8"x5'-2"	Single	RW1-4 Doublehung
1	3'-0"x3'-10"	Single	RW1-4 Doublehung
1	3'-0"x4'-6"	Single	RW1-4 Doublehung
1	4'-0"x2'-0"	Single	RW1-1 Stationary
1	5'-4"x5'-2"	Twin	RW1-4 Doublehung
2	2'-0"x3'-10"	Single	RW1-4 Doublehung
2	2'-4"x6'-2"	Single	RW1-4 Doublehung
2	6'-0"x4'-6"	Twin	RW1-4 Doublehung
5	2'-4"x4'-6"	Single	RW1-4 Doublehung
19			



Front Elevation
scale 1/4" = 1'-0"

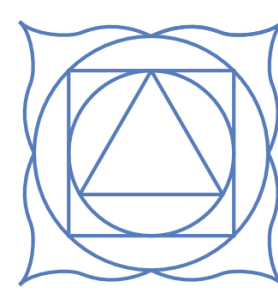


Right Side Elevation
scale 1/4" = 1'-0"

standard contract document

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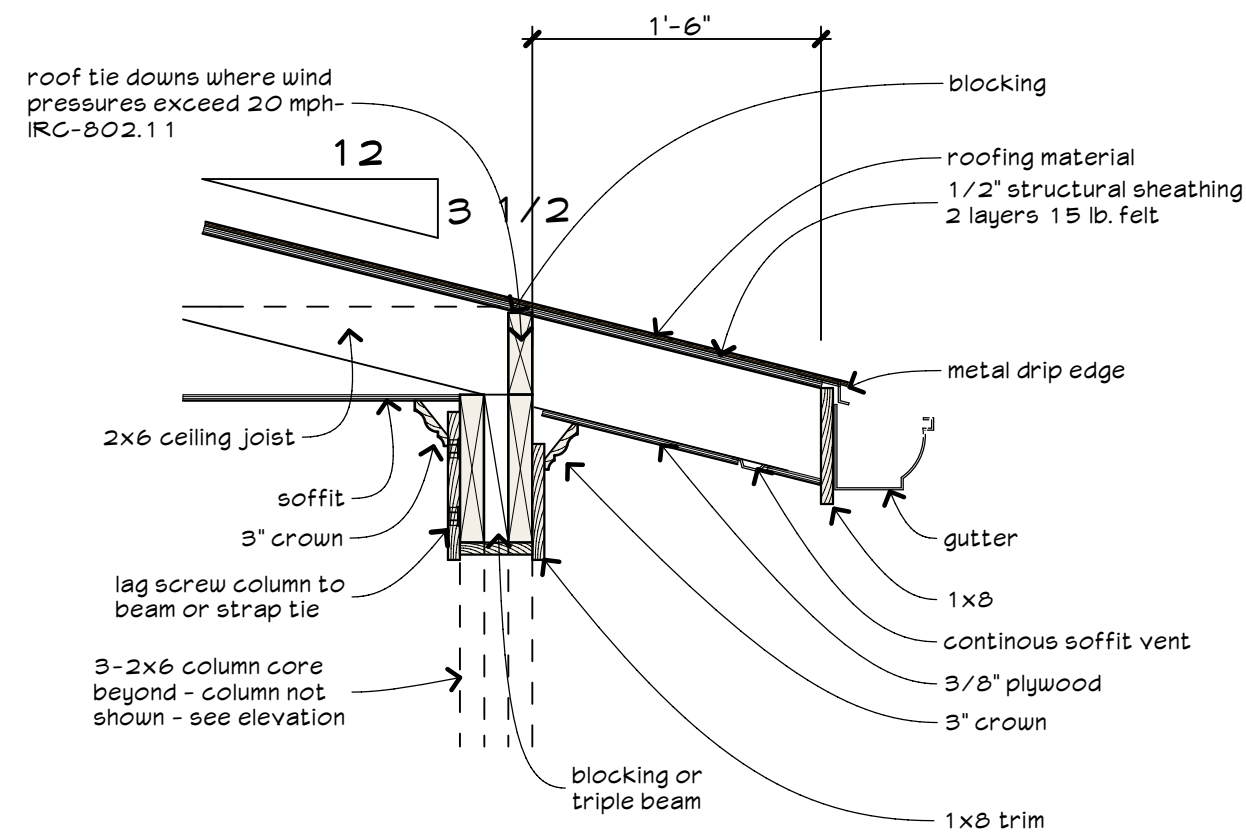
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All Federal, State and local codes shall be considered as a part of these documents, and shall take preference over anything shown or implied if differences arise.

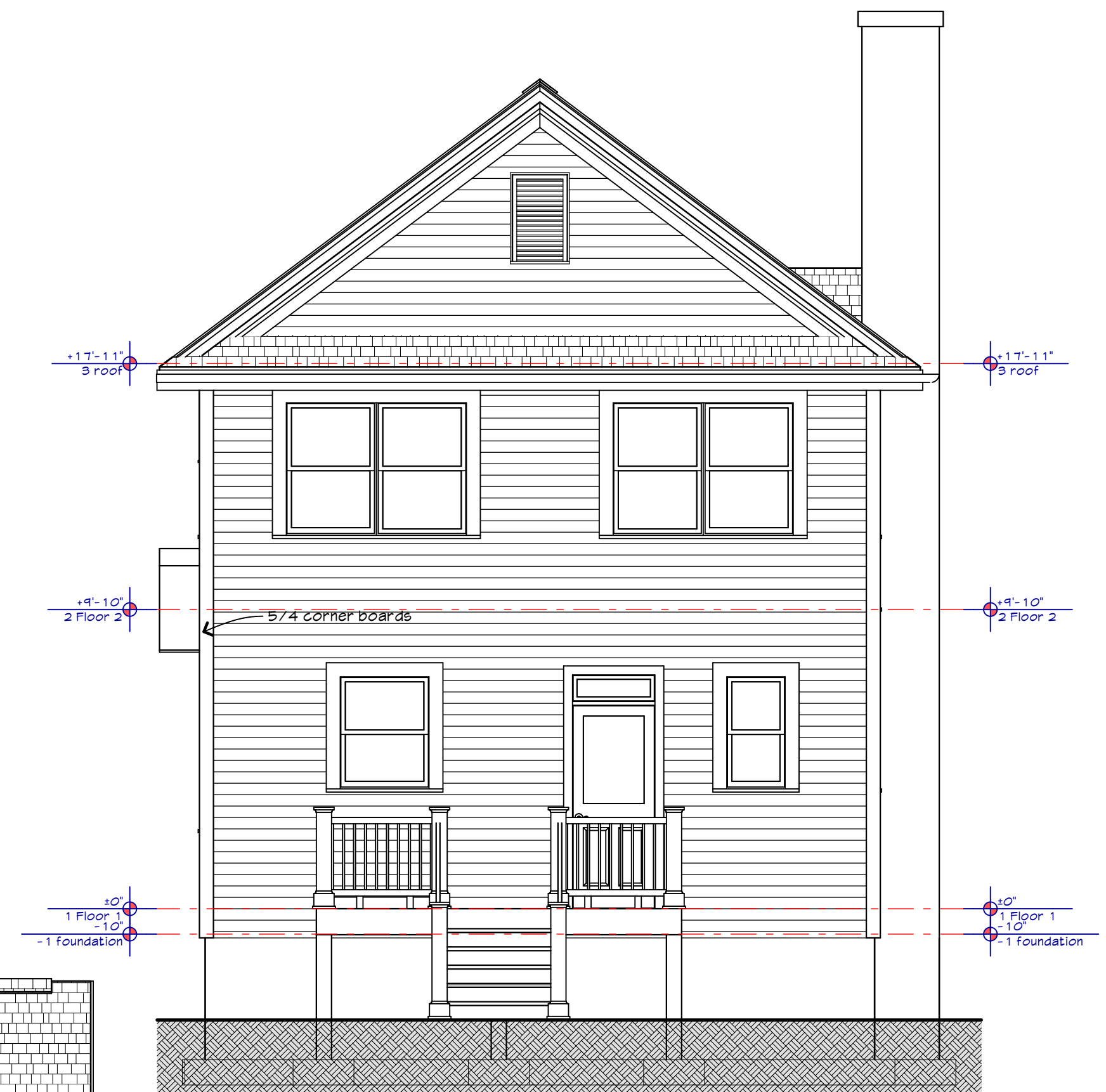
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plan # 1403D

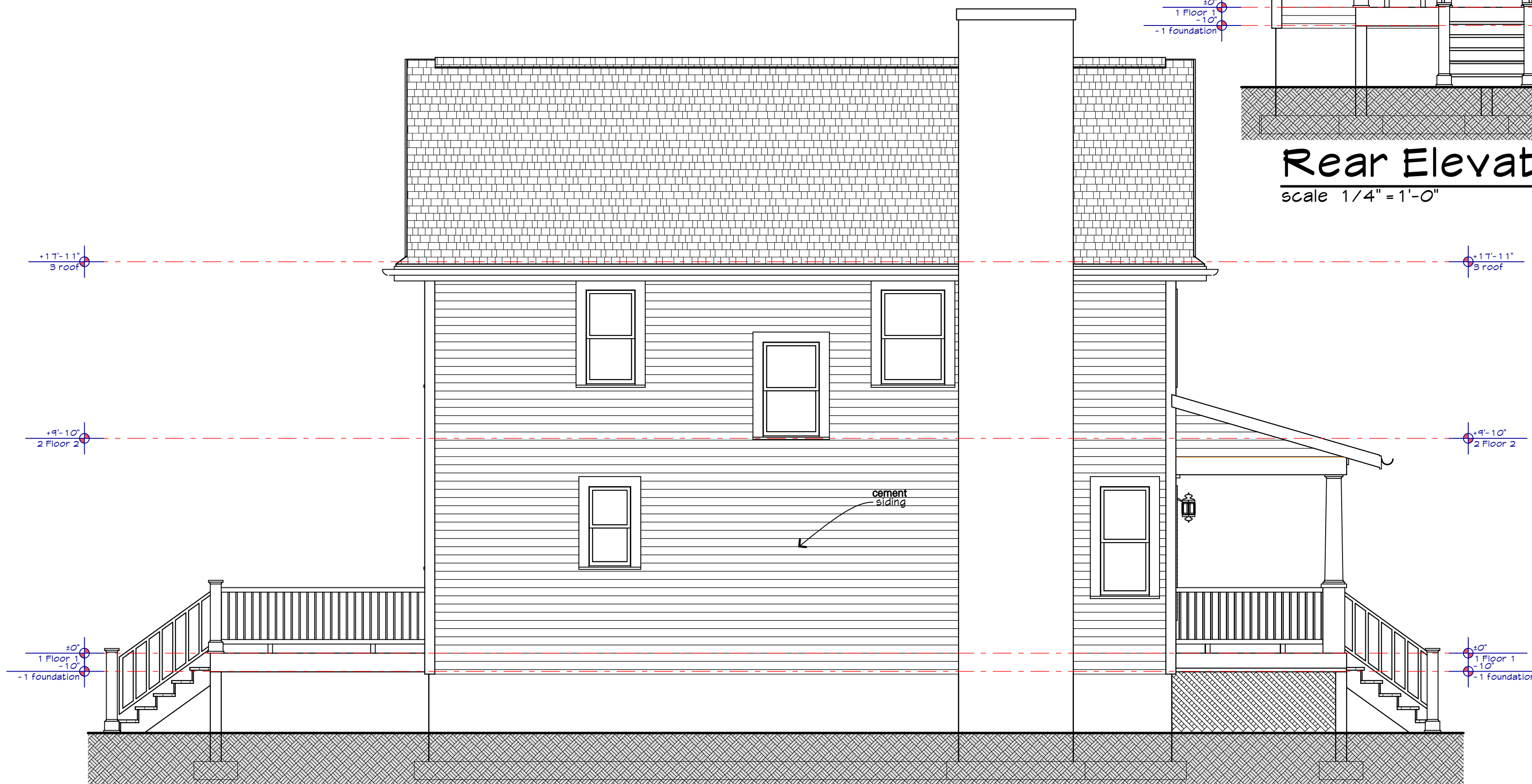
4



PE2 Typical Porch Boxed Eave
scale 1"=1'-0"



Rear Elevation
scale 1/4"=1'-0"



Left Side Elevation
scale 1/4"=1'-0"

